# RED DOT CORPORATION

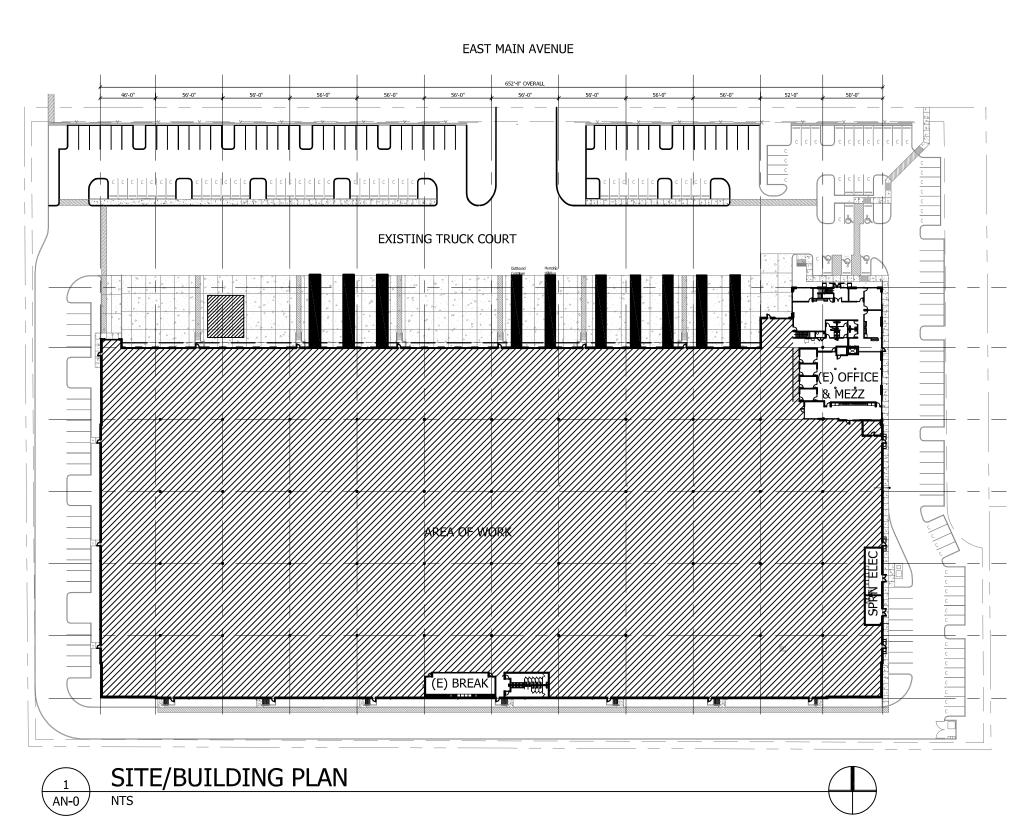
PRCTI20230167

# RED DOT SHOP TI - MODULAR WALL UNITS

2504 EAST MAIN AVENUE PUYALLUP, WA 98372







SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REVISION ISSUE DATE	DRAWING REVISION NUMBER
GENERAL				
AN-0	COVER SHEET	02/08/2023		
AN-1	LIFE SAFETY PLAN	02/08/2023		
AN-2	GENERAL NOTES AND ABBREVIATIONS	02/08/2023		
ARCHITECTU	JRAL			
A2.1	OVERALL MANUFACTURING SHOP FLOOR PLAN	02/08/2023		
A2.2	ENLARGED SHOP FLOOR PLAN - WEST	02/08/2023		
A2.3	ENLARGED SHOP FLOOR PLAN - EAST	02/08/2023		
MODULAR W	ALL SYSTEM			
BUILDING 2				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
S <b>-</b> 4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 3				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
S <b>-</b> 4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
A-2	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 4				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
S-4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 5			T	T
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 6				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BASE CHANNEL LAYOUT	09/27/2022		
		09/27/2022		
S-3	TOP CHANNEL LAYOUT			
S-4	ROOF SUPPORT STEEL LAYOUT	09/27/2022		
S-5	B-DECK ROOF LAYOUT	09/27/2022		
S-6	REFLECTED DROP CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		1

## PROJECT DIRECTORY

495 ANDOVER PARK EAST TUKWILA, WA 98188 206.394.3527 TODDTHURNAU@REDDOTCORP.COM ARCHITECT: 1200 FIFTH AVE, #1300 SEATTLE, WA 98101 MEVANS@NELSONWW.COM STRUCTURAL: DREW McEACHERN 2215 NORTH 30TH ST, SUITE 300 TACOMA, WA 98403 DMCEACHERN@AHBL.COM GENERAL CONTRACTOR: POE CONSTRUCTION CLAY JOHNSON 1519 WEST VALLEY HIGHWAY NORTH, CUITE 103 **AUBURN, WA 98001** APFLUEGER@AHBL.COM

**RED DOT CORPORATION** 

#### **APPLICABLE CODES**

2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 INTERNATIONAL FIRE CODE (IFC)

2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL GAS CODE (IFGC)

2018 NATIONAL ELECTRICAL CODE (NEC) 2018 WASHINGTON STATE AMENDMENTS

2018 WASHINGTON STATE ENERGY CODE

2017 ICC/ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

2018 IBC SECTION 429 WASHINGTON STATE AMENDMENTS

#### PARKING REQUIREMENTS

	TOTAL (SF)	RATIO	STALLS REQ'D	ADA STALLS REQ'D	STALLS PROVIDED	ADA STALLS PROVIDE
MANUFACTURE/BREAK	19,340	1/500	39			
OFFICE NEW & EXIST	15,064	1/300	51			
TESTING/PROTOTYPE	14,511	1/1,000	15			
STORAGE/CIRCULATION	151,774	1/3,000	51			
TOTAL	200,689		156	6	190	5

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

**JMontgomery** 02/16/2023

City of Puyallup

Building

**ACCEPTED** 

7:10:05 AM



#### **APPROVED APPROVED** See permit See permit conditions. conditions. **NComstock** ycharitou 02/16/2023 02/15/2023 3:17:38 PM 12:56:02 PM

Division

City of Puyallup

**Development** 

**Engineering** 

APPROVED BY:

SECTION 26 TOWNSHIP 20 RANGE 04 QUARTER 31 LOT COMB

FT TH S 00 DEG 30 MIN 22 SEC W 535.4 FT TO POB EASE OF REC COMB OF 04-20-26-3-700 & 4-038 SEG 2021-0156 JP 09/30/20 JP

# NELSON Nelco Architecture, Inc.

1200 Fifth Ave. Suite 1300 Seattle, WA 98101 Phone: (206) 408-8500 WWW.NELSONWORLDWIDE.COM

City of Puyallup Development & Permitting Services ISSUED PERMIT		
Building	Planning	
Engineering	Public Works	
Fire OF W SHITTRAFFIC		

# Red DOT

**RED DOT** CORPORATION 495 ANDOVER PARK EAST TUKWILA, WA 98188

RED DOT SHOP TI MODULAR WALL UNITS

2504 EAST MAIN AVENUE PUYALLUP, WA 98372

12/22/2022 PERMIT RESUBMITTAL 02/03/2023

## **ENERGY REQUIREMENTS**

LIGHTING REQUIREMENTS

**BUILDING INFORMATION** 

SITE ADDRESS:

PARCEL NUMBER:

ZONING:

LEGAL DESCRIPTION

CONSTRUCTION TYPE:

BUILDING TOTAL FLOOR AREA: 198,146 SF

**PROJECT DESCRIPTION** 

**DEFERRED SUBMITTALS** 

SUPRESSION FOR SPRAY BOOTH, BUILDING SIGNS, MODULAR UNITS.

FIRE PROTECTION:

OCCUPANCY TYPE:

PROPOSED SUITE AREA:

2504 EAST MAIN AVENUE

PUYALLUP, WA 98372

FULLY SPRINKLERED

200,689 SF TOTAL

F-1 (MANUFACTURING) / B (OFFICE)

3,220 SF OFFICE (EXISTING) (B)

185,625 SF MANUFACTURING (F-1)

INSTALLATION OF MANUFACTURING EQUIPMENT AND MACHINES, CRANE STRUCTURE, ASSEMBLY

FIRE SPRINKLER, FIRE ALARM, GENERATOR, EMERGENCY RADIO, STORAGE TANKS, RACKING, FIRE

4,829 SF MEZZANINE OFFICE (NEW) (B)

2,718 SF MEZZANINE OFFICE (EXISTING) (B)

4,297 SF OFFICE (NEW) (B)

SCOPE OF WORK TO MEET OR EXCEED CURRENT WA STATE ENERGY REQUIREMENTS.

SCOPE OF WORK TO MEET OR EXCEED CURRENT WA STATE LIGHTING REQUIREMENTS.

SHELL IS A SEMI-HEATED BUILDING AS DEFINED BY THE 2015 WASHINGTON STATE ENERGY CODE. WAREHOUSE SPACE TO BE HEATED BY GAS FIRED UNIT HEATERS WITH A MAXIMUM OUTPUT OF 8 BTUH/SF; COOLING IS NOT PROVIDED. OFFICE SPACE TO BE FULLY CONDITIONED.

NEW DEMISING WALL BETWEEN CONDITIONED / SEMI-CONDITIONED SPACES MEETS WSEC PRESCRIPTIVE STANDARD, SEE 3/A8.1.

ROOF: CALCULATED RIGID INSULATION VALUE: R-35, CONTINUOUS ABOVE DECK.

SLAB INSULATION IS EXCLUDED.

### **ENERGY CODE COMPLIANCE** (EXISTING BUILDING)

THE EXISTING BUILDING IS SEMI-HEATED WAREHOUSE DESIGNED AND APPROVED PER THE 2015 WASHINGTON STATE ENERGY CODE. THIS TENANT IMPROVEMENT INCLUDES FULL CONDITIONING OF OFFICE AREAS AND REMOTE WAREHOUSE BREAKROOM AND RESTROOM AREAS IN COMPLIANCE WITH THE 2018 WASHINGTON STATE ENERGY CODE, COMMERCIAL PROVISIONS, USING THE COMPONENT PERFORMANCE APPROACH. SEE ENVELOPE SUMMARY ON ENERGY CODE COMPLIANCE SHEET AN-4 FOR ADDITIONAL INFORMATION.

**HEATING:** 

OFFFICE AREAS TO BE HEATED BY FORCED AIR HVAC SYSTEM BY DESIGN BUILD CONTRACTOR (DEFFERED

**ROOF INSULATION:** EXISTING RIGID INSULATION VALUE: R-35, CONTINUOUS ABOVE DECK

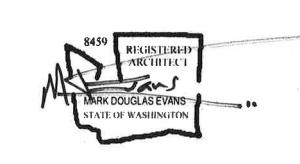
**WALLS TO 12'-0" AFF:** R=21, U=0.090 WALLS TO 12'-0" AFF TO ROOF: R=25, U=0.038 **SLAB ON GRADE:** NO INSULATION **HM MAN DOORS:** U=0.37 MAX**ROLL-UP DOORS:** MIN R= 17.5, U= 0.057 **VERTICAL FENESTRATION, FIXED:** 

U= 0.38 MAX, SHGC= 0.40 MAX **STOREFRONT ENTRANCES:** U= 0.60 MAX, SHGC= 0.40 MAX

**SKYLIGHTS:** U= 0.50 , SHGC= 0.35

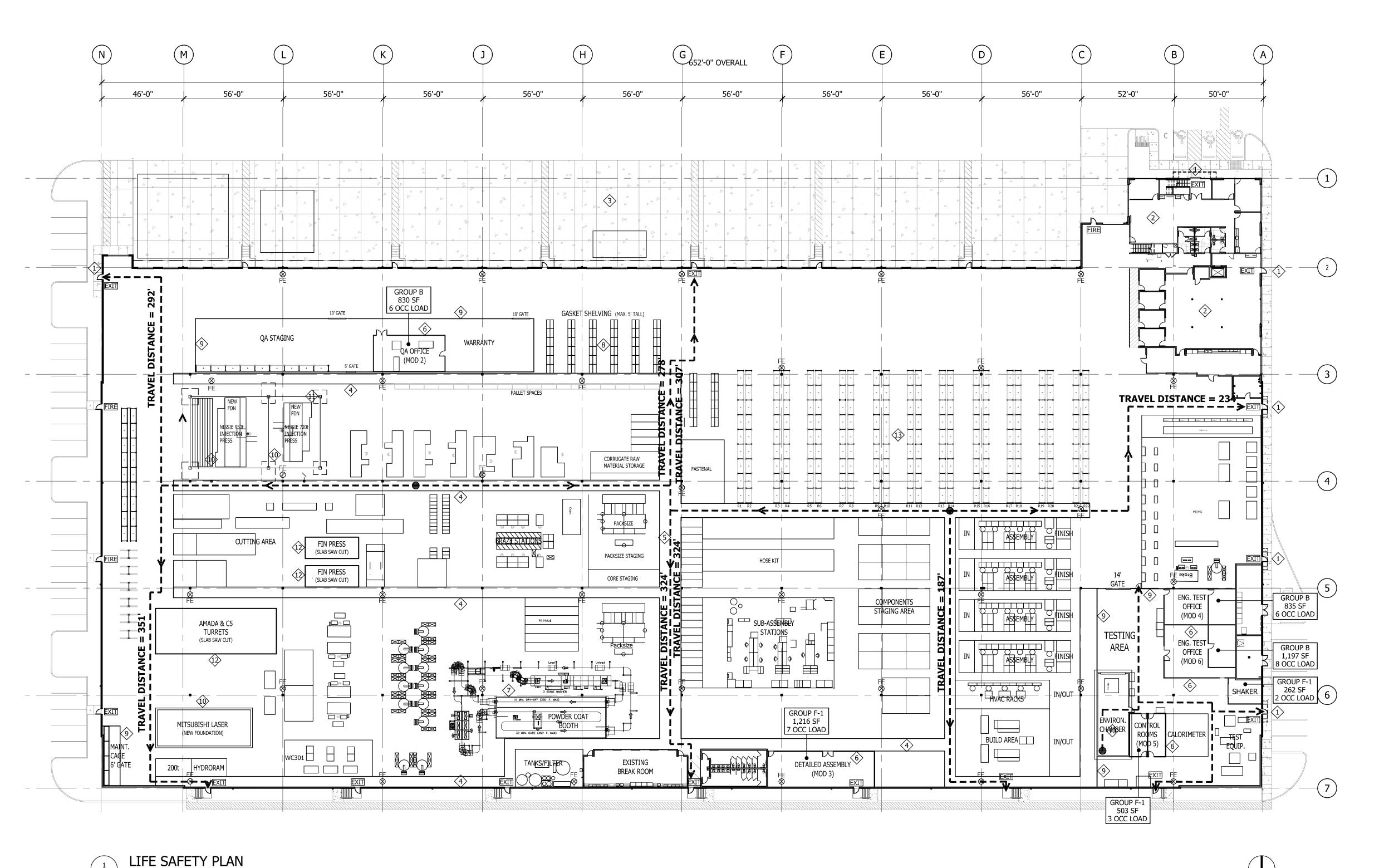
## **COVID-19 DRAWING DISCLAIMER**

THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19.



**GENERAL INFORMATION** AND SITE PLAN

# PRCTI20230167



#### **GENERAL NOTES**

- 1. GC TO PROVIDE REQUIRED PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED PER SECTION 906 IN THE INTERNATIONAL FIRE CODE. MOUNTING HEIGHTS TO MEET THE PROVISIONS OF ANSI A117.1 308 (48" MAX). CABINET SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, CORRIDORS, PASSAGEWAYS, OR AISLES. LOCATE CABINET(S) 75-FOOT MAXIMUM TRAVEL DISTANCE TO REACH THE EXTINGUISHER, (1) 2A EXTINGUISHER TO COVER MAXIMUM FLOOR AREA OF 3,000 SF. LOCATIONS TO BE REVIEWED WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- BE REVIEWED WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.

  2. CENTER LOCATION OF NEW WALL CONSTRUCTION ON EXISTING COLUMNS, PIER, JOISTS OR WINDOW MULLION, AS SHOWN.

#### **EGRESS CODE SUMMARY**

- A. MAX. TRAVEL DISTANCE B OCCUPANCY: 300' W/ SPRINKLERS (TABLE 1017.2)

  MAX. TRAVEL DISTANCE F-1 AND S-1 OCCUPANCY: 400' (SEC 1017.2.2)

  1. ONE STORY HEIGHT (YES SEE 4/A8.1)

  2. 24' MIN. CLEAR HEIGHT (32' PROVIDED)

  3. FULLY SPRINKLERED
- B. MAX. COMMON PATH OF EGRESS TRAVEL: 100' (TABLE 1006.2.1)
  MAX. COMMON PATH OF EGRESS TRAVEL: 75' (>30 OL WITHOUT SPRINKLERS)
  (TABLE 1006.2.1)

#### OCCUPANT LOAD:

(IBC 1004.1 TABLE 1004.1.2)

ASSEMBLY (SHOP BREAKROOM) - A-2 (NEW)	1,160 SQ FT /	15 = 3
ASSEMBLY (CONFERENCE, BREAKROOM) - B (NEW)	1,146 SQ FT /	15 = 3
1ST FLOOR OFFICE - B (NEW)	3,551 SQ FT / :	150 = 2
MEZZANINE OFFICE - B (NEW)	4,429 SQ FT / :	150 = 3
OFFICE - B (EXISTING)	5,938 SQ FT / :	150 = 4
MANUFACTURING & TESTING - F-1 (NEW)	32,691 SQ FT / 3	200 = 16
TEMPORARY STORAGE & CIRCULATION - F-1 (NEW)	151,774 SQ FT /	500 = 30
TOTAL	200,689 SQ FT	= 7:

EXIT REQUIREMENTS:
(IBC 1006 TABLE 1006.2.1 & 1006.3.1)

OFFICE 2 2
WAREHOUSE 2 6

#### **LEGEND**

EXISTING PARTITION TO REMAIN

NEW PARTITION

T (EXIT) INT

INTERNALLY ILLUMINATED EXIT SIGNAGE W/ BATTERY BACKUP PER IBC SECTION 1013, CONFIRM OPERATION OF EXISTING. ADD NEW WHERE NOT EXISTING. ARROW = DIRECTION INDICATOR, IF REQUIRED. PROVIDE TACTILE EXIT SIGN ADJACENT TO EACH EXIT DISCHARGE DOOR COMPLYING WITH ICC A117.1, AS SUMMARIZED ON 703/AN-3. ADD NEW WHERE NOT EXISTING.

NOTE: EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR IS MORE THAN 100' OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS.

TRF

EXISTING FIRE DEPARTMENT ACCESS DOOR PROVIDED AT INTERVALS LESS THAN 100' SPACING AROUND PERIMETER OF BUILDING

SURFACE MOUNTED FIRE EXTINGUISHER
F.E.

- DIRECTION OF TRAVEL
PATH OF EGRESS

COMMON PATH OF TRAVEL TERMINATION POINT

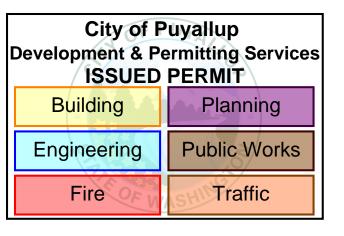
## **KEY NOTES** $\otimes$

- 1. EXISTING ACCESSIBLE ENTRANCE/EXIT
- 2. EXISTING CONDITIONED OFFICE SPACE
- 3. EXISTING TRUCK COURT
- 4. TAPED CIRCULATION/EGRESS AISLE, 6' WIDE UNO.
- 5. TAPED CIRCULATION/EGRESS AISLE, 12' WIDE
- 6. DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLY PER SHOP DRAWINGS BY PANEL BUILT INC.
- 7. POWDER COAT PAINT BOOTH AND CONVEYER ASSEMBLY UNDER SEPARATE PERMIT
- 8. GASKET SHELVING, MAXIMUM 5' HIGH UNDER SEPARATE PERMIT
- 9. CHAIN LINK FENCING
- 10. NEW FOUNDATION AND SLAB UNDER SEPARATE PERMIT
- 11. NEW CRANE FOUNDATIONS (6) UNDER SEPARATE PERMIT
- 12. NEW SLAB SAW CUT ISOLATION JOINTS UNDER SEPARATE PERMIT
- 13. RACKING UNDER SEPARATE PERMIT



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CORPORATION
495 ANDOVER PARK EAST
TUKWILA, WA 98188

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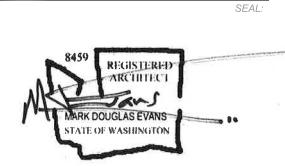
PUYALLUP, WA 98372

Description: No: Date:

PERMIT SUBMITTAL 12/22/2022

PERMIT RESUBMITTAL 02/03/2023

MODULAR WALL UNITS 02/08/2023



LIFE SAFETY PLAN

#### **GENERAL NOTES**

- THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE AND OTHER ORDINANCES, CODES AND REGULATIONS LISTED IN THE SPECIFICATIONS OR ON THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE." THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS DISCOVERED TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK.
- INTERPRETATION PRIOR TO PERFORMING THE WORK.

  2. THE GENERAL CONTRACTOR SHALL CONTACT BUILDING MANAGEMENT TO DETERMINE THE RULES OF THE BUILDING RELATIVE TO CONSTRUCTION; WHEN AND HOW DELIVERIES CAN BE MADE, WHAT PHASES AND TYPES OF CONSTRUCTION MAY BE DONE ON REGULAR OR OVERTIME BASIS, AND IN GENERAL ANY SPECIAL BUILDING REQUIREMENTS WHICH WILL AFFECT THE COST OF ALL WORK BORNE BY THE GENERAL CONTRACTOR. ALL WORK SHALL CONFORM TO ALL BASE BUILDING STANDARD SPECIFICATIONS AND BUILDING REGULATIONS, WHICH THE CONTRACTOR SHALL OBTAIN PRIOR TO SUBMISSION OF BID.
- 3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUB-CONTRACTORS' RECEIPT OF COMPLETE SETS OF THESE DOCUMENTS, AS WELL AS ALL FUTURE ADDENDA, BULLETINS, FIELD DIRECTIVES AND CHANGE
- ORDERS.
  THE AIA STANDARD DOCUMENT "A201" TITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE CONSIDERED PART OF THE GENERAL CONDITIONS OF THIS WORK.
- 5. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING MANAGEMENT THE STORAGE OF MATERIALS AND SHALL PROVIDE PROTECTION AS NECESSARY TO PREVENT VANDALISM AND LOSS OF MATERIALS BY THEFT OR DAMAGE SUSTAINED DUE TO EXPOSURE TO INAPPROPRIATE ENVIRONMENTAL CONDITIONS AND WILL REPAIR & REPLACE DAMAGE OR LOSSES AT THE CONTRACTOR'S EXPENSE WITHOUT CHARGE TO THE OWNER.
- . WHERE ADJACENT AREAS BEYOND THE IMMEDIATE CONSTRUCTION AREA WILL BE OCCUPIED DURING THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL:

  A. CONFORM TO OWNERS AND TENANT REQUIREMENTS FOR HOURS OF CONSTRUCTION OPERATIONS, ACCESS TO TENANT SPACES AND ALLOWABLE NOISE LEVEL DURING TENANT BUSINESS HOURS
  - B. CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS ACCESSIBLE ROUTES OR MEANS OF EGRESS FOR TENANTS OF BUILDING.
     C. CONSTRUCTION OPERATIONS SHALL NOT CAUSE INTERRUPTIONS OF ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING WITHOUT PRIOR NOTIFICATION AND APPROVALS. PROPERLY PROTECT ALL FLOORS, MAIL CHUTES AND STAIR DOORS IN PUBLIC AREAS SUBJECT TO CONSTRUCTION TRAFFIC. SHOE WIPING MATS WILL BE INSTALLED AT ALL OPENINGS BETWEEN CONSTRUCTION AREAS AND ALL PUBLIC SPACES. ALL ACTIVE AREAS SHALL BE KEPT CLEAN AND FREE FROM
  - DEBRIS.

    D. ERECT AND MAINTAIN TEMPORARY BRACING, LIGHTS, DUSTPROOF PARTITIONS, BARRICADES, FENCES AND WARNING SIGNS AS NECESSARY TO PREVENT INJURY, NOISE, DUST AND INCONVENIENCE TO OTHER TENANTS, THE PUBLIC, AND TO PREVENT DAMAGE TO ADJACENT CONSTRUCTION WHICH IS TO BE LEFT IN PLACE.
- E. CONTRACTOR SHALL FOLLOW THE RECOMMENDED CONTROL
  MEASURES OF THE SHEET METAL AND AIR CONDITIONING NATIONAL
  CONTRACTORS ASSOCIATION (SMACNA) IAQ GUIDELINES FOR
  OCCUPIED BUILDINGS UNDER CONSTRUCTION, 2ND EDITION 2007,
  ANSI/SMACNA 008-2008 (CHAPTER 3). ? PROTECT STORED ON-SITE
  AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE.
  F. IF PERMANENTLY INSTALLED AIR HANDLERS ARE USED DURING
  CONSTRUCTION, FILTRATION MEDIA WITH A MINIMUM EFFICIENCY
  REPORTING VALUE (MERV) OF 8 MUST BE USED AT EACH RETURN AIR
- GRILLE.

  7. ALL CUTTING, CHASING, DRILLING OR DEMOLITION OF WALLS, SLABS, ETC.
  REQUIRING THE USE OF JACKHAMMERS OR OTHER HEAVY HAND OR POWER
  TOOLS SHALL BE PERFORMED AFTER REGULAR BUSINESS HOURS ON AN
  OVERTIME BASIS IF NECESSARY, UNLESS THE BUILDING MANAGEMENT AND
  ANY AFFECTED TENANTS PROVIDE A WRITTEN WAIVER EXPRESSLY PERMITTING
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION, AS NECESSARY AND REQUIRED BY GOVERNING AGENCIES HAVING JURISDICTION, UNTIL CLIENT ACCEPTANCE OF THE PREMISES.
   THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROVISION AND MAINTENANCE OF ALL BRACING. SHORING. FINCLOSURES. BARRIERS OR
- DICTATED BY SITE CONDITIONS AND THE PROGRESS OF WORK.

  10. DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY REQUIREMENTS. UNO, ALL EXISTING, SERVICES AND DEVICES SHALL REMAIN ACTIVE.

SCAFFOLDING REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS

- 11. THE CONTRACTOR SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE BUILDING OWNER. INCLUDING, BUT IS NOT LIMITED TO, WINDOWS, FLOOR AND CEILING FINISHES, PUBLIC TOILETS, ELEVATORS, DOORS & BUCKS, ELECTRICAL AND AIR-CONDITIONING EQUIPMENT. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY. DAMAGE CAUSED BY THE CONTRACTOR'S WORK OR WORKMEN MUST BE MADE GOOD, IN A TIMELY FASHION. PATCHING AND REPLACEMENT OF DAMAGED WORK SHALL BE PERFORMED AT THE COST OF THE CONTRACTOR.THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL SUB-CONTRACTORS. IF THE CONTRACTOR FAILS TO COMPLETE THE REPAIRS IN A TIMELY FASHION, SAID REPAIRS WILL BE MADE BY A CONTRACTOR SELECTED BY THE OWNER'S REPRESENTATIVE AND BACK
- CHARGED ACCORDINGLY.

  12. THE CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS THE LANDLORD, THE TENANT, AND ARCHITECT AGAINST ANY AND ALL CLAIMS AND DEMANDS FOR THE DAMAGE TO THE PROPERTY OF ANY PERSON, FIRM OR INDIVIDUAL OR FOR PERSONAL INJURIES (INCLUDING DEATH) ARISING OUT OF, OR SUFFERED WHILE ENGAGED IN, OR CAUSED, IN WHOLE OR IN PART, BY THE EXECUTION OF THE WORK; THE CONTRACTOR SHALL WELL AND TRULY DEFEND THE LANDLORD, TENANT AND ARCHITECT AND SHALL PAY ALL MONIES AWARDED FOR SUCH DAMAGES OR INJURIES (INCLUDING DEATH), ALL COSTS INCLUDING ATTORNEY'S FEES SUSTAINED, AND SHALL OBTAIN A FULL ACQUAINTANCE AND RELEASE IN FAVOR OF THE LANDLORD, TENANT AND ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE
- ARCHITECT, UNLESS SUCH LIABILITY RESULTS SOLELY FROM THE NEGLIGENCE OF THE LANDLORD, TENANT, ARCHITECT, ITS AGENTS OR EMPLOYEES.

  13. THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE PERFORMANCE OF ANY WORK, NOR FOR THE MEANS AND METHODS OF CONSTRUCTION CHOSEN BY THE CONTRACTOR OR ANY SUB-CONTRACTORS, NOR SHALL THE ARCHITECT GUARANTEE THE PERFORMANCE OF THEIR CONTRACTS.

  14. THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE
- THE CONTRACTOR SHALL PERFORM DAILY CLEANING OF THE JOB SITE
  DURING THE CONSTRUCTION PERIOD AND SHALL PROTECT FINISHED WORK
  FROM DAMAGE. IMMEDIATELY PRIOR TO TENANT OCCUPANCY, THE
  CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE WORK AREA
  INCLUDING, BUT NOT LIMITED TO, WET WIPING OF FURNITURE, AND
  CASEWORK, WASHING AND WAXING OF VCT FLOORING AND THE VACUUMING
  OF CARPET. ALL CLEANING SHALL BE IN ACCORDANCE WITH
  MANUFACTURERS' RECOMMENDATIONS
- 15. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS AND SHALL PERFORM SUCH MISCELLANEOUS WORK AS MAY BE NECESSARY FOR THEM TO COMPLETE THEIR WORK. IT IS EXPECTED THAT THE CONTRACTOR SHALL ALSO CLOSELY COORDINATE THE WORK WITH THAT OF ALL OTHER VENDORS RETAINED BY THE CLIENT TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT WORK PROCEEDS WITHOUT DELAY.
- 16. BIDDERS, BEFORE SUBMITTING PROPOSALS, SHALL VISIT AND CAREFULLY EXAMINE THE AREA AFFECTED BY THE WORK TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THE WORK. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT, OR MATERIALS, REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY FORESEEN HAD SUCH AN EXAMINATION BEEN MADE. THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CONDITIONS TO THE ARCHITECT PRIOR TO FINALIZING BIDS OR COMMENCEMENT OF ANY CONSTRUCTION.
- 17. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING THE BID SELECTIONS PERIOD. ANY AND ALL LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS NOT ITEMIZED IN THE BID PROPOSAL DOCUMENTS ARE PRESUMED "INCLUDED", IN WHICH CASE NO ADDITIONAL MONIES WILL BE
- ALLOCATED FOR THIS WORK.

  18. EXISTING CONSTRUCTION AND DIMENSIONS SHOWN ARE PER EXISTING DRAWINGS. ALL EXISTING INFORMATION MUST BE VERIFIED IN THE FIELD. NEITHER THE OWNER NOR THE ARCHITECTS ARE RESPONSIBLE FOR ACCURACY OF EXISTING INFORMATION. EXISTING CONSTRUCTION CONDITIONS IN AREAS WHERE NEW WORK IS NOT PLANNED MAY BE NOT COMPLETELY SHOWN.
- WHERE NEW WORK IS NOT PLANNED MAY BE NOT COMPLETELY SHOWN.

  19. WITHIN ONE (1) WEEK (5 BUSINESS DAYS), OF THE AWARD OF THIS CONTRACT, PRIOR TO MOBILIZATION FOR ANY WORK, THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING CHRONOLOGICALLY THE PHASES OF THE WORK, AND ALL RELATED WORK FOR THE COMPLETION OF THE PROJECT. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES, LENGTH OF TIME FOR EACH PHASE, ITS START AND COMPLETION, WITH A
- PROJECTED COMPLETION DATE.

  20. CONTRACTOR AND SUBCONTRACTORS SHALL ATTEND JOB MEETINGS
- REQUIRED BY THIS CONTRACT.

  21. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.

- SEPARATE PERMITS, WHEN REQUIRED AND/OR WHEN WORK ITEMS ARE DESIGN/BUILD IN NATURE, SHALL BE OBTAINED BY THE CONTRACTOR FOR MECHANICAL, PLUMBING, FIRE SPRINKLERS, ELECTRICAL AND FIRE ALARM. DESCRIPTIVE, DETAILED DESIGN AND REQUIRED SUBMITTAL DOCUMENTS INFORMATION SHALL BE PROVIDED FOR REVIEW BY THE REGULATING AUTHORITIES AND BY THE OWNER/TENANT/ARCHITECT FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. SEE SPECIFICATIONS FOR REQUIREMENT FOR DESIGN/BUILD FIRE SPRINKLER SYSTEM. SUBMIT PLAN TO AND OBTAIN PERMIT FROM THE AUTHORITY HAVING JURISDICTION FOR FIRE SPRINKLER SYSTEM INSTALLATION OR MODIFICATION. ALL WORK SHALL COMPLY WITH CURRENT GOVERNING CODES.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH CURRENT GOVERNING CODES. NOTHING IN THESE DRAWINGS IS TO BE CONSTRUED AS TO PERMIT WORK WHICH IS NOT CONFORMING TO CURRENT GOVERNING CODES.
- SEDIMENTATION CONTROL PLANFOR ALL SITE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE PROJECT.

  THE PLAN MUST CONFORM TO THE EROSION AND SEDIMENTATION REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS AND CODES, WHICHEVER IS MORE STRINGENT.

  ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE DEPARTMENT PRIOR TO START OF CONSTRUCTION.

ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY

THE CONTRACTOR SHALL CREATE AND IMPLEMENT AN EROSION AND

- OF THE CONTRACTOR, UNO

  25. THE CONTRACTOR SHALL PAY THE EXPENSES FOR ALL TRANSPORTATION,
  HOISTING AND ELEVATOR USE CHARGES ON ALL MATERIALS OR EQUIPMENT
  TO THE POINT OF USE, AND SHALL BE RESPONSIBLE FOR ALL UNLOADING,
  CHECKING AND STORAGE OF THE SAME IN CONNECTION WITH THIS
- CONTRACT.

  26. OF THE INEVITABLE WASTE THAT IS GENERATED, AS MANY OF THE WASTE MATERIALS AS ECONOMICALLY FEASIBLE SHALL BE REUSED, SALVAGED, OR RECYCLED. WASTE DISPOSAL IN LANDFILLS SHALL BE MINIMIZED.

  CONTRACTOR SHALL COORDINATE WASTE MATERIALS HANDLING AND SEPARATION FOR ALL TRADES. CONTRACTOR SHALL PROVIDE SEPARATION, HANDLING, TRANSPORTATION, RECYCLING, SALVAGE, AND LANDFILLING FOR ALL DEMOLITION AND WASTE MATERIALS. RECYCLABLE MATERIALS CAN BE COMMINGLED IN DUMPSTERS ON-SITE AS LONG AS PROVISION IS MADE FOR HAULING TO A TRANSFER STATION WHERE SEPARATION WILL OCCUR. TRANSFER STATION MUST PROVIDE DOCUMENTATION REPORT TYPES OF MATERIALS SEPARATED BY LOAD AND PERCENTAGE OF EACH LOAD. FINAL

DESTINATION OF SORTED MATERIALS MUST ALSO BE REPORTED.

DIVERSION GOALS: A MINIMUM 75% OF TOTAL PROJECT WASTE SHALL BE DIVERTED FROM LANDFILL. THE FOLLOWING WASTE CATEGORIES, AT A

- MINIMUM, SHALL BE DIVERTED FROM LANDFILL.

  a. CLEAN DIMENSIONED WOOD, PALLET WOOD
- b. PLYWOOD, OSB, AND PARTICLEBOARD
- c. CONCRETE d. CARDBOARD, PAPER, PACKAGING e. METALS
- f. GYPSUM DRYWALL (UNPAINTED)
  g. ACOUSTIC TILE
- h. PAINT i. GLASS
- i. GLASS j. PLASTICS
- k. CARPET AND PAD
  I. BEVERAGE CONTAINERS
- 27. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY WATER, PLUMBING, POWER, LIGHTING, HEATING OR VENTILATION REQUIRED TO PROPERLY CONDUCT THE WORK.
  28. DIMENSIONS ARE TO FACE OF STUD, CONCRETE, OR MASONRY UON. DO NOT SCALE THESE DRAWINGS; WRITTEN DIMENSIONS SHALL GOVERN. SHOULD ANY DIMENSIONAL DISCREPANCIES BE ENCOUNTERED, CLARIFICATIONS SHALL BE OBTAINED FROM THE OFFICE OF THE ARCHITECT.
  29. LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE PLANS AND
- INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURERS'
  RECOMMENDATIONS. ANY DIFFICULTIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- 31. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL WARRANTEE ALL WORK PERFORMED BY HIM DIRECTLY FOR A MINIMUM PERIOD OF ONE (1) YEAR AS SPECIFIED IN THE CONSTRUCTION CONTRACT. ALL DEFECTS OCCURRING IN THE GUARANTEED PERIOD SHALL BE CORRECTED AT NO ADDITIONAL COST.
- THE CLIENT, ARCHITECT, CONSULTANTS AND ALL INSPECTORS FROM PERTINENT AGENCIES SHALL BE PERMITTED ACCESS TO THE JOB SITE AT ALL TIMES DURING NORMAL WORKING HOURS.
- TIMES DURING NORMAL WORKING HOURS.

  THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK, EXCEPT WHERE NOTED AS NOT IN CONTRACT (N.I.C.).
- 34. MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS, UNLESS OTHERWISE AGREED UPON. WHERE THE CONTRACT, CONSTRUCTION NOTES OR DRAWINGS CALL FOR ANY WORK OF A MORE STRINGENT NATURE THAN THAT REQUIRED BY THE BUILDING CODE, OR ANY OTHER ENTITY HAVING JURISDICTION OVER THE WORK, THE WORK OF THE MORE STRINGENT NATURE CALLED SHALL BE FURNISHED IN ALL CASES.
- 35. FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS WHICH YIELD THE HIGHEST PERCENT OF PRE-CONSUMER (POST-INDUSTRIAL) AND POST-CONSUMER RECYCLED CONTENT. THE CONTRACTOR SHALL FURNISH THESE MATERIALS WITHIN THE PARAMETERS OF THE BUDGET AND SHALL NOT PURCHASE ANY COST-ADDING MATERIAL OR PAY A PREMIUM (MORE THAN FAIR MARKET VALUE) WITHOUT PROJECT MANAGER AND OWNER ACKNOWLEDGEMENT AND APPROVAL.
- 36. FOR ALL MATERIALS PURCHASED THE CONTRACTOR SHALL FURNISH MATERIALS MANUFACTURED WITHIN A 500 MILE RADIUS OF THE PROJECT SITE WHERE AVAILABLE, WITHIN BUDGET, WITHIN FAIR MARKET VALUE AND DO NOT PRESENT RISK TO THE PROJECT SCHEDULE.
  37. FOR ALL NEW WOOD PRODUCTS INCLUDING BUT NOT LIMITED TO PARTICLE
- BOARD, MDF, PLYWOOD, OSB AND WOOD DOORS, THE CONTRACTOR SHALL FURNISH MATERIALS THAT CONTAIN NO ADDED UREA-FORMADALHYDE.

  38. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT FIELD CONDITIONS.
- MODIFICATIONS MAY BE REQUIRED TO SUIT FIELD CONDITIONS.
  REQUIRED MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.

  39. ALL WORK SHALL BE EXECUTED IN A WORKMANLIKE MANNER BY MECHANICS AND TRADESPERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN
- ACCORDANCE WITH THE BEST TRADE PRACTICES.

  THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND DELIVERY TIMES FOR ALL SPECIFIED MATERIALS & EQUIPMENT REQUIRED TO PERFORM THE WORK UPON RECEIPT OF THE CONTRACT DOCUMENTS. SHOULD THE AVAILABILITY OF SPECIFIED ITEMS POSE A DELAY TO THE ON-TIME COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL NOTIFY THE
- ARCHITECT IMMEDIATELY AND PROPOSE AN EQUIVALENT SUBSTITUTION TO BE REVIEWED BY THE ARCHITECT IF SUCH A DELAY IS NOT ACCEPTABLE.

  11. SUBSTITUTION OF ALL EQUALS SHALL BE ONLY AS APPROVED BY THE ARCHITECT. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL BE THE SOLE JUDGE OF EQUALITY BASED UPON THE INFORMATION FURNISHED BY THE CONTRACTOR. SUBSTITUTIONS MUST BE ACCEPTED IN WRITING BEFORE THEY MAY BE USED.
- THE CONTRACTOR SHALL PREPARE SUBMITTALS FOR REVIEW BY THE ARCHITECT, FOR ALL MATERIALS AND EQUIPMENT SPECIFIED. IF THE CONTRACTOR, THE OWNER, OR THE OWNER'S REPRESENTATIVE SUBSTITUTE A MATERIAL, METHOD OF ATTACHMENT, REVISES A CONSTRUCTION DETAIL, OR IN ANY WAY ALTERS THE WORK SUCH THAT IT NO LONGER CONFORMS TO THESE DOCUMENTS, WITHOUT THE WRITTEN ACCEPTANCE OF THE ARCHITECT, SUCH ACTION WILL RELIEVE THE ARCHITECT OF ANY RESPONSIBILITY OR LIABILITY INCLUDING, BUT NOT LIMITED TO, AESTHETIC CONSEQUENCES, SUBSEQUENT FAILURE(S) AND PERSONAL OR PROPERTY
- DAMAGE ATTRIBUTABLE TO THIS CHANGE.

  43. REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT.

  44. SUBMITTALS THAT CONTAIN EXCESSIVE ERRORS OR ARE INCOMPLETE OR
- INADEQUATE MAY BE RETURNED WITHOUT ACTION. COSTS INCURRED FOR THE RESULTANT DELAYS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

  45. REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR OF OBLIGATIONS OR RESPONSIBILITIES FOR DEVIATIONS FROM THE
- OBLIGATIONS OR RESPONSIBILITIES FOR DEVIATIONS FROM THE
  REQUIREMENTS OF THESE CONTRACT DOCUMENTS, UNLESS THE ARCHITECT
  IS NOTIFIED AND SPECIFICALLY APPROVES OF, THE DEVIATIONS AT THE
  TIME OF SUBMISSION.

  46. REVIEW OF SUBMITTALS SHALL NOT RELIEVE THE CONTRACTOR'S
- OBLIGATION FOR COORDINATION NOR WAIVE RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SUBMITTALS, INCLUDING "FIELD MEASURE."

  47. CHANGES IN THE SCOPE OF WORK OR IN CONSTRUCTION DETAILS, WHETHER DUE TO FIELD CONDITIONS OR OMISSIONS BY THE CONTRACTOR, ARCHITECT OR OWNER, SHALL BE DOCUMENTED BY THE ARCHITECT AND
- APPROVED, PRIOR TO EXECUTION.

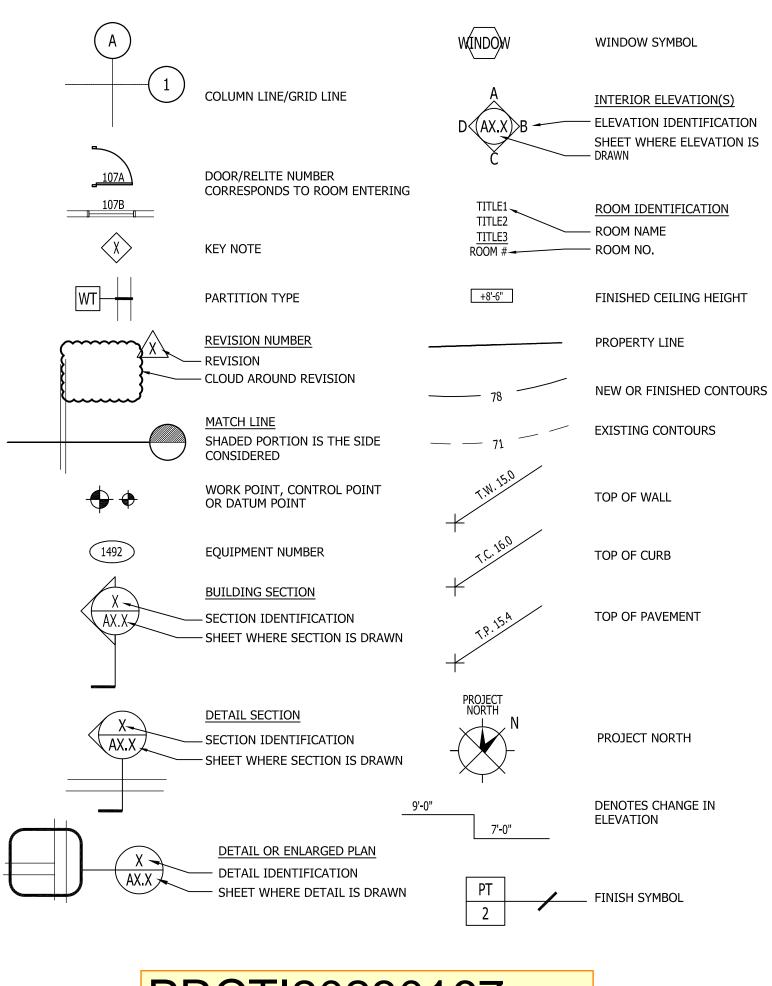
  48. THE PRESENCE OF A REPRESENTATIVE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY CONCURRENCE WITH OR THE APPROVAL OF ANY WORK. THE CONTRACTOR SHALL CALL TO THE ATTENTION OF THE ARCHITECT, IN WRITING, ALL SPECIFIC ITEMS FOR WHICH ARCHITECT'S REVIEW IS REQUIRED.

## 49. UPON SUBSTANTIAL COMPLETION OF WORK THE CONTRACTOR SHALL PREPARE A "PUNCHLIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK FOR REVIEW BY THE ARCHITECT.

- INCOMPLETE WORK FOR REVIEW BY THE ARCHITECT.

  50. THE CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORD COPY OF ALL DRAWINGS, PERMITS, SUBMITTALS AND SAMPLES ON WHICH TO RECORD ALL CHANGES DURING CONSTRUCTION. ACCESS TO THESE SHALL BE PROVIDED FOR THE USE OF ALL TRADES, CLIENT REPRESENTATIVES AND THE ARCHITECT, DURING ALL PHASES OF CONSTRUCTION.
- DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS SHALL BE INDICATED TO SCALE IN RED INK ON THE OWNERS RECORD DRAWINGS FOR ALL RUNS OF MECHANICAL AND ELECTRICAL WORK INCLUDING CONCEALED WORK WHICH DEVIATES FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, INCLUDING ALL PUNCHLIST ITEMS, THIS INFORMATION SHALL BE NEATLY TRANSFERRED BY THE CONTRACTOR TO A SET OF DRAWINGS, WHICH SHALL BE MARKED "AS BUILT SET" AND COPIES SHALL BE PROVIDED TO BOTH THE OWNER AND THE ARCHITECT. WITHIN THREE (3) WEEKS (15 BUSINESS DAYS) OF THE RECEIPT OF THE "AS BUILT SET." APPROVAL FOR FINAL PAYMENT TO THE CONTRACTOR SHALL BE GRANTED OR REASONABLE CAUSE SHOWN WHY SUCH APPROVAL HAS BEEN DENIED.
- 52. PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL ASSEMBLE AND FURNISH THE CLIENT A COMPLETE SET OF MANUFACTURERS' CATALOG, OPERATING INSTRUCTIONS, START-UP CHECK LISTS, MAINTENANCE INSTRUCTIONS AND SIMILAR DATA, AS WELL AS ALL GUARANTEE(S) FOR ALL EQUIPMENT AND OPERABLE DEVICES FURNISHED OR INSTALLED BY THE CONTRACTOR UNDER THIS CONTRACT, AND SHALL ORIENT AND INSTRUCT THE PERSONNEL DESIGNATED BY THE CLIENT IN THE OPERATION OF ALL SUCH EQUIPMENT.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT MOLD OR ASBESTOS IS UNCOVERED. THE OWNER SHALL RETAIN A QUALIFIED CONSULTANT WHO SHALL ARRANGE FOR THE PROMPT IDENTIFICATION, TESTING, TREATMENT, REMEDIATION AND STORAGE OF THE MOLD OR ASBESTOS AS REQUIRED BY LAW AND GOOD CONSTRUCTION PRACTICES. THE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK RELATED TO THESE MATERIALS.
- 54. THE CONTRACTOR IS ADVISED THAT THE PREMISE HAS NOT BEEN TESTED FOR LEAD PAINT OR OTHER POTENTIALLY HAZARDOUS MATERIALS. THE CONTRACTOR SHALL USE ALL APPROPRIATE PRECAUTIONS IN THE CARRYING OUT OF ALL CONSTRUCTION OPERATIONS WHICH MIGHT DISTURB SUCH MATERIALS.
- 55. ALL CONTRACTORS SHALL CARRY PROPERTY DAMAGE AND PUBLIC LIABILITY INSURANCE AS REQUIRED BY ANY GOVERNING AGENCIES HAVING JURISDICTION AND COMPLYING WITH STATUTORY REQUIREMENTS FOR DISABILITY AND WORKMEN'S COMPENSATION.

**SYMBOLS** 



PRCTI20230167

#### **ABBREVIATIONS**

FEC

FLG

**FACTORY FINISH** 

FINISH

FLOOR

FLASHING

PNL

PLYWD

PLYWOOD

PANEL

**PAINT** 

PAIR

WT WEIGHT

XFMR TRANSFORMER

V	ANGLE	FLUOR	FLUORESCENT	PS	PAINT SYSTEM
¢ <sub>.</sub>	CENTER LINE	FM	FACTORY MUTUAL	PSF	POUNDS PER SQUARE FOOT
Ø #	DIAMETER OR ROUND	FOC FOF	FACE OF CONCRETE	PSI PT	POUNDS PER SQUARE INCH PRESSURE TREATED
<i>"</i>	NUMBER OR POUND PENNY	FOIC	FACE OF FINISH FURNISHED BY OWNER	PTD	PAPER TOWEL DISPENSER
Ĭ	PERPENDICULAR	1010	INSTALLED BY CONTRACTOR	PTD/R	
rt	PLATE	FOIO	FURNISHED BY OWNER	·	AND RECEPTACLE
_		500	INSTALLED BY OWNER	PTN	PARTITION
AB C	ANCHOR BOLT	FOS FS	FACE OF STUD FULL SIZE	PTR PVMT	PAPER TOWEL RECEPTACLE
v/C	ACOUSTICAL AIR CONDITIONING	FT	FEET	PVIVII	PAVEMENT
CP	ACOUSTICAL CEILING PANEL	FTG	FOOTING	QT	QUARRY TILE
CT	ACOUSTICAL TILE	FTIC	FURNISHED BY TENANT		•
'DH	ADHESIVE		INSTALLED BY CONTRACTOR	R	RISER -
'D]	ADJACENT	FTIO	FURNISHED BY TENANT	RA	RETURN AIR
ν <b>Ε</b>	ACCESS FLOOR	FURR	INSTALLED BY OWNER FURRING	RAD R&S	RADIUS ROD & SHELF
vee vee	AT/ABOVE FINISH FLOOR AUTHORITY HAVING JURISDICTION	FUT	FUTURE	RB	RESILIENT BASE
L	ALUMINUM	FUTURE-	FUTURE ROUGH IN ONLY	RCP	REFLECTED CEILING PLAN
LT	ALTERNATE	RIO		RD	ROOF DRAIN
·P	ACCESS PANEL			RD/O	ROOF DRAIN OVERFLOW
PC	ACOUSTICAL PANEL CEILING	GA	GAGE	REBAR	
	APPROXIMATE	GALV	GALVANIZED	REF	REFERENCE
IRCH ISPH	ARCHITECTURAL ASPHALT	GB GC	GRAB BAR GENERAL CONTRACTOR	REFR REINF	REFRIGERATOR REINFORCED
		GL	GLASS OR GLAZING	REQ'D	
SD SETW	BOARD BETWEEN	GLB	GLU-LAM BEAM	REV	REVISION
BLK	BLOCK	GND	GROUND	RH	RIGHT HAND OR ROBE HOOK
LDG	BUILDING	GR	GRADE	RESIL	RESILIENT
SM	BEAM	GWB	GYPSUM WALL BOARD	RM	ROOM
RG	BEARING	НВ	HOSE BIB	RO RT	ROUGH OPENING
OT	BOTTOM	HC	HOLLOW CORE OR HANDICAP	RUB	RESILIENT TILE RUBBER
SMT	BASEMENT	HDR	HEADER	RW	RAIN WATER
SUR	BUILT UP ROOF	HDWD	HARDWOOD	RWL	RAIN WATER LEADER
		HDWE	HARDWARE		
CAB	CABINET	HM	HOLLOW METAL	S	SOUTH
B	CATCH BASIN	HORIZ	HORIZONTAL	SC	SOLID CORE
BU	CEMENTITIOUS BACKER UNIT	HR HT	HOUR HEIGHT	SCD	SEAT COVER DISPENSER
EM	CEMENT	HTG	HEATING	SCHD	
ER	CERAMIC	HVAC	HEATING/VENTILATION/	SD SECT	SOAP DISPENSER SECTION
FM	CUBIC FEET PER MINUTE		AIR CONDITIONING	SF	SQUARE FEET
CFT CG	CONDUCTIVE FLOOR TILE CORNER GUARD	HWH	HOT WATER HEATER	SHTG	SHEATHING
:G :HBD	CHALK BOARD	IDC	INTERNATIONAL BUILDING CORE	SIM	SIMILAR
I	CAST IRON	IBC ID	INTERNATIONAL BUILDING CODE INSIDE DIAMETER/	SNK	SINK
IJΤ	CONTROL JOINT	ID	DIMENSION	SLR	SEALER
LF	CHAIN LINK FENCE	IEC	INTERNATIONAL ELECTRIC	SND	SANITARY NAPKIN
LG	CEILING		CODE COUNCIL	SNR	DISPENSER SANITARY NAPKIN
IJ	CONSTRUCTION JOINT	IFC	INTERNATIONAL FIRE CODE	SINIC	RECEPTACLE
CLK CLO	CAULKING CLOSET	IG	INSULATED GLAZING	SPEC	SPECIFICATION
LR	CLEAR	IHM	INSULATED HOLLOW METAL	SQ	SQUARE
MU	CONCRETE MASONRY UNIT	IN INCL	INCH INCLUDE	SST	STAINLESS STEEL
NTR	COUNTER	INSUL	INSULATION	SSK	SERVICE SINK
O	CLEANOUT	INT	INTERIOR	ST	STONE/STONE TILE
OL	COLUMN	IPC	INTERNATIONAL PLUMBING CODE	STA STC	STATION SOUND TRANSMISSION
ONC	CONCRETE			310	CLASS
CONT	CONSTRUCTION CONTINUOUS	JAN	JANITOR	STD	STANDARD
ORR	CORRIDOR	JT	JOINT	STL	STEEL
PT	CARPET	KIT	KITCHEN	STOR	STORAGE
T	CERAMIC TILE	KO	KNOCK OUT	STRL	STRUCTURAL
TR	CENTER	KS	KNEE SPACE	SUSP SV	SUSPENDED SHEET VINYL
Υ	CUBIC YARD			SYM	SYMMETRICAL
BL	DOUBLE	LAM	LAMINATE		
EPT	DEPARTMENT	LAV	LAVATORY	T	TREAD
F	DRINKING FOUNTAIN(W/O COOLER)	LB LF	LAG BOLT LINEAL FOOT	TB T&B	TOWEL BAR TOP & BOTTOM
ΙA	DIAMETER	LG	LENGTH	TG	TEMPERED GLASS
IAG	DIAGONAL	LH	LEFT HAND	THK	THICK
MIM	DIMENSION	LINO	LINOLEUM	TIG	TEMPERED INSULATED
)ISP	DISPENSER DOWN	LKR	LOCKER		GLAZING
)N )R	DOOR OR DRAIN	LT	LIGHT	TO	TOP OF
TL	DETAIL	MACH	MACHINE	TOC TOP	TOP OF CONCRETE TOP OF PAVEMENT
WR	DRAWER	MACH MATL	MACHINE MATERIAL	TOS	TOP OF STEEL
S	DOWNSPOUT	MAX	MAXIMUM	TOSL	TOP OF SLAB
)W	DISHWASHER	MECH	MECHANICAL	TOW	TOP OF WALL
)WG	DRAWING	MEZZ	MEZZANINE	TPD	TOILET PAPER DISPENSER
:	EAST	MFR	MANUFACTURER	TPH	TOILET PAPER HOLDER
Ā	EACH	MH	MANHOLE	TPTN TS	TOILET PARTITION TUBULAR STEEL
B	EXPANSION BOLT	MIN MIR	MINIMUM MIRROR	TV	TELEVISION
IJ	EXPANSION JOINT	MISC	MISCELLANEOUS	TYP	TYPICAL
L	ELEVATION	MLD	MOLDING		
LEC LEV	ELECTRIC ELEVATOR	MRGWB	MOISTURE RESISTANT GWB	UL	UNDERWRITERS LABORATORY
:LLv :M	ENTRY MAT	MTD	MOUNTED	UNF	UNFINISHED
MER	EMERGENCY	MTL	METAL	UON	UNLESS OTHERWISE NOTED
NCL	ENCLOSURE OR ENCLOSED	MULL	MULLION	UR	URINAL
P	ELECTRICAL PANEL	N	NORTH	VAR	VARIES
WC	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
PX	EPOXY	NO/#	NUMBER	VERT	VERTICAL
Q OUTP	EQUAL EQUIPMENT	NOM	NOMINAL NOT TO SCALE	VEST	VESTIBULE
QUIP ST	ESTIMATE	NTS	NOT TO SCALE	VIN	VINYL WALL COVERING
X	EXPANSION	OA	OVERALL	VWC	VINYL WALL COVERING
XIST	EXISTING	OC	ON CENTER	W	WEST
XT	EXTERIOR	OD	OUTSIDE DIAMETER/	w/	WITH
· A	FIDE ALABA	OFF	DIMENSION OFFICE	W/O	WITHOUT
A BO	FIRE ALARM	OH	OVERHEAD	WC	WATER CLOSET
BO CIC	FURNISHED BY OTHERS FURNISHED BY CONTRACTOR	OPH	OPPOSITE HAND	WD	WOOD
C1C	INSTALLED BY CONTRACTOR	OPNG	OPENING	WF	WIDE FLANGE
CTY	FACTORY	OPP	OPPOSITE	WG WHSE	WIRE GLASS
D	FLOOR DRAIN	PERP	PERPENDICULAR	WHSE WP	WAREHOUSE WATER PROOF
DN	FOUNDATION	PFN	PREFINISHED	WR	WATER PROOF WATER RESISTANT
E	FIRE EXTINGUISHER	PL	PLATE OR PROPERTY LINE	WSCT	
EC	FIRE EXTINGUISHER CABINET	PLAM	PLASTIC LAMINATE	WT	WEIGHT

# NELSON

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Public Works			
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RED DOT
CORPORATION
495 ANDOVER PARK EAST
TUKWILA, WA 98188

RED DOT SHOP TI MODULAR WALL UNITS

PUYALLUP, WA 98372

2504 EAST MAIN AVENUE

Description:	No:	Date:
PERMIT SUBMITTAL PERMIT RESUBMITTAL MODULAR WALL UNIT	_	12/22/202 02/03/202 02/08/202

MARK DOUGLAS EVANS
STATE OF WASHINGTON

GENERAL NOTES 8
ABBREVIATIONS

Proj. No: 21.0000440.000 Reviewed By

AN-2

## (K)MODULAR 2 ..... STAGING ¬ QA OFFICE OFFICE BREAK ROOM Sedan 1 Sedan 2 Sedan 3 Sedan 4 Sedan 5 Sedan 6 \* INCOMING PARTS \* INJECTION MOLDING MACHINES INJECTION MOLDING MACHINE CORRUGATE RAW MATERIAL STORAGE MANUFACTURING COPPER TUBE MACHINES 27 B IND EATON LEONARD 27 C IND FORMING BENDING FORMING **ENGINEERING** + MACHINE BOX MACHINE OAK SAW WORK CENTER 634/650 FIN PRESS (SLAB SAW CUT) PACKSIZE STAGING HOSE KIT WC104 HAIR PIN MACHINE FIN PRESS FILTRATION (SLAB SAW CUT) RACK/TERMINA CRIMP STATION STATION **MODULAR 4** BOX MACHINE BRAKE PRESSES PARTI-STORAGE FOR PAINT BOOTH AMADA & C5 SPOT WELDERS TURRETS (SLAB SAW CUT) PRESSES MITSUBISHI LASER BUILD AREA WELD GELLS WC301 TANKS / PILITERS

HYDRORAM

MANUFACTURING SHOP LAYOUT PLAN

#### SHOP PLAN NOTES

THE RED DOT SHOP LAYOUT PLAN INCLUDES THE FOLLOWING CATEGORIES

- MACHINES AND PROCESSES TO PRODUCE MANUFACTURED PARTS. AREAS INDICATED IN GRAY INCLUDE EQUIPMENT/MACHINE AND OPERATORS TO COMPLETE THE WORK (MANUFACTURING).
- AREA FOR FORKLIFT TRAFFIC, EMPLOYEE WALKWAYS, MOVEMENT OF COMPONENTS FROM ONE WORK CENTER TO THE NEXT (GENERAL CIRCULATION).
- STORAGE AND RACKING OF FINISHED COMPONENTS (RACKING/STORAGE WAREHOUSE).

TESTING AND PROTOTYPING OF FUTURE MANUFACTURED COMPONENTS. THE TESTING AREA IS WHERE PROTOTYPES WILL BE TESTED TO VERIFY NEW PARTS MEET THE REQUIREMENTS OF CUSTOMERS BEFORE UNITS GO INTO PRODUCTION. THIS IS A COMBINATION OF BENCH TOP TESTING AND COMPLETE VEHICLE TESTING. FOR VEHICLE TESTING, CUSTOMERS SEND A VEHICLE FOR FITTING AND INSTALLATION OF PROTOTYPE UNITS IN THEM TO TEST IN REAL WORK CONDITIONS (TESTING AND PROTOTYPING).

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Fire OF W	Traffic		

#### SHOP PLAN KEY NOTES 🗇

- 1. EXISTING ACCESSIBLE ENTRANCE/EXIT
- 2. EXISTING CONDITIONED OFFICE SPACE
- 3. EXISTING TRUCK COURT
- 4. TAPED CIRCULATION/EGRESS AISLE, 6' WIDE UNO.
- 5. TAPED CIRCULATION/EGRESS AISLE, 12' WIDE
- DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLY PER SHOP DRAWINGS BY PANEL BUILT INC.
- 7. POWDER COAT PAINT BOOTH AND CONVEYER ASSEMBLY UNDER SEPARATE
- 8. GASKET SHELVING, MAXIMUM 5' HIGH UNDER SEPARATE PERMIT
- 9. CHAIN LINK FENCING

MODULAR 5

- 10. NEW FOUNDATION AND SLAB UNDER SEPARATE PERMIT
- 11. NEW CRANE FOUNDATIONS (6) UNDER SEPARATE PERMIT
- 12. NEW SLAB SAW CUT ISOLATION JOINTS UNDER SEPARATE PERMIT
- 13. RACKING UNDER SEPARATE PERMIT



**RED DOT** CORPORATION 495 ANDOVER PARK EAST TUKWILA, WA 98188

RED DOT SHOP TI MODULAR WALL UNITS

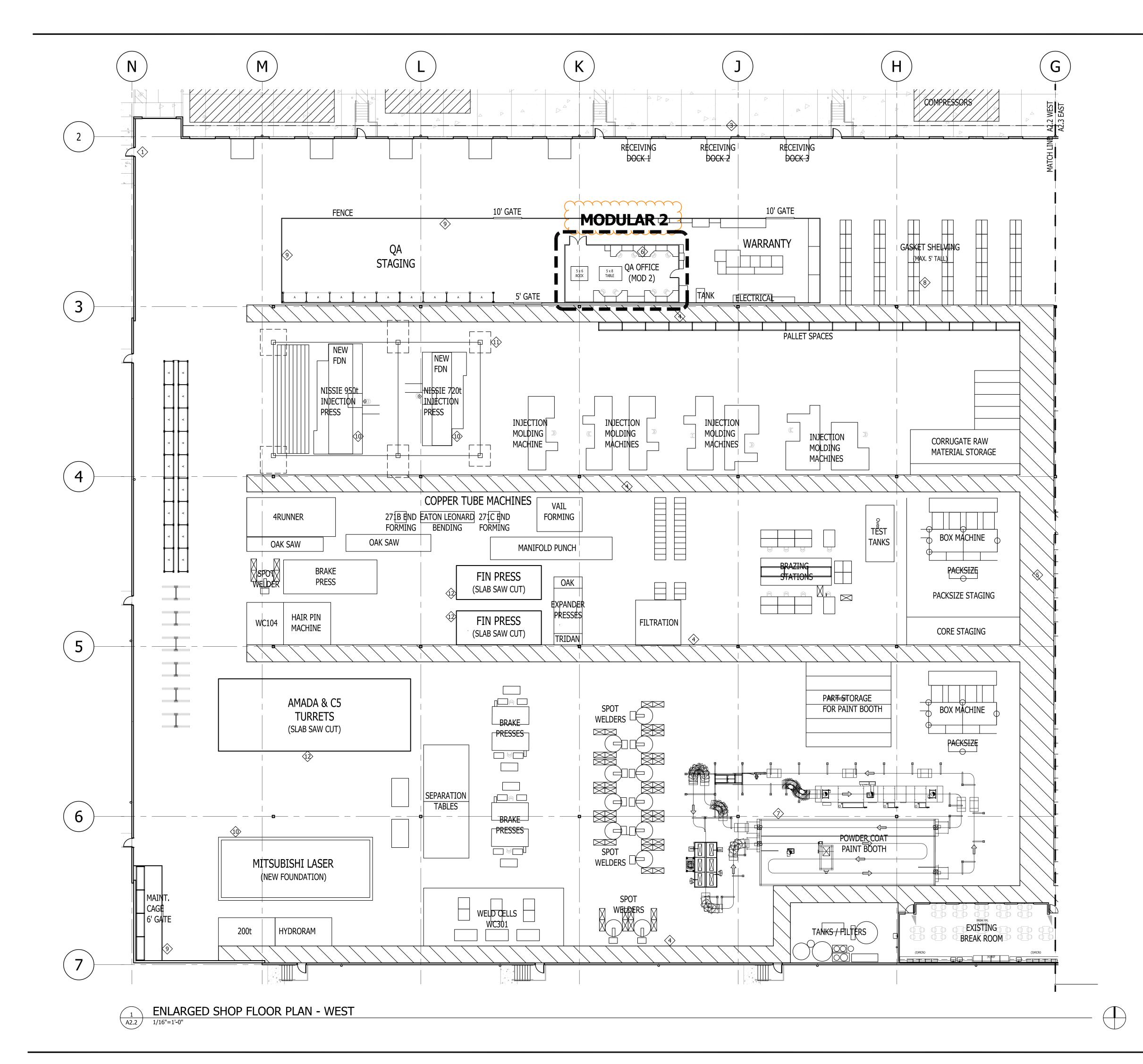
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AREA FOR FORKLIFT TRAFFIC, EMPLOYEE WALKWAYS, MOVEMENT OF COMPONENTS FROM ONE WORK CENTER TO THE NEXT (GENERAL CIRCULATION).

STORAGE AND RACKING OF FINISHED COMPONENTS (RACKING/STORAGE WAREHOUSE).

TESTING AND PROTOTYPING OF FUTURE MANUFACTURED COMPONENTS. THE TESTING AREA IS WHERE PROTOTYPES WILL BE TESTED TO VERIFY NEW PARTS MEET THE REQUIREMENTS OF CUSTOMERS BEFORE UNITS GO INTO PRODUCTION. THIS IS A COMBINATION OF BENCH TOP TESTING AND COMPLETE VEHICLE TESTING, FOR VEHICLE TESTING, CUSTOMERS SEND A VEHICLE FOR FITTING AND INSTALLATION OF PROTOTYPE UNITS IN THEM TO TEST IN REAL WORK CONDITIONS (TESTING AND PROTOTYPING).

Nelco Architecture, Inc.

1200 Fifth Ave. Suite 1300 Seattle, WA 98101

Phone: (206) 408-8500

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City of Puyallup Development & Permitting Services ISSUED PERMIT		
Building	Planning	
Engineering	Public Works	
Fire	Traffic	

#### SHOP PLAN KEY NOTES 🗇

- 1. EXISTING ACCESSIBLE ENTRANCE/EXIT
- 2. EXISTING CONDITIONED OFFICE SPACE
- 3. EXISTING TRUCK COURT
- 4. TAPED CIRCULATION/EGRESS AISLE, 6' WIDE UNO.
- 5. TAPED CIRCULATION/EGRESS AISLE, 12" WIDE
- 6. DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLY PER SHOP DRAWINGS BY PANEL BUILT INC.
- 7. POWDER COAT PAINT BOOTH AND CONVEYER ASSEMBLY UNDER SEPARATE
- 8. GASKET SHELVING, MAXIMUM 5' HIGH UNDER SEPARATE PERMIT
- 9. CHAIN LINK FENCING
- 10. NEW FOUNDATION AND SLAB UNDER SEPARATE PERMIT
- 11. NEW CRANE FOUNDATIONS (6) UNDER SEPARATE PERMIT
- 12. NEW SLAB SAW CUT ISOLATION JOINTS UNDER SEPARATE PERMIT
- 13. RACKING UNDER SEPARATE PERMIT

# PRCTI20230167

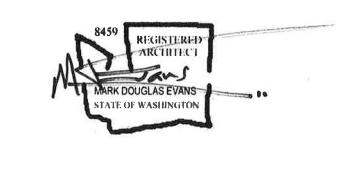


**RED DOT** CORPORATION 495 ANDOVER PARK EAST TUKWILA, WA 98188

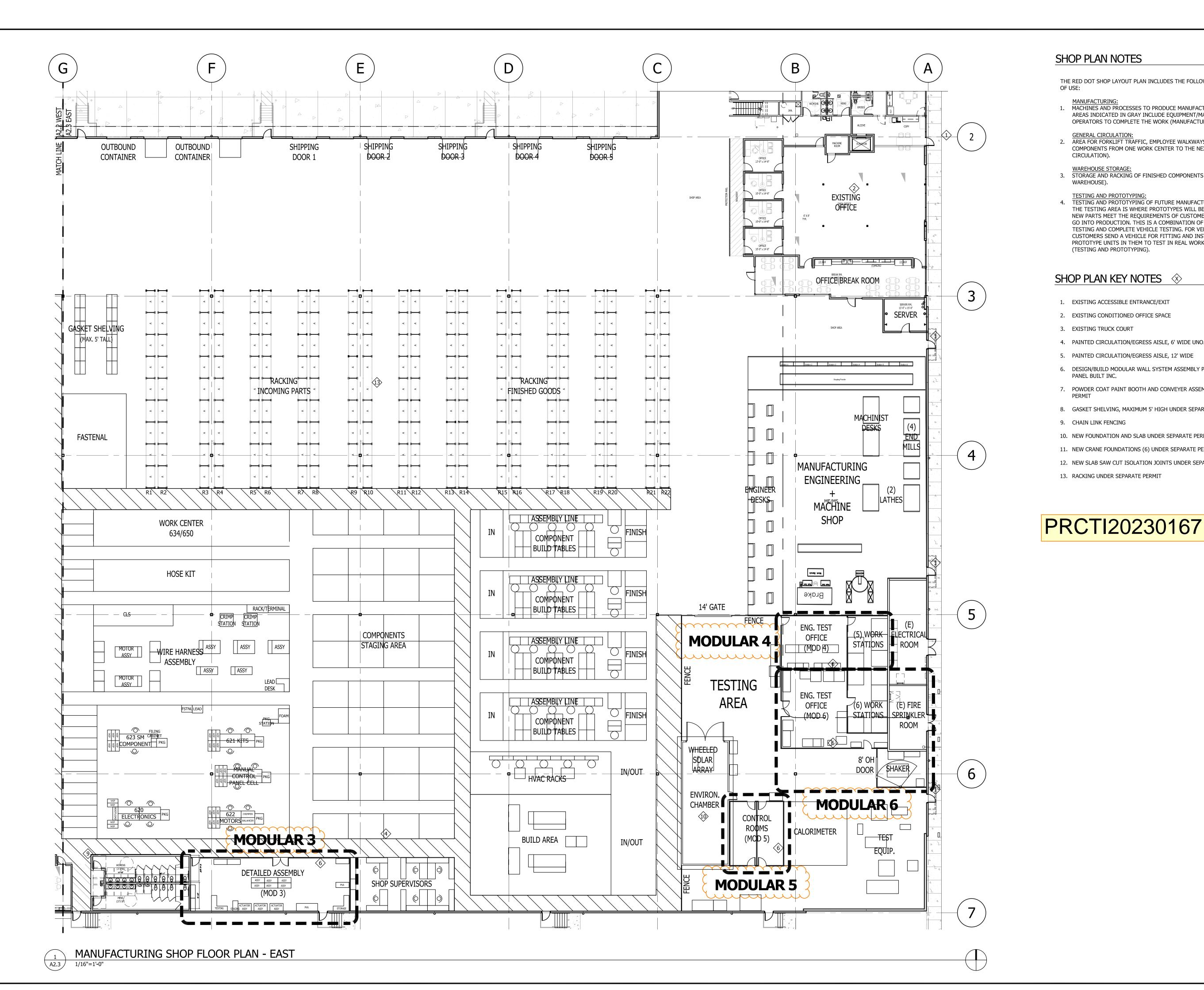
RED DOT SHOP TI MODULAR WALL UNITS

## 2504 EAST MAIN AVENUE

PUYALLUP, WA 98372				
Description:	No:	Date:		
PERMIT SUBMITTAL PERMIT RESUBMITTA MODULAR WALL UNI		12/22/202 02/03/202 02/08/202		



**ENLARGED SHOP** FLOOR PLAN - WEST



THE RED DOT SHOP LAYOUT PLAN INCLUDES THE FOLLOWING CATEGORIES

MACHINES AND PROCESSES TO PRODUCE MANUFACTURED PARTS. AREAS INDICATED IN GRAY INCLUDE EQUIPMENT/MACHINE AND OPERATORS TO COMPLETE THE WORK (MANUFACTURING).

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#### SHOP PLAN NOTES

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MODULAR WALL UNITS		02/08/2023

**RED DOT** 

**CORPORATION** 

TUKWILA, WA 98188

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495 ANDOVER PARK EAST

MODULAR WALL UNITS

MARK DOUGLAS EVANS
STATE OF WASHINGTON

**ENLARGED SHOP** FLOOR PLAN - EAST