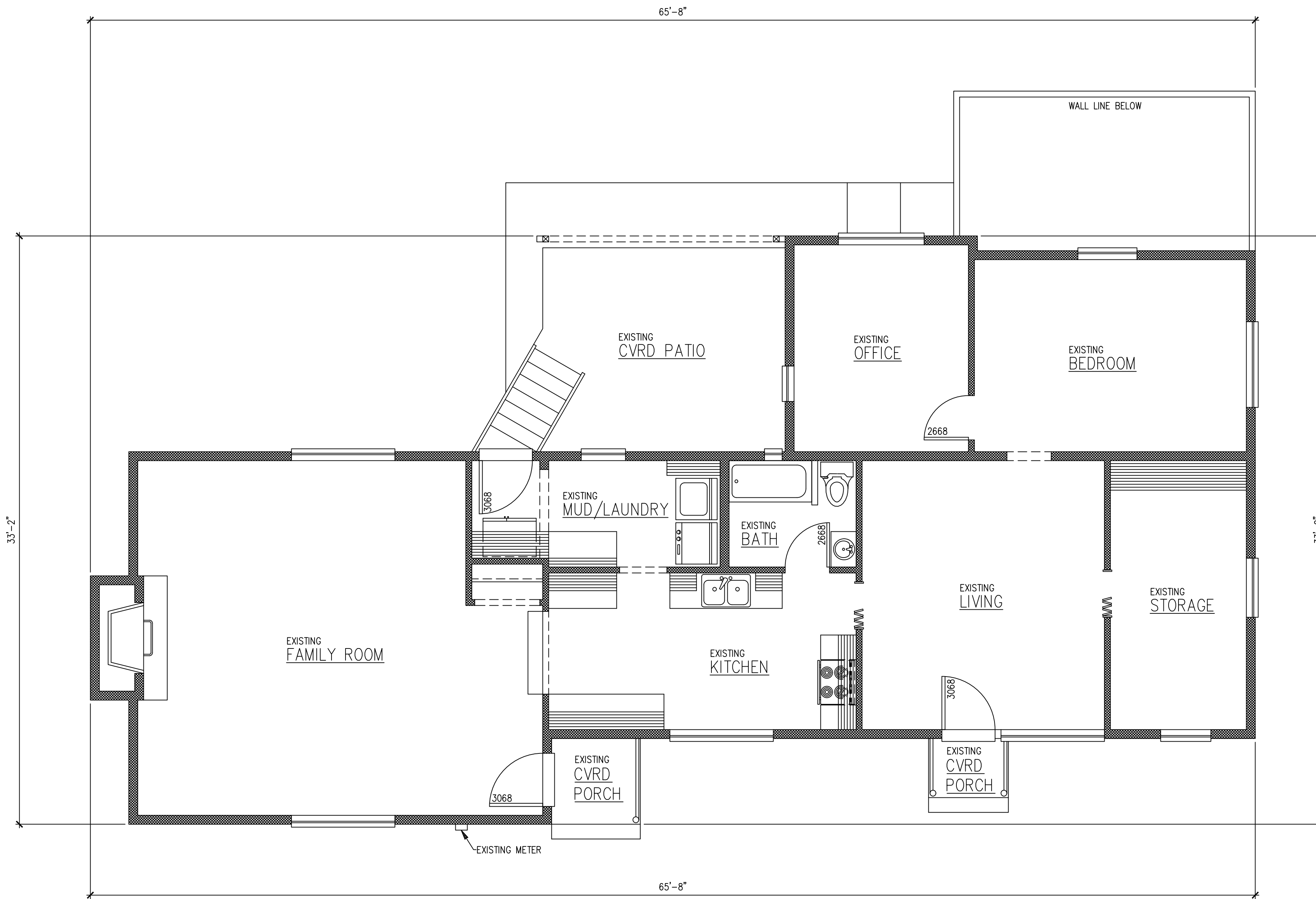


AREA SUMMARY		
MAIN FLOOR:	1,466	SF.
UNFINISHED BASEMENT:	946	SF.
OUTDOOR STORAGE:	168	SF.

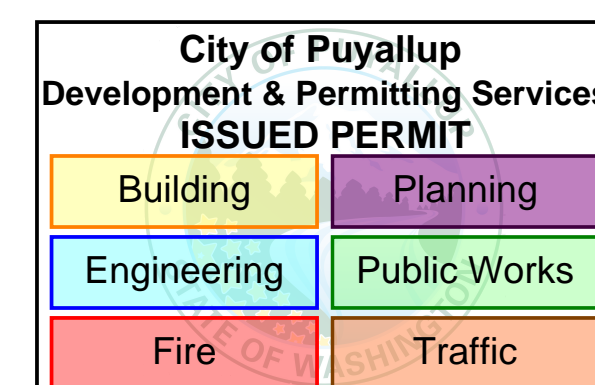


MAIN FLOOR PLAN

© 2022 ESTES DESIGN, LLC

EXISTING

SCALE : 1/4" = 1'-0"



PRRAS20221937

ESTES DESIGN, LLC.
ARCHITECTURAL DRAFTING & RENDERING
EMAIL: estesdesignllc@gmail.com
PHONE: (253) 381-6349

MAIN FLOOR
AS-BUILT

REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE
PUYALLUP, WA 98373

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

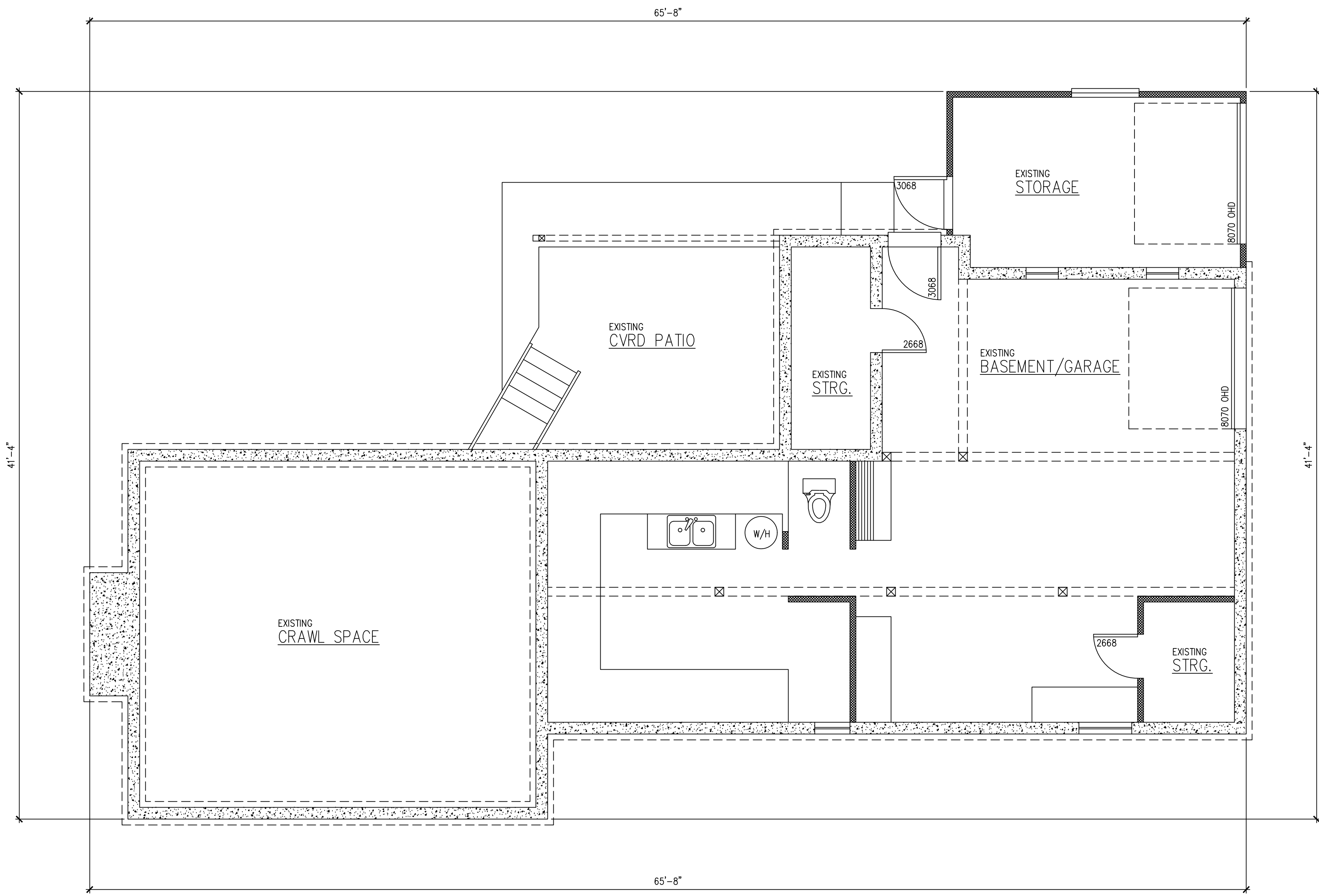
REVISIONS

INT.	DATE	REV.
-	-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT No: 22019

SHEET NO:

A2 / 13



BASEMENT FLOOR PLAN

© 2022 ESTES DESIGN, LLC

EXISTING

SCALE : 1/4" = 1'-0"

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRRAS20221937

ESTES DESIGN, LLC.
 ARCHITECTURAL DRAFTING & RENDERING
 EMAIL: estesdesignllc@gmail.com
 PHONE: (253) 381-6349

BASEMENT
 AS-BUILT

REMODEL & ADDITION TO
 THE LOCKWOOD RESIDENCE
 3305 S FRUITLAND AVE
 PUYALLUP, WA 98373

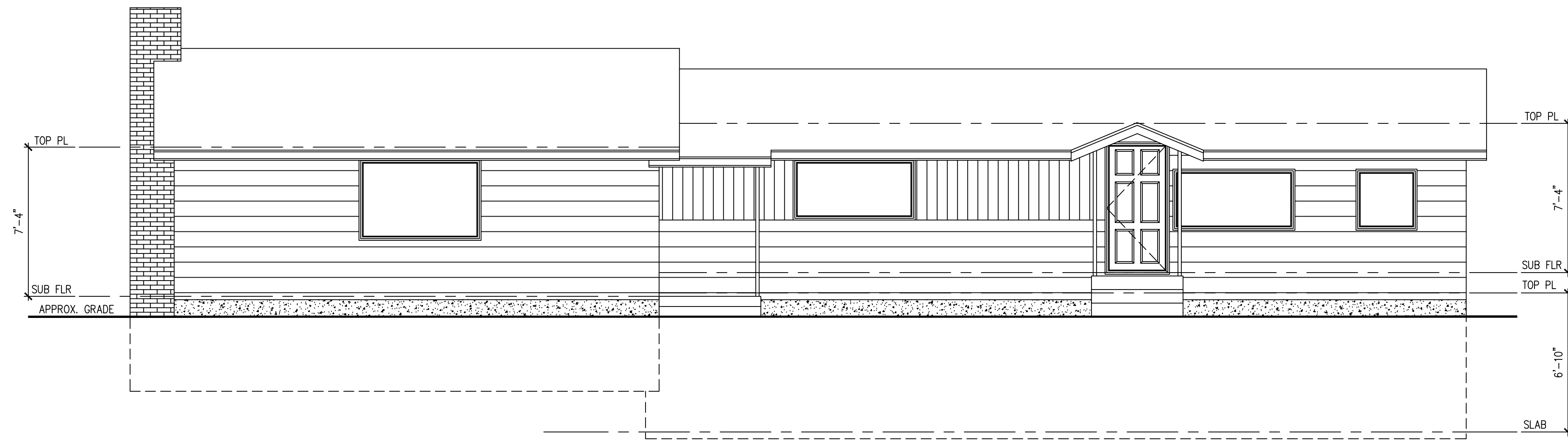
These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT.	DATE	REV.
-	-	-

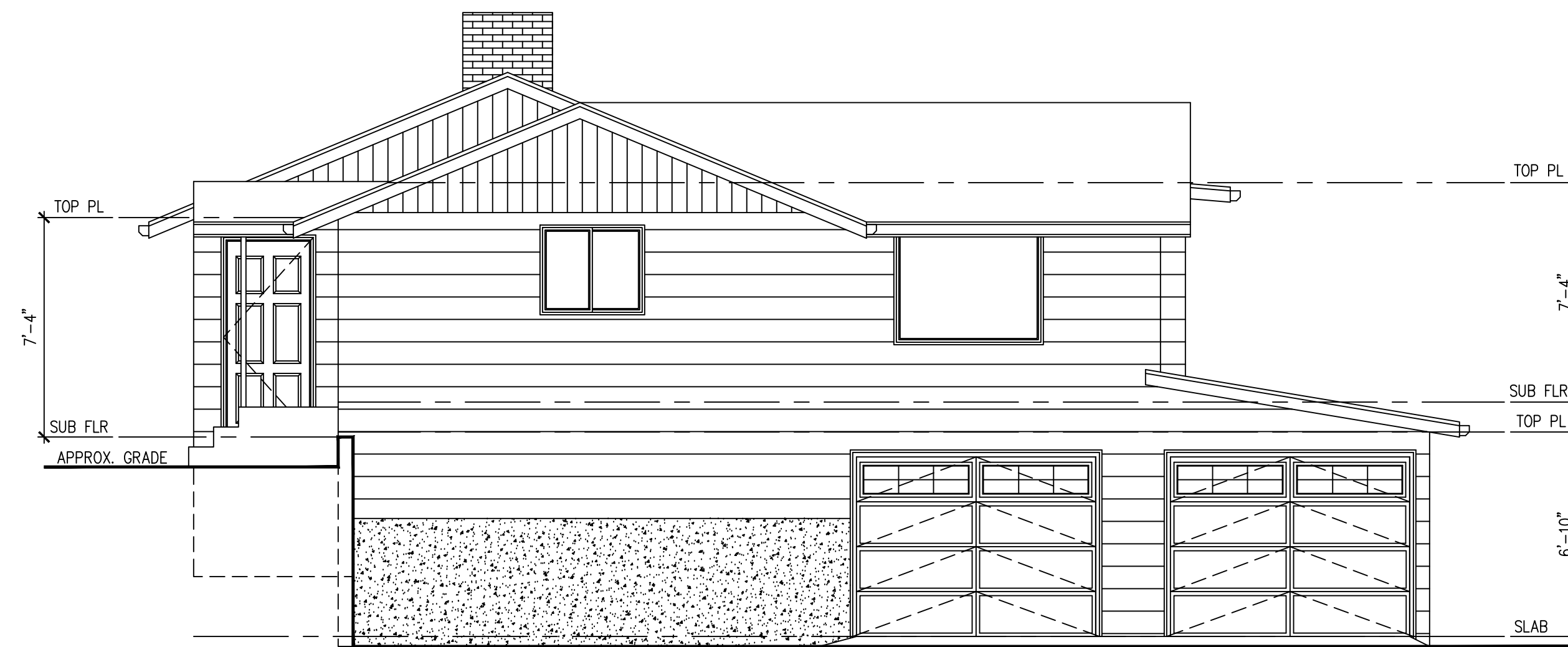
DESIGNER: RE
 DRAFTER: RE
 DATE: 03/29/23
 PROJECT NO: 22019

SHEET NO:
 A3 / 13



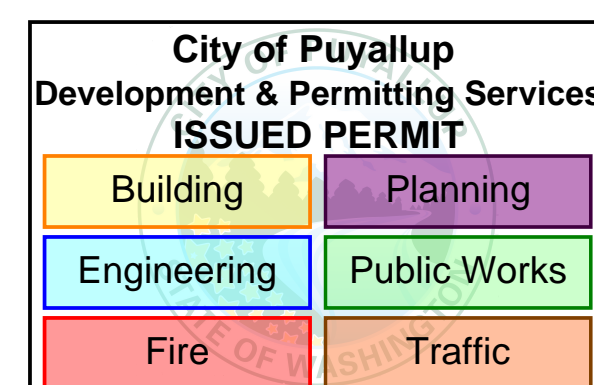
FRONT ELEVATION
© 2022 ESTES DESIGN, LLC

EXISTING
SCALE : 1/4" = 1'-0"



RIGHT ELEVATION
© 2022 ESTES DESIGN, LLC

EXISTING
SCALE : 1/4" = 1'-0"



PRRAS20221937

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

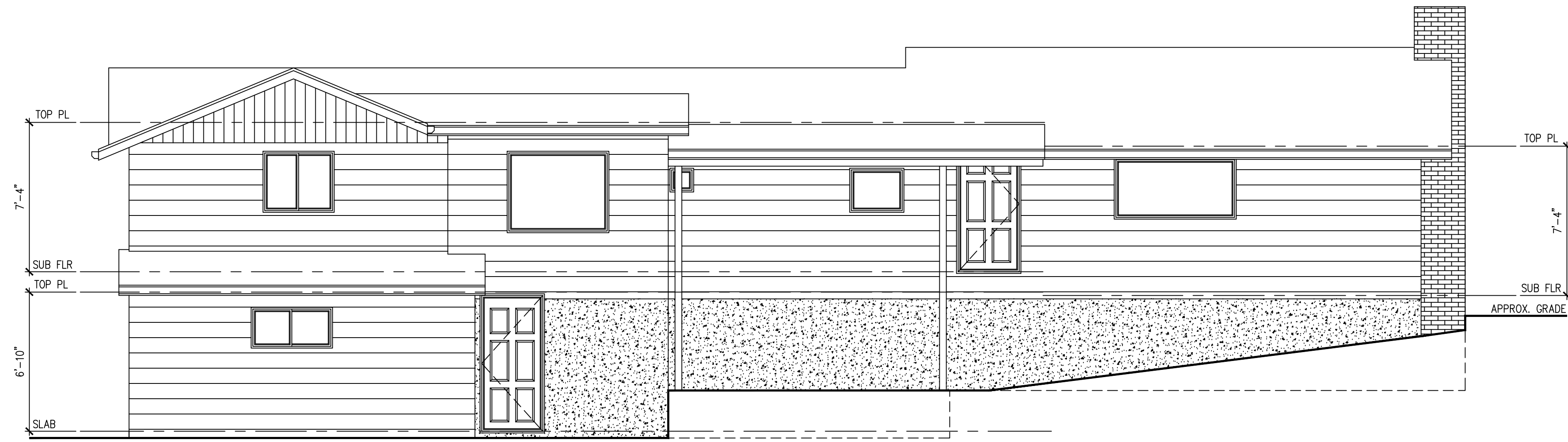
REVISIONS

INT.	DATE	REV.
-	-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT No: 22019

SHEET NO:

A4 / 13

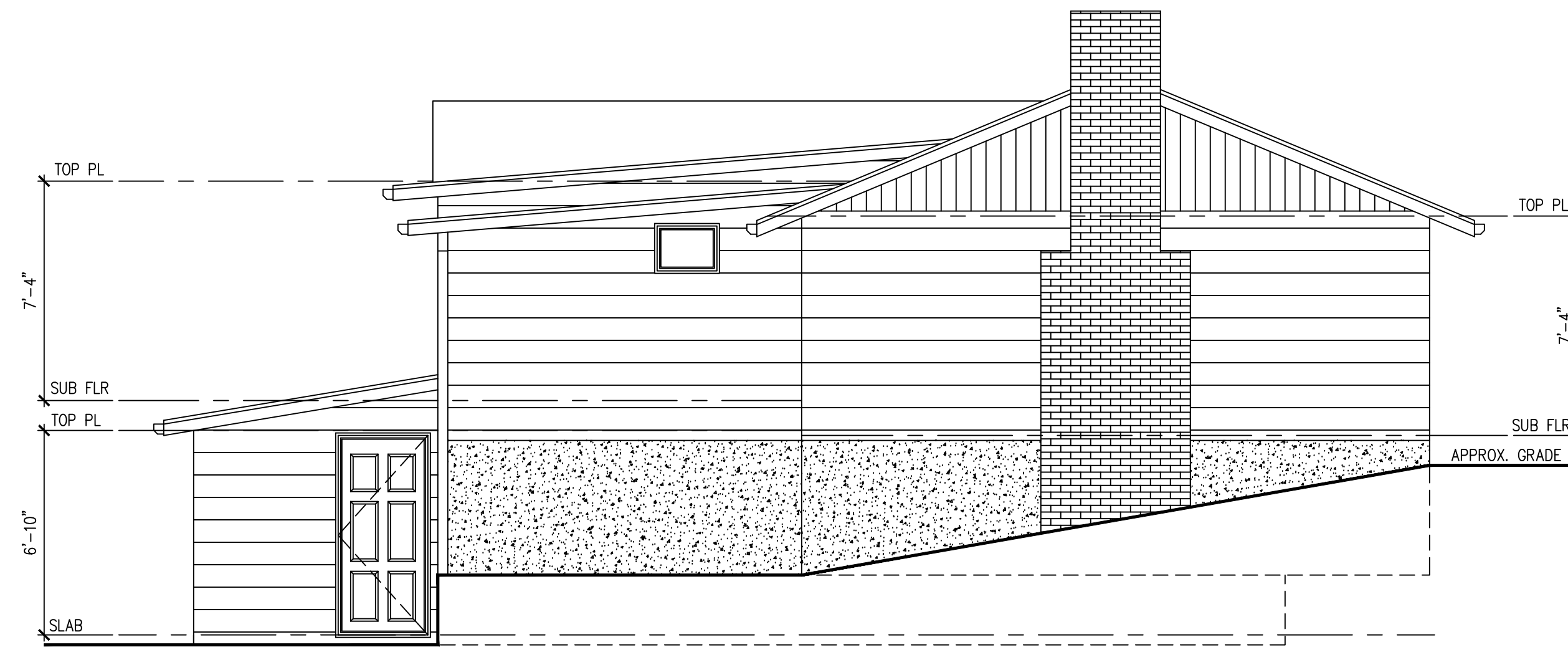


REAR ELEVATION

© 2022 ESTES DESIGN, LLC

EXISTING

SCALE : 1/4" = 1'-0"

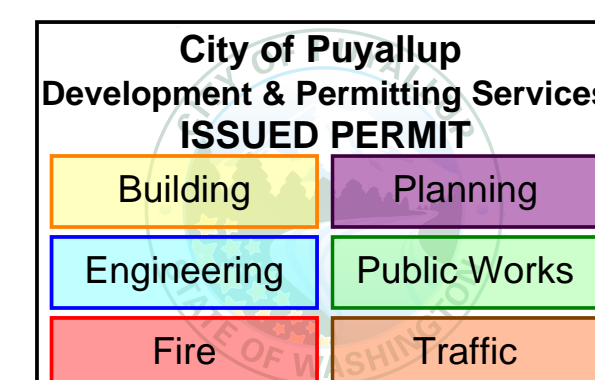


LEFT ELEVATION

© 2022 ESTES DESIGN, LLC

EXISTING

SCALE : 1/4" = 1'-0"



PRRAS20221937

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT.	DATE	REV.
-	-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT No: 22019

SHEET NO:

A5 / 13

NEW CONSTRUCTION NOTES

- ALL DOOR/WINDOW HEADERS TO BE 6X8 DF#2 AT 2X6 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- ALL DOOR/WINDOW HEADERS TO BE 4X10 DF#2 AT 2X4 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.
- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- EXTERIOR WALLS TO BE 2X6 AT 16" (MAX.) O.C. U.N.O.
- INTERIOR PARTITIONS TO BE 2 X 4 AT 16" O.C. (2X6 @ PLUMBING WALLS, U.N.O.)
- DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE MIN. 26 GAGE STEEL
- NO DUCT OPENINGS IN GARAGE
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR, IRC R311.3.2

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

AREA SUMMARY

MAIN FLOOR:	1,853 SF.
LOWER FLOOR:	589 SF.
TOTAL:	2,442 SF.
GARAGE:	791 SF.
GLAZING SUMMARY	
WINDOWS:	166 SF.
DOORS W/ MORE THAN 50% GLAZING:	40 SF.
SKYLIGHTS:	0 SF.
TOTAL:	206 SF.
GLAZING PERCENT:	8.44 % WDW SF / FLR SF. (%)

SMOKE DETECTORS

SD INSTALL SMOKE DETECTORS PER CODE
110V INTERCONNECTED W/ BATTERY BACKUP INSTALLED ON EACH FLOOR, IN EACH SLEEPING AREA, AND OUTSIDE EACH SEPARATE SLEEPING AREA LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72

CARBON MONOXIDE

SD/CM INSTALL SMOKE DETECTOR/ CARBON MONOXIDE ALARM PER CODE
COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARMS: SMOKE ALARM REQUIREMENTS AS LISTED ABOVE, INSTALLED ON EACH FLOOR, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CARBON MONOXIDE ALARMS LISTED AS COMPLYING WITH UL 2075 AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

VENTILATION SCHEDULE

VENTILATION REQUIREMENTS OF IRC TABLE 1506.3

SYMBOL	REQUIREMENT
	KITCHENS 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
	BATHROOMS-TOILET ROOMS & LAUNDRY ROOMS MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
	THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH. SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE, PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(1)

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1507.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(2)

VENTILATION RATE FOR WHOLE HOUSE FAN TO BE 75 AIRFLOW IN CFM PER TABLE M507.3.3 (1) HVAC CONTRACTOR TO SPECIFY LOCATION.

NOTE

REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

NOTE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

ENERGY CREDIT 1.3: - 0.5 CREDIT

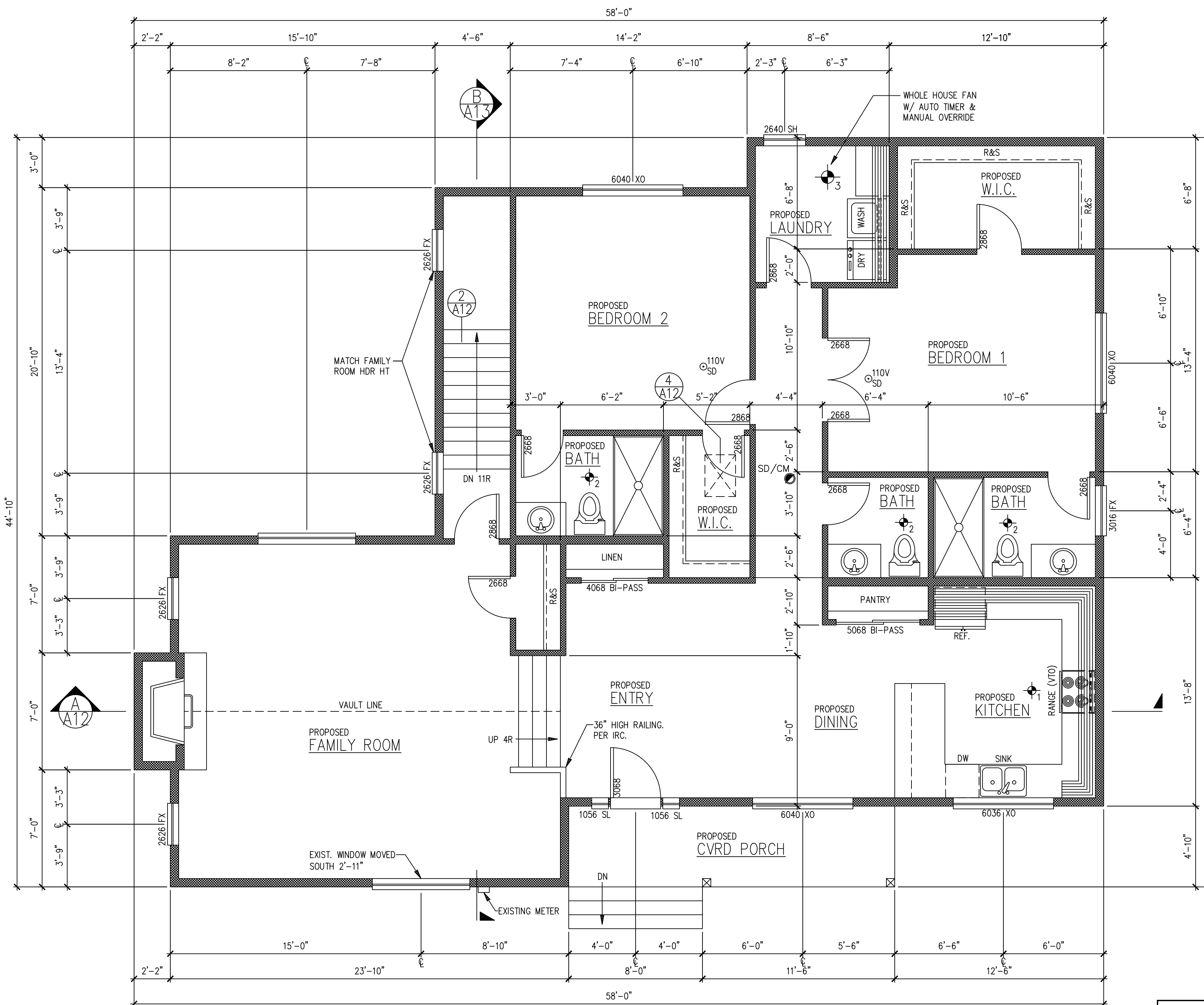
EFFICIENT BUILDING ENVELOPE 1.3:
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:
VERTICAL FENESTRATION U = 0.28
FLOOR: R-38
SLAB ON GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB
SLAB BELOW GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB
OR
COMPLIANCE BASED ON SECTION R402.1.4: REDUCE THE TOTAL CONDUCTIVE UA BY 5%

ENERGY CREDIT 5.5: - 2 CREDITS

EFFICIENT WATER HEATING 5.5:
WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING:
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION OR
FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S), MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS.
IF ONE WATER HEATER IS SERVING MORE THAN ONE DWELLING UNIT, ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED WITH R-8 MINIMUM PIPE INSULATION.

ENERGY CREDIT 7.1: - 0.5 CREDIT

APPLIANCE PACKAGE 7.1:
ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:
DISHWASHER - ENERGY STAR RATED
REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED
WASHING MACHINE - ENERGY STAR RATED
DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MINIMUM CEF RATING OF 5.2



MAIN FLOOR PLAN

© 2022 ESTES DESIGN, LLC

PROPOSED

SCALE: 1/4" = 1'-0"

PRRAS20221937

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

ESTES DESIGN, LLC.
ARCHITECTURAL DRAFTING & RENDERING
EMAIL: estesdesignllc@gmail.com
PHONE: (253) 381-6349

PROPOSED MAIN FLOOR

REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE
PUYALLUP, WA 98373

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS	
INT. DATE	REV.
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT NO: 22019

SHEET NO:

A6
13

NEW CONSTRUCTION NOTES

- ALL DOOR/WINDOW HEADERS TO BE 6X8 DF#2 AT 2X6 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- ALL DOOR/WINDOW HEADERS TO BE 4X10 DF#2 AT 2X4 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.
- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- EXTERIOR WALLS TO BE 2X6 AT 16" (MAX.) O.C. U.N.O.
- INTERIOR PARTITIONS TO BE 2 X 4 AT 16" O.C. (2X6 @ PLUMBING WALLS, U.N.O.)
- DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE MIN. 26 GAGE STEEL
- NO DUCT OPENINGS IN GARAGE
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 3 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IRC R311.3.2

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

AREA SUMMARY

MAIN FLOOR:	1,853 SF.
LOWER FLOOR:	589 SF.
TOTAL:	2,442 SF.
GARAGE:	791 SF.
GLAZING SUMMARY	
WINDOWS:	166 SF.
DOORS W/ MORE THAN 50% GLAZING:	40 SF.
SKYLIGHTS:	0 SF.
TOTAL:	206 SF.
GLAZING PERCENT:	8.44 % WDW SF / FLR SF. (%)

SMOKE DETECTORS

SD INSTALL SMOKE DETECTORS PER CODE

110V INTERCONNECTED W/ BATTERY BACKUP INSTALLED ON EACH FLOOR, IN EACH SLEEPING AREA, AND OUTSIDE EACH SEPERATE SLEEPING AREA LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72

CARBON MONOXIDE

SD/CM INSTALL SMOKE DETECTOR/ CARBON MONOXIDE ALARM PER CODE

COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARMS: SMOKE ALARM REQUIREMENTS AS LISTED ABOVE, INSTALLED ON EACH FLOOR, AND OUTSIDE EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CARBON MONOXIDE ALARMS LISTED AS COMPLYING WITH UL 2075 AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

VENTILATION SCHEDULE

VENTILATION REQUIREMENTS OF IRC TABLE 1506.3

SYMBOL	ROOMS	REQUIREMENTS
1	KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
2	BATHROOMS-TOILET ROOMS & LAUNDRY ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
3	WHOLE HOUSE FAN	THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH. SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(1)

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1507.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(2)

VENTILATION RATE FOR WHOLE HOUSE FAN TO BE 75 AIRFLOW IN CFM PER TABLE M507.3.3 (1) HVAC CONTRACTOR TO SPECIFY LOCATION.

NOTE

REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

NOTE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

ENERGY CREDIT 1.3: - 0.5 CREDIT

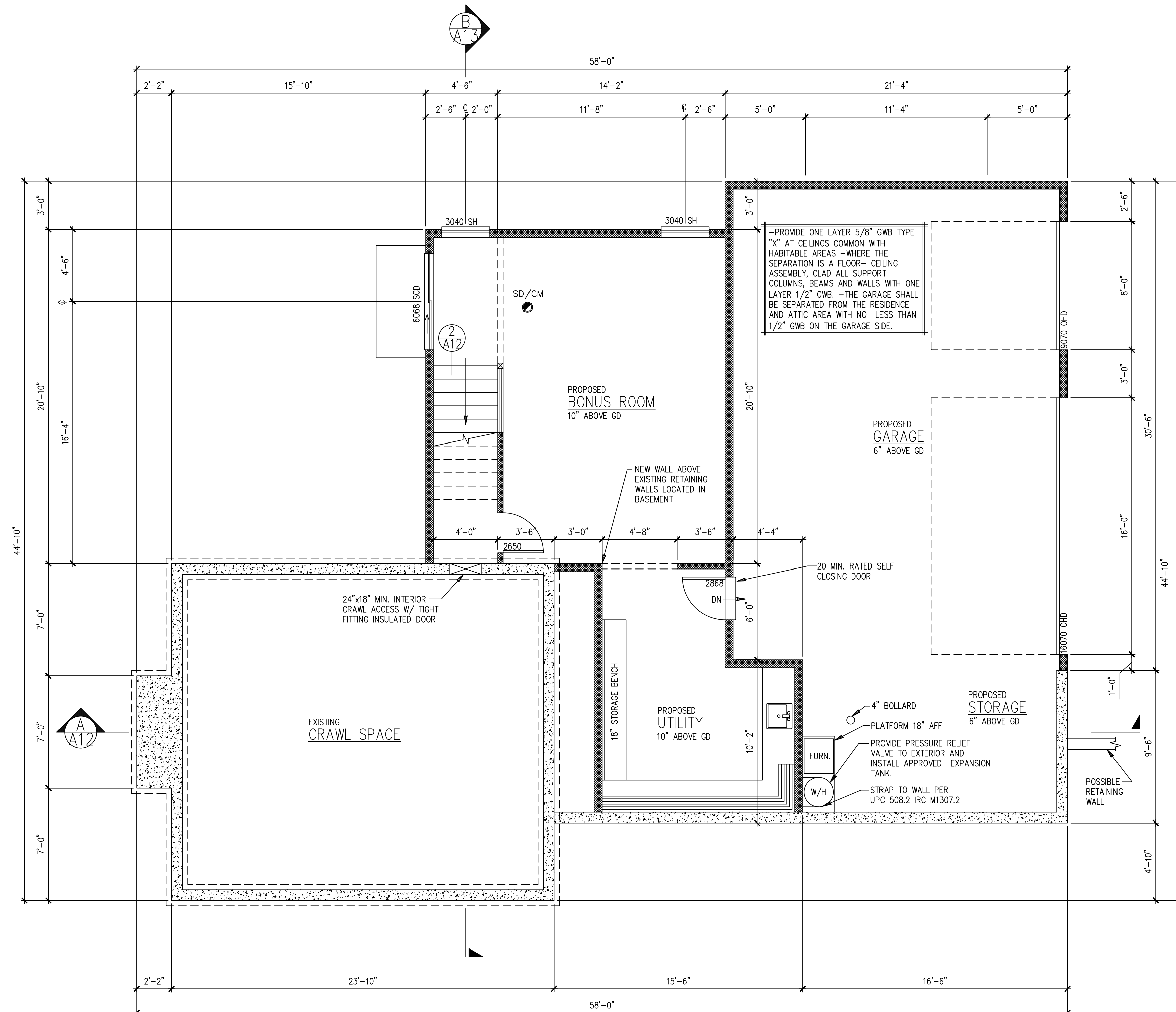
EFFICIENT BUILDING ENVELOPE 1.3:
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:
VERTICAL FENESTRATION U = 0.28
FLOOR: R-38
SLAB ON GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB
SLAB BELOW GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB OR
COMPLIANCE BASED ON SECTION R402.1.4: REDUCE THE TOTAL CONDUCTIVE UA BY 5%

ENERGY CREDIT 5.5: - 2 CREDITS

EFFICIENT WATER HEATING 5.5:
WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING:
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION OR
FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S), MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS.
IF ONE WATER HEATER IS SERVING MORE THAN ONE DWELLING UNIT, ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED WITH R-8 MINIMUM PIPE INSULATION.

ENERGY CREDIT 7.1: - 0.5 CREDIT

APPLIANCE PACKAGE 7.1:
ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:
DISHWASHER - ENERGY STAR RATED
REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED
WASHING MACHINE - ENERGY STAR RATED
DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MINIMUM CEF RATING OF 5.2

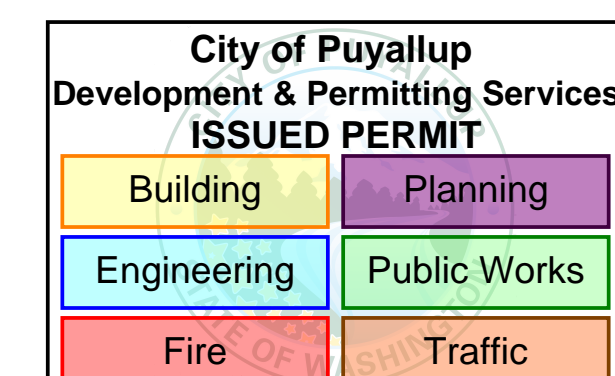


BASEMENT FLOOR PLAN

© 2022 ESTES DESIGN, LLC

PROPOSED

SCALE: 1/4" = 1'-0"



PRRAS20221937

ESTES DESIGN, LLC.
ARCHITECTURAL DRAFTING & RENDERING
EMAIL: estesdesignllc@gmail.com
PHONE: (253) 381-6349

PROPOSED BASEMENT

REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE
PUYALLUP, WA 98373

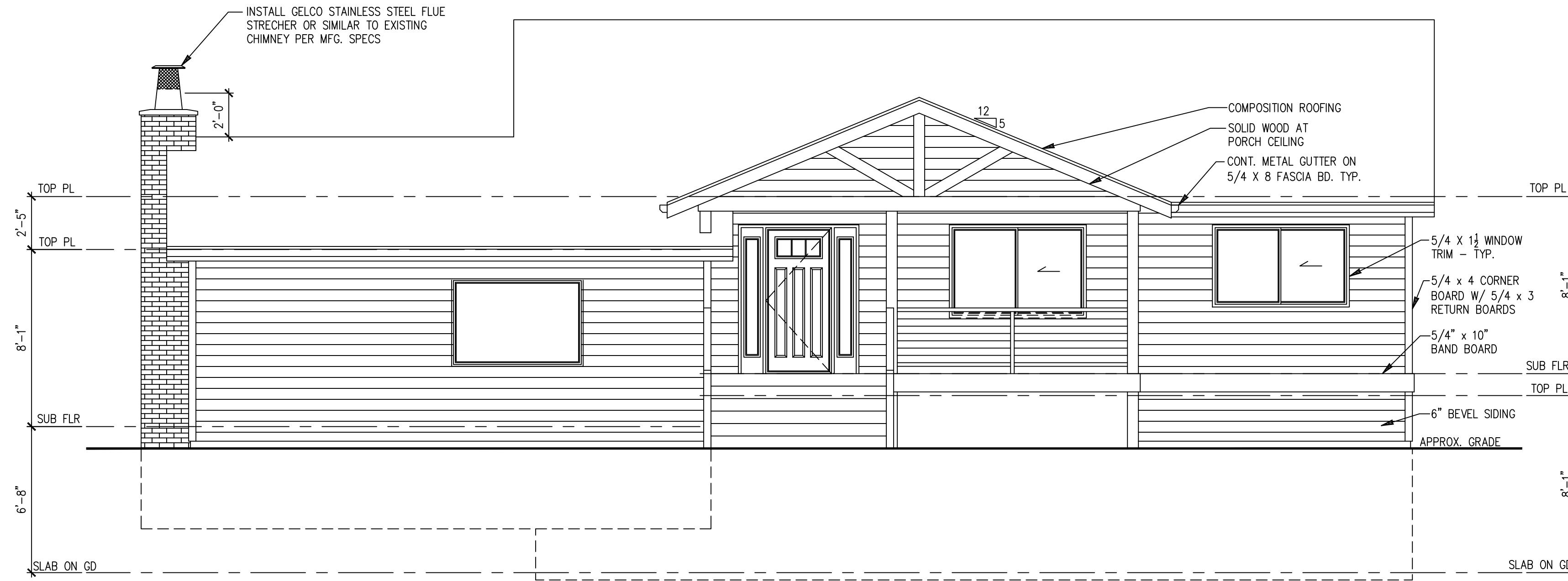
These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT.	DATE	REV.
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

SHEET NO:

A7
13



FRONT ELEVATION B

PROPOSED

© 2022 ESTES DESIGN, LLC

SCALE : 1/4" = 1'-0"

- VERIFY SHEAR WALL NAILING AND HOLDDOWNS ARE PER PLAN AND SCHEDULE PRIOR TO INSTALLING SIDING
- MASONRY AND WOOD FRAME CHIMNEYS ARE TO BE CONSTRUCTED PER I.R.C.
- PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS, CHIMNEYS, AND SKYLIGHTS
- PROVIDE WEATHERSTRIPPING AND FLASHING AT ALL DOORS AND WINDOWS AS REQUIRED
- CAULK ALL EXTERIOR JOINTS AND PENETRATIONS
- POST ADDRESS ON BLDG. PRIOR TO FINAL INSPECTION
- LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE
- FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT)

NOTE:
APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

NOTE:
PROVIDE CONTINUOUS PRE-PAINTED G.I. "Z" FLASHING AT ALL EXT. DOOR & WINDOW HEADERS.



RIGHT ELEVATION B

PROPOSED

© 2022 ESTES DESIGN, LLC

SCALE : 1/4" = 1'-0"

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRRAS20221937

PROPOSED ELEVATIONS

REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE
PUYALLUP, WA 98373

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT.	DATE	REV.
-	-	-

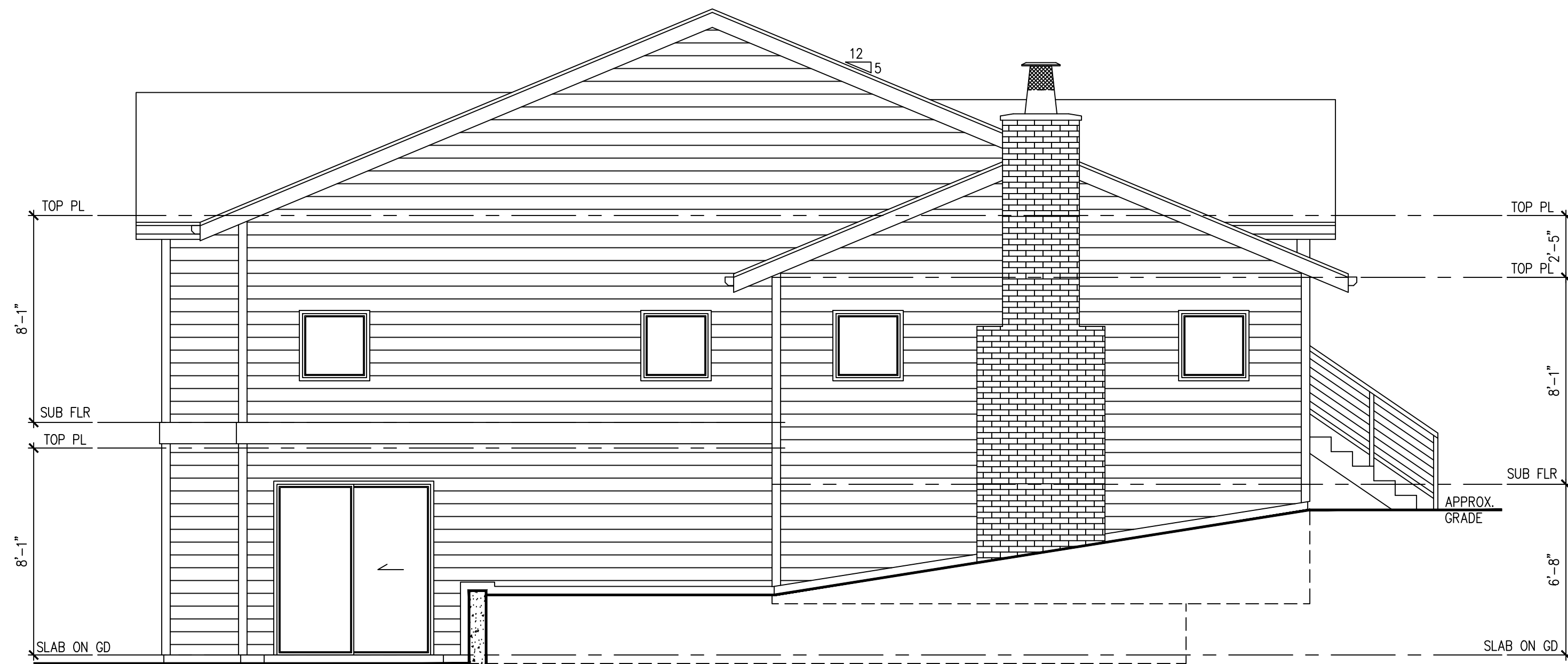
DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT NO: 22019

SHEET NO:
A8 / 13



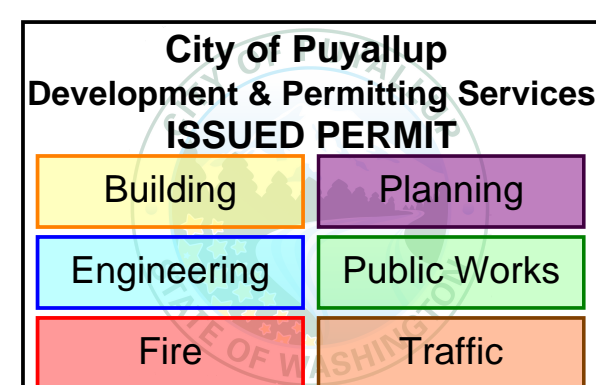
REAR ELEVATION B
© 2022 ESTES DESIGN, LLC

PROPOSED
SCALE : 1/4" = 1'-0"



LEFT ELEVATION B
© 2022 ESTES DESIGN, LLC

PROPOSED
SCALE : 1/4" = 1'-0"



PRRAS20221937

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

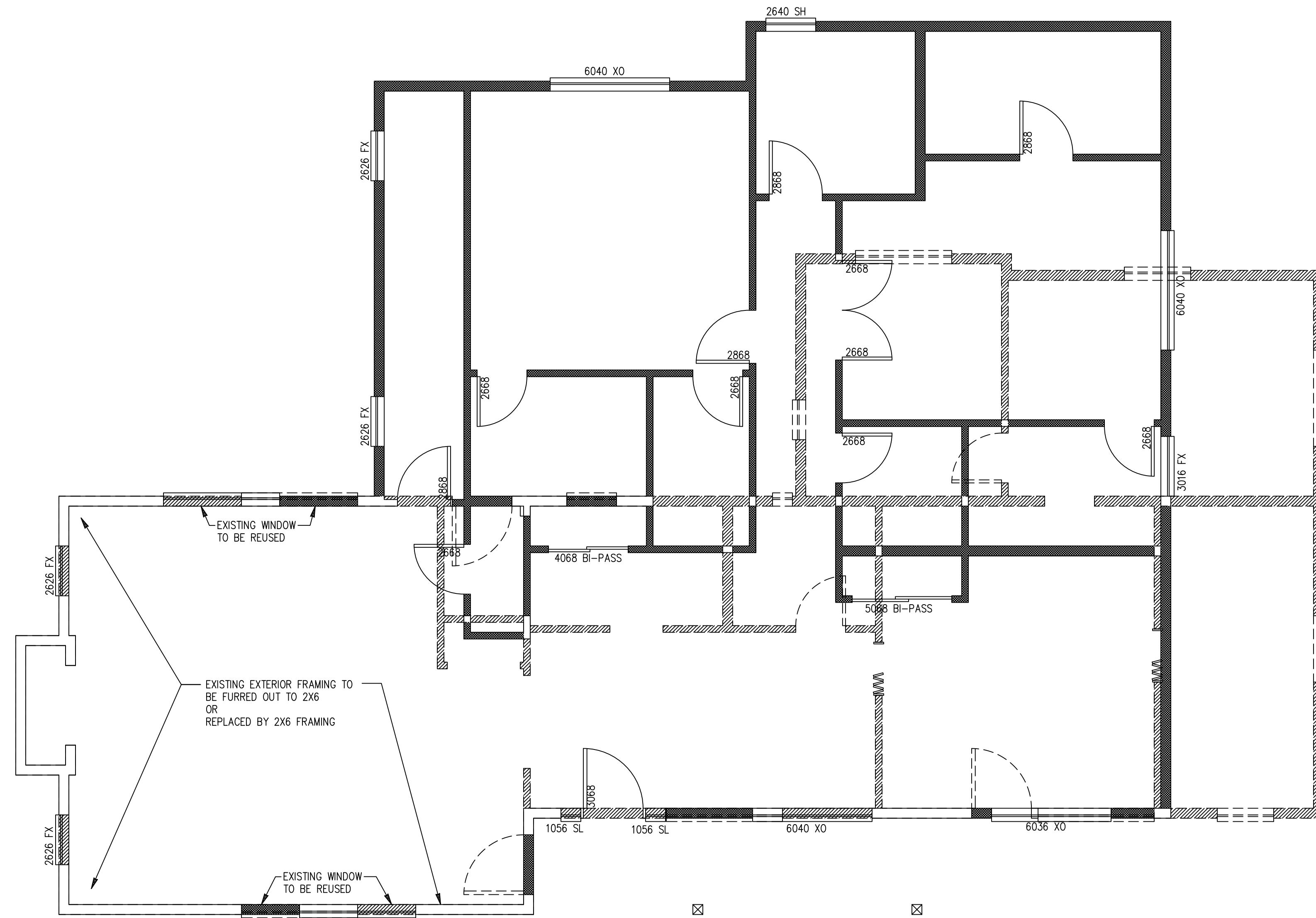
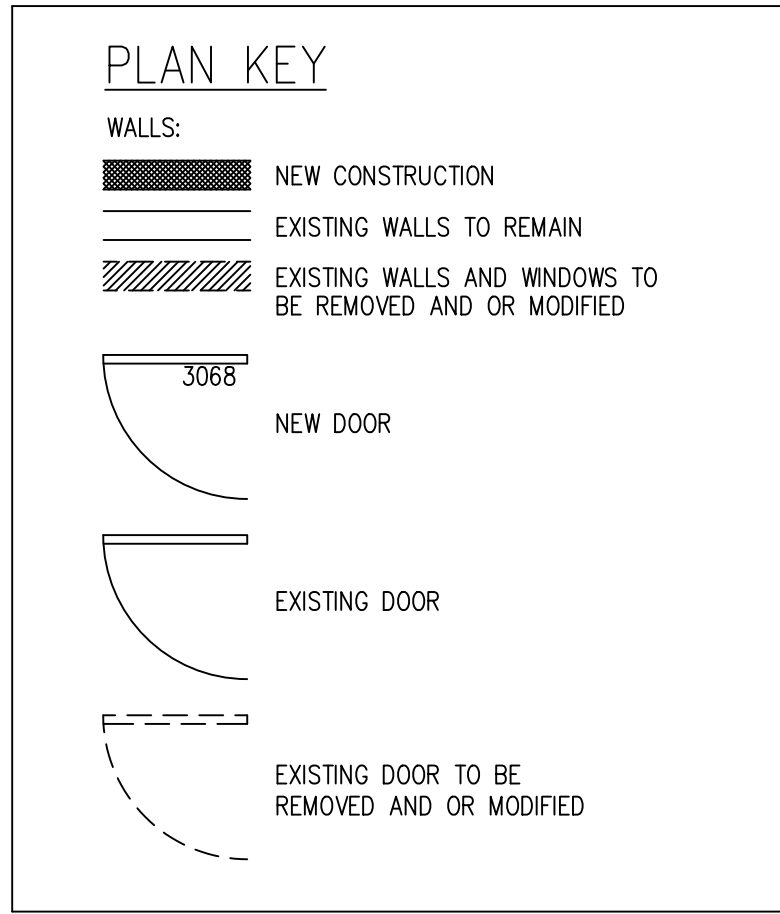
INT.	DATE	REV.
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT No: 22019

SHEET NO:

A9 / 13

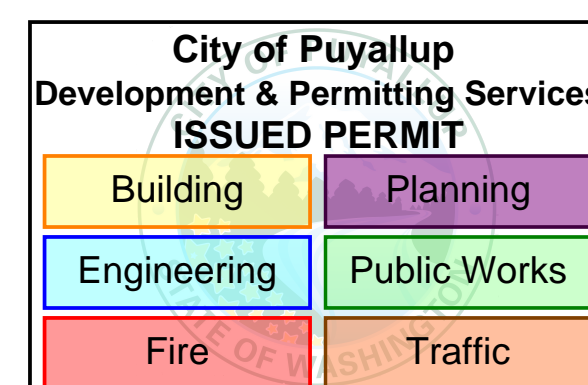
NOTE:
 THE PROPOSED STRUCTURAL CONFIGURATION REPRESENTED HEREIN IS BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW BY THE DESIGNER TO DETERMINE ADEQUACY. IT IS THE BUILDER'S RESPONSIBILITY TO BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING FURTHER WITH THE WORK.



MAIN FLOOR REMODEL PLAN

© 2022 ESTES DESIGN, LLC

SCALE : 1/4" = 1'-0"



PRRAS20221937

ESTES DESIGN, LLC.
 ARCHITECTURAL DRAFTING & RENDERING
 EMAIL: estesdesignllc@gmail.com
 PHONE: (253) 381-6349

MAIN FLOOR
 DEMO PLAN

REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
 3305 S FRUITLAND AVE
 PUYALLUP, WA 98373

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

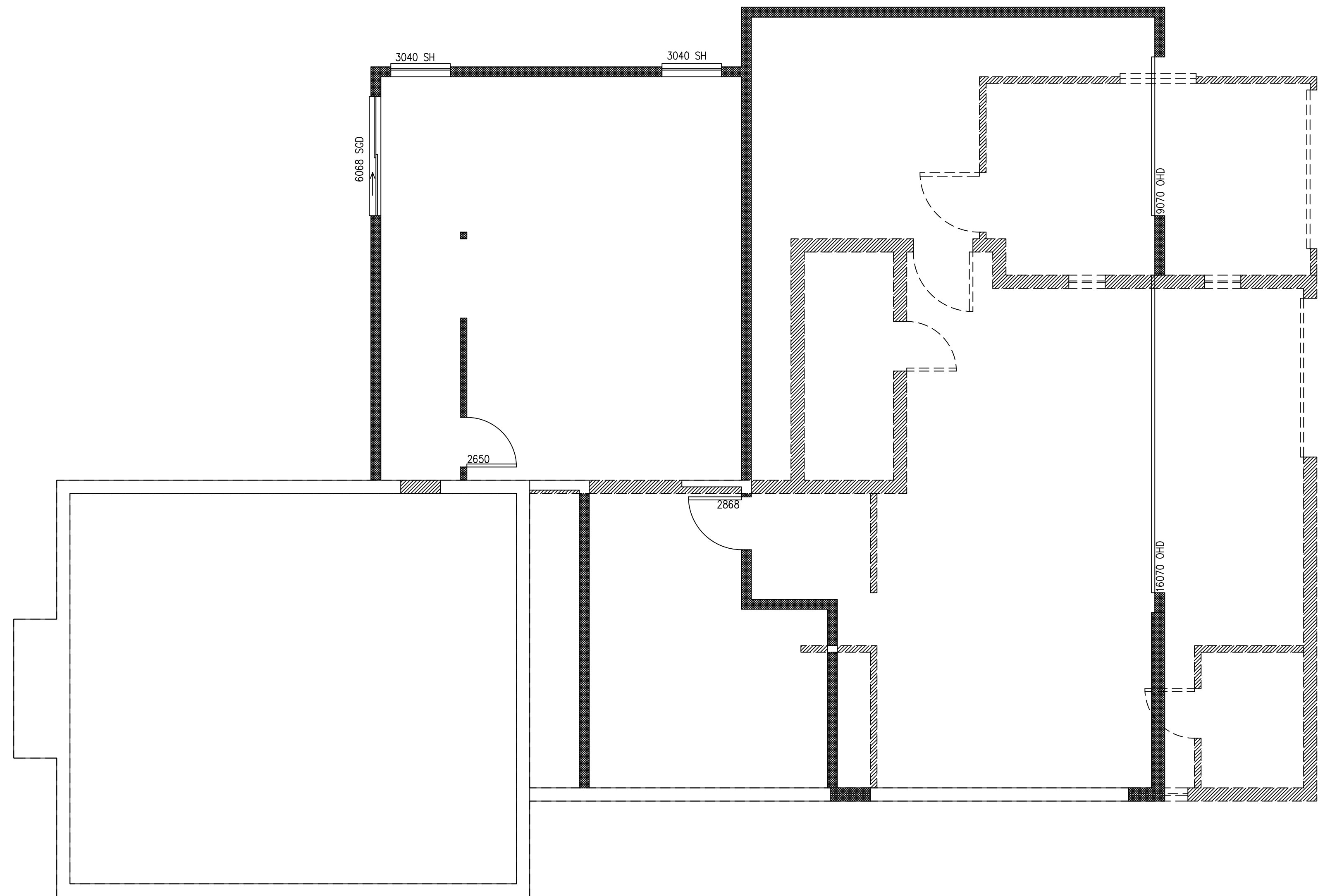
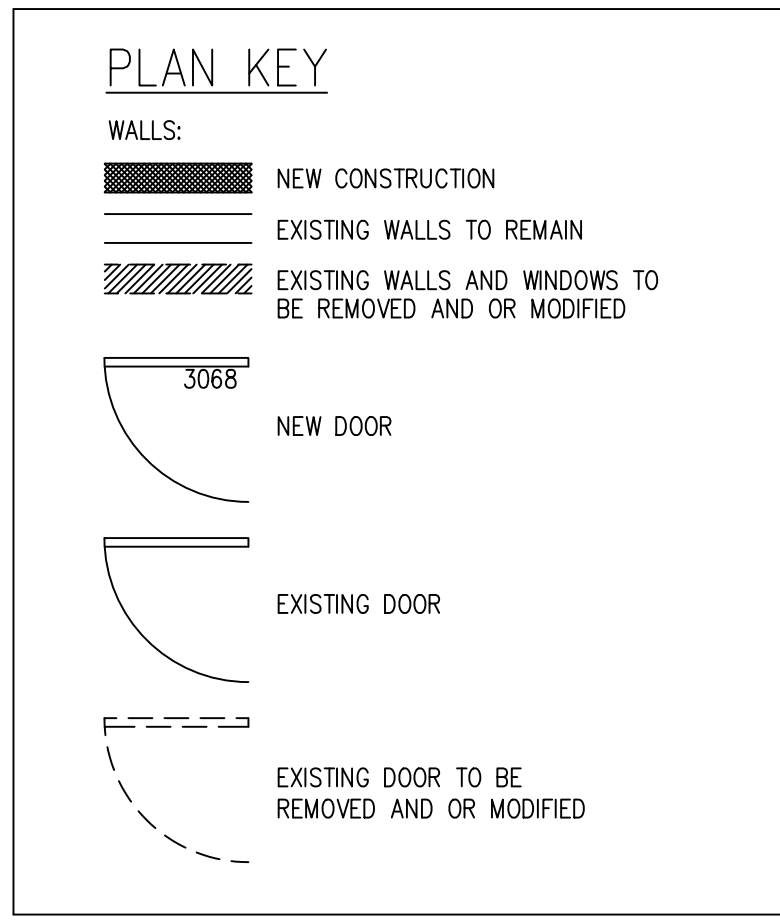
REVISIONS

INT.	DATE	REV.
DESIGNER: RE DRAFTER: RE DATE: 03/29/23 PROJECT NO: 22019		

SHEET NO:

A10 / 13

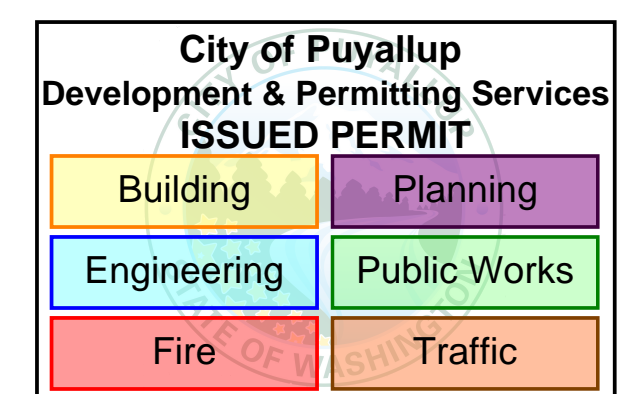
NOTE:
 THE PROPOSED STRUCTURAL CONFIGURATION REPRESENTED HEREIN IS BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT CONCORD WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW BY THE DESIGNER TO DETERMINE ADEQUACY. IT IS THE BUILDER'S RESPONSIBILITY TO BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING FURTHER WITH THE WORK.



BASEMENT REMODEL PLAN

© 2022 ESTES DESIGN, LLC

SCALE : 1/4" = 1'-0"



PRRAS20221937

ESTES DESIGN, LLC.
 ARCHITECTURAL DRAFTING & RENDERING
 EMAIL: estesdesignllc@gmail.com
 PHONE: (253) 381-6349

BASEMENT DEMO PLAN

REMODEL & ADDITION TO
 THE LOCKWOOD RESIDENCE
 3305 S FRUITLAND AVE
 PUYALLUP, WA 98373

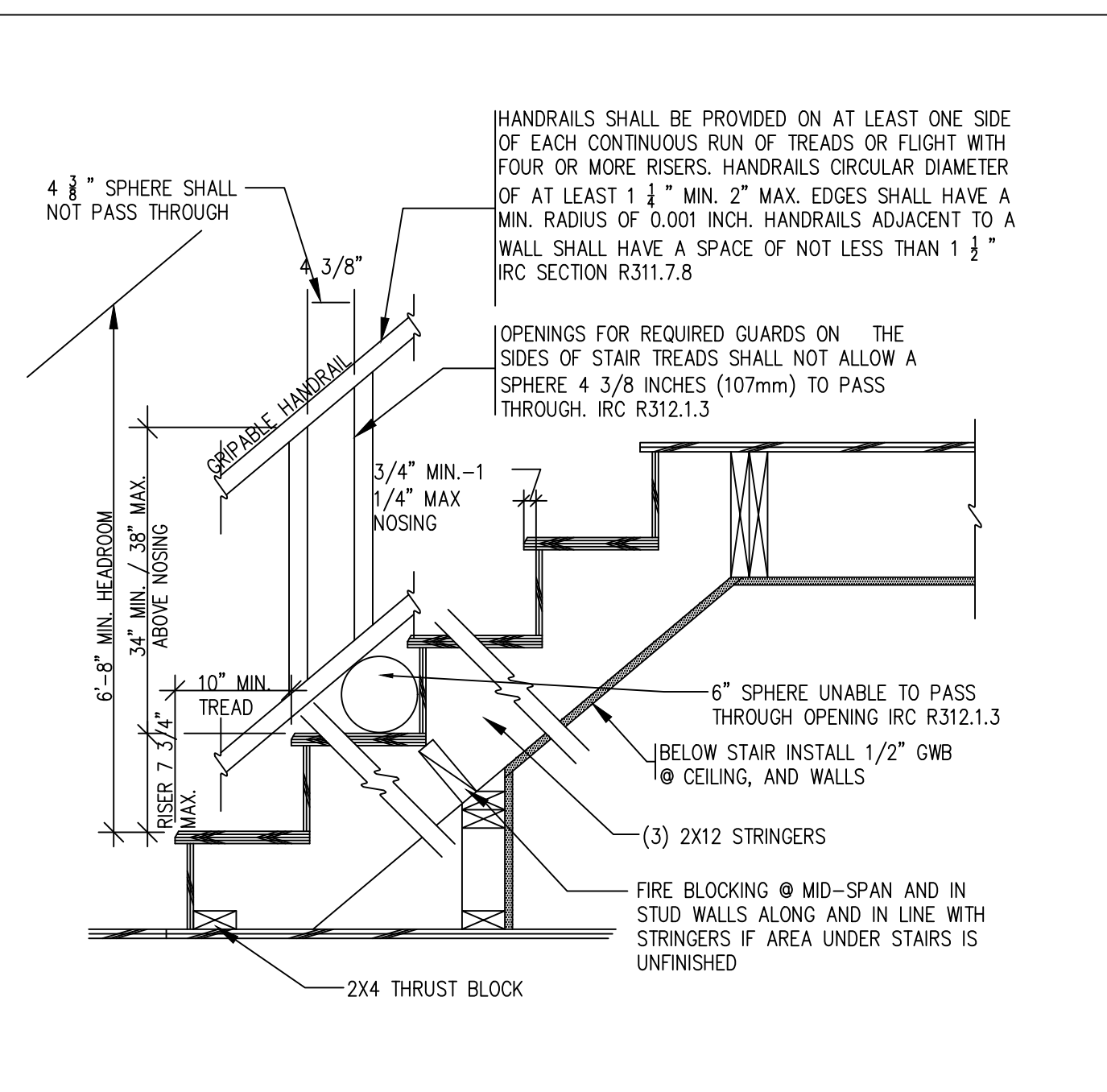
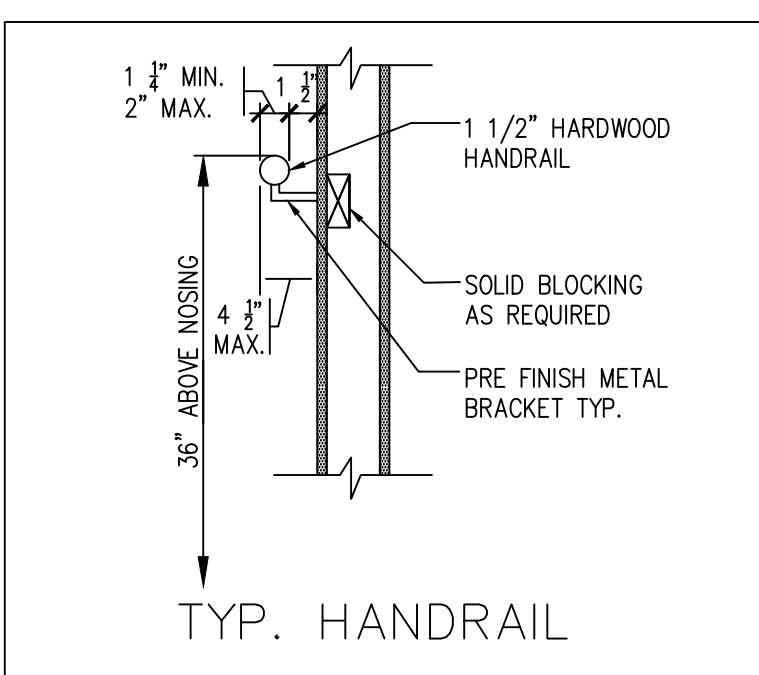
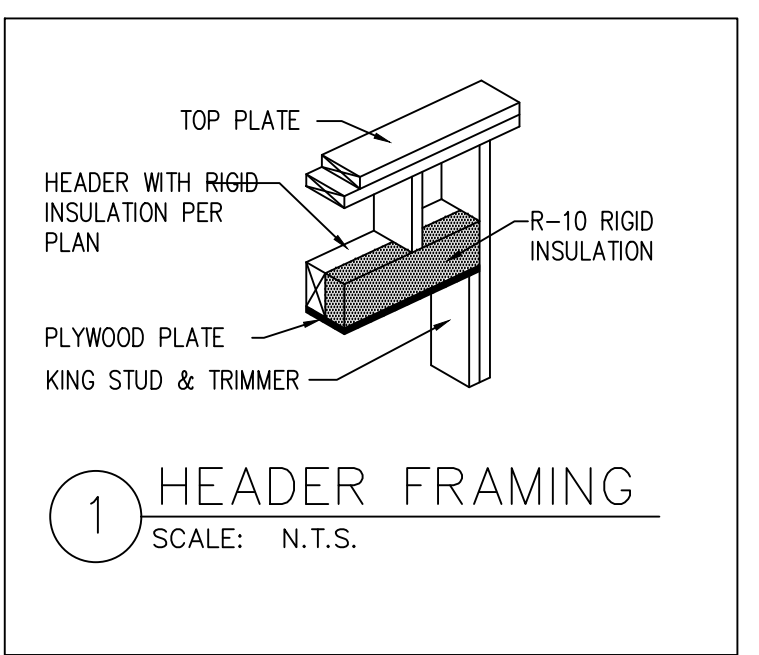
These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT.	DATE	REV.
-	-	-

DESIGNER: RE
 DRAFTER: RE
 DATE: 03/29/23
 PROJECT No: 22019

SHEET NO:
 A11 / 13



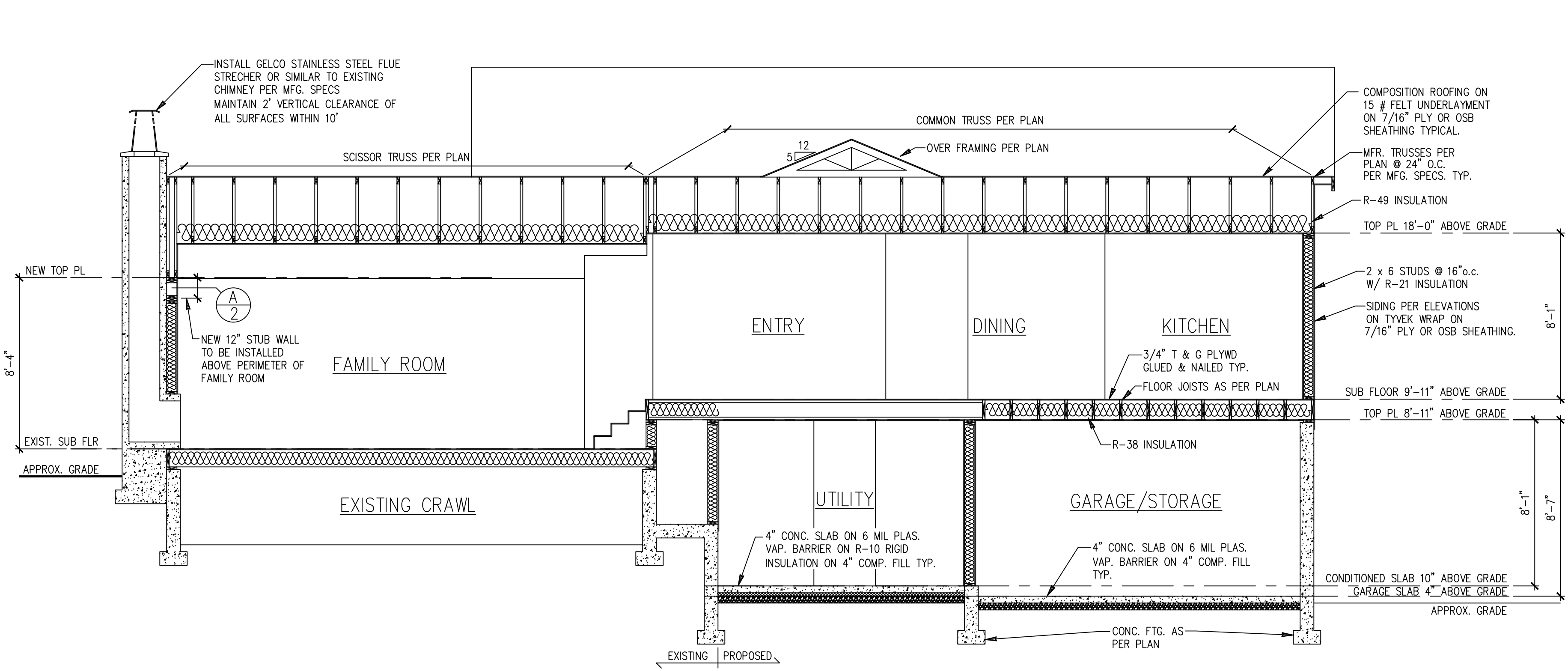
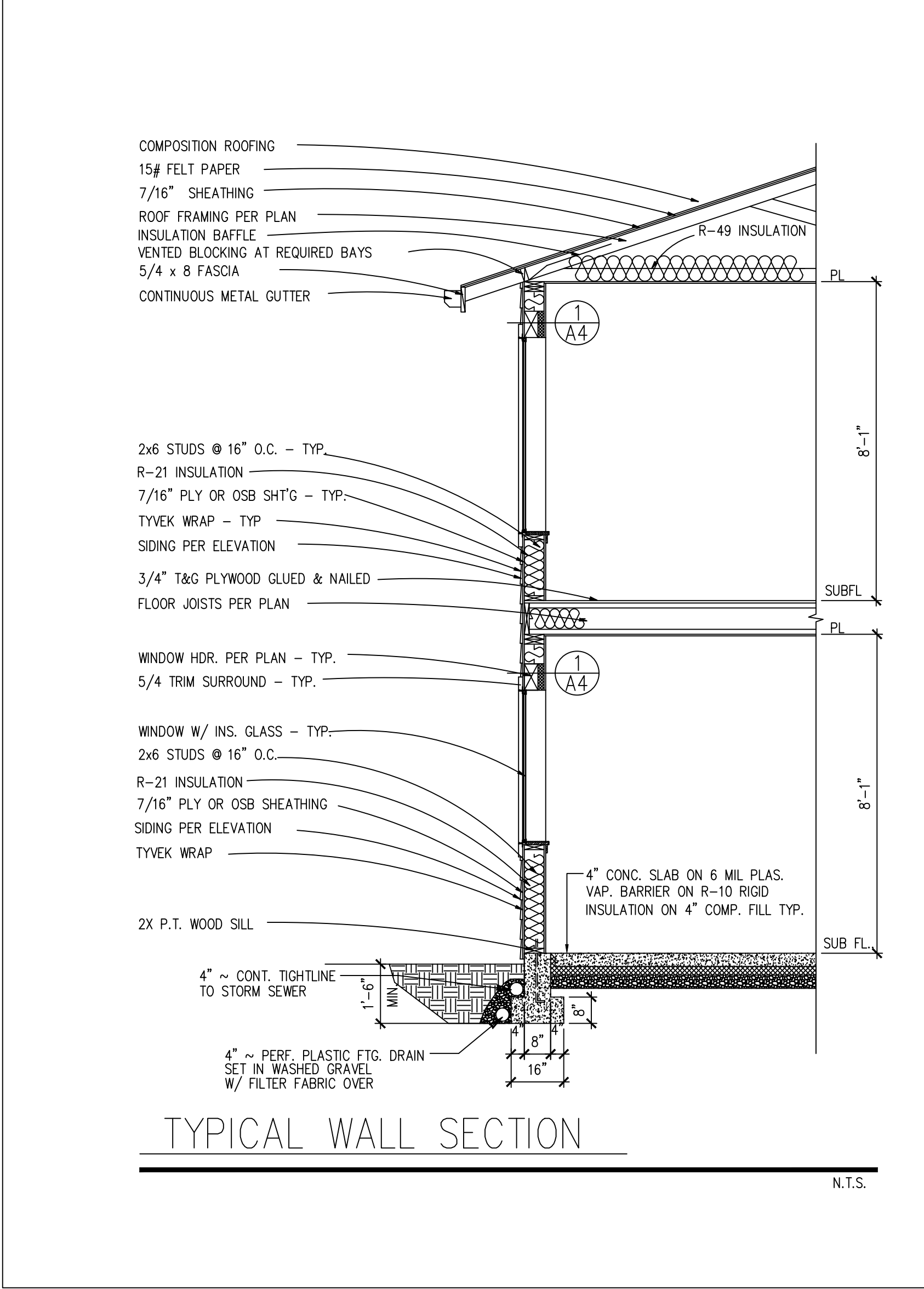
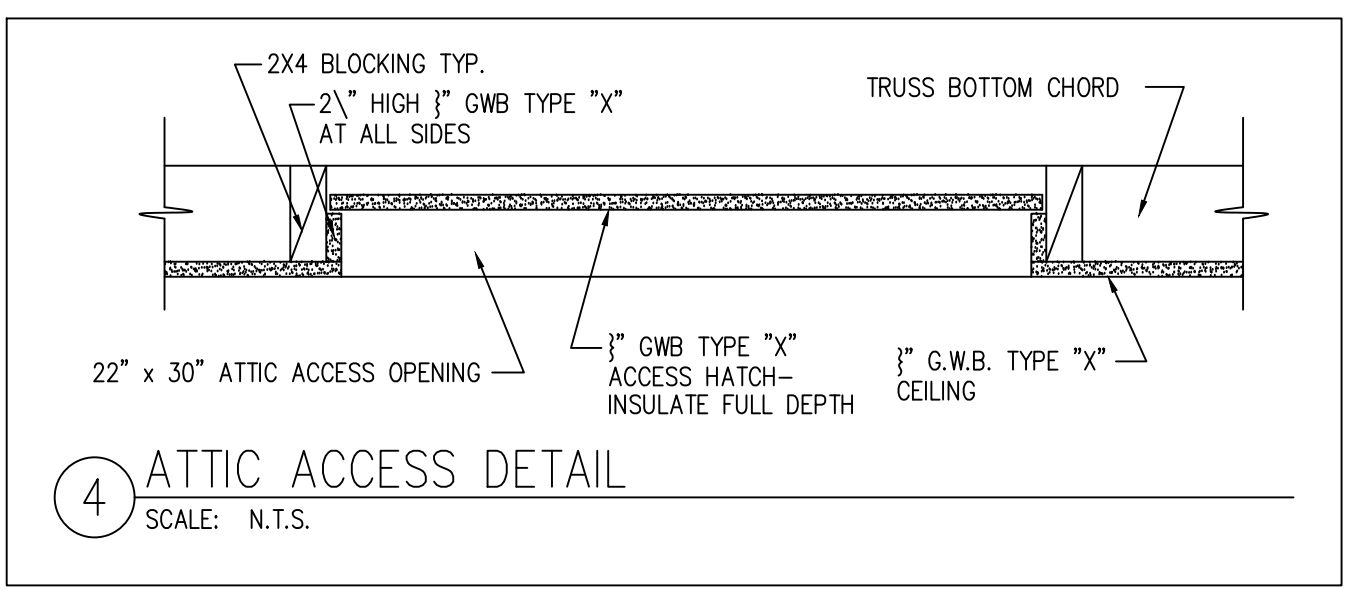
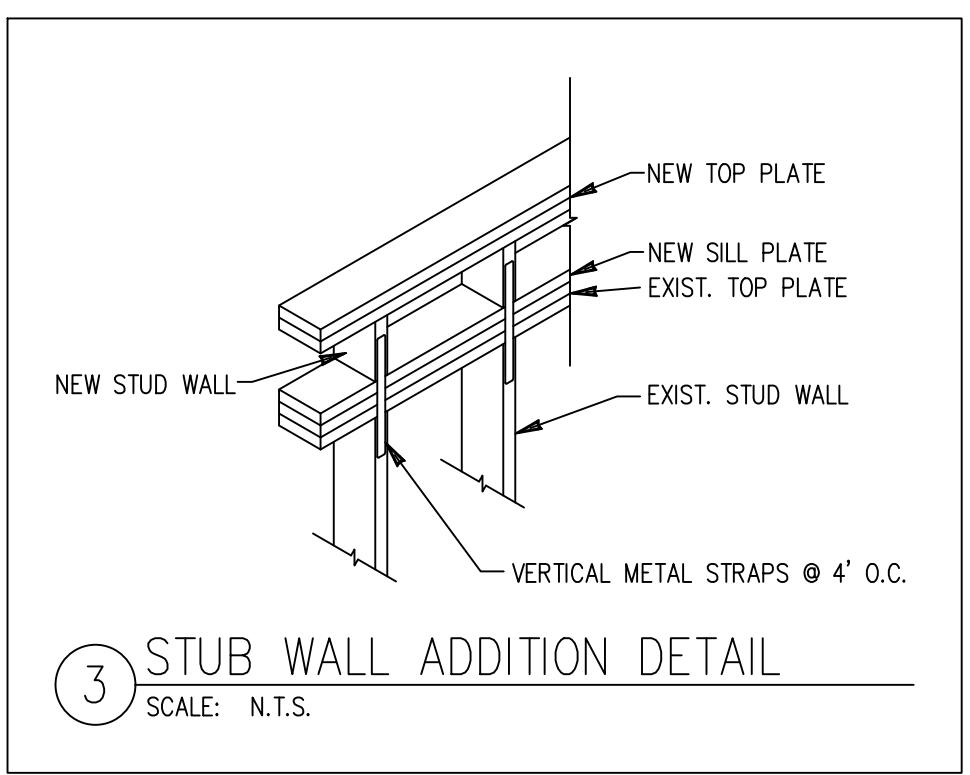
INTERIOR/GUARDRAIL STAIR NOTES:
 - HANDRAILS MUST NOT PROJECT MORE THAN 4 1/2" INTO THE STAIRWAY IRC SECTION R311.7.1 AND MUST BE ABLE TO RESIST A 200 LB. POINT LOAD FROM ANY DIRECTION. IRC SECTIONS R311.5.1 & TABLE R301.5d
 - LIGHTING IS REQUIRED AT THE TOP, BOTTOM OR DIRECTLY OVER EACH STAIRWAY SECTION, AND ANY LANDINGS WITH CONTROLS AT THE TOP AND BOTTOM OF STAIRS WITH 6 OR MORE RISERS. IRC SECTION R303.7 AND 311.7.1
 - THE SPACING BETWEEN INTERMEDIATE HANDRAIL MEMBERS MUST NOT ALLOW A 4 1/2" SPHERE TO PASS THROUGH ANY OPENING. IRC SECTION R312.1.3
 - STAIRWAYS, STAIR & STAIR LANDING MINIMUM WIDTH SHALL BE NO LESS THAN 36" (31 1/2" CLEAR IF ONE HANDRAIL, & 27" CLEAR IF 2 HANDRAILS). IRC SECTION R311.7.1
 - THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16". THE MAX. BEVELING OF NOSING SHALL NOT EXCEED 1/2". IRC SECTION R311.7.5.3
 - THE GREATEST RISER AND TREAD WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". IRC SECTION R311.7.5.1 & R311.7.5.2
 - NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11". IRC SECTION R311.7.5.3 (EXCEPTION)

EXTERIOR STAIR NOTES:
 - EXTERIOR STAIR LIGHTING AT TOP LANDING WITH CONTROLS INSIDE THE DWELLING. IRC SECTION R303.7 & R303.7.1
 - A MAXIMUM SLOPE OF 1:48 (2%) IS REQUIRED AT EXTERIOR LANDINGS AND TREADS FOR DRAINAGE. IRC SECTION R311.7.7

INTERIOR WINDER STAIR NOTES:
 - MINIMUM TREAD DEPTH OF 10" BETWEEN VERTICAL PLANES AT THE INTERSECTION WITH THE WALKLINE (12") AND SHALL HAVE A MINIMUM TREAD DEPTH OF 6" IRC SECTION R311.7.5.2.1 & R311.7.4

LANDING NOTES:
 - LANDING WIDTH SHALL NOT BE LESS THAN THAT OF STAIR SERVED IRC R311.7.6
 - LANDING SHALL NOT BE LESS THAN 36 INCHES IN DIRECTION OF TRAVEL IRC R311.7.6

2 STAIR DETAIL
SCALE: N.T.S.



SECTION A

© 2022 ESTES DESIGN, LLC

SCALE: 1/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION
 - COMPOSITION ROOF SHINGLES
 - 15# ROOFING FELT
 - 7/16" SHEATHING RATED 24/16
 - STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
 - R-49 INSULATION
 - 5/8" G.W.B. CEILING
 - 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
 - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
 - PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3

TYPICAL WALL CONSTRUCTION
 - SIDING AND/OR VENEER PER ELEVATION
 - 7/16" PLY OR OSB SHTG.(U.N.O)
 - TYVEK BUILDING WRAP OR EQ.
 - 2X6 STUDS @ 16" O.C. EXTERIOR WALLS U.N.O.
 - EXTERIOR WALL NOTCH 25% BORING 40% BORING IF DOUBLED & NOT MORE THAN TWO SUCCESSIVE STUDS.
 - 2x4 STUDS @ 16" O.C., INTERIOR PARTITIONS (2x6 @ PLUMBING WALLS)
 - NON-BEARING WALL MAXIMUM NOTCH 40% BORING 60% HOLES NO CLOSER THE 5/8 INCH TO FACE OF STUD
 - R-21 INSULATION WITH VAPOR BARRIER
 - 1/2" G.W.B. INTERIOR SHEATHING

TYPICAL FLOOR CONSTRUCTION
 - FINISHED FLOOR PER PLANS
 - 3/4" T&G PLYWOOD SUBFLOOR (GLUE AND NAIL)
 - FLOOR JOISTS PER PLAN
 - R-38 INSULATION OVER UNHEATED AREAS

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

NOTE
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

NOTE
 REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRRAS20221937

ESTES DESIGN, LLC.
ARCHITECTURAL DRAFTING & RENDERING
EMAIL: estesdesignllc@gmail.com
PHONE: (253) 381-6349

SECTION A & DETAILS

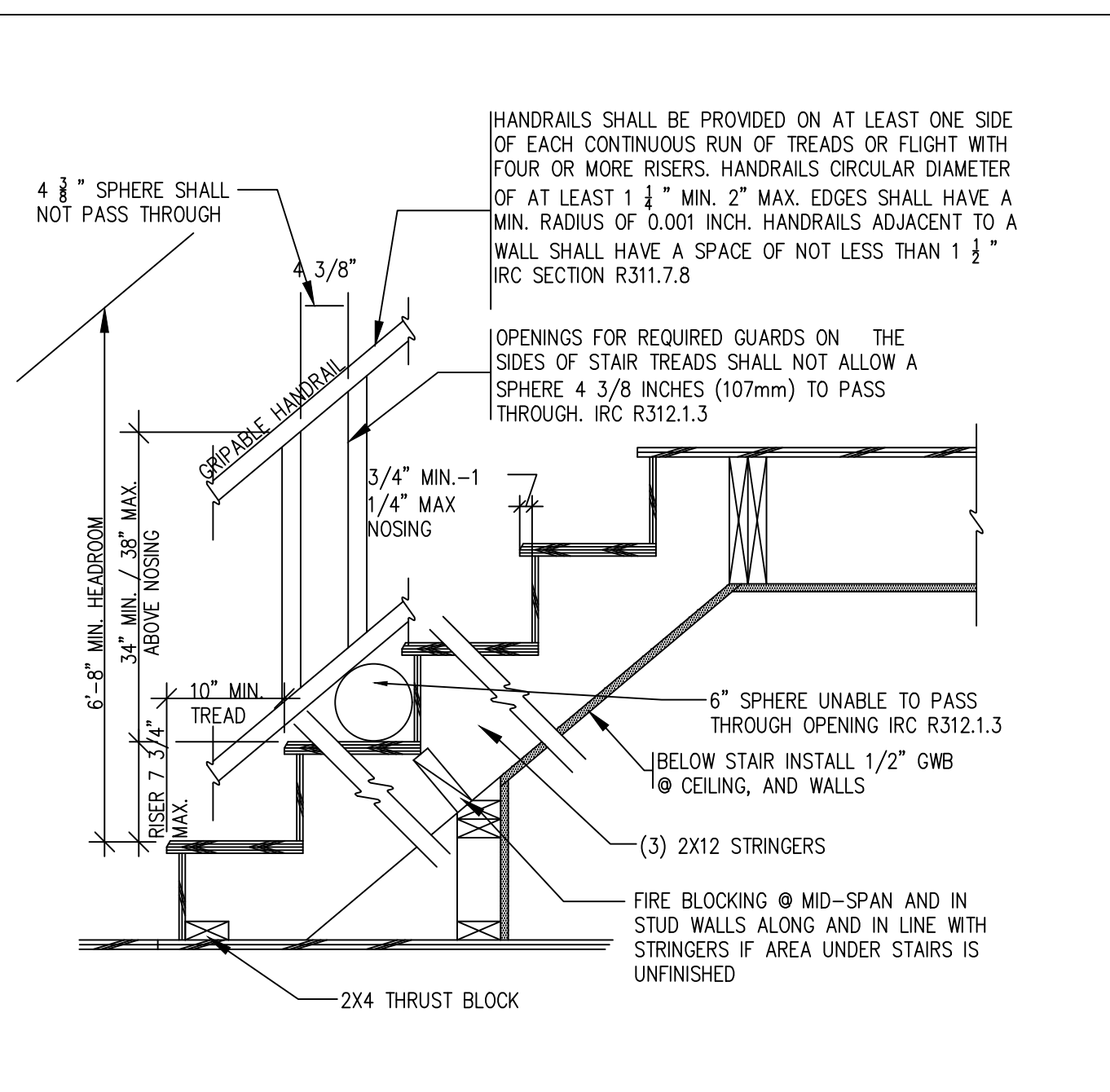
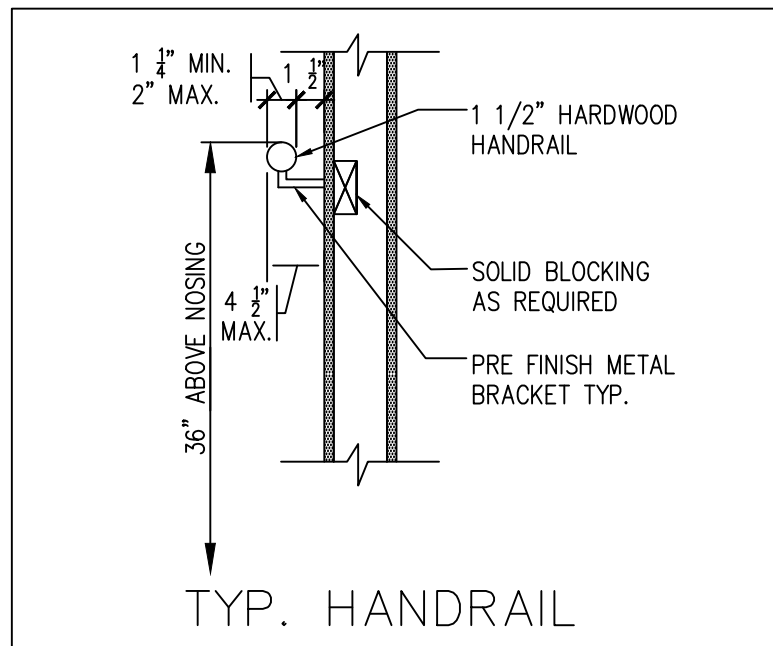
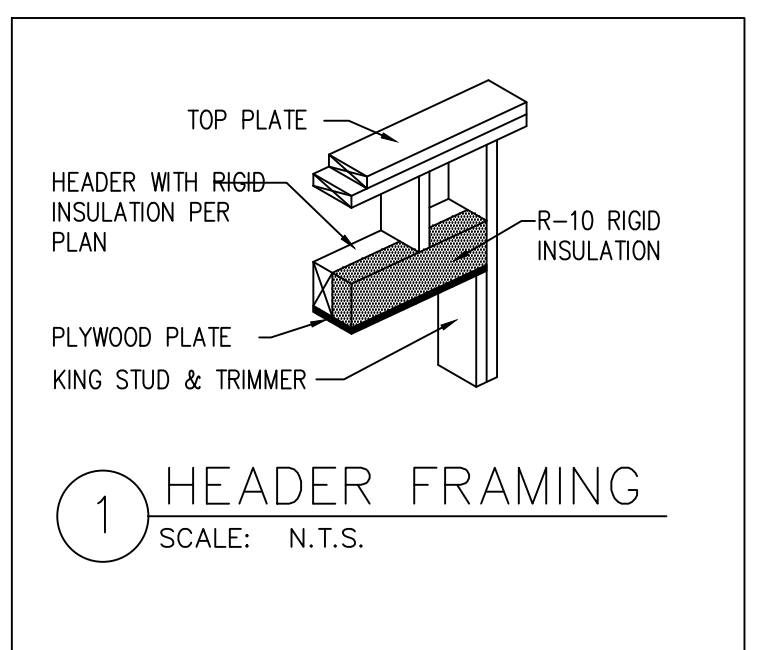
REMODEL & ADDITION TO
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE
PUYALLUP, WA 98373

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS	
INT. DATE	REV.
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-
-	-

DESIGNER: RE
DRAFTER: RE
DATE: 03/29/23
PROJECT NO: 22019

SHEET NO:
A12 / 13

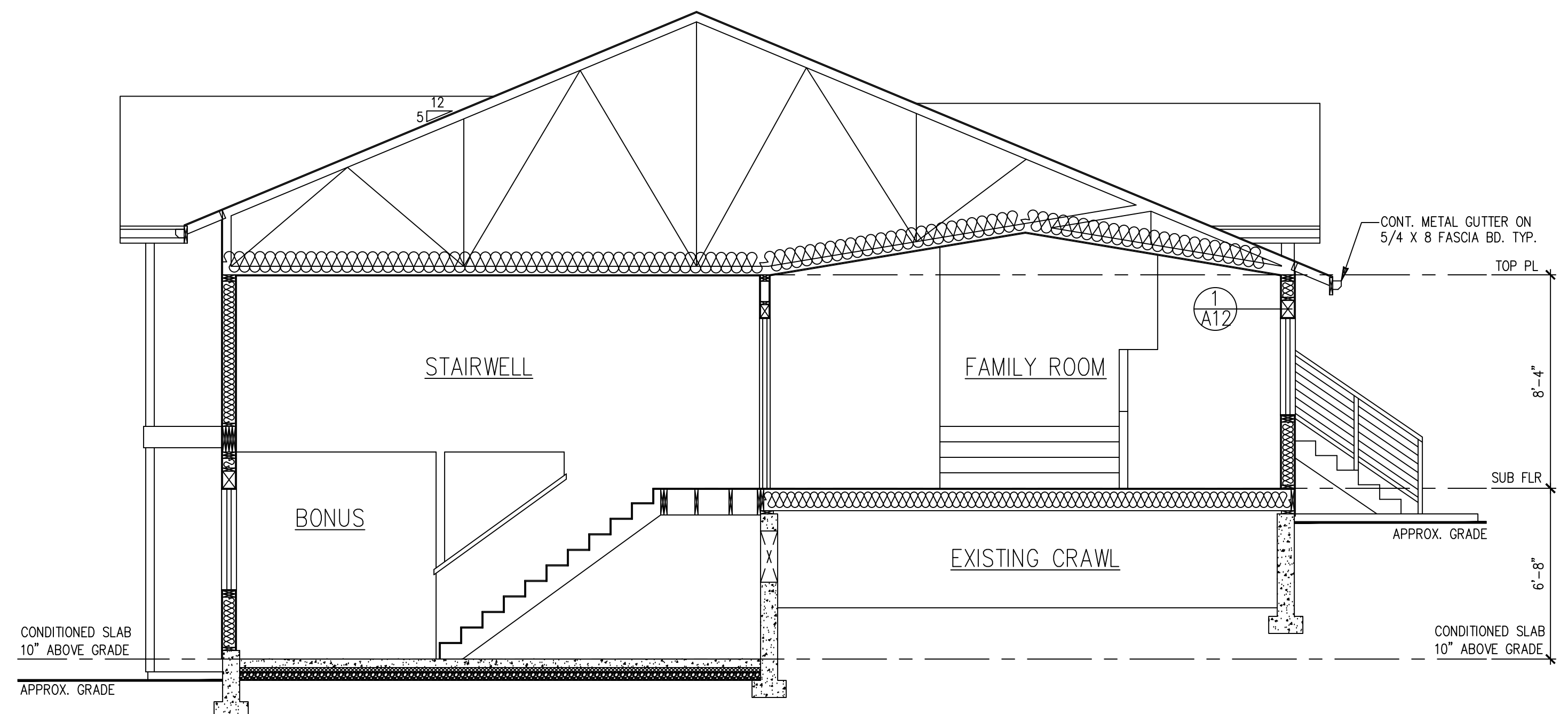
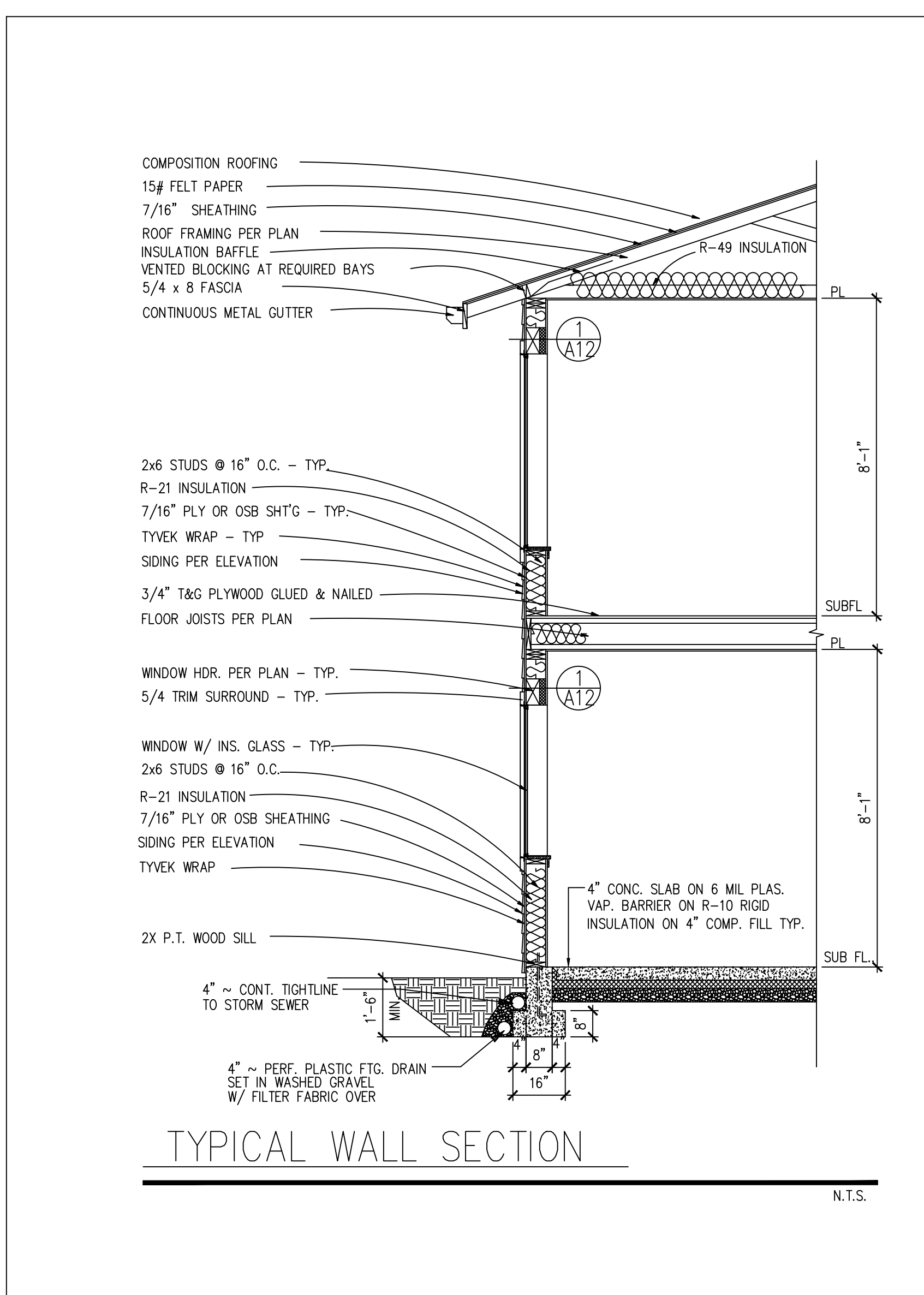
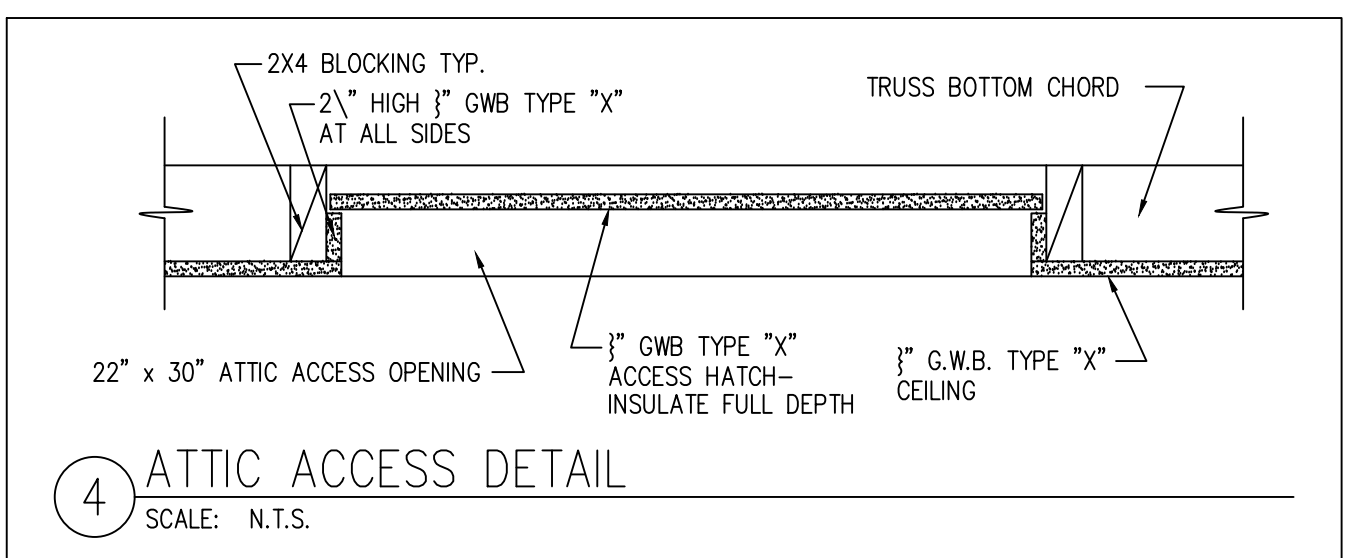
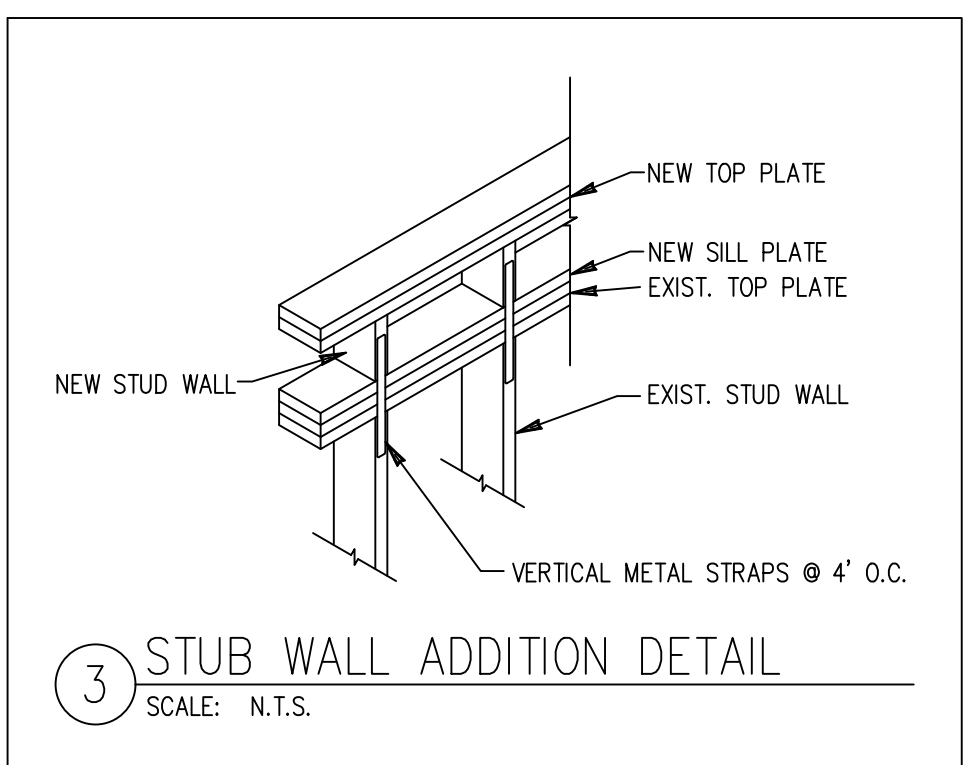


INTERIOR/GUARDRAIL STAIR NOTES:
 - HANDRAILS MUST NOT PROJECT MORE THAN 4 1/2" INTO THE STAIRWAY IRC SECTION R311.7.1 AND MUST BE ABLE TO RESIST A 200 lb. POINT LOAD FROM ANY DIRECTION. IRC SECTIONS R311.5.1 & TABLE R301.5d
 - LIGHTING IS REQUIRED AT THE TOP, BOTTOM OR DIRECTLY OVER EACH STAIRWAY SECTION, AND ANY LANDINGS WITH CONTROLS AT THE TOP AND BOTTOM OF STAIRS WITH 6 OR MORE RISERS. IRC SECTION R303.7 AND 311.7.1
 - THE SPACING BETWEEN INTERMEDIATE HANDRAIL MEMBERS MUST NOT ALLOW A 4 1/8" SPHERE TO PASS THROUGH ANY OPENING. IRC SECTION R312.1.3
 - STAIRWAYS, STAIR & STAIR LANDING MINIMUM WIDTH SHALL BE NO LESS THAN 36" (31 1/2" CLEAR IF ONE HANDRAIL, & 27" CLEAR IF 2 HANDRAILS. IRC SECTION R311.7.1
 - THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16". THE MAX. BEVELING OF NOSING SHALL NOT EXCEED 1/2". IRC SECTION R311.7.5.3
 - THE GREATEST RISER AND TREAD WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". IRC SECTION R311.7.5.1 & R311.7.5.2
 - NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11". IRC SECTION R311.7.5.3 (EXCEPTION)

EXTERIOR STAIR NOTES:
 - EXTERIOR STAIR LIGHTING AT TOP LANDING WITH CONTROLS INSIDE THE DWELLING. IRC SECTION R303.7 & R303.7.1
 - A MAXIMUM SLOPE OF 1:48 (2%) IS REQUIRED AT EXTERIOR LANDINGS AND TREADS FOR DRAINAGE. IRC SECTION R311.7.7

INTERIOR WINDER STAIR NOTES:
 - MINIMUM TREAD DEPTH OF 10" BETWEEN VERTICAL PLANES AT THE INTERSECTION WITH THE WALKLINE (12") AND SHALL HAVE A MINIMUM TREAD DEPTH OF 6" IRC SECTION R311.7.5.2.1 & R311.7.4

LANDING NOTES:
 - LANDING WIDTH SHALL NOT BE LESS THAN THAT OF STAIR SERVED IRC R311.7.6
 - LANDING SHALL NOT BE LESS THAN 36 INCHES IN DIRECTION OF TRAVEL IRC R311.7.6



SECTION B
 © 2022 ESTES DESIGN, LLC
 SCALE: 1/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION
 - COMPOSITION ROOF SHINGLES
 - 15# ROOFING FELT
 - 7/16" SHEATHING RATED 24/16
 - STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
 - R-49 INSULATION
 - 5/8" G.W.B. CEILING
 - 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
 - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
 - PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3

TYPICAL WALL CONSTRUCTION
 - SIDING AND/OR VENEER PER ELEVATION
 - 7/16" PLY OR OSB SHTG. (U.N.O.)
 - TYVEK BUILDING WRAP OR EQ.
 - 2X6 STUDS @ 16" O.C. EXTERIOR WALLS U.N.O.
 - EXTERIOR WALL NOTCH 25% BORING 40% 60% BORING IF DOUBLED & NOT MORE THAN TWO SUCCESSIVE STUDS.
 - 2X4 STUDS @ 16" O.C. INTERIOR PARTITIONS (2X6 @ PLUMBING WALLS)
 - NON-BEARING WALL MAXIMUM NOTCH 40%, BORING 60% HOLES NO CLOSER THE 5/8" INCH TO FACE OF STUD
 - R-21 INSULATION WITH VAPOR BARRIER
 - 1/2" G.W.B. INTERIOR SHEATHING

TYPICAL FLOOR CONSTRUCTION
 - FINISHED FLOOR PER PLANS
 - 3/4" T&G PLYWOOD SUBFLOOR (GLUE AND NAIL)
 - FLOOR JOISTS PER PLAN
 - R-38 INSULATION OVER UNHEATED AREAS

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

NOTE
 CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

NOTE
 REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

NOTE: NO NEW CRAWL SPACE IS BEING ADDED. ALL MODIFIED BASEMENT AREAS ARE SLAB ON GRADE. EXISTING VENTS WILL NOT BE BLOCKED OR MODIFIED.

PRRAS20221937

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

These plans are copyrighted in accordance with federal statutes. Payment of use fee is due Estes Design, LLC prior to construction for each structure built from these plans. Reproduction by any method of all, part or variations thereof without written permission from Estes Design, LLC is expressly prohibited. These drawings and all prints therefrom remain the property of Estes Design, LLC.

REVISIONS

INT. DATE	REV.
-	-
-	-
-	-
-	-
-	-

DESIGNER: RE
 DRAFTER: RE
 DATE: 03/29/23
 PROJECT NO: 22019