

RED DOT CORPORATION

RED DOT SHOP TI - MODULAR WALL UNITS


2504 EAST MAIN AVENUE
PUYALLUP, WA 98372

PRCTI20230167

City of Puyallup Development Engineering APPROVED

See permit conditions.

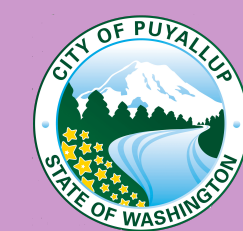
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City of Puyallup Planning Division APPROVED

See permit conditions.

NComstock
02/15/2023
12:56:02 PM



APPROVED BY: _____

Initials _____

Date _____

NELSON

Nelco Architecture, Inc.

1200 Fifth Ave.
Suite 1300
Seattle, WA 98101
Phone: (206) 408-8500
WWW.NELSONWORLDWIDE.COM

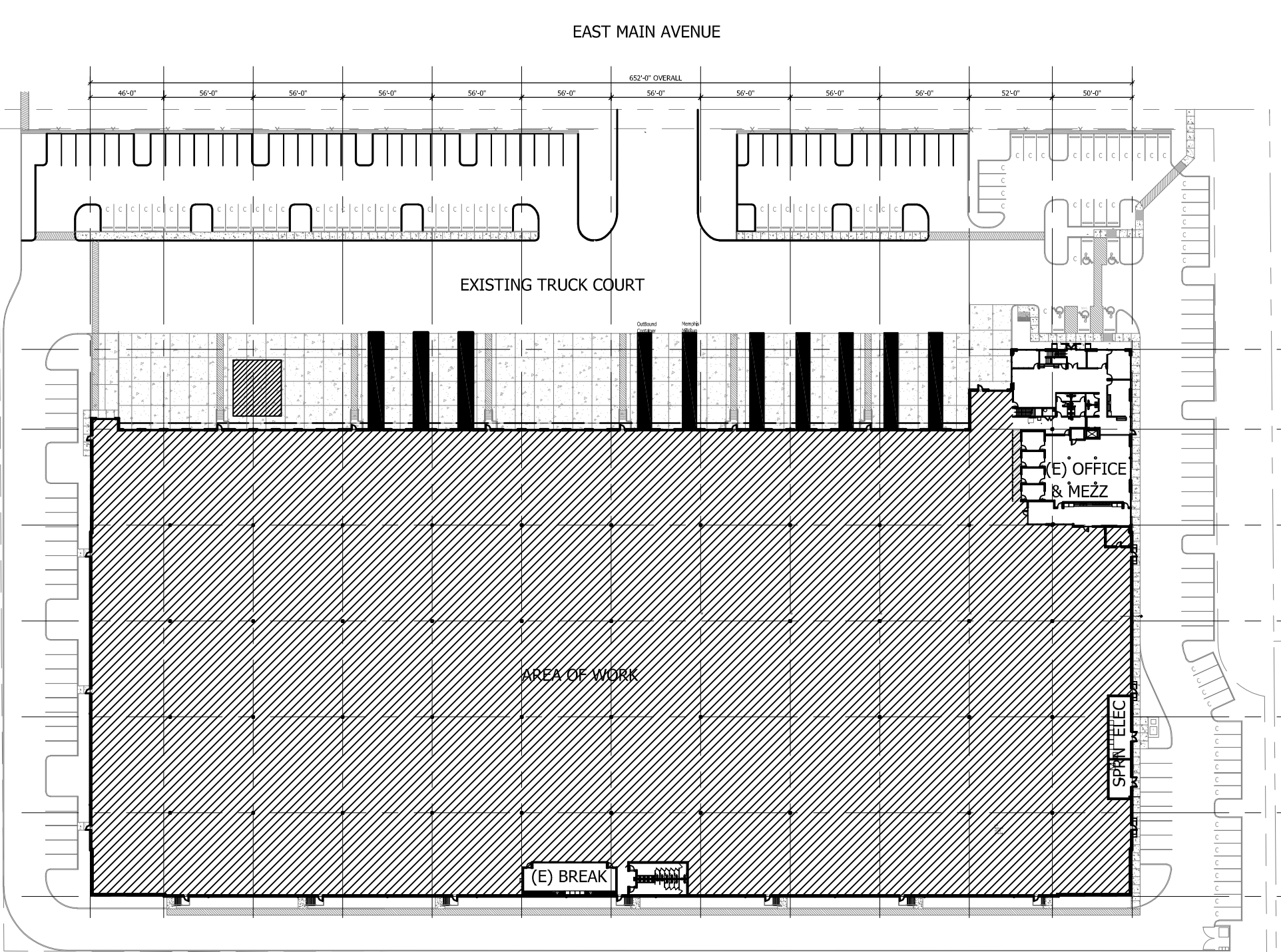
City of Puyallup Development & Permitting Services ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



PROJECT SITE IMAGE FROM PIERCE COUNTY PARCEL VIEWER

2 VICINITY MAP
AN-0 NTS



1 SITE/BUILDING PLAN
AN-0 NTS

DRAWING INDEX				
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE	REVISION ISSUE DATE	DRAWING REVISION NUMBER
GENERAL				
AN-0	COVER SHEET	02/08/2023		
AN-1	LIFE SAFETY PLAN	02/08/2023		
AN-2	GENERAL NOTES AND ABBREVIATIONS	02/08/2023		
ARCHITECTURAL				
A2.1	OVERALL MANUFACTURING SHOP FLOOR PLAN	02/08/2023		
A2.2	ENLARGED SHOP FLOOR PLAN - WEST	02/08/2023		
A2.3	ENLARGED SHOP FLOOR PLAN - EAST	02/08/2023		
MODULAR WALL SYSTEM				
BUILDING 2				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
S-4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 3				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
S-4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
A-2	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 4				
N-1	COVER SHEET	09/27/2022		
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S-4	REFLECTED CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 5				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BUILDING LAYOUTS	09/27/2022		
S-3	BUILDING LAYOUTS	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
BUILDING 6				
N-1	COVER SHEET	09/27/2022		
S-1	FLOOR PLAN AND ELEVATIONS	09/27/2022		
S-2	BASE CHANNEL LAYOUT	09/27/2022		
S-3	TOP CHANNEL LAYOUT	09/27/2022		
S-4	ROOF SUPPORT STEEL LAYOUT	09/27/2022		
S-5	B-DECK ROOF LAYOUT	09/27/2022		
S-6	REFLECTED DROP CEILING LAYOUT	09/27/2022		
A-1	BUILDING ATTACHMENTS	09/27/2022		
A-2	BUILDING ATTACHMENTS	09/27/2022		

PROJECT DIRECTORY

CLIENT: RED DOT CORPORATION
 ATTN: TODD THURNAU
 495 ANDOVER PARK EAST
 TUKWILA, WA 98188
 TEL: 206.394.3527
 EMAIL: TODDTHURNAU@REDDOTCORP.COM

ARCHITECT: NELSON WORLDWIDE
 ATTN: MARK EVANS
 1200 FIFTH AVE, #1300
 SEATTLE, WA 98101
 TEL: 206.408.8519
 EMAIL: MEVANS@NELSONWW.COM

STRUCTURAL: AHBL, INC
 ATTN: DREW McEACHERN
 2215 NORTH 30TH ST, SUITE 300
 TACOMA, WA 98403
 TEL: 253.383.2422
 EMAIL: DMCEACHERN@AHBL.COM

GENERAL CONTRACTOR: POE CONSTRUCTION
 ATTN: CLAY JOHNSON
 1519 WEST VALLEY HIGHWAY NORTH, CUTE 103
 AUBURN, WA 98001
 TEL: 206.406.3422
 EMAIL: APFLUEGER@AHBL.COM

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE (IBC)
 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 2018 INTERNATIONAL FIRE CODE (IFC)
 2018 UNIFORM PLUMBING CODE (UPC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
 2018 NATIONAL ELECTRICAL CODE (NEC)
 2018 WASHINGTON STATE AMENDMENTS
 2018 WASHINGTON STATE ENERGY CODE
 2017 ICC/ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 2018 IBC SECTION 429 WASHINGTON STATE AMENDMENTS

PARKING REQUIREMENTS

	TOTAL (SF)	RATIO	STALLS REQ'D	ADA STALLS REQ'D	STALLS PROVIDED	ADA STALLS PROVIDED
MANUFACTURE/BREAK	19,340	1/500	39			
OFFICE NEW & EXIST	15,064	1/300	51			
TESTING/PROTOTYPE	14,511	1/1,000	15			
STORAGE/CIRCULATION	151,774	1/3,000	51			
TOTAL	200,689		156	6	190	5


THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

City of Puyallup Building ACCEPTED

JMontgomery
02/16/2023
7:10:05 AM



BUILDING INFORMATION

SITE ADDRESS: 2504 EAST MAIN AVENUE
 PUYALLUP, WA 98372

PARCEL NUMBER: 0420264065

LEGAL DESCRIPTION: SECTION 26 TOWNSHIP 20 RANGE 04 QUARTER 31 LOT COMB 2020-09-17-0229 BEG AT NE COR OF ACKERSONS 2ND ADD ON E L OF R. NIX DLC TH N 88 DEG 50 MIN 04 SEC W 800 FT TH N 00 DEG 30 MIN 31 SEC E 532.66 FT TH S 89 DEG 01 MIN 50 SEC E 799.95 FT TH S 00 DEG 30 MIN 22 SEC W 535.4 FT TO POB EASE OF REC COMB OF 04-20-26-3-700 & 4-038 SEG 2021-0156 JP 09/30/20 JP

ZONING: ML LIMITED MANUFACTURING

CONSTRUCTION TYPE: IIIIB

FIRE PROTECTION: FULLY SPRINKLERED

BUILDING TOTAL FLOOR AREA: 198,146 SF

OCCUPANCY TYPE: F-1 (MANUFACTURING) / B (OFFICE)

PROPOSED SUITE AREA:
 4,297 SF OFFICE (NEW) (B)
 4,829 SF MEZZANINE OFFICE (NEW) (B)
 3,220 SF OFFICE (EXISTING) (B)
 2,718 SF MEZZANINE OFFICE (EXISTING) (B)
 185,625 SF MANUFACTURING (F-1)
 200,689 SF TOTAL

PROJECT DESCRIPTION

INSTALLATION OF MANUFACTURING EQUIPMENT AND MACHINES, CRANE STRUCTURE, ASSEMBLY AND TESTING WORK STATIONS AND STORAGE RACKING WITHIN AN EXISTING WAREHOUSE BUILDING. THIS SUBMITTAL IS SPECIFICALLY FOR INSTALLATION OF THE FOLLOWING FIVE (5) DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLIES BY PANEL BUILT, INC.: MOD 2 - QA OFFICE, MOD 3 - DETAILED ASSEMBLY ROOM, MOD 4 AND MOD 6 - ENGINEERING TEST OFFICES, AND MOD 5 - CONTROL ROOMS.

DEFERRED SUBMITTALS

FIRE SPRINKLER, FIRE ALARM, GENERATOR, EMERGENCY RADIO, STORAGE TANKS, RACKING, FIRE SUPPRESSION FOR SPRAY BOOTH, BUILDING SIGNS, MODULAR UNITS.

LIGHTING REQUIREMENTS

SCOPE OF WORK TO MEET OR EXCEED CURRENT WA STATE LIGHTING REQUIREMENTS.

ENERGY REQUIREMENTS

SCOPE OF WORK TO MEET OR EXCEED CURRENT WA STATE ENERGY REQUIREMENTS.

SHELL IS A SEMI-HEATED BUILDING AS DEFINED BY THE 2015 WASHINGTON STATE ENERGY CODE. WAREHOUSE SPACE TO BE HEATED BY GAS FIRED UNIT HEATERS WITH A MAXIMUM OUTPUT OF 8 BTUH/SF; COOLING IS NOT PROVIDED. OFFICE SPACE TO BE FULLY CONDITIONED.

NEW DEMISING WALL BETWEEN CONDITIONED / SEMI-CONDITIONED SPACES MEETS WSEC PRESCRIPTIVE STANDARD, SEE 3/AS.1.

ROOF: CALCULATED RIGID INSULATION VALUE: R-35, CONTINUOUS ABOVE DECK.

SLAB INSULATION IS EXCLUDED.

ENERGY CODE COMPLIANCE (EXISTING BUILDING)

THE EXISTING BUILDING IS SEMI-HEATED WAREHOUSE DESIGNED AND APPROVED PER THE 2015 WASHINGTON STATE ENERGY CODE. THIS TENANT IMPROVEMENT INCLUDES FULL CONDITIONING OF OFFICE AREAS AND REMOTE WAREHOUSE BREAKROOM AND RESTROOM AREAS IN COMPLIANCE WITH THE 2018 WASHINGTON STATE ENERGY CODE, COMMERCIAL PROVISIONS, USING THE COMPONENT PERFORMANCE APPROACH. SEE ENVELOPE SUMMARY ON ENERGY CODE COMPLIANCE SHEET AN-4 FOR ADDITIONAL INFORMATION.

HEATING: OFFICE AREAS TO BE HEATED BY FORCED AIR HVAC SYSTEM BY DESIGN BUILD CONTRACTOR (DEFERRED SUBMITTAL)

ROOF INSULATION: EXISTING RIGID INSULATION VALUE: R-35, CONTINUOUS ABOVE DECK
 R=21, U=0.090

WALLS TO 12'-0" AFF: R=25, U=0.038

WALLS TO 12'-0" AFF TO ROOF: NO INSULATION

SLAB ON GRADE: U= 0.37 MAX

HM MAN DOORS: MIN R= 17.5, U= 0.057

ROLL-UP DOORS: U= 0.38 MAX, SHGC= 0.40 MAX

VERTICAL FENESTRATION, FIXED: U= 0.38 MAX, SHGC= 0.40 MAX

STOREFRONT ENTRANCES: U= 0.60 MAX, SHGC= 0.40 MAX

SKYLIGHTS: U= 0.50, SHGC= 0.35

COVID-19 DRAWING DISCLAIMER

THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19.

CLIENT: 

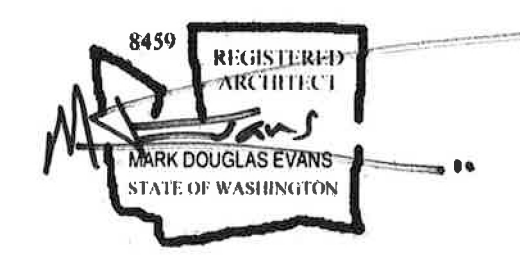
RED DOT CORPORATION
 495 ANDOVER PARK EAST
 TUKWILA, WA 98188

PROJECT: RED DOT SHOP TI MODULAR WALL UNITS

2504 EAST MAIN AVENUE
 PUYALLUP, WA 98372

Description:	No:	Date:
PERMIT SUBMITTAL	12/22/2022	
PERMIT RESUBMITTAL	02/03/2023	
MODULAR WALL UNITS	02/08/2023	

SEAL:



CITY STAMP:

GENERAL INFORMATION AND SITE PLAN

Proj. No: 21.0000440.000 Reviewed By:

GENERAL NOTES

- GC TO PROVIDE REQUIRED PORTABLE FIRE EXTINGUISHERS IN OCCUPANCIES AND LOCATIONS AS REQUIRED PER SECTION 906 IN THE INTERNATIONAL FIRE CODE. MOUNTING HEIGHTS TO MEET THE PROVISIONS OF ANSI A117.1 - 308 (48" MAX). CABINET SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, CORRIDORS, PASSAGEWAYS, OR AISLES. LOCATE CABINET(S) 75-FOOT MAXIMUM TRAVEL DISTANCE TO REACH THE EXTINGUISHER, (1) 2A EXTINGUISHER TO COVER MAXIMUM FLOOR AREA OF 3,000 SF. LOCATIONS TO BE REVIEWED WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION.
- CENTER LOCATION OF NEW WALL CONSTRUCTION ON EXISTING COLUMNS, PIER, JOISTS OR WINDOW MULLION, AS SHOWN.

EGRESS CODE SUMMARY

- A. MAX. TRAVEL DISTANCE B OCCUPANCY: 300' W/ SPRINKLERS (TABLE 1017.2)
MAX. TRAVEL DISTANCE F-1 AND S-1 OCCUPANCY: 400' (SEC 1017.2.2)
1. ONE STORY HEIGHT (YES SEE 4/AB.1)
2. 24" MIN. CLEAR HEIGHT (32" PROVIDED)
3. FULLY SPRINKLERED
- B. MAX. COMMON PATH OF EGRESS TRAVEL: 100' (TABLE 1006.2.1)
MAX. COMMON PATH OF EGRESS TRAVEL: 75' (>30 OL WITHOUT SPRINKLERS) (TABLE 1006.2.1)

OCCUPANT LOAD:

(IBC 1004.1 TABLE 1004.1.2)

ASSEMBLY (SHOP BREAKROOM) - A-2 (NEW)	1,160 SQ FT / 15 = 78
ASSEMBLY (CONFERENCE, BREAKROOM) - B (NEW)	1,146 SQ FT / 15 = 77
1ST FLOOR OFFICE - B (NEW)	3,551 SQ FT / 150 = 24
MEZZANINE OFFICE - B (NEW)	4,429 SQ FT / 150 = 30
OFFICE - B (EXISTING)	5,938 SQ FT / 150 = 40
MANUFACTURING & TESTING - F-1 (NEW)	32,691 SQ FT / 200 = 164
TEMPORARY STORAGE & CIRCULATION - F-1 (NEW)	151,774 SQ FT / 500 = 304
TOTAL	200,689 SQ FT = 717

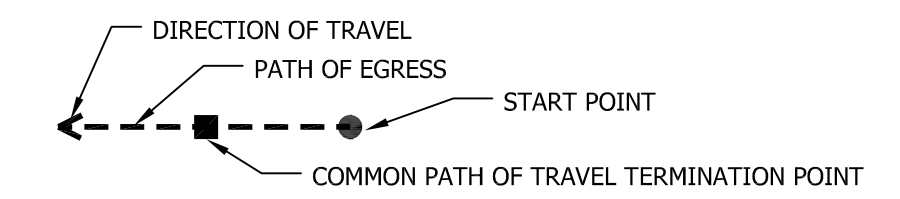
EXIT REQUIREMENTS:

(IBC 1006 TABLE 1006.2.1 & 1006.3.1)

	NUMBER REQ'D	NUMBER PROVIDED
OFFICE	2	2
WAREHOUSE	2	6

LEGEND

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXIT SIGN: INTERNALLY ILLUMINATED EXIT SIGNAGE W/ BATTERY BACKUP PER IBC SECTION 1013, CONFIRM OPERATION OF EXISTING. ADD NEW WHERE NOT EXISTING. ARROW = DIRECTION INDICATOR, IF REQUIRED. PROVIDE TACTILE EXIT SIGN ADJACENT TO EACH EXIT DISCHARGE DOOR COMPLYING WITH ICC A117.1, AS SUMMARIZED ON 703/AN-3. ADD NEW WHERE NOT EXISTING.
- NOTE: EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR IS MORE THAN 100' OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS.
- FIRE: EXISTING FIRE DEPARTMENT ACCESS DOOR PROVIDED AT INTERVALS LESS THAN 100' SPACING AROUND PERIMETER OF BUILDING
- F.E.: SURFACE MOUNTED FIRE EXTINGUISHER



KEY NOTES

- EXISTING ACCESSIBLE ENTRANCE/EXIT
- EXISTING CONDITIONED OFFICE SPACE
- EXISTING TRUCK COURT
- TAPED CIRCULATION/EGRESS AISLE, 6' WIDE UNO.
- TAPED CIRCULATION/EGRESS AISLE, 12' WIDE
- DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLY PER SHOP DRAWINGS BY PANEL BUILT INC.
- POWDER COAT PAINT BOOTH AND CONVEYER ASSEMBLY UNDER SEPARATE PERMIT
- GASKET SHELVING, MAXIMUM 5' HIGH UNDER SEPARATE PERMIT
- CHAIN LINK FENCING
- NEW FOUNDATION AND SLAB UNDER SEPARATE PERMIT
- NEW CRANE FOUNDATIONS (6) UNDER SEPARATE PERMIT
- NEW SLAB SAW CUT ISOLATION JOINTS UNDER SEPARATE PERMIT
- RACKING UNDER SEPARATE PERMIT

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

CLIENT:



RED DOT CORPORATION
495 ANDOVER PARK EAST
TUKWILA, WA 98188

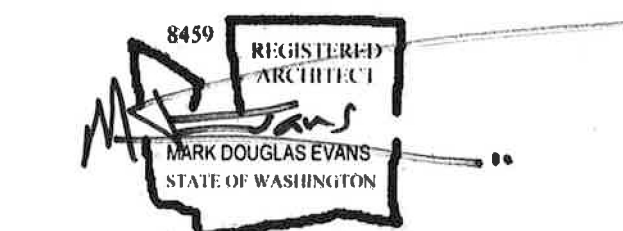
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RED DOT SHOP TI MODULAR WALL UNITS

2504 EAST MAIN AVENUE
PUYALLUP, WA 98372

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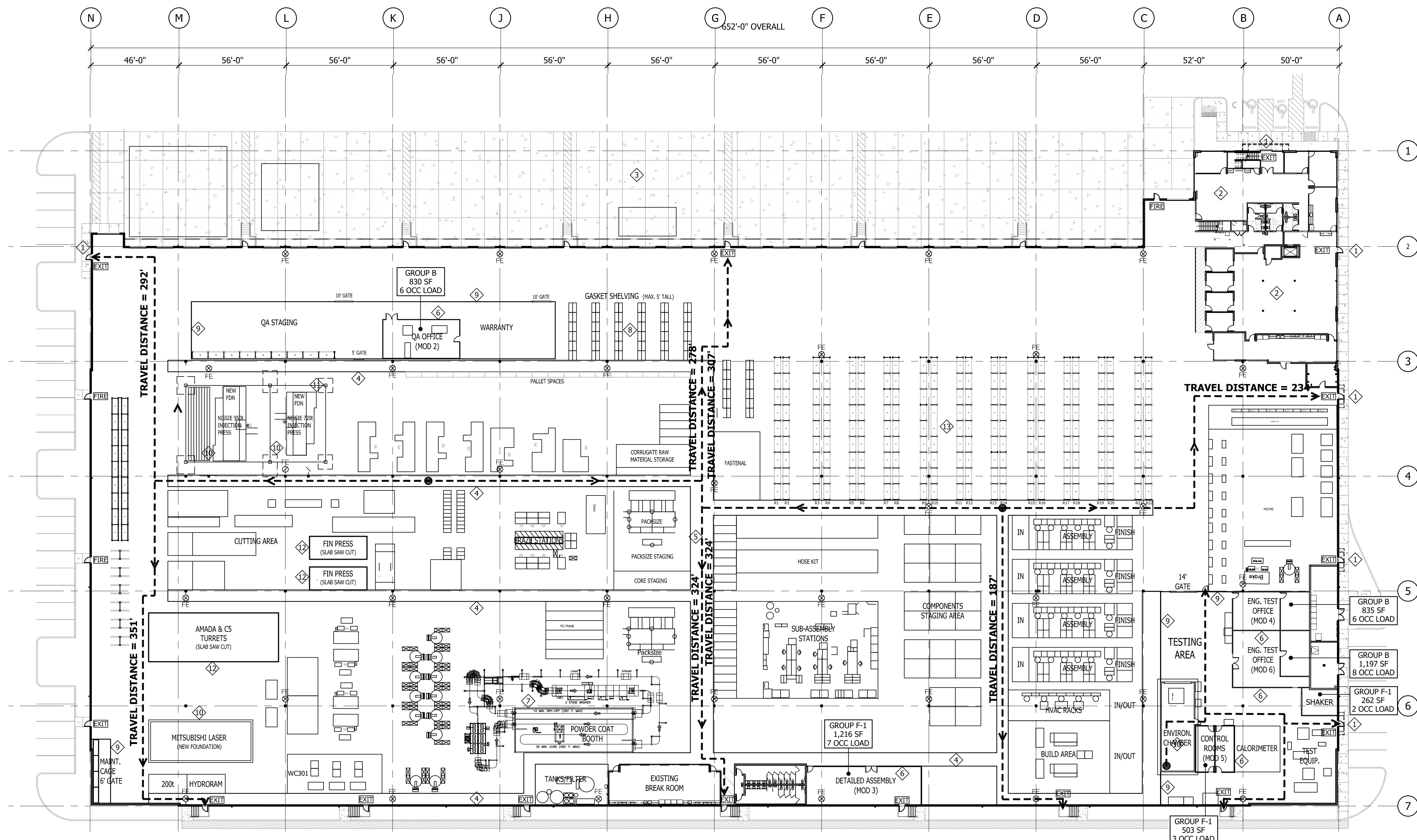
SEAL:



CITY STAMP:

LIFE SAFETY PLAN

Proj. No: 21.0000440.000 Reviewed By:



LIFE SAFETY PLAN
1 AN-1
1" = 30'-0"

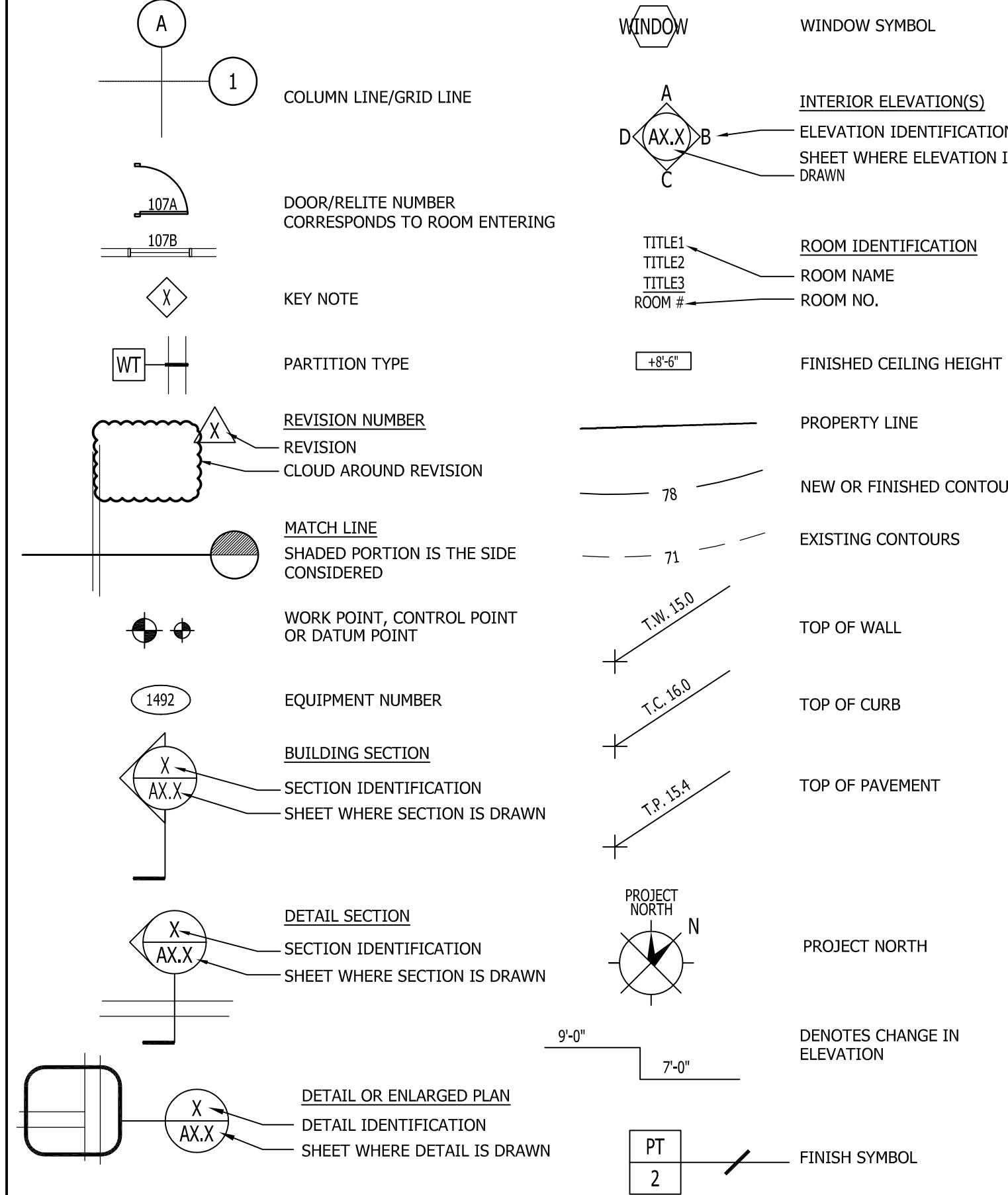
GENERAL NOTES

THE WORK SHALL CONFORM TO THE APPLICABLE BUILDING CODE AND OTHER ORDINANCES, CODES AND REGULATIONS LISTED IN THE SPECIFICATIONS OR IN THE DRAWINGS, AND REQUIRED BY LOCAL BUILDING AUTHORITIES. THE GOVERNING CODES, RULES AND REGULATIONS ARE COLLECTIVELY REFERRED TO AS "THE CODE." THE CONTRACTOR SHALL REPORT ANY INCONSISTENCIES, CONFLICTS OR OMISSIONS DISCOVERED TO THE ARCHITECT FOR INTERPRETATION PRIOR TO PERFORMING THE WORK...

SEPARATE PERMITS, WHEN REQUIRED AND/OR WHEN WORK ITEMS ARE DESIGNATED IN NATURE, SHALL BE OBTAINED BY THE CONTRACTOR FOR MECHANICAL, PLUMBING, FIRE SPRINKLERS, ELECTRICAL, AND FIRE ALARM INFORMATION SHALL BE PROVIDED FOR REVIEW BY THE REGULATING AUTHORITIES AND BY THE OWNER/ARCHITECT FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED...

UPON SUBSTANTIAL COMPLETION OF WORK THE CONTRACTOR SHALL PREPARE A "PUNCHLIST" OF CORRECTIONS AND UNSATISFACTORY OR INCOMPLETE WORK FOR REVIEW BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN AT THE SITE, ONE RECORDED COPY OF ALL DRAWINGS, PERMITS, SUBMITTALS AND SAMPLES ON WHICH TO RECORD ALL CHANGES DURING CONSTRUCTION...

SYMBOLS



PRCTI20230167

ABBREVIATIONS

Table listing abbreviations for materials (e.g., ANGLE, CENTER LINE, DIAMETER OR ROUND), construction elements (e.g., ANCHOR BOLT, AC, ACJ), and other terms (e.g., PS, PSF, PSI, PTD).

NELSON

Nelco Architecture, Inc. 1200 Fifth Ave. Suite 1300 Seattle, WA 98101 Phone: (206) 408-8500 www.nelsonworldwide.com

City of Puyallup Development & Permitting Services ISSUED PERMIT. Grid showing Building, Planning, Engineering, Public Works, Fire, and Traffic.

RedDOT CORPORATION logo and address: 495 ANDOVER PARK EAST TUKWILA, WA 98188

Red Dot Shop TI Modular Wall Units. Description: 2504 EAST MAIN AVENUE PUYALLUP, WA 98372

Table with columns: Description, No., Date. Rows include Permit Submittal (12/22/2022), Permit Resubmittal (02/03/2023), and Modular Wall Units (02/08/2023).

Red Dot Shop TI logo and address: 2504 EAST MAIN AVENUE PUYALLUP, WA 98372

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Registered Architect logo for Mark Douglas Evans, State of Washington.

CITY STAMP

GENERAL NOTES & ABBREVIATIONS

Proj. No: 21.0000440.000 Reviewed By:

SHOP PLAN NOTES

THE RED DOT SHOP LAYOUT PLAN INCLUDES THE FOLLOWING CATEGORIES OF USE:

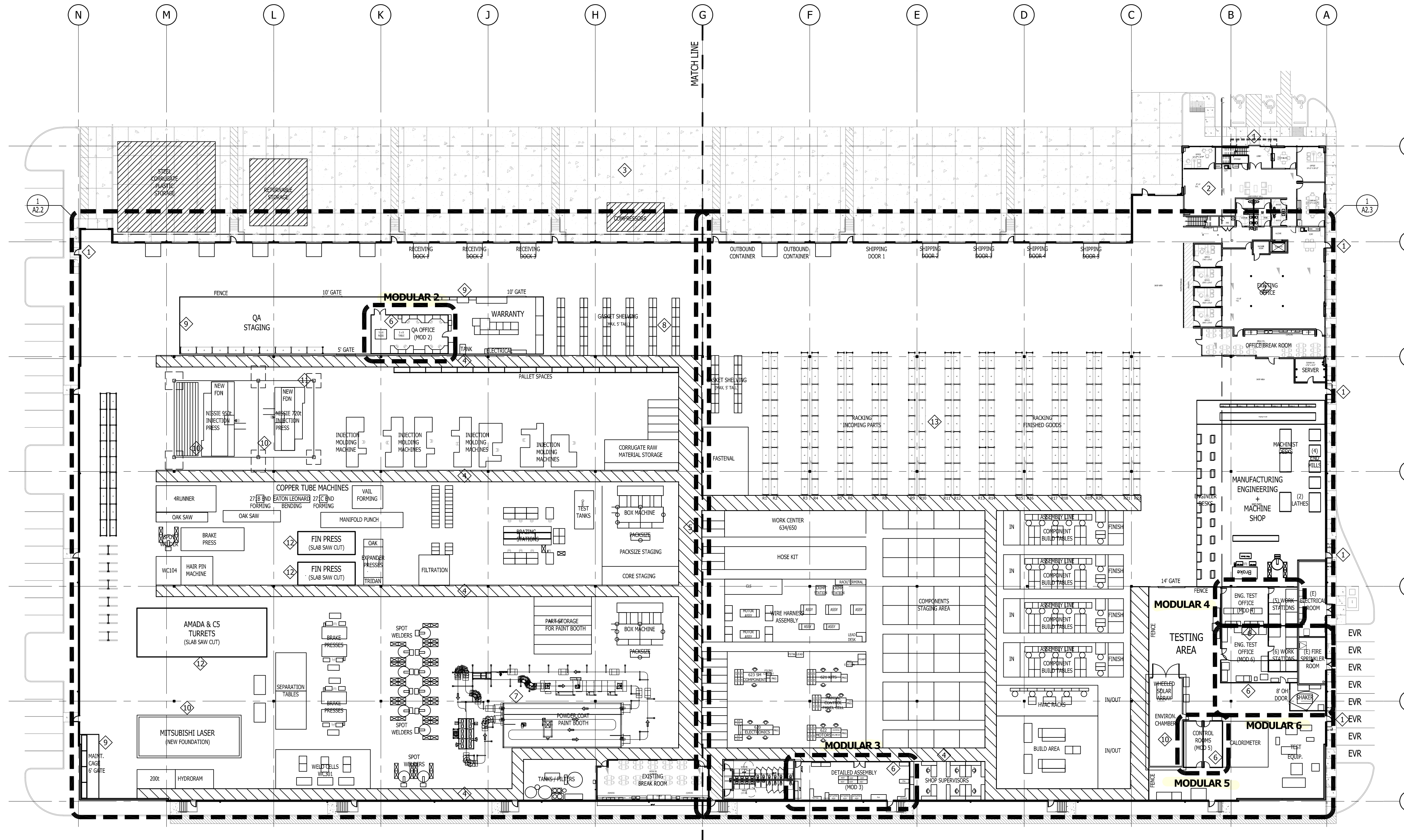
- MANUFACTURING:**
MACHINES AND PROCESSES TO PRODUCE MANUFACTURED PARTS. AREAS INDICATED IN GRAY INCLUDE EQUIPMENT/MACHINE AND OPERATORS TO COMPLETE THE WORK (MANUFACTURING).
- GENERAL CIRCULATION:**
AREA FOR FORKLIFT TRAFFIC, EMPLOYEE WALKWAYS, MOVEMENT OF COMPONENTS FROM ONE WORK CENTER TO THE NEXT (GENERAL CIRCULATION).
- WAREHOUSE STORAGE:**
STORAGE AND RACKING OF FINISHED COMPONENTS (RACKING/STORAGE WAREHOUSE).
- TESTING AND PROTOTYPING:**
TESTING AND PROTOTYPING OF FUTURE MANUFACTURED COMPONENTS. THE TESTING AREA IS WHERE PROTOTYPES WILL BE TESTED TO VERIFY NEW PARTS MEET THE REQUIREMENTS OF CUSTOMERS BEFORE UNITS GO INTO PRODUCTION. THIS IS A COMBINATION OF BENCH TOP TESTING AND COMPLETE VEHICLE TESTING. FOR VEHICLE TESTING, CUSTOMERS SEND A VEHICLE FOR FITTING AND INSTALLATION OF PROTOTYPE UNITS IN THEM TO TEST IN REAL WORK CONDITIONS (TESTING AND PROTOTYPING).

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SHOP PLAN KEY NOTES

- EXISTING ACCESSIBLE ENTRANCE/EXIT
- EXISTING CONDITIONED OFFICE SPACE
- EXISTING TRUCK COURT
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1 A2.1 MANUFACTURING SHOP LAYOUT PLAN
1"=30'-0"

CLIENT:



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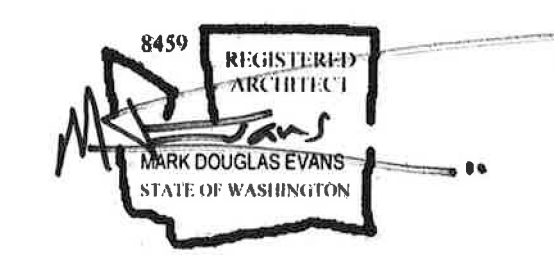
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**MANUFACTURING
SHOP LAYOUT PLAN**

Proj. No: 21.0000440.000 Reviewed By:

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SHOP PLAN NOTES

THE RED DOT SHOP LAYOUT PLAN INCLUDES THE FOLLOWING CATEGORIES OF USE:

- MANUFACTURING:** MACHINES AND PROCESSES TO PRODUCE MANUFACTURED PARTS. AREAS INDICATED IN GRAY INCLUDE EQUIPMENT/MACHINE AND OPERATORS TO COMPLETE THE WORK (MANUFACTURING).
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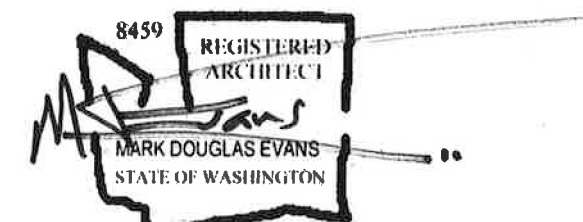
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2504 EAST MAIN AVENUE
PUYALLUP, WA 98372

Description:	No:	Date:
PERMIT SUBMITTAL		12/22/2022
PERMIT RESUBMITTAL		02/03/2023
MODULAR WALL UNITS		02/08/2023

SEAL:

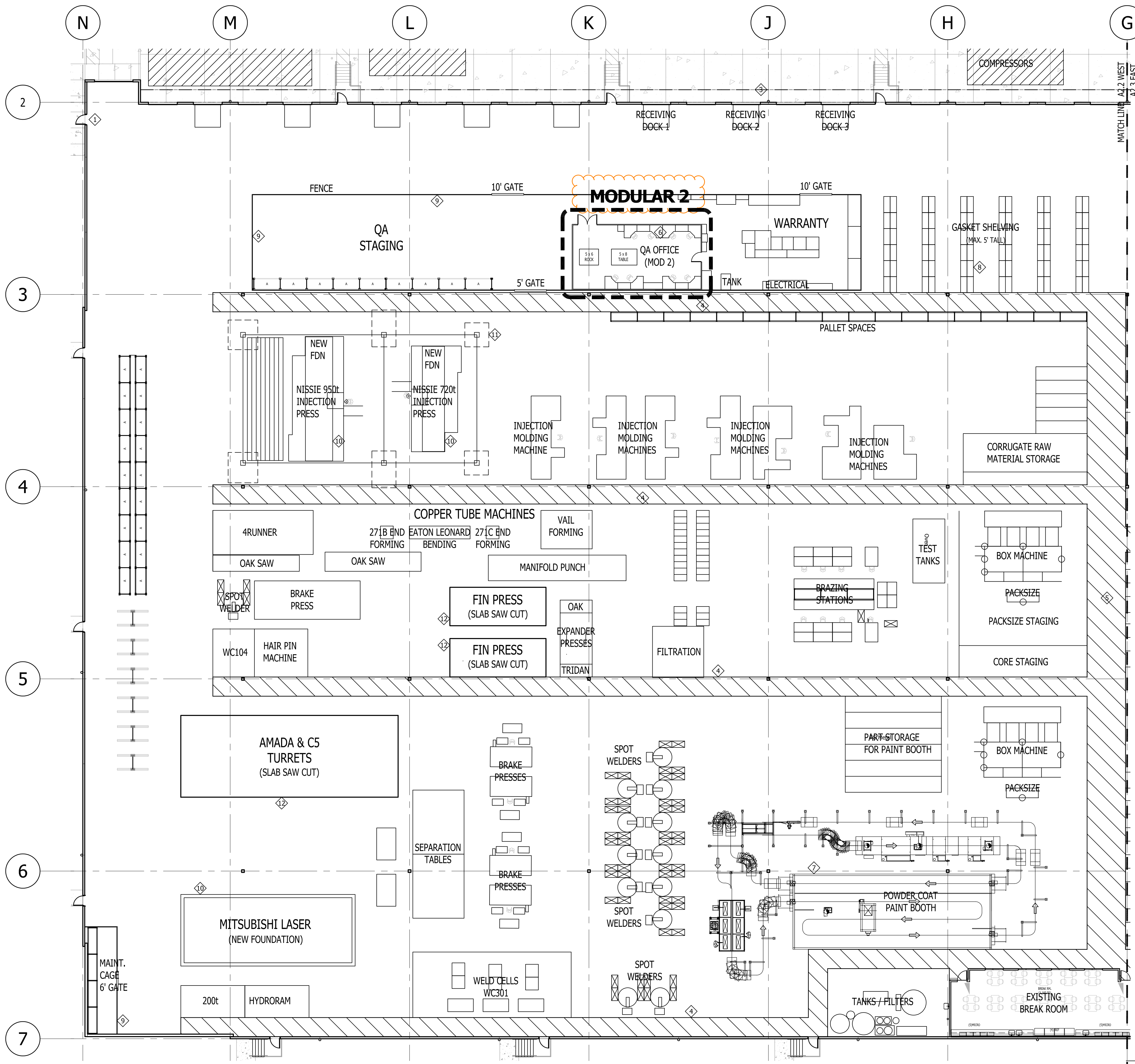


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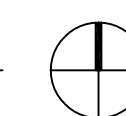
**ENLARGED SHOP
FLOOR PLAN - WEST**

Proj. No: 21.0000440.000 Reviewed By:

A2.2



1
A2.2 ENLARGED SHOP FLOOR PLAN - WEST
1/16"=1'-0"



**City of Puyallup
Development & Permitting Services
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

SHOP PLAN NOTES

THE RED DOT SHOP LAYOUT PLAN INCLUDES THE FOLLOWING CATEGORIES OF USE:

- MANUFACTURING:** MACHINES AND PROCESSES TO PRODUCE MANUFACTURED PARTS. AREAS INDICATED IN GRAY INCLUDE EQUIPMENT/MACHINE AND OPERATORS TO COMPLETE THE WORK (MANUFACTURING).
- GENERAL CIRCULATION:** AREA FOR FORKLIFT TRAFFIC, EMPLOYEE WALKWAYS, MOVEMENT OF COMPONENTS FROM ONE WORK CENTER TO THE NEXT (GENERAL CIRCULATION).
- WAREHOUSE STORAGE:** STORAGE AND RACKING OF FINISHED COMPONENTS (RACKING/STORAGE WAREHOUSE).
- TESTING AND PROTOTYPING:** TESTING AND PROTOTYPING OF FUTURE MANUFACTURED COMPONENTS. THE TESTING AREA IS WHERE PROTOTYPES WILL BE TESTED TO VERIFY NEW PARTS MEET THE REQUIREMENTS OF CUSTOMERS BEFORE UNITS GO INTO PRODUCTION. THIS IS A COMBINATION OF BENCH TOP TESTING AND COMPLETE VEHICLE TESTING. FOR VEHICLE TESTING, CUSTOMERS SEND A VEHICLE FOR FITTING AND INSTALLATION OF PROTOTYPE UNITS IN THEM TO TEST IN REAL WORK CONDITIONS (TESTING AND PROTOTYPING).

SHOP PLAN KEY NOTES

- EXISTING ACCESSIBLE ENTRANCE/EXIT
- EXISTING CONDITIONED OFFICE SPACE
- EXISTING TRUCK COURT
- PAINTED CIRCULATION/EGRESS AISLE, 6' WIDE UNO.
- PAINTED CIRCULATION/EGRESS AISLE, 12' WIDE
- DESIGN/BUILD MODULAR WALL SYSTEM ASSEMBLY PER SHOP DRAWINGS BY PANEL BUILT INC.
- POWDER COAT PAINT BOOTH AND CONVEYER ASSEMBLY UNDER SEPARATE PERMIT
- GASKET SHELVING, MAXIMUM 5' HIGH UNDER SEPARATE PERMIT
- CHAIN LINK FENCING
- NEW FOUNDATION AND SLAB UNDER SEPARATE PERMIT
- NEW CRANE FOUNDATIONS (6) UNDER SEPARATE PERMIT
- NEW SLAB SAW CUT ISOLATION JOINTS UNDER SEPARATE PERMIT
- RACKING UNDER SEPARATE PERMIT

PRCTI20230167

CLIENT:



RED DOT CORPORATION
495 ANDOVER PARK EAST
TUKWILA, WA 98188

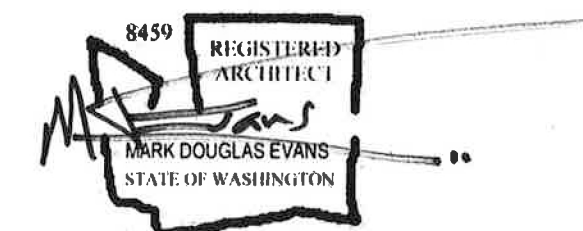
PROJECT:

**RED DOT SHOP T1
MODULAR WALL UNITS**

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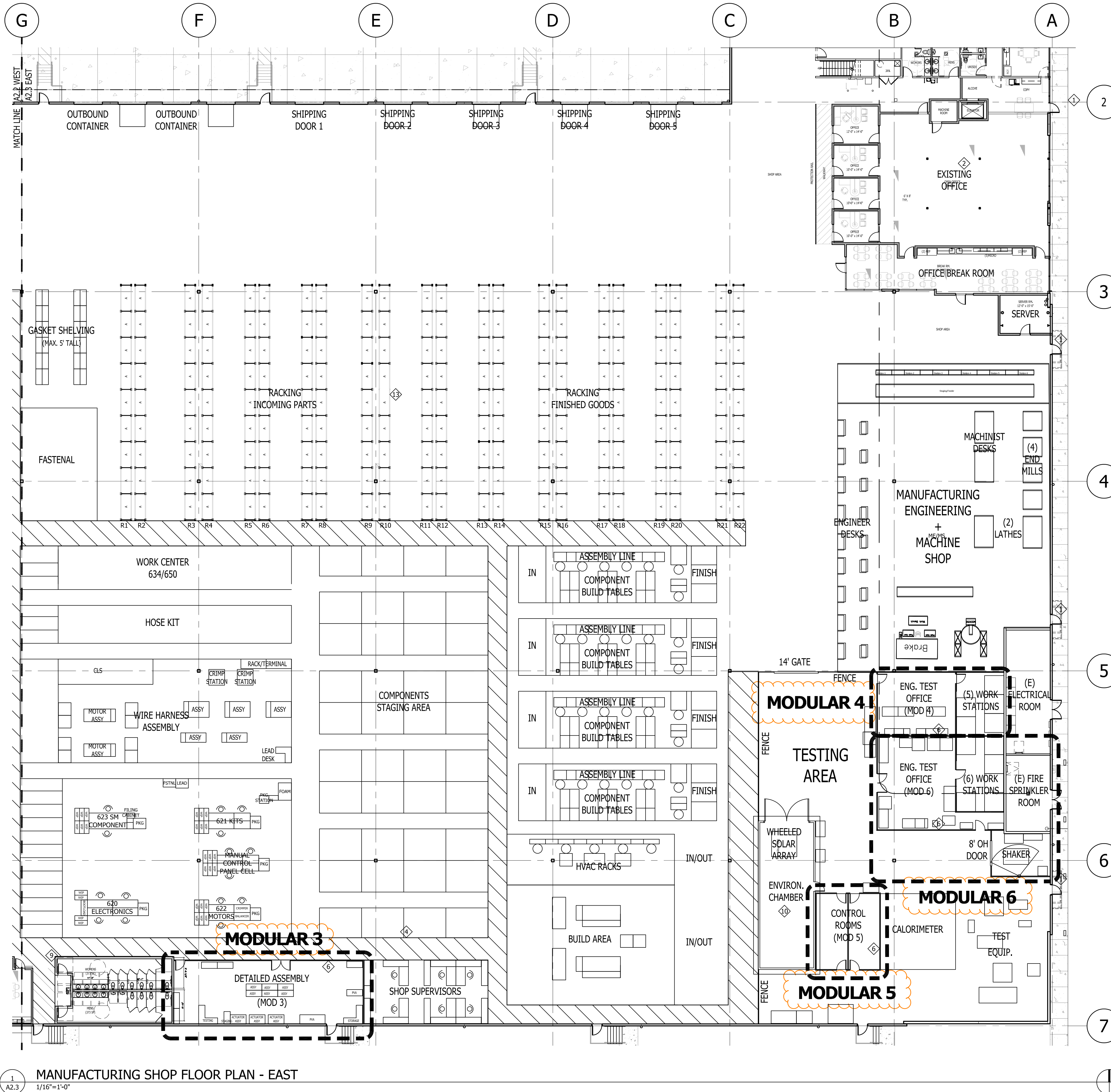
SEAL:



CITY STAMP:

**ENLARGED SHOP
FLOOR PLAN - EAST**

Proj. No: 21.0000440.000 Reviewed By:



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A2.3
MANUFACTURING SHOP FLOOR PLAN - EAST
1/16"=1'-0"