<u>GENERAL</u>

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING <u>U1500 PSF</u>. EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED. BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 1/4"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED

FOUNDATION SILL BOLTS TO BE 5/8" DIAMETER AT 6'-0" O.C. U.N.O. WITH MIN. 7" EMBEDMENT METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG—TIE OR USP STRUCTURAL CONNECTORS

CARPENIR'

<u>GENERAL</u>

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1)
GYPSUM WALL BOARD AT INTERIOR WALLS TO BE FASTENED ACCORDING TO TABLE R702.3.5
ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND D

ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER IRC 317.3, FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT—DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.

12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENERS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE COMMON OR GALVANIZED BOX (UNLESS NOTED OTHERWISE) OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 8d COMMON (0.131" DIA., 2-1/2" LENGTH), 8d BOX (0.113" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA., 3" LONG) 10d BOX (0.128" DIA., 3" LENGTH), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148 DIA, 3-1/4" LONG) 5d COOLER (0.086" DIA., 1-5/8" LONG), 6d COOLER (0.092" DIA., 1-7/8" LONG)

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS
ASSOCIATION OR THE WEST COST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE
MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED DESIGN MINIMUM
PROPERTIES:

JOISTS:	WOOD TYPE:
2X4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2X6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
BEAM	
4X	DF-L #2 - Fb=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
6X OR LARGER	DF-L #2 - Fb=875 psi, Fv=170 psi, Fc=600 psi, E=1300000psi
STUDS	
2X4	HF #2 — Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2X6 OR LARGER	HF #2 — Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
<u>POSTS</u>	
4X4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
4X6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
6X6 OR LARGER	DF-L #1 - Fb=1200 psi, Fv=170 psi, Fc=1000 psi, E=1600000psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS

WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "PSL" SHALL HAVE THE MINIMUM PROPERTIES:

 $Fb = 2,900 \ PSI, Fv = 290 \ PSI, Fc = 750 \ PSI \ (PERPENDICULAR), E = 2,000,000 \ PSI.$ BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:

Fb = 2,600 PSI, Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI. BEAMS DESIGNATED AS "LSL" SHALL HAVE THE MINIMUM PROPERTIES:

Fb = 1,700 PSI, Fv = 400 PSI, Fc = 680 PSI (PERPENDICULAR), E = 1,300,000 PSI. CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS.

DEFLECTION SHALL BE LIMTED AS FOLLOWS:

FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

WINDOW INSTALLATION

WINDOWS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH WINDOW.

INSULATION AND MOISTURE PROTECTION

<u>GENERAL</u>

MAINTAIN 1" CLEARANCE ABOVE INSULATION FOR FREE AIR FLOW. INSULATION BAFFLES TO EXTEND 6" ABOVE BATT INSULATION INSULATION BAFFLES TO EXTEND 12" ABOVE LOOSE FILL INSULATION INSULATE BEHIND TUBS/SHOWERS, PARTITIONS AND CORNERS FACE—STAPLE FACED BATTS FRICTION—FIT UNFACED BATTS USE 4 MIL POLY VAPOR RETARDER AT EXTERIOR WALLS R—10 INSULATION UNDER ELECTRIC WATER HEATERS.

INSULATION MATERIALS

INSULATION MATERIAL, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84

1. WHEN SUCH MATERIAL ARE INSTALLED IN CONCEALED SPACES, THE FLAME—SPREAD AND SMOKE—DEVELOPEMENT LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT

WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH.

2. CELLULOSE LOOSE—FILL INSULATION, WHICH IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF IRC R302.10.3, SHALL ONLY BE REQUIRED TO MEET THE SMOKE—DEVELOPED INDEX OF NOT MORE THAN 450.

INFILTRATION CONTROL

EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, PENETRATIONS IN FLOORS, ROOFS AND WALLS AND ALL SIMILAR OPENINGS SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.

VAPOR BARRIERS / GROUND COVERS

AN APPROVED VAPOR BARRIER SHALL BE PROPERLY INSTALLED IN ROOF DECKS, IN ENCLOSED CEILING SPACES AND AT EXTERIOR WALLS.

A GROUND COVER OF 6 MIL (0.006") BLACK POLYETHYLENE OR FOLIVALENT SHALL BE LAID OVER THE GROUND IN ALL

A GROUND COVER OF 6 MIL (0.006") BLACK POLYETHYLENE OR EQUIVALENT SHALL BE LAID OVER THE GROUND IN ALL CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE FOUNDATION WALL.

WALL FLASHING

WALL FLASHING

APPROVED CORROSION—RESISTANT FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION—RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1-1/8" (28 mm) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DOO NOT REQUIRE ADDITIONAL FLASHING; JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING

2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO OPENINGS.

3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND SILLS.

4. CONTINUOUSLY ABOVE ALLPROJECTING WOOD TRIM.

5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD CONSTRUCTION.

6. AT WALL AND ROOF INTERSECTIONS.

7. AT BUILT-IN GUTTERS.

DRAFTSTOPPING & FIRE BLOCKING

DRAFTSTOPPING

WHEN THERE IS USABLE SPACE BOTH ABOVE & BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLEY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE & A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.

2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS—TYPE OPEN—WEB OR PERFORATED MEMBERS.

DRAFTSTOPPING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R302.12

<u>IREBLOCKING</u>

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:

1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.

1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10ft

2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH IRC SECTION R302.7

4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE IRC SECTION R1003.19.
6. FIREBLOCKING OF CORNICES OF A TWO—FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPERATION.

FIREBLOCKING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R302.11.1. LOOSE-FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED. THE INTEGRITY OF ALL FIREBLOCKS SHALL BE MAINTAINED.

FOUNDATION WATERPROOFING &

DAMPROOFING

DAMPROOFING

EXCEPT WHERE REQUIRED BY SEC. R406.2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH OR ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE. MASONRY WALLS SHALL HAVE NOT LASS THAN 3 PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR OF THE WALL. PARGING SHALL BE DAMPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING.

1. BITUMINOUS COATING
2. 3 POUNDS PER SQ. YD. OF ACRYLIC MODIFIED CEMENT

3. 1 COAT OF SURFACE BONDING CEMENT COMPLYING WITH ASTN C 887
4. ANY MATERIAL APPROVED FOR WATERPFOORING IN SEC. R406.2

5. OTHER APPROVED METHODS OR MATERIALS.
EXCEPTION: PARGING OF UNIT MASONRY WALLS IS NOT REQUIRED WHERE A MATERIAL IS APPROVED FOR DIRECT APPLICATION TO THE MASONRY.

FOUNDATION WATERPROOFING &

DAMPROOFING (CONTINUED)

WATERPROOFING

IN AREAS WHERE HIGH WATER TABLE OR OTHER SEVERE SOIL—WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH OR ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED FROM THE TOP OF FOOTING TO FINISHED GRADE. WALLS SHALL BE WATERPROOFED IN ACCORDANCE WITH

ONE OF THE FOLLOWING.

1. 2-PLY HOT MOPPED FELT

2. 55 POUND ROOF ROLLING

3. 6-MIL POLYVINYL CHLORIDE4. 6-MIL POLYETHYLENE

5. 40-MIL POLYMER-MODIFIED ASPHALT

6. 60-MIL FLEXIBLE POLYMER CEMENT
7. 1 CEMENT-BASED, FIBER-REINFORCED, WATERPROOF COATING

8. 60-MIL SOLVANT-FREE, LIQUID-APPLIED SYNTHETIC RUBBER

EXCEPTION: ORGANIC-SOLVANT-BASED PRODUCTS SUCH AS HYDROCARBONS, CHLORINATED HYDROCARBONS, KETONS AND ESTERS SHALL NOT BE USED FOR ICF WALLS WITH EXPANDED POLYSTYRENE FOAM MATERIAL. USE OF PLASTIC ROOFING CEMENTS, ACRYLIC COATINGS, LATEX COATINGS, MORTARS AND PARGINGS TO SEAL ICF WALLS IS PERMITTED. COLD-SETTING ASPHALT OR HOT ASPHALT SHALL CONFORM TO TYPE C OF ASTM D 449. HOT ASPHALT SHALL BE APPLIED AT A TEMPERATURE OF LESS THAN 200 DEG. F.

ASPHALT SHALL BE APPLIED AT A TEMPERATURE OF LESS THAN 200 DEG. F.
ALL JOINTS IN MEMBRANE WATERPROOFING SHALL BE LAPPED AND SEALED WITH AN ADHESIVE COMPATIBLE WITH THE MEMBRANE.

DOORS, WINDOWS AND SKYLIGHTS

CENERAL

GENERAL

ALL SKYLIGHTS AND SKY WALLS TO BE LAMINATED GLASS UNLESS NOTED OTHERWISE. BEDROOM EMERGENCY EGRESS WINDOWS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND MINIMUM NET CLEAR OPENING HEIGHT OF 24". FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FLOOR. MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.

WINDOW FLASHING TO BE FASTENED PER IRC CODE 703.8 WINDOW GUARDS ARE REQUIRED PER IRC 312. SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS OR AS OTHERWISE REQUIRED PER IRC SECTION R308.4:

SIDE HINGED DOORS EXCEPT JALOUSIES SLIDING GLASS DOORS AND PANELS IN SLIDING & BI-FOLD CLOSET DOOR ASSEMBLIES

STORM DOORS

4. SHOWER AND BATH TUB, HOT TUB, WHIRLPOOL, SAUNA, STEAM ENCLOSURES
5. GLAZING W/ THE EXPOSED EDGE WITHIN A 24" ARC OF EITHER VERTICAL EDGE

OF A DÓOR IN THE CLOSED POSITION & BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE

6. GLAZING GREATER THAN 9 S.F. AND LESS THAN 18" ABOVE FINISHED FLOOR

7. GLAZING IN GUARDRAILS
8. GLAZING LESS THAN 18" ABOVE FINISHED FLOOR

9. STAIRWAYS, LANDINGS & RAMPS WITHIN 36" HORIZONTAL OF WALKING SURFACE AND 60" ABOVE ADJACENT WALKING SURFACE

City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning Engineering Public Works

Fire

HEATING EQUIPMENT

FURNACE, ENCLOSED FURNACES AN ELECTRIC HEATING FURNACES.

AREA TO BE EXHAUSTED

LAUNDRY ROOMS

OF THE VENT.

ELECTRONICALLY COMMUTATED MOTOR.

FAN LOCATION

HRV OR ERV

RANGE HOODS

IN-LINE-FAN

BATHROOM, UTILITY ROOM

BATHROOM, UTILITY ROOM

DWELLING UNIT

FLOOR AREA

(SQUARE FEET)

<1,500

1,501-3,000

3,001-4,500

4,501-6,000

6,001-7.500

>7,500

DUCT LEAKAGE PROTECTION:

MECHANICAL VENTILATION RATE

ACCORDANCE WITH TABLE M1505.4.3(1)

BATHROOMS - TOILET ROOMS

INDOOR SWIMMING POOLS &

SWITCHES AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL.

ALL WARM-AIR FURNACES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED TO LISTED

CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT

NO WARM-AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM,

LIQUEFIED PETROLEUM GAS-BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT. BASEMENT OR SIMILAR LOCATION

HEATING AND COOLING EQUIPMENT LOCATED IN A GARAGE AND WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE

LOCAL EXHAUST SHALL BE PROVIDED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING

POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED. PER IRC TABLE M1505.4.4

MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE-AND TWO-FAMILY

DWELLINGS PER 2018 TABLE M1505.4.4

FOR S1: 1 CUBIC FOOT PER MINUTE = 0.0004719 m %s.

EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE BW GAS VENT SHALL BE INSTALLED IN

A TYPE L VENTING SYSTEM SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THE VENT

PASSES THROUGH THE ROOF OF THE BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'

WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY, MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE

TESTED AND LISTED HVAC EQUIPMENT IS USED TO PROVIDE WHOLE-HOUSE VENTILATION, THEY SHALL BE POWERED BY AN

EFFICACY REQUIREMENTS OF TABLE R403.6.1. EXCEPTION: WHERE A MECHANICAL VENTILATION FAN THAT IS INTEGRAL TO THE

ACCORDANCE WITH THE TERMS OF ITS LISTING, MFR'S INSTALLATION INSTRUCTIONS AND APPLICABLE CODE

2018 WASHINGTON STATE ENERGY CODE — R403.6.

TABLE R403.6.1

MECHANICAL VENTILATION SYSTEM FAN EFFICACY

AIR FLOW RATE MINIMUM

(CFM)

ANY

10

90

HABITABLE SPACE AT A CONTINUOUS RATE OF NOTE LESS THAN THAT DETERMINED IN

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR TO EACH

EXEMPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE

INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS

THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN

TABLE M1505.4.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE

TABLE M1505.4.3(1)

CONINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM

AIRFLOW RATE REQUIREMENTS

105

BUILDING AIR LEAKEAGE TESTING 2015 WSEC SEC. R402.4.1.2

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR

THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A

CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. WHERE REQUIRED BY

CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED

2018 WASHINGTON STATE ENERGY CODE - TABLE 402.1.1

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: CLIMATE ZONE 5 & MARINE 4

FRAMED

R-21

AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM WSEC SEC. R403.1

BELOW GRADE

R-10/15/21

AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE

WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY

ONCE VISUAL INSPECTION HAS CONFIRMED SEALING (SEE TABLE R402.4.1.1), OPERABLE

CEILING

R-49

WINDOWS AND DOORS MANUFACTURED BY SMALL BUSINESS SHALL BE PERMITTED TO BE

DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33,

USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED.

SEALED OFF AT THE FRAME PRIOR TO THE TEST.

OVERHEAD

0.50

Traffic

FENESTRATION U-FACTOR

VERTICAL

0.30

105 120 135

0-1 2-3 4-5 6-7

AIRFLOW IN CFM

NUMBER OF BEDROOMS

EXHAUSTED RATES

25 CFM CONTINUOUS

CFM INTERMITTENT OR

20 CFM CONTINUOUS

100 CFM INTERMITTENT OR

MINIMUM EFFICACY

(CFM/WATT)

1.2 CFM/WAT

2.8 CFM/WATT

2.8 CFM/WATT

1.4 CFM/WATT

2.8 CFM/WATT

120

MECHANICAL EXHAUST CAPACITY OF 50

AIR FLOW RATE MAXIMUM

(CFM)

ANY

<90

OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND

WHERE HEAVIER THAN AIR GAS MIGHT COLLECT. APPLIANCES SO FUELED SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT UNLESS SUCH LOCATION IS PROVIDED WITH AN APPROVED MEANS FOR REMOVAL OF

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

FRAMED

FL00R

R-30

SLAB ON

GRADE

R-10

PRRASF20221937

TABLE M1505.4.3(2)

INTERMITTENT WHOLE—HOUSE MECHANICAL VENTILATION RATE FACTORS

TABLE M1505.4.3(2)						
RUN-TIME PERCENTAGE IN EACH 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
FACTOR	4	3	2	1.5	1.3	(1.0)

a. FOR VENTILATION SYSTEM RUN TIME VALUES BETWEEN THOSE GIVEN, THE FACTORS ARE PERMITTED TO BE DETERMINED BY INTERPOLATION.

b. EXTRAPOLATION BEYOND THE TABLE IS PROHIBITED.

EXCEPTION: THE WHOLE—HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25—PERCENT OF EACH 4—HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1507.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(2)

	TION (PRESCRIPTIVE WHV) SYSTEMS YOU WILL BE USING.
. INTERMITTENT WHV USING EXHAUST FAN	S AND FRESH AIR INLETS (IRC M1507.3.4)
. INTERMITTENT WHV USING INTEGRATED W	/ITH A FORCED AIR SYSTEM (IRC 1507.3.5)
. INTERMITTENT WHV USING A SUPPLY FAI	N (IRC M1507.3.6)
. INTERMITTENT WHY USING A HEAT RECO	VERY VENTILATION SYSTEM (IRC M1507.3.7)
. CONTINUOUS HV SYSTEM AIRFLOW RATE	, ,

DRILLING AND NOTCHING STUDS

1. NOTCHING. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTHCED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH.

2. DRILLING. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF OF THE HOLE IS NO MORE THAN § INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. SEE FIGURES R602.6(1) AND R602.6(2).

<u>-EXCEPTION:</u> USE OF APPROVED STUD SHOES IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

R602.6.1 DRILLING AND NOTCHING OF TOP PLATE.

WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALVANIZED METAL TIE OF NOT LESS THAN 0.054 INCH THICK (1.37mm) (16 ga) AND 1 1/2 INCHES (38mm) WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT 10d (0.148 INCH DIAMETER) HAVING A MINIMUM LENGTH OF 1 ½ INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND A MINIMUM OF 6 INCHES PAST THE OPENING. SEE FIGURE R602.6.1.

-EXCEPTION: WHEN THE ENTIRE SIDE OF THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.

R602.6 DRILLING AND NOTCHING STUDS. DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

LIGHTING

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS
IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS

R404.1.1 LIGHTING EQUIPMENT (MANDATORY). FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.

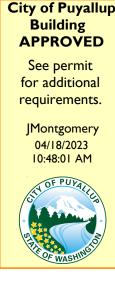
POSTING OF CERTIFICATE

<u>WSEC R401.3</u> A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DSIGN PROFESSIONAL.THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL. SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND /OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION, AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVÉLOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICES WATER HEATING EQUIPMENT. WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER." "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER." AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

See approved site plan named:
SP2 Additional Site Plan
3_28_2025
For all engineering requirements

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION



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GENERAL NOTES

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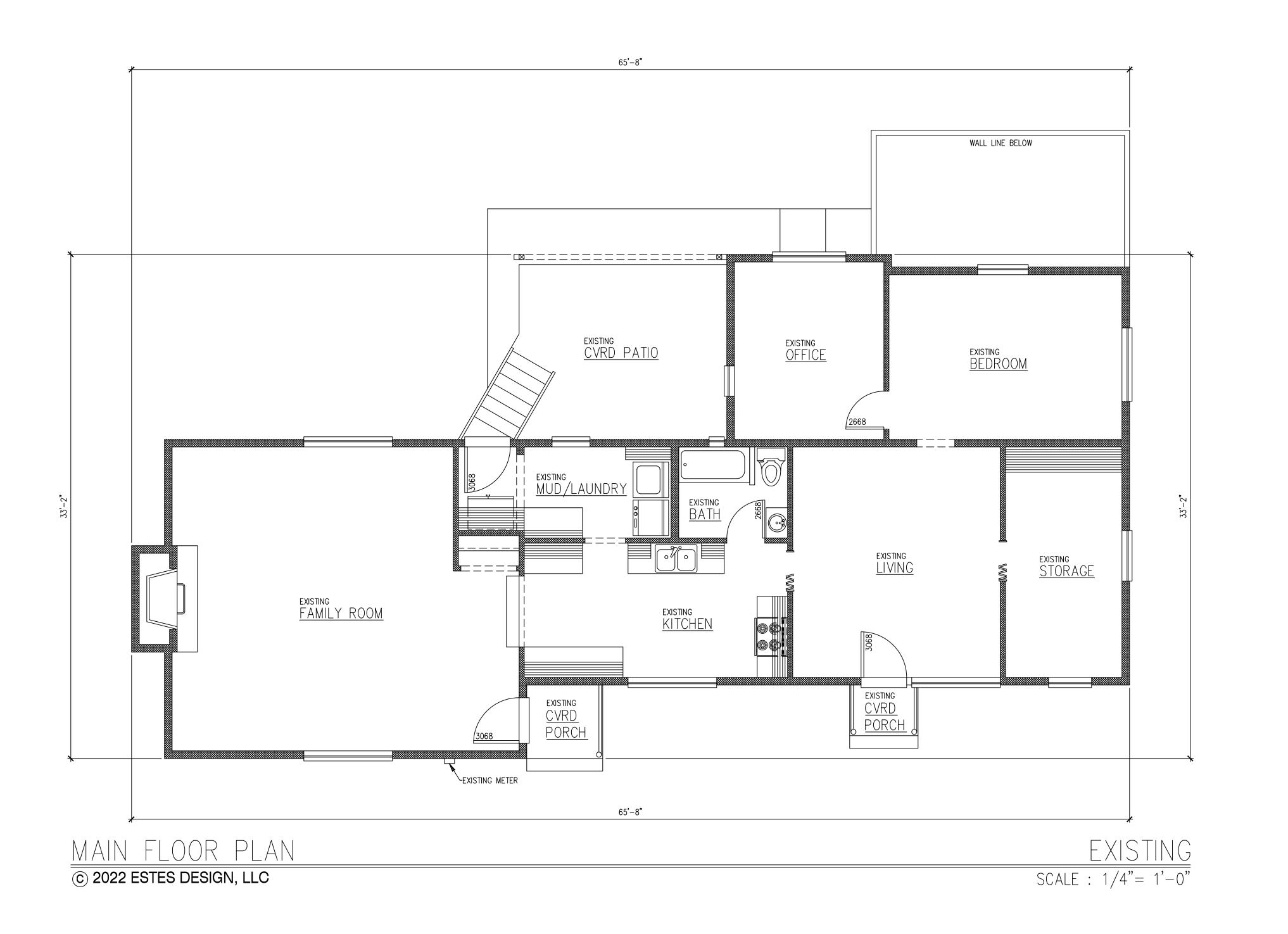
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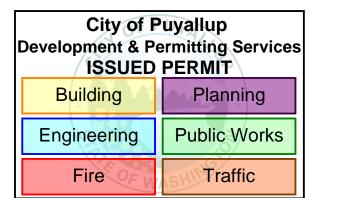
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DESIGNER: RE

DRAFTER: RE

DATE: 03/29/23

PROJECT NO: 22019





MAIN FLOOR AS-BUILT

REMODEL & ADDITION 10

THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE

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City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning Public Works Engineering Fire Traffic

PRRASF20221937

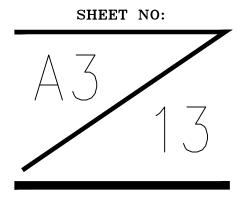
BASEMENT AS-BUILT

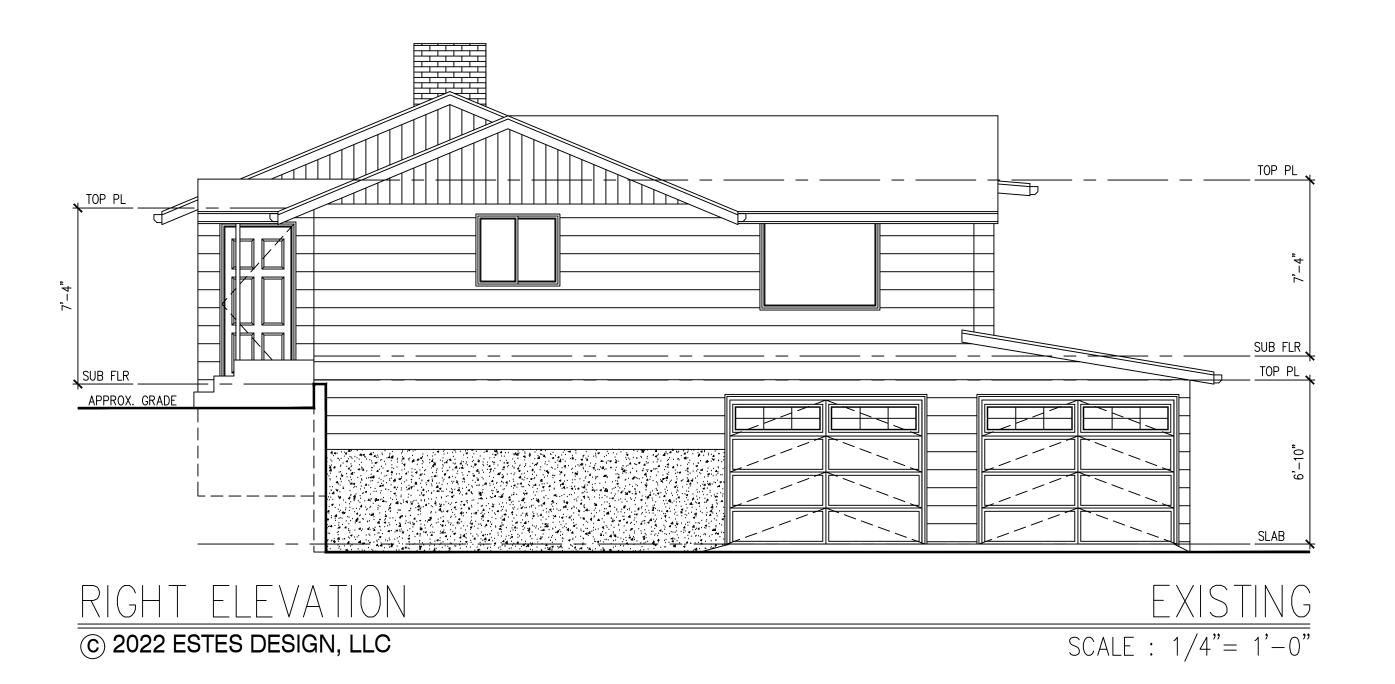
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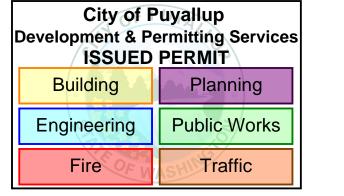
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ARCHITECTURAL DRAFTING & RENDERING EMAIL: estesdesign||C@gmail.com

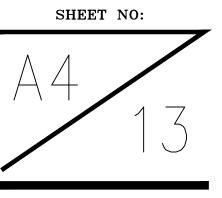
EXISTING ELEVATIONS

REMODEL & ADDITION 10

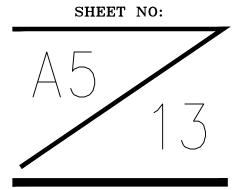
THE LOCKWOOD RESIDENCE
3305 S FRUITLAND AVE

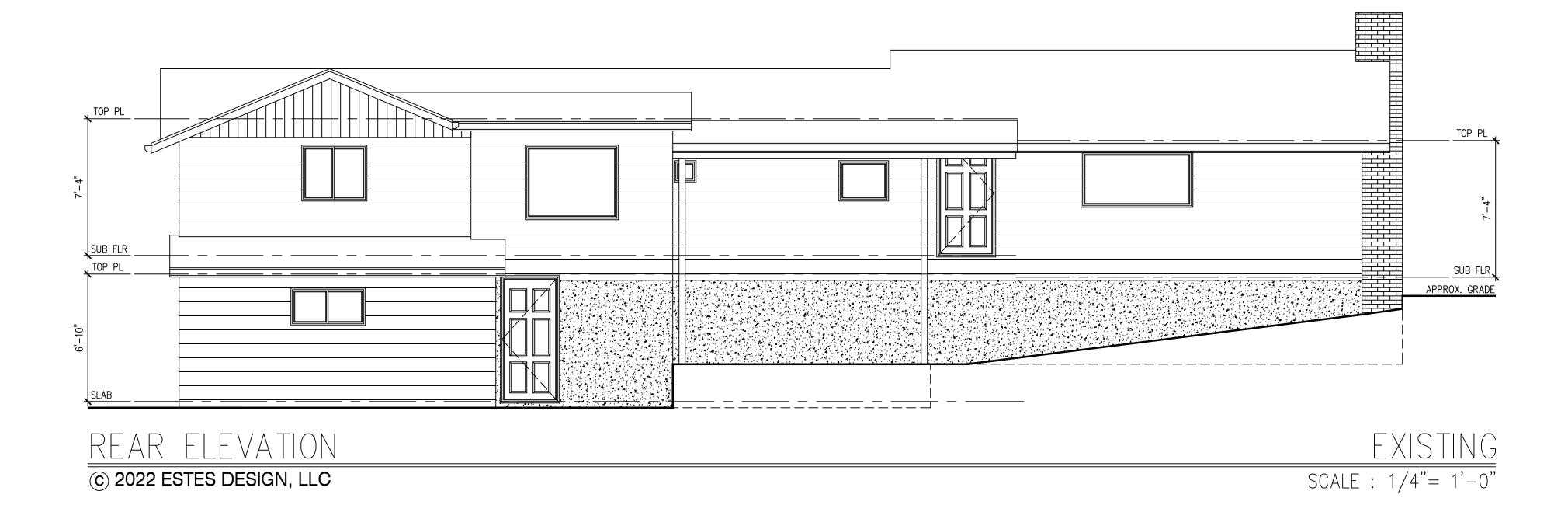
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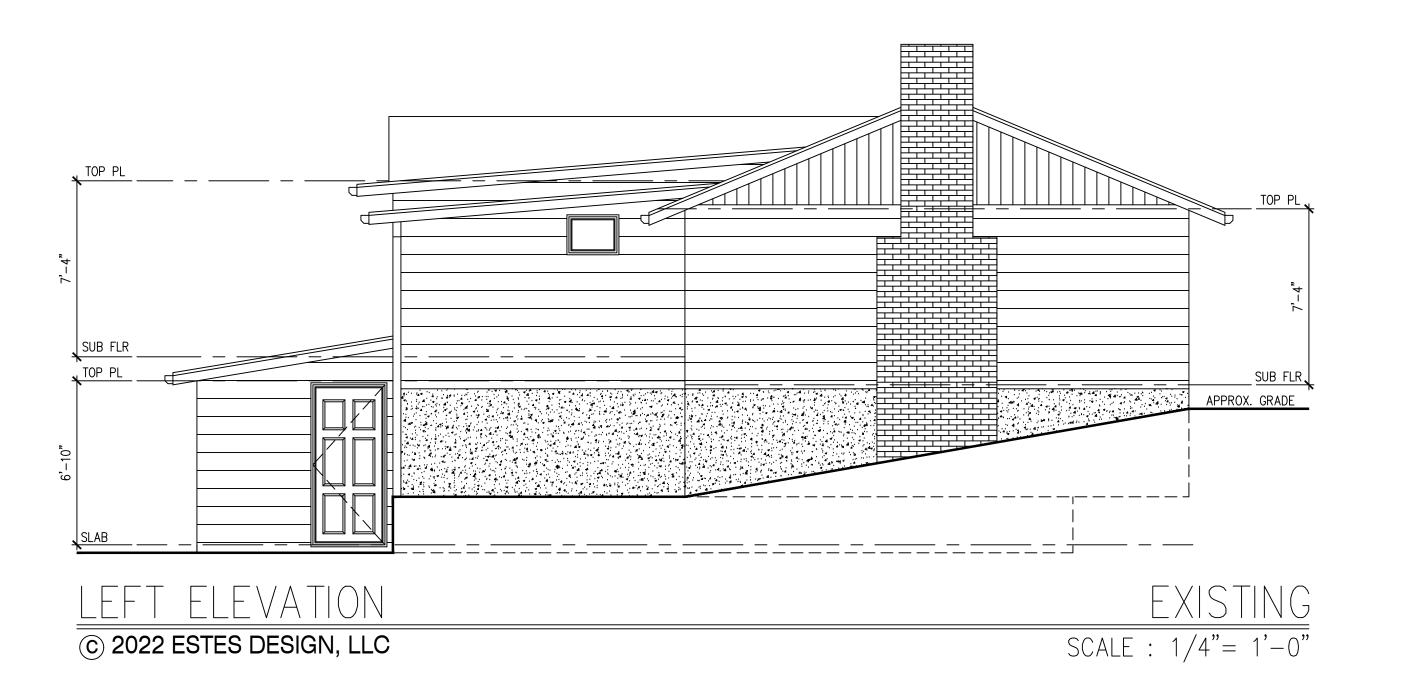
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City of Puyallup Development & Permitting Services ISSUED PERMIT				
Building Planning				
Engineering	Public Works			
Fire OF W	Traffic			

NEW CONSTRUCTION NOTES

- ALL DOOR/WINDOW HEADERS TO BE 6X8 DF#2 AT 2X6 BEARING WALLS , U.N.O.. 6'-0" MAX. SPAN
- ALL DOOR/WINDOW HEADERS TO BE 4X10 DF#2 AT 2X4 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O. - PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- EXTERIOR WALLS TO BE 2X6 AT 16" (MAX.) O.C. U.N.O. - INTERIOR PARTITIONS TO BE 2 X 4 AT 16" O.C. (2X6 @ PLUMBING WALLS,
- DÚCTS THROUGH WALL OR CEILING COMMON TO HOUSE MIN. 26 GAGE STEEL - NO DUCT OPENINGS IN GARAGE
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING
- FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IRC R311.3.2

* NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

AREA SUMMARY			
MAIN FLOOR: LOWER FLOOR:	1,853 589		
TOTAL:	2,442	SF.	
GARAGE:	791	SF.	
GLAZING SUMMARY			
WINDOWS:	166	SF.	
DOORS W/ MORE THAN 50% GLAZING:	40	SF.	
SKYLIGHTS:	0	SF.	
TOTAL:	206	SF.	
GLAZING PERCENT:	8.44	%	WDW SF / FLR SF. (%)

SMOKE DETECTORS

INSTALL SMOKE DETECTORS PER CODE

110V INTERCONNECTED W/ BATTERY BACKUP INSTALLED ON EACH FLOOR, IN EACH SLEEPING AREA, AND OUTSIDE EACH SEPERATE SLEEPING AREA

LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72

CARBON MONOXIDE

SD/CM INSTALL SMOKE DECTOR/ CARBON MONOXIDE ALARM PER CODE

COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARMS: SMOKE ALARM REQUIREMENTS AS LISTED ABOVE. INSTALLED ON EACH FLOOR, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CARBON MONOXIDE ALARMS LISTED AS COMPLYING WITH UL 2075 AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

VENTILATION SCHEDULE

VENTILATION REQUIREMENTS OF IRC TABLE 1506.3

SYMBOL

KITCHENS BATHROOMS-TOILET ROOMS & LAUNDRY ROOMS

100 CFM INTERMITTENT OR 25 CFM CONTINUOUS MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20

CFM CONTINUOUS

Fan

THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH. SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(1)

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE M1507.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(2)

VENTILATION RATE FOR WHOLE HOUSE FAN TO BE 75 AIRFLOW IN CFM PER TABLE M507.3.3 (1) HVAC CONTRACTOR TO SPECIFY LOCATION.

NOTE

REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

NOTE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

ENERGY CREDIT 1.3: - 0.5 CREDIT

EFFICIENT BUILDING ENVELOPE 1.3:

PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:

VERTICAL FENESTRATION U = 0.28

FLOOR: R-38

SLAB ON GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB SLAB BELOW GRADE: R-10 PERIMETER AND UNDER ENTIRE SLAB

COMPLIANCE BASED ON SECTION R402.1.4: REDUCE THE TOTAL CONDUCTIVE UA BY 5%

ENERGY CREDIT 5.5: - 2 CREDITS

EFFICIENT WATER HEATING 5.5:

WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION

FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S), MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS. IF ONE WATER HEATER IS SERVING MORE THAN ONE DWELLING UNIT, ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED WITH R-8 MINIMUM PIPE INSULATION.

ENERGY CREDIT 7.1: - 0.5 CREDIT

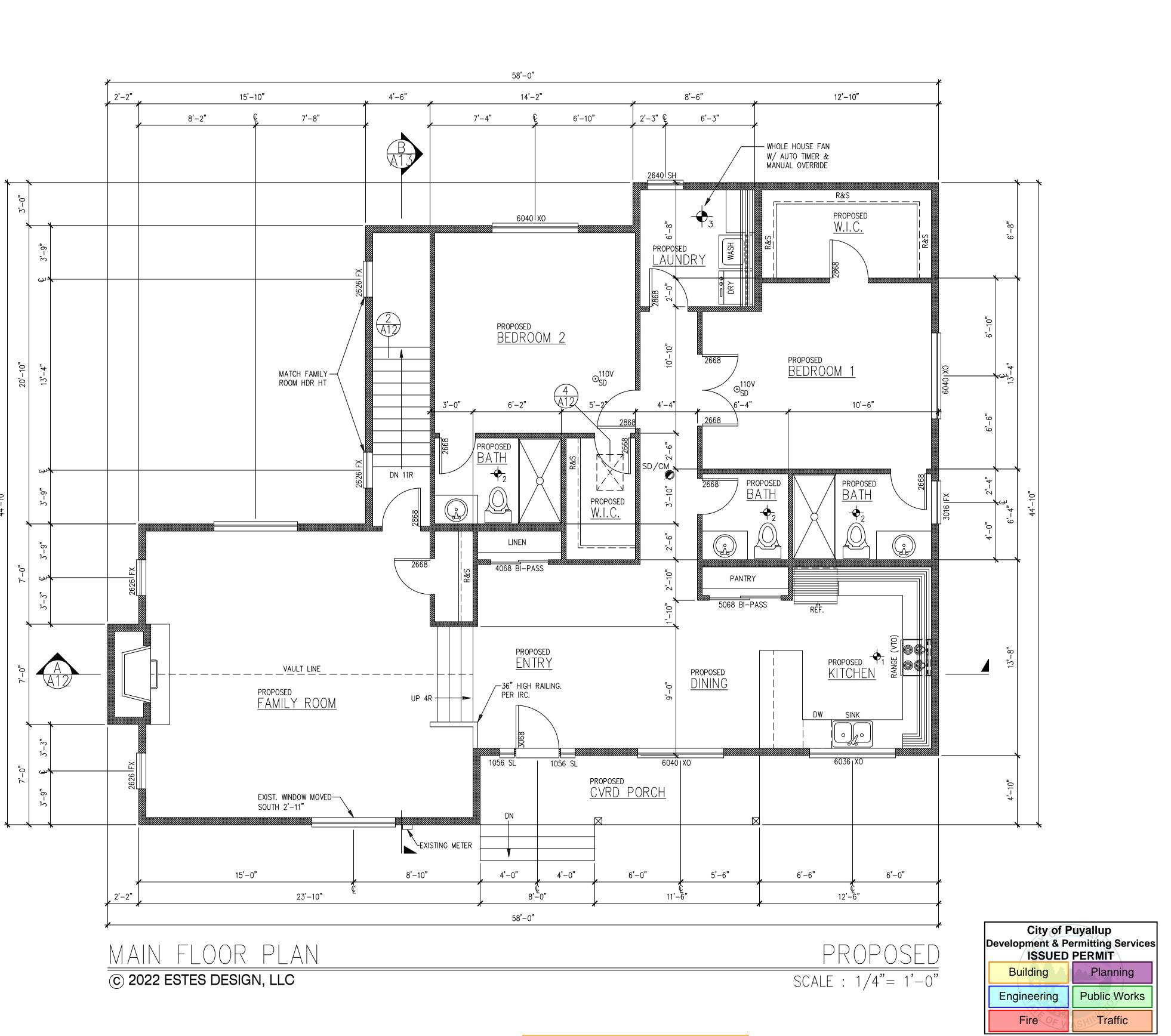
APPLIANCE PACKAGE 7.1:

ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS: DISHWASHER - ENERGY STAR RATED

REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED

WASHING MACHINE - ENERGY STAR RATED DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MINIMUM CEF

RATING OF 5.2



PROPOSED MAIN FLOOR

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Design, LLC prior to construction

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Estes Design, LLC.

SHEET NO:

PRRASF20221937

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- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN ' 1/2" LOWER THAN THE TOP OF THRESHOLD. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. IRC R311.3.2

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LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72

CARBON MONOXIDE

SD/CM INSTALL SMOKE DECTOR/ CARBON MONOXIDE ALARM PER CODE

COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARMS: SMOKE ALARM REQUIREMENTS AS LISTED ABOVE. INSTALLED ON EACH FLOOR, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. CARBON MONOXIDE ALARMS LISTED AS COMPLYING WITH UL 2075 AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

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VLIVIILATION SCITEDULE						
VENTILATION REQUIREMENTS OF IRC TABLE 1506.3						
SYMBOL	SYMBOL					
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→ 2	BATHROOMS—TOILET ROOMS & LAUNDRY ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS				
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III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION ΩR

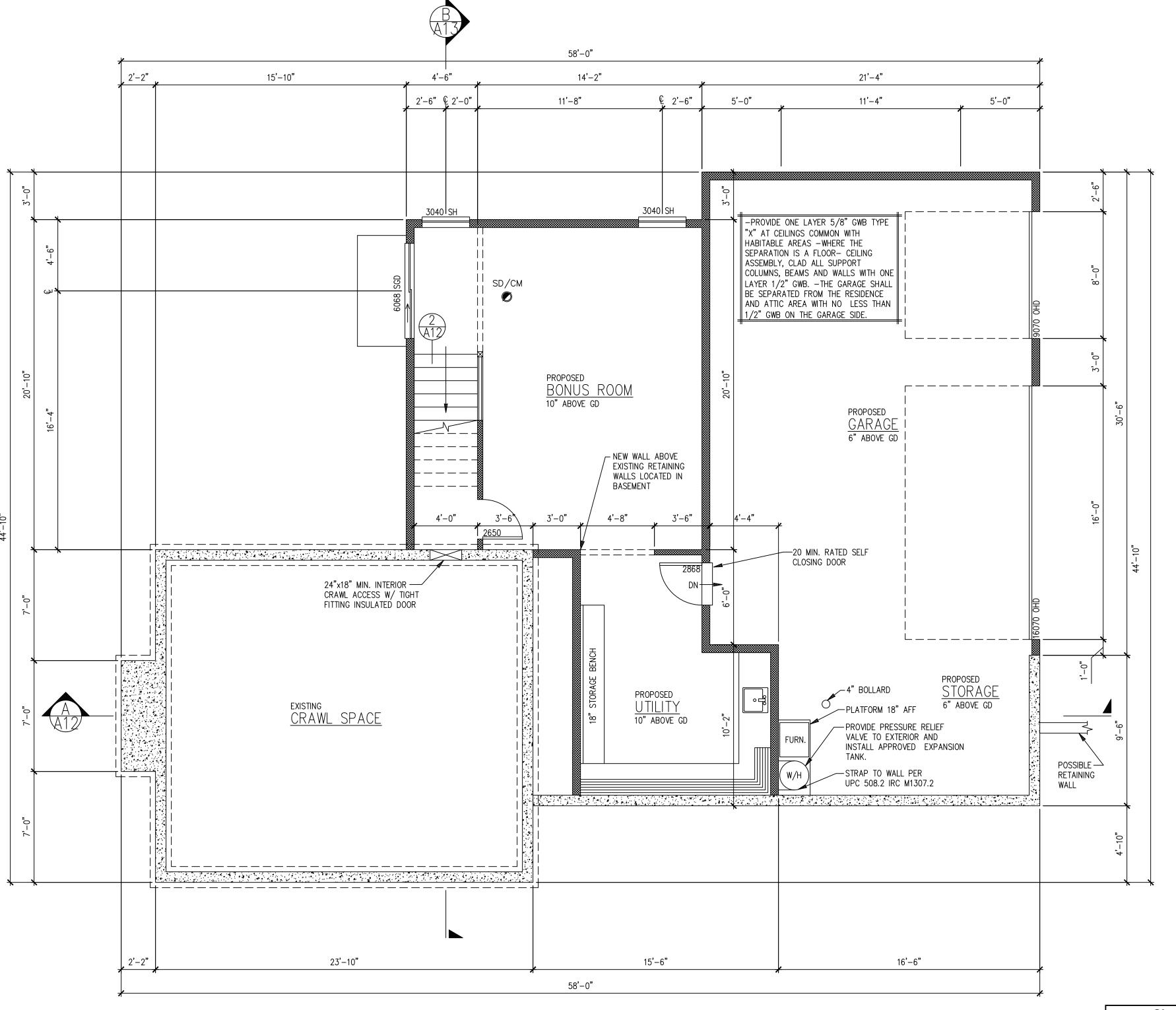
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REFRIGERATOR (IF PROVIDED) — ENERGY STAR RATED WASHING MACHINE - ENERGY STAR RATED

DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MINIMUM CEF RATING OF 5.2



BASEMENT FLOOR PLAN

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PROPOSED SCALE : 1/4" = 1'-0"

Development & Permitting Services ISSUED PERMIT Building Planning Engineering Traffic

City of Puyallup Public Works

PRRASF20221937

PROPOSED BASEMENT

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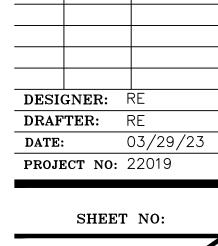
any method of all, part or

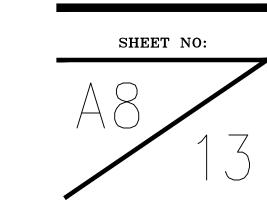
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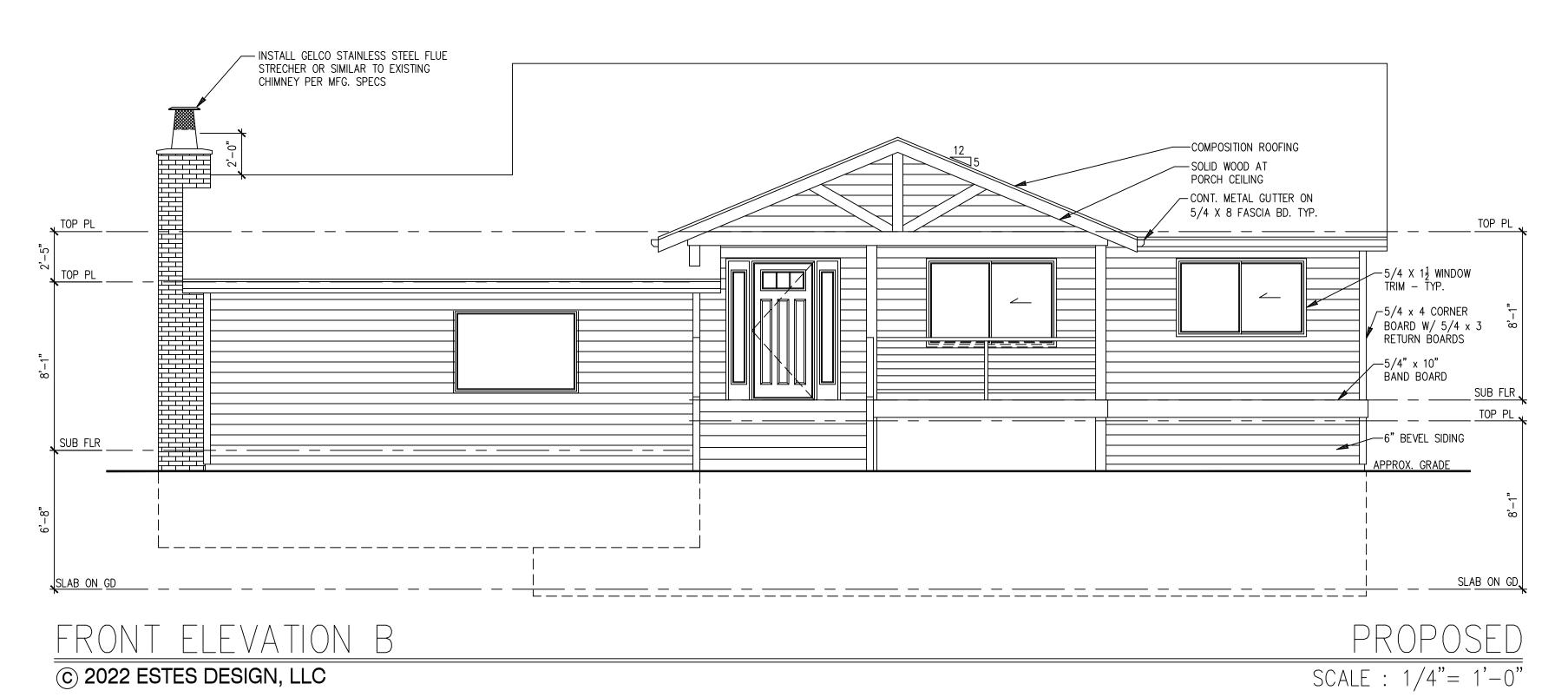
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REVISIONS

INT. DATE | REV.







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- VERIFY SHEAR WALL NAILING AND HOLDOWNS ARE PER PLAN AND SCHEDULE PRIOR TO INSTALLING SIDING

- MASONRY AND WOOD FRAME CHIMNEYS ARE TO BE CONSTRUCTED PER I.R.C. - PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL

ROOF / WALL INTERSECTIONS, CHIMNEYS, AND SKYLIGHTS

PROVIDE WEATHERSTRIPPING AND FLASHING AT ALL DOORS AND WINDOWS AS REQUIRED
 CAULK ALL EXTERIOR JOINTS AND PENETRATIONS

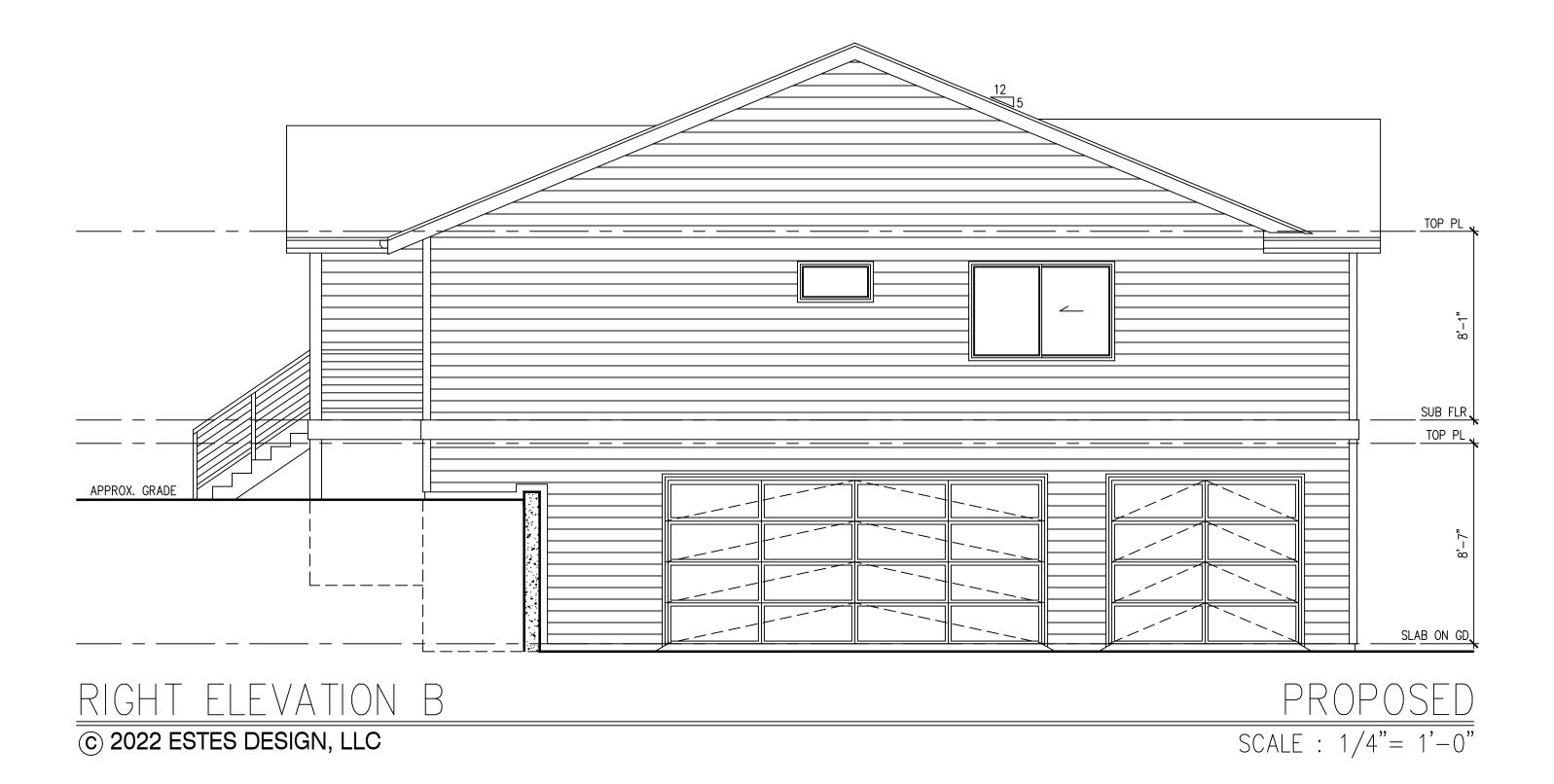
POST ADDRESS ON BLDG. PRIOR TO FINAL INSPECTIONLOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM

FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE

- FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT)

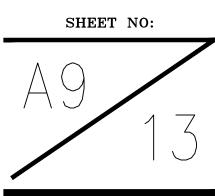
NOTE:
APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

PROVIDE CONTINUOUS PRE-PAINTED G.I. "Z" FLASHING AT ALL EXT. DOOR & WINDOW HEADERS.

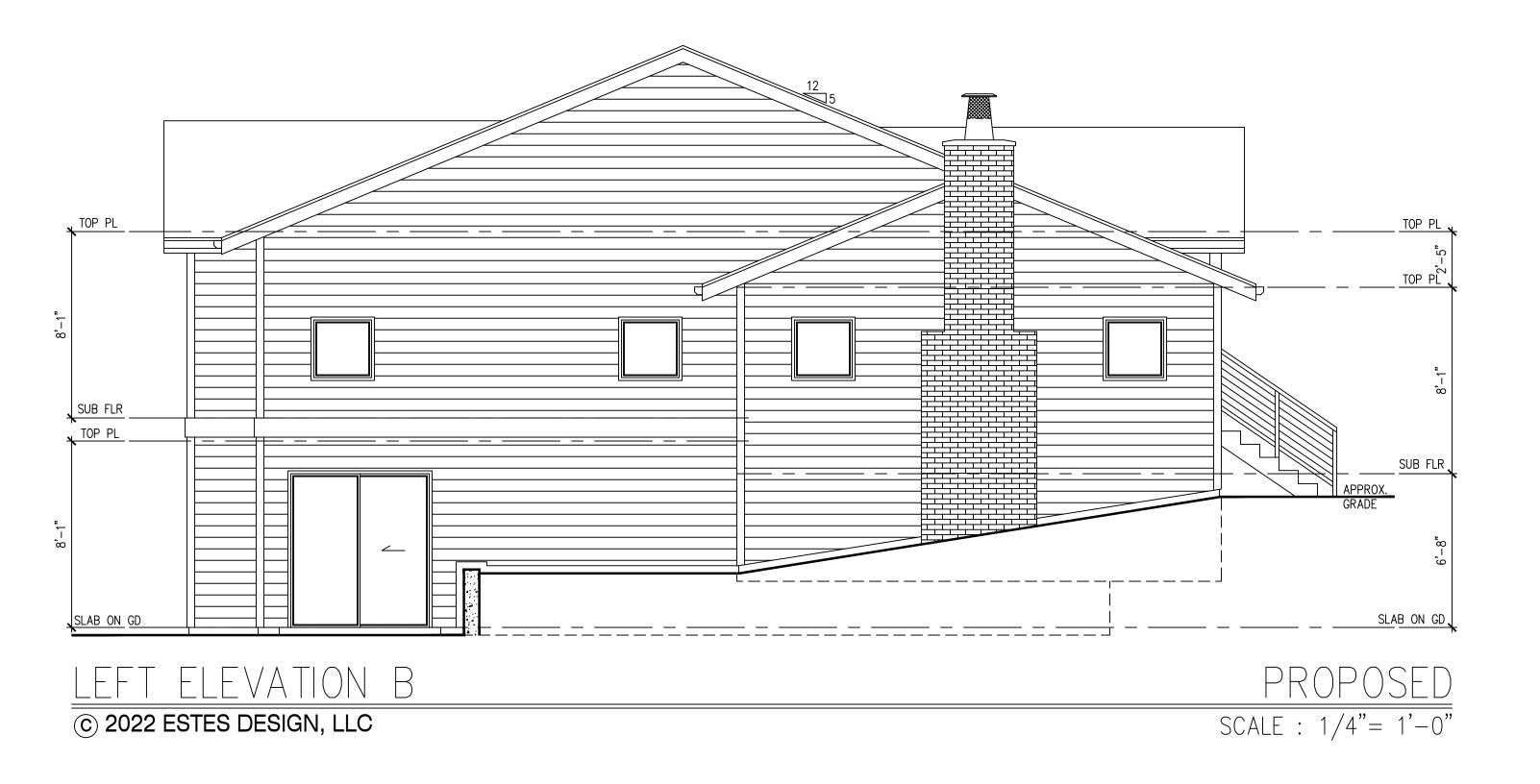


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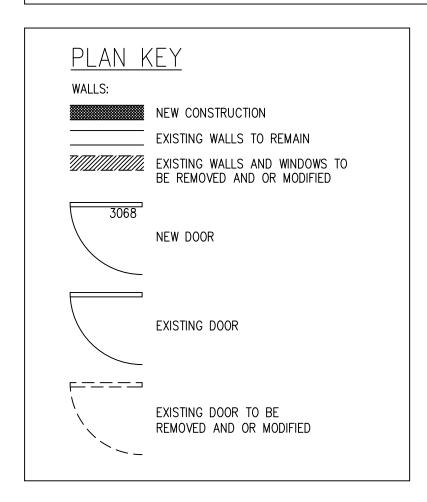


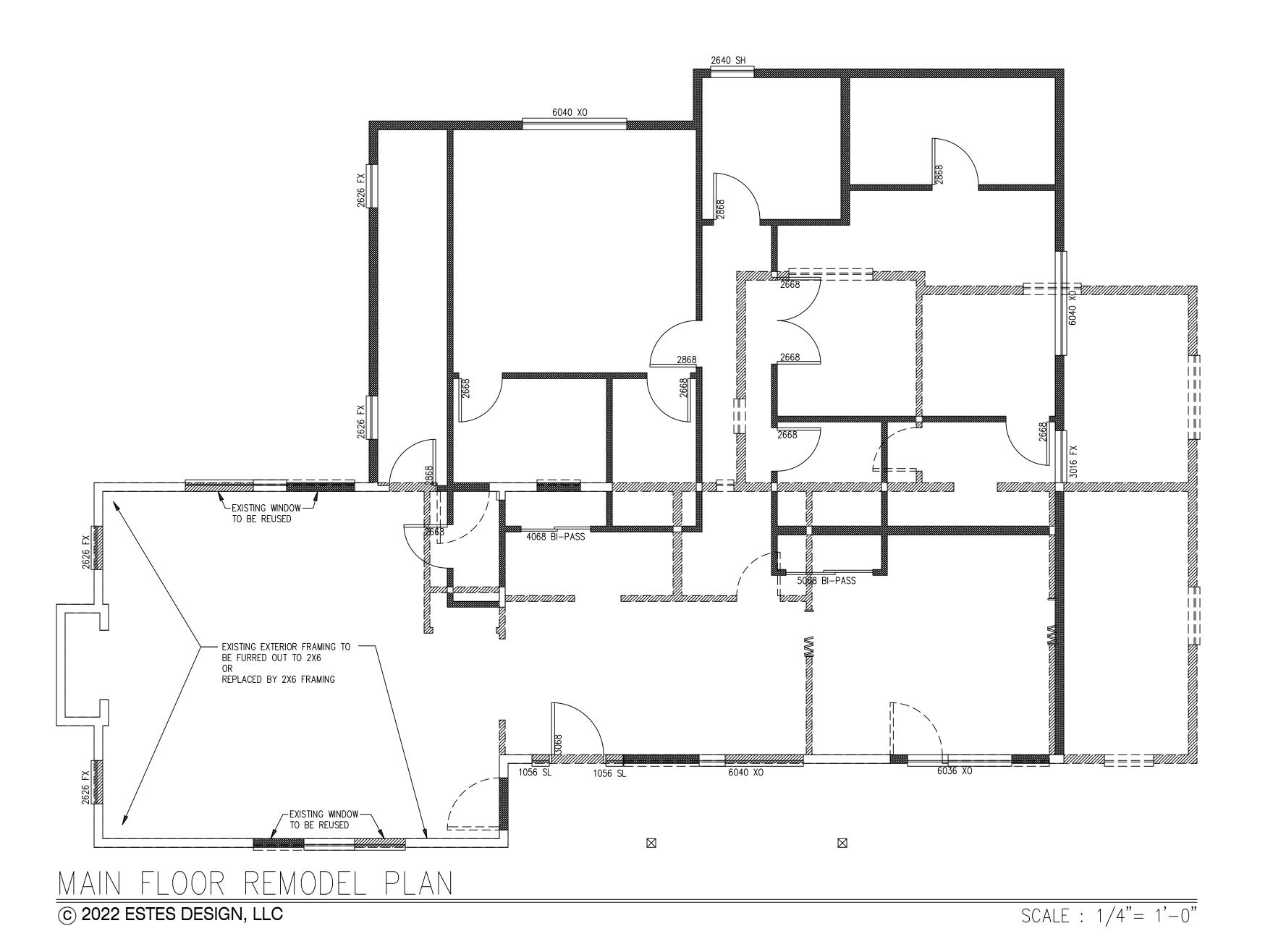




City of Puyallup evelopment & Permitting Services ISSUED PERMIT				
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Engineering	Public Works			
Fire OF W	Traffic			

THE PROPOSED STRUCTURAL CONFIGURATION REPRESENTED HEREIN IS BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW BY THE DESIGNER TO DETERMINE ADEQUACY. IT IS THE BUILDER'S RESPONSIBILITY TO BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING FURTHER WITH THE WORK.





City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning Public Works Engineering Traffic

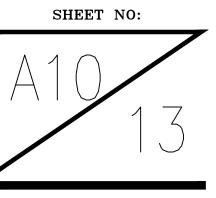
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MAIN FLOOR

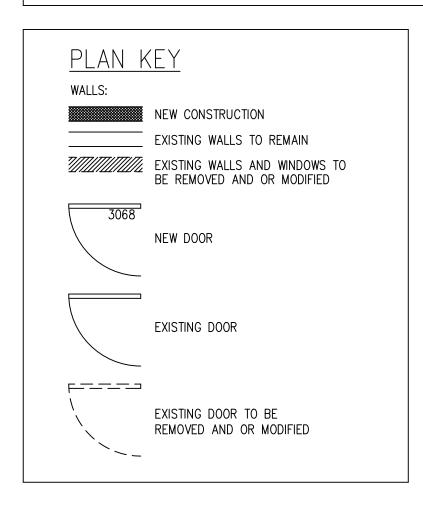
DEMO PLAN

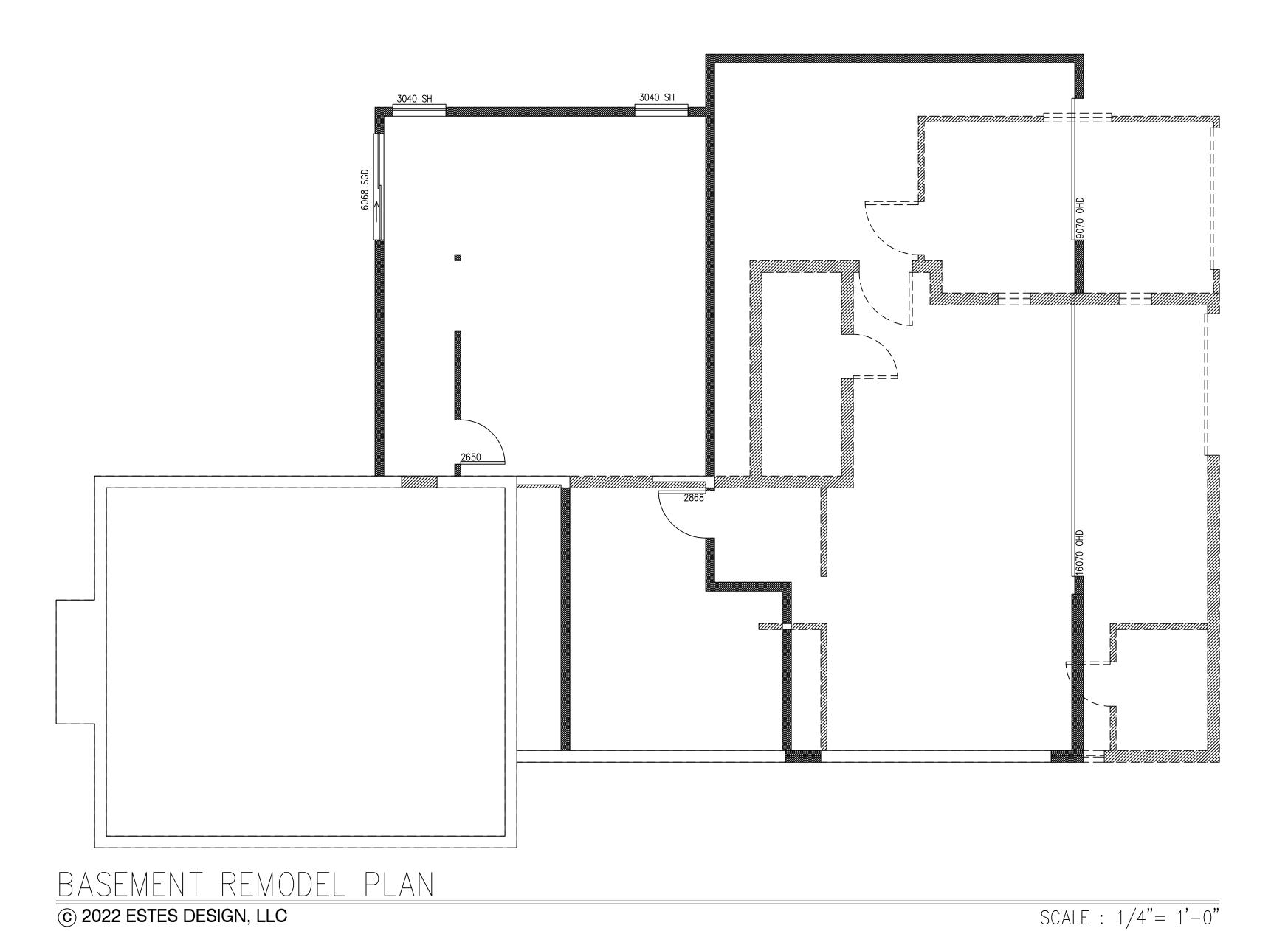
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DATE:		03/29/23
PROJE	ECT NO:	22019



THE PROPOSED STRUCTURAL CONFIGURATION REPRESENTED HEREIN IS BASED ON NON-INVASIVE SITE OBSERVATION OF THE EXISTING STRUCTURAL CONDITIONS. AS A RESULT, IN CERTAIN INSTANCES, DESIGN ASSUMPTIONS WERE USED TO FORMULATE THE COMPATIBILITY OF THE NEW CONSTRUCTION WITH THE EXISTING STRUCTURAL ELEMENTS. DURING THE COURSE OF CONSTRUCTION, IT IS POSSIBLE THAT CONDITIONS MAY BE ENCOUNTERED THAT DO NOT COINCIDE WITH THE DESIGN ASSUMPTIONS AND MAY REQUIRE FURTHER STRUCTURAL REVIEW BY THE DESIGNER TO DETERMINE ADEQUACY. IT IS THE BUILDER'S RESPONSIBILITY TO BE OBSERVANT OF THESE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING FURTHER WITH THE WORK.





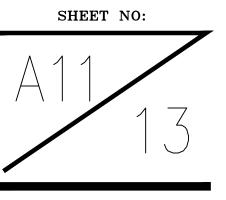
City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning Public Works Engineering Traffic

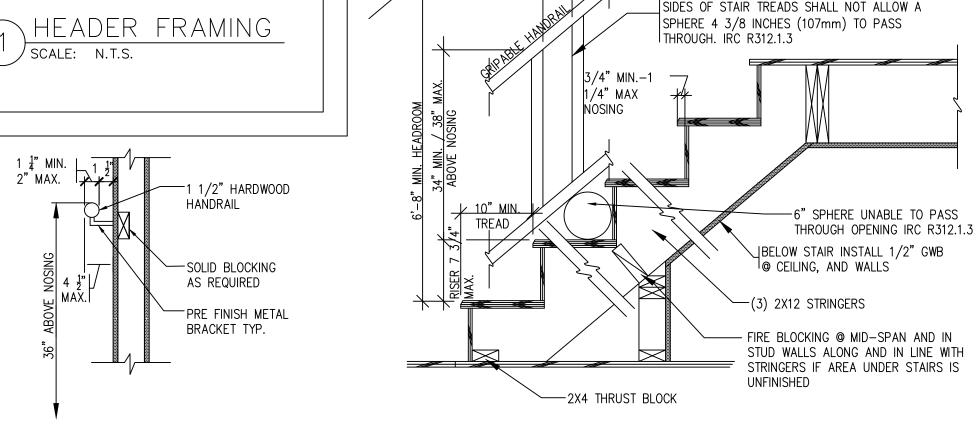
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4 를 " SPHERE SHALL ---

NOT PASS THROUGH

|HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE

OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH

FOUR OR MORE RISERS. HANDRAILS CIRCULAR DIAMETER

OF AT LEAST 1 4 " MIN. 2" MAX. EDGES SHALL HAVE A

MIN. RADIUS OF 0.001 INCH. HANDRAILS ADJACENT TO A

WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 ½ "

IOPENINGS FOR REQUIRED GUARDS ON THE

IRC SECTION R311.7.8

INTERIOR/GUARDRAIL STAIR NOTES: - HANDŔAILS MUST NOT PROJECT MORE THAN 4 1/2" INTO THE STAIRWAY IRC SECTIONR311.7.1 AND MUST BE ABLE TO RESIST A 200 Ib. POINT LOAD FROM ANY DIRECTION. IRC SECTIONS R311.5.1 & TABLE R301.5d

— LIGHTING IS REQUIRED AT THE TOP, BOTTOM OR DIRECTLY OVER EACH STAIRWAY SECTION, AND ANY LANDINGS WITH CONTROLS AT THE TOP AND BOTTOM OF STAIRS WITH 6 OR MORE

RISERS. IRC SECTION R303.7 AND 311.7.1 - THE SPACING BETWEEN INTERMEDIATE HANDRAIL MEMBERS MUST NOT ALLOW $\,\,$ A 4 3_8 SPHERE TO PASS THROUGH ANY OPENING. IRC SECTION R312.1.3

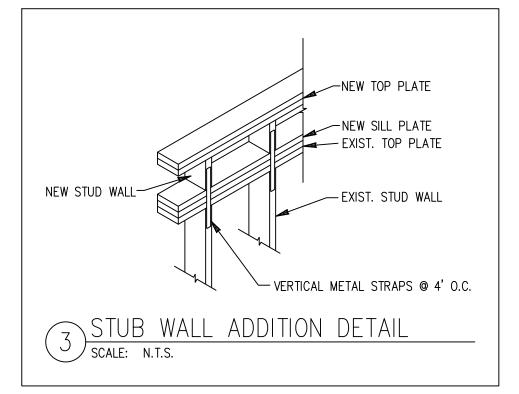
- STAIRWAYS, STAIR & STAIR LANDING MINIMUM WIDTH SHALL BE NO LESS THAN 36" (31 🗦 " CLEAR IF ONE HANDRAIL, & 27" CLEAR IF 2 HANDRAILS. IRC SECTION R311.7.1 THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16". THE MAX. SMALLEST BY MORE THAT 3/8 ". IRC SECTION R311.7.5.1 & R311.7.5.2 - NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11". IRC SECTION | R311.7.5.3 (EXCEPTION)

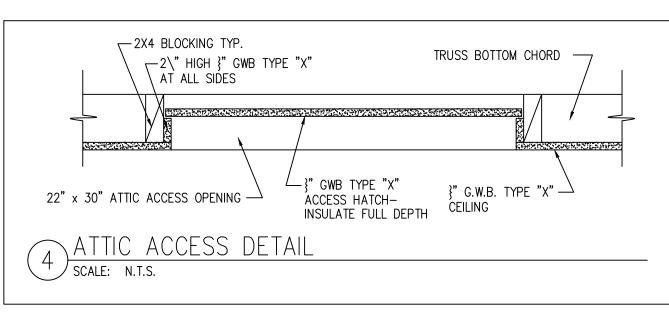
EXTERIOR STAIR NOTES: — EXTERIOR STAIR LIGHTING AT TOP LANDING WITH CONTROLS INSIDE THE DWELLING. IRC SECTION R303.7 & R303.7.1 - A MAXIMUM SLOPE OF 1:48 (2%) IS REQUIRED AT EXTERIOR LANDINGS AND TREADS FOR DRAINAGE. IRC SECTION R311.7.7

INTERIOR WINDER STAIR NOTES: - MINIMUM TREAD DEPTH OF 10" BETWEEN VERTICAL PLANES AT THE INTERSECTION WITH THE WALKLINE (12") AND SHALL HAVE A MINIMUM TREAD DEPTH OF 6" IRC SECTION R311.7.5.2.1 &R311.7.4

LANDING NOTES: LANDING WIDTH SHALL NOT BE LESS THAN THAT OF STAIR SERVED IRC R311.7.6 - LANDING SHALL NOT BE LESS THAN 36 INCHES IN DIRECTION OF TRAVEL IRC R311.7.6

STAIR DETAIL ∠ / SCALE: N.T.S.

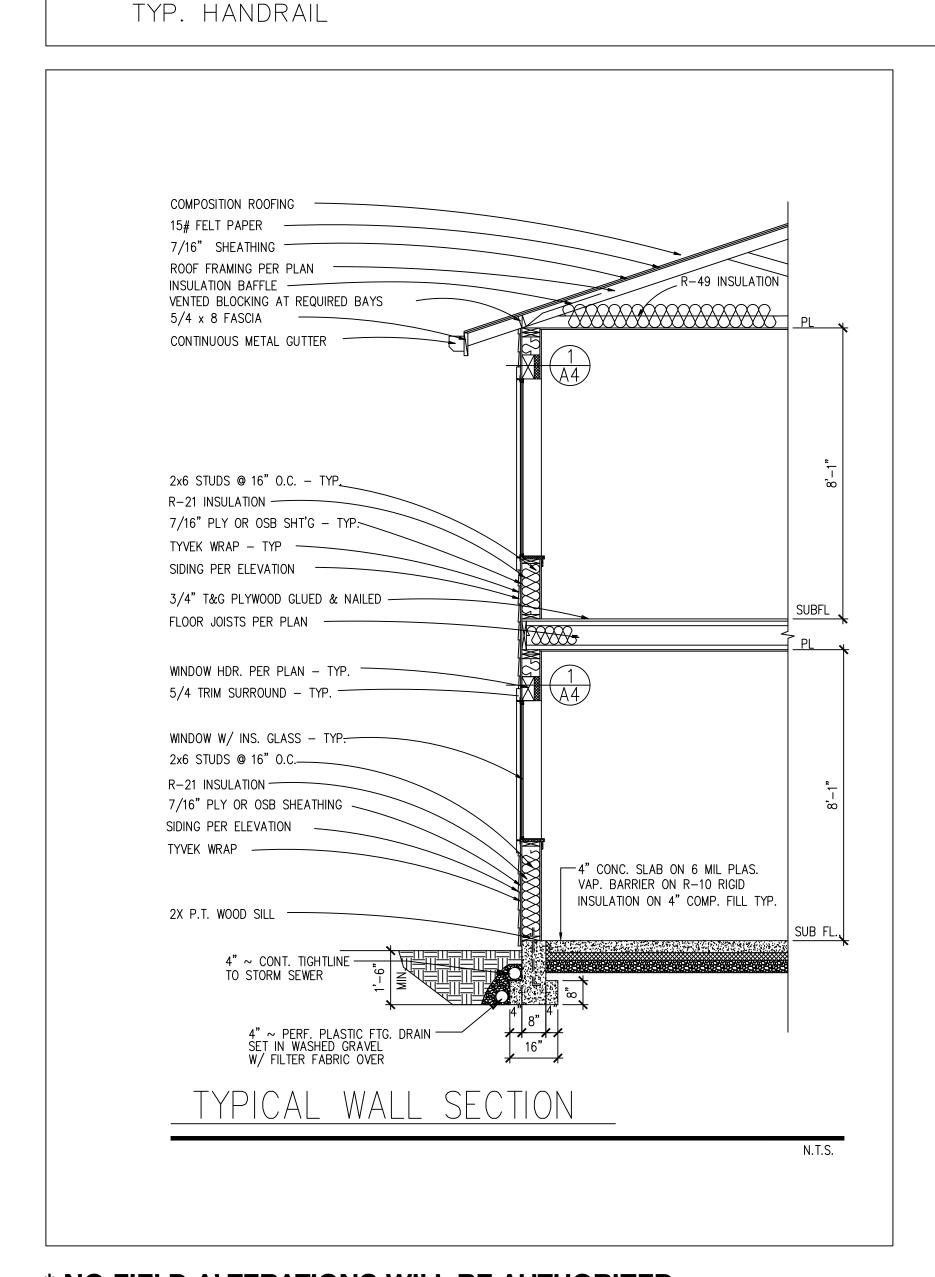


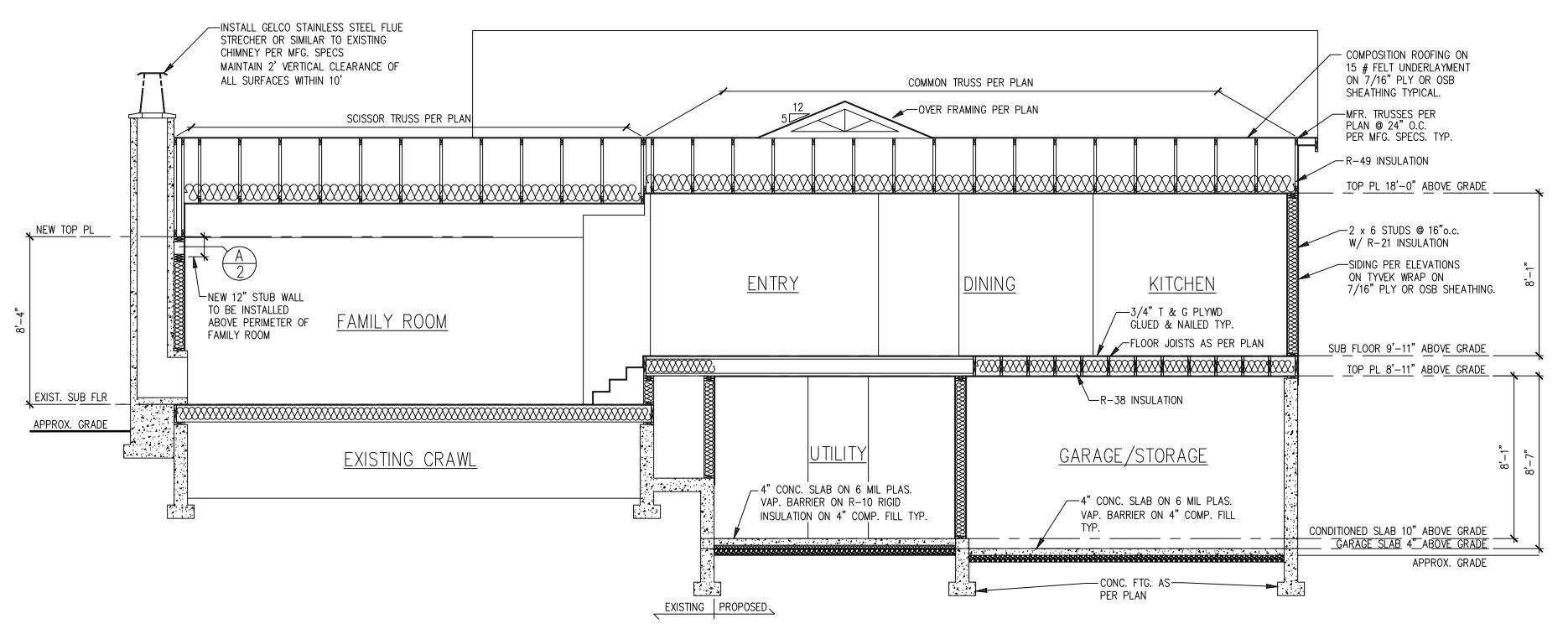


SCALE : 1/4" = 1'-0"

SECTION A &

DETAILS





SECTION A

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TYPICAL ROOF CONSTRUCTION

- COMPOSITION ROOF SHINGLES - 15# ROOFING FELT
- 7/16" SHEATHING RATED 24/16
- STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN - R-49 INSULATION
- 5/8" GWB. CEILING
- 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
- NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
- PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3
- TYPICAL WALL CONSTRUCTION
- SIDING AND/OR VENEER PER ELEVATION
- 7/16" PLY OR OSB SHTG.(U.N.O) - TYVEK BUILDING WRAP OR EQ.
- 2X6 STUDS @ 16" O.C. EXTERIOR WALLS U.N.O. EXTERIOR WALL NOTCH 25%, BORING 40% 60% BORING IF DOUBLED & NOT MORE
- THAN TWO SUCCESSIVE STUDS. - 2x4 STUDS @ 16" O.C., INTERIOR PARTITIONS
- (2X6 @ PLUMBING WALLS) NON-BEARING WALL MAXIMUM NOTCH 40%, BORING 60% HOLES NO CLOSER THE 5/8 INCH TO FACE OF STUD
- R-21 INSULATION WITH VAPOR BARRIER
- 1/2" GWB. INTERIOR SHEATHING

TYPICAL FLOOR CONSTRUCTION

- FINISHED FLOOR PER PLANS
- 3/4" T&G PLYWOOD SUBFLOOR (GLUE AND NAIL)
- FLOOR JOISTS PER PLAN - R-38 INSULATION OVER UNHEATED AREAS

City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning **Public Works** Engineering Fire Traffic

* NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

NOTE

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

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Estes Design, LLC. **REVISIONS** INT. DATE REV. DESIGNER: RE DRAFTER: RE 03/29/23 DATE: **PROJECT NO:** 22019

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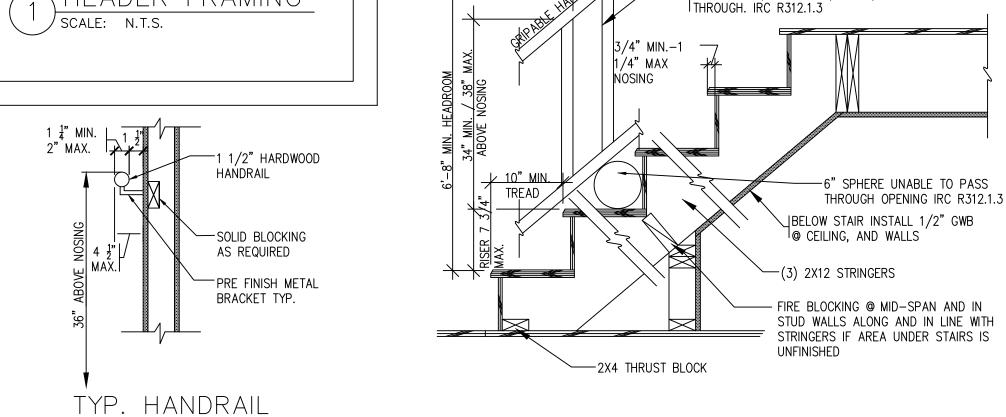
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4 § " SPHERE SHALL -

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INTERIOR/GUARDRAIL STAIR NOTES: - HANDŔAILS MUST NOT PROJECT MORE THAN 4 1/2" INTO THE STAIRWAY IRC SECTIONR311.7.1 AND MUST BE ABLE TO RESIST A 200 Ib. POINT LOAD FROM ANY DIRECTION. IRC SECTIONS R311.5.1 & TABLE R301.5d - LIGHTING IS REQUIRED AT THE TOP, BOTTOM OR DIRECTLY OVER EACH STAIRWAY SECTION,

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-THE GREATEST RISER AND TREAD WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAT 3/8 ". IRC SECTION R311.7.5.1 & R311.7.5.2 - NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF 11". IRC SECTION R311.7.5.3 (EXCEPTION)

EXTERIOR STAIR NOTES: — EXTERIOR STAIR LIGHTING AT TOP LANDING WITH CONTROLS INSIDE THE DWELLING. IRC SECTION R303.7 & R303.7.1 - A MAXIMUM SLOPE OF 1:48 (2%) IS REQUIRED AT EXTERIOR LANDINGS AND TREADS FOR

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STAIR DETAIL ∠ SCALE: N.T.S.

DRAINAGE. IRC SECTION R311.7.7

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OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH

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OF AT LEAST 1 1 MIN. 2" MAX. EDGES SHALL HAVE A

MIN. RADIUS OF 0.001 INCH. HANDRAILS ADJACENT TO A

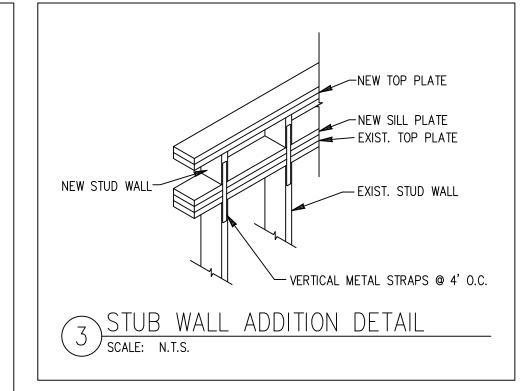
WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 $\frac{1}{2}$ "

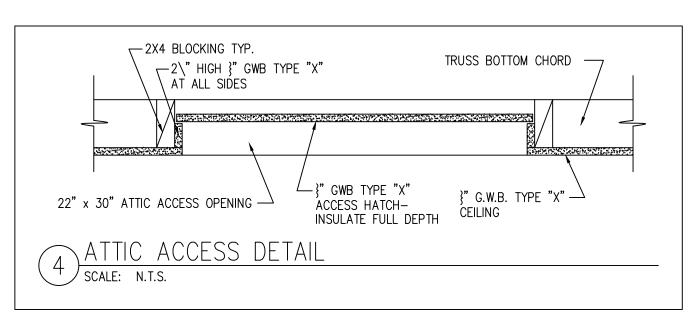
OPENINGS FOR REQUIRED GUARDS ON THE

SPHERE 4 3/8 INCHES (107mm) TO PASS

SIDES OF STAIR TREADS SHALL NOT ALLOW A

IRC SECTION R311.7.8





—CONT. METAL GUTTER ON 5/4 X 8 FASCIA BD. TYP.

APPROX. GRADE

SCALE : 1/4"= 1'-0"

SUB FLR

CONDITIONED SLAB

10" ABOVE GRADE

MOI HE 305 JYAI

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•	DATE:		03/29/23
	PROJE	ECT NO:	22019

SHEET NO:

COMPOSITION ROOFING 15# FELT PAPER — 7/16" SHEATHING ROOF FRAMING PER PLAN R-49 INSULATION INSULATION BAFFLE -VENTED BLOCKING AT REQUIRED BAYS 5/4 x 8 FASCIA CONTINUOUS METAL GUTTER 2x6 STUDS @ 16" O.C. - TYP. R-21 INSULATION ---7/16" PLY OR OSB SHT'G - TYP: TYVEK WRAP - TYP SIDING PER ELEVATION 3/4" T&G PLYWOOD GLUED & NAILED SUBFL FLOOR JOISTS PER PLAN WINDOW HDR. PER PLAN - TYP. 5/4 TRIM SURROUND - TYP. WINDOW W/ INS. GLASS - TYP. 2x6 STUDS @ 16" O.C.— R-21 INSULATION -7/16" PLY OR OSB SHEATHING SIDING PER ELEVATION TYVEK WRAP -4" CONC. SLAB ON 6 MIL PLAS. VAP. BARRIER ON R-10 RIGID INSULATION ON 4" COMP. FILL TYP 2X P.T. WOOD SILL 4" ~ CONT. TIGHTLINE — TO STORM SEWER 4" ~ PERF. PLASTIC FTG. DRAIN SET IN WASHED GRAVEL YPICAL WALL SECTION

* NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

NOTE

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BONUS

STAIRWELL

TYPICAL ROOF CONSTRUCTION - COMPOSITION ROOF SHINGLES

- 15# ROOFING FELT

CONDITIONED SLAB

10" ABOVE GRADE

APPROX. GRADE

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- STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
- R-49 INSULATION - 5/8" GWB. CEILING
- 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
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- R-38 INSULATION OVER UNHEATED AREAS

City of Puyallup **Development & Permitting Services ISSUED PERMIT** Building Planning Public Works Engineering Traffic

NOTE: NO NEW CRAWL SPACE IS BEING ADDED. ALL MODIFED BASEMENT AREAS ARE SLAB ON GRADE. EXISTING VENTS WILL NOT BE BLOCKED OR MODIFIED.

FAMILY ROOM

EXISTING CRAWL

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