#### **ABBREVIATIONS ABBREVIATIONS** ANCHOR BOLT ACOUSTIC MAX MAXIMUM ACOUSTICAL CEILING TILE MECH MECHANICAL ABOVE FINISHED FLOOR MEDICINE ALUMINUM MET METAL ARCHITECTURA METAL STUD **ACOUSTIC TILE** MANUFACTURER **AUTOMATIC** MINIMUM MISCELLANEOUS **BITUMINOUS** BORROWED LIGHT METAL LATH BUILDING MOUNTED BLK BLOCK MILLWORK BM NORTH BEAM NOT IN CONTRACT CABINET NUMBER **CUBICLE CURTAIN NOMINAL** CEMENT NOT TO SCALE **CORNER GUARD** OXYGEN CONTROL JOINT ON CENTER CENTER LINE OUTSIDE DIAMETER

# MERIDIAN POINTE APARTMENTS RESIDENTIAL UNIT REHABILITATION

407 VALLEY AVE. N.E. PUYALLUP, WA 98372

L	CENTER LINE	OD	OUTSIDE DIAMETER
LG	CEILING	ОН	OPPOSITE HAND
LOS	CLOSET	OPNG	OPENING
LR	CLEAR	PL	PLATE
MU	CONCRETE MASONRY UNIT	PLAS	PLASTIC LAMINATE
0	CASED OPENING	PLAS	PLASTER
OL	COLUMN	PLMB	PLUMBING
ONC	CONCRETE	PTN	PARTITION
ONT	CONTINUOUS	R	RUBBER
ONTR	CONTRACT OR CONTRACTOR	RAD	RADIUS
SS	CLINICAL SERVICE SINK	RD	ROOF DRAIN
T	CERAMIC TILE	RECP	RECEPTACLE
TR	COUNTER	REF	REFERENCE
TR	COUNTER FLASH	REFRIG	REFRIGERATOR
LASH	DETAIL	REINF	REINFORCE
ET	DETAIL	REQD	REQUIRED
IA	DIAMETER	RESIL	RESILIENT
IM	DIMENSION	REV	REVISION
IS	DISPENSER	RM	ROOM
N	DOWN	S	SLIDE
WG	DRAWING	S/S	SERVICE SINK
A	EACH		
	EXPANSION JOINT	SC	SOLID CORE
J '		SCH	SCHEDULE
L 	ELEVATION	SECT	SECTION
LEC	ELECTRIC	SERV	SERVICE
LEV	ELEVATOR	SHT	SHEET
Q	EQUAL	SIM	SIMILAR
QUIP	EQUIPMENT	SL	SLIDING
XIST	EXISTING	SM	SHEET METAL
D D	FLOOR DRAIN		
DN	FOUNDATION	SNK	SINK
		SPEC	SPECIFICATIONS
EC	FIRE EXTINGUISHER CABINET	SQ	SQUARE
HC	FIRE HOSE CABINET	SS	STAINLESS STEEL
HV	FIRE HOSE VALVE	STD	STANDARD
IN	FINISH	STL	STEEL
L	FLOOR	STORE	STORAGE
LASH	FLASHING	STR	STRUCTURAL
R	FRAME	SUSP	SUSPEND
T	FEET OR FOOT		
TG	FOOTING	T/C	TOP OF CURB
		TB	TACKBOARD
URR	FURRING	TEL	TELEPHONE
Α	GAUGE	THK	THICK
ALV	GALVANIZED	TK	THICKNESS
L	GLASS	TOIL	TOILET
YP BD	GYPSUM BOARD	TRANS	TRANSFORMER
С	HOLLOW CORE	TV	TELEVISION
FS	HALF FULL SIZE	TYP	TYPICAL
М	HOLLOW METAL	UL	UNDERWRITERS
ORIZ	HORIZONTAL	OL	LABORATORIES
T	HEIGHT	UNO	UNLESS OTHERWISE NOTED
TG	HEATING	V	VINYL
)	INSIDE DIAMETER	VB	VIEW BOXES
J	INCH	VCT	VINYL COMPOSITION TILE
ICL	INCLUDED	VERT	VERTICAL
NFO .	INFORMATION	VEST	VESTIBULE
ISUL	INSULATION	VIF	VERIFY IN FIELD
JT	INTERIOR	W	WIDTH
2	JANITOR CLOSET	W /	WITH
<u></u>		W/O	WITHOUT
	JOINT		
AM	LAMINATED	WC	WHEELCHAIR
AT	LAY-IN ACOUSTICAL TILE	WC	WATER CLOSET
AV	LAVATORY	WD	WOOD
K	LOCKERS	WP	WATERPROOF
IAS	MASONRY	WT	WEIGHT
		WWF	WIELDED WIRE FABRIC

PROJECT INFORMATION			
UNIT REHABILITATION	THE SCOPE OF WORK COMPR		
0420226016, 0420222051, 0420226013	APPLIANCES, FIXTURES AND F		
407 VALLEY AVE N.E., PUYALLUP, WA 98372	1) REMOVE AND REPLA		
RM-20: HIGH DENSITY MULTI-FAMILY RESIDENTIAL	PÍPING WITHIN THE UN		
CITY OF PUYALLUP	DRYWALL REMOVAL W		
R-2, TYPE VB	NEW PIPING TO BE INS		
	2) EXISTING COPPER P		
	WATER SUPPLY LINE T		
N/A			
N/A	3) WHERE DRYWALL IS		
N/A	SHALL BE REPLACED V		
	UNIT REHABILITATION  0420222056, 0420222055, 0420226014, 0420226015, 0420226016, 0420222051, 0420226013  407 VALLEY AVE N.E., PUYALLUP, WA 98372  RM-20: HIGH DENSITY MULTI-FAMILY RESIDENTIAL  CITY OF PUYALLUP  R-2, TYPE VB  N/A  N/A		

SET BACK - SIDE:	N/A		
SET BACK - REAR:	N/A		
SITE AREA	N/A		
LOT COVERAGE TOTAL	N/A		
IMPERVIOUS SURFACE COVERAGE	N/A		
UNIT DENSITY	N/A		

BUILDING HEIGHT LIMIT PER N/A

THE SCOPE OF WORK COMPRISES OF THE REMOVAL AND REPLACEMENT OF EXISTING APPLIANCES, FIXTURES AND FLOORING THROUGHOUT. THE FOLLOWING ITEMS INCLUDE

1) REMOVE AND REPLACE EXISTING GRAY POLY WATER LINES WITH WIRSBO/PEX PIPING WITHIN THE UNITS. ALL NEW HOT WATER LINES TO BE INSULATED. DRYWALL REMOVAL WHERE GRAY POLY WATER LINES ARE LOCATED AND/OR

2) EXISTING COPPER PIPING, WASTE LINES, FIRE SPRINKLERS AND HEAD, AND WATER SUPPLY LINE TO BUILDINGS TO REMAIN.

3) WHERE DRYWALL IS REMOVED WITHIN A RATED ASSEMBLY, THE DRYWALL SHALL BE REPLACED WITH 5/8" TYPE X DRYWALL (CERTAINTEED OR EQUAL) AND FIRESTOP SEALANT (STI WF300) WILL BE APPLIED AT ANY PENETRATIONS THROUGH THE RATED ASSEMBLIES.

4) REPLACE EXISTING CABINETS LIKE FOR LIKE AS WELL AS COUNTERTOPS. NO CHANGE TO EXISTING ELEVATION OF CABINETS FOR STANDARD UNITS. EXISTING ADA UNITS TO REMAIN ACCESSIBLE WHERE THE TOP OF SINK RIM WILL NOT EXCEED 34" FROM FINISH FLOOR. REMOVABLE DOORS AND BOTTOMS SHELF/TOE KICKS TO PROVIDE UNDER SINK AND WORKSTATION FOR 60" MIN CLEARANCE MOVED WITH THE RENOVATION. TO THE EXTENT POSSIBBLE, BEST EFFORTS WILL BE MADE WITHIN EXISTING KITCHEN AND BATHROOM FOOTPRINTS TO MEE CURRENT ADA STANDARDS.

5) REPLACE EXISTING FLOORING MATERIAL LIKE FOR LIKE.

6) REPLACE MILLWORK, INTERIOR DOORS AND HARDWARE LIKE FOR LIKE

7) REPLACE EXISTING PLUMBING FIXTURES INCLUDING DISPOSALS. NO CHANGE TO EXISTING LOCATIONS OR COUNT.

8) REPLACE HOT WATER TANKS INCLUDING SEISMIC STRAP AND EXPANSION

9) REPLACE LAVATORIES.

10) REPLACE AUTO WASHER BOX ALL LOCATED WITHIN THE INTERIOR UNIT

11) REPLACE ANGLE STOPS

12) REPLACE SHOWER VALVE INCLUDING RISER TO HEAD AND STUB TO SPOUT.

13) REPLACE PLASTIC LAMINATE TUB SURROUND WITH LIKE FOR LIKE.

14) REPLACE ALL EXISTING ELECTRICAL DEVICES.

15) REPLACE EXISTING BATHROOM FANS WITH DUAL SPEED EXHAUST FANS. NO NEW DUCTWORK; EXISTING DUCTWORK AND CEILING TO REMAIN.

16) REPLACE APPLIANCES.

-17) RAINT INTERIOR UNITS 18) REPLACE EXISTING SMOKE & CARBON MONIXIDE DETECTOR IN ALL UNIT HÁLLWAYS. ADD SELF-CONTAINED, BATTERY OPERATED SMOKE ALARMS IN ALL

#### **SHEET INDEX SHEET NAME**

OVERALL SITE PLAN - PHASE OVERALL SITE PLAN - PHASE II ENLARGED UNIT PLAN - 1 BED/1 BATH A-214 ENLARGED UNIT PLAN - 2 BED/1 BATH A-215 ENLARGED UNIT PLAN - 2 BED/2 BATH ENLARGED UNIT PLAN - 3 BED/2 BATH

REV. # REV. DATE

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY **ACCESSIBLE LOCATION** 

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

## **PROJECT TEAM**

**ARCHITECT** 

MERIDIAN POINTE APARTMENTS, LLC 17786 DES MOINES MEMORIAL DR., **BURIEN, WA 98148** PHONE: 206.241.2600 **CONTACT: SEAN McKENNA** EMAIL: sean@farrellpi.com CONTRACTOR FARRELL-McKENNA CONSTRUCTION, LLC

> PHONE: 206.241.2600 CONTACT: SEAN McKENNA EMAIL: Sean@farrellpi.com ROSS DECKMAN & ASSOCIATES, INC. 207 4TH AVE. S.E. PUYALLUP, WA. 98372

17786 DES MOINES MEMORIAL DRIVE.

PHONE: 253.840.9405 CONTACT: BILL BOWDISH EMAIL: bill@rdarchitect.com

BURIEN, WA 98148





MERIDI RESIDE

**ROSS DECKMAN & ASSOCIATES INC** 

207 FOURTH AVENUE SOUTHEAST

PUYALLUP, WASHINGTON 98372

REGISTERED

ARCHITECT

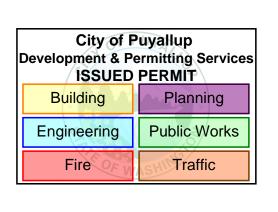
WILLIAM BOWDISH

STATE OF WASHINGTON

**AGENCY REVIEW** 09/14/2021

ITS ATION

**APPROVAL STAMPS** 

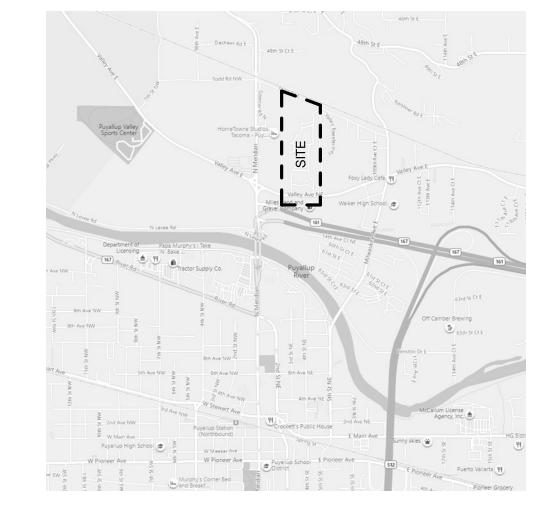


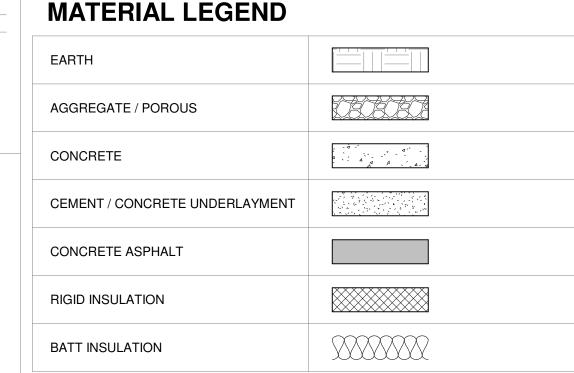
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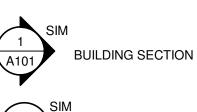
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# **VICINITY MAP**





### **SYMBOLS LEGEND**

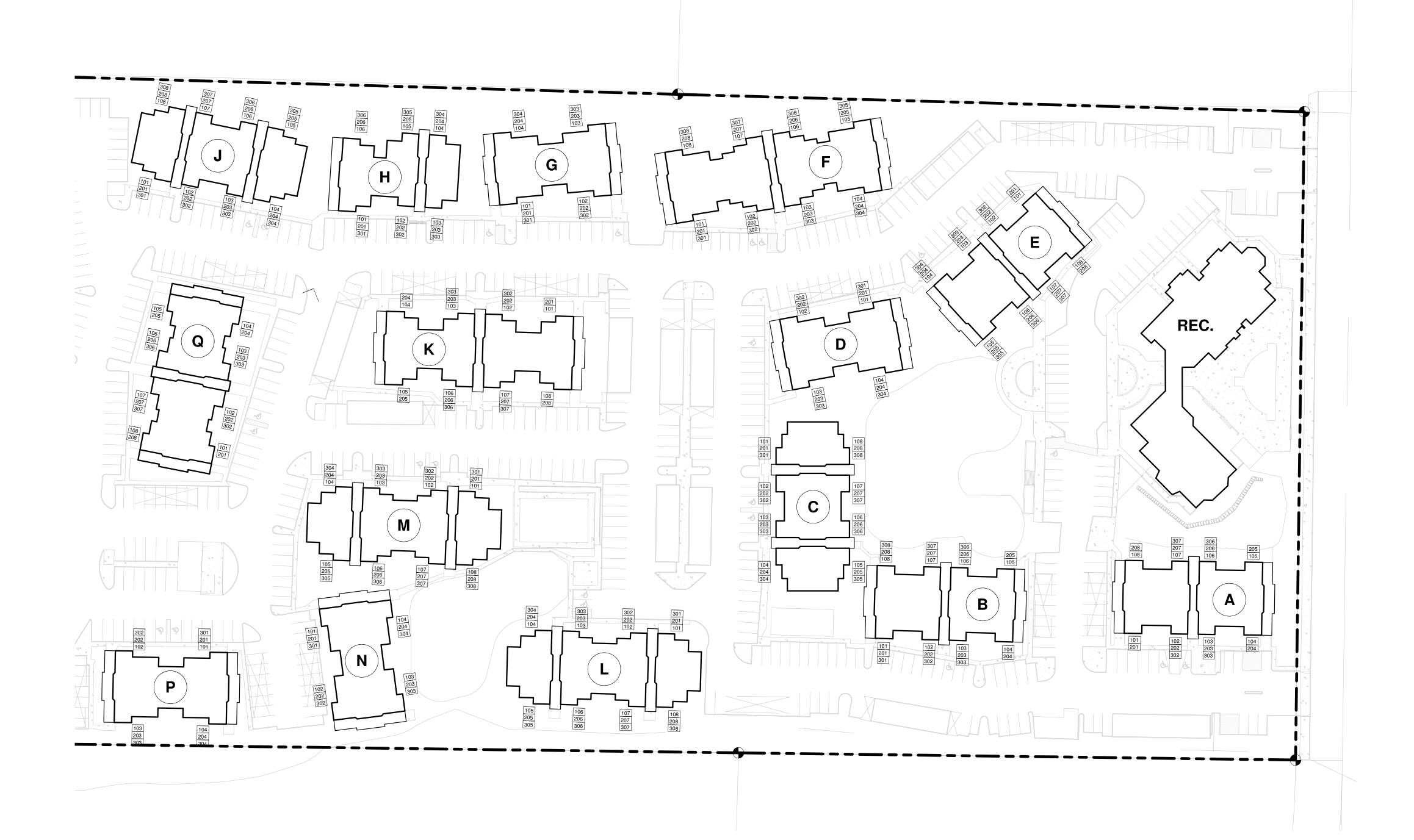


**EXTERIOR ELEVATIONS** 



INTERIOR ELEVATIONS

# PRCTI20230637



**OVERALL SITE PLAN - PHASE I** 



UNIT TYPE	NET AREA	COUNT
LDING 'A' 1 BED / 1 BATH	683 SF	20
		20
BUILDING 'B' UN	NITS	
UNIT TYPE	NET AREA	COUNT
UILDING 'B' 1 BED / 1 BATH	683 SF	22
		22
BUILDING 'C' UN	NITS	
UNIT TYPE	NET AREA	COUNT
BUILDING 'C"  1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA 2 BED / 2 BATH	683 SF 899 SF	2 12
2 3 2 3 7 2 3 7 1111	000 01	24
BUILDING 'D' UN	NITS	
UNIT TYPE	NET AREA	COUNT
JILDING 'D' 3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12
UILDING 'E' UN	NITS	
UNIT TYPE	NET AREA	COUNT
JILDING 'E' 1 BED / 1 BATH	683 SF	21
1 BED / 1 BATH ADA	683 SF	1 22
III BILIA ::	u <b>t</b> o	
BUILDING 'F' UN		
UNIT TYPE	NET AREA	COUNT
2 BED / 2 BATH	899 SF	12
3 BED / 2 BATH	1,121 SF	12 24
	IITC	
BUILDING 'G' UI		COLINIT
UNIT TYPE JILDING 'G'	NET AREA	COUNT
3 BED / 2 BATH	1,121 SF	12 12
BUILDING 'H' UN	NITS	
UNIT TYPE JILDING 'H'	NET AREA	COUNT
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6 18
	што	
BUILDING 'J' UN		
UNIT TYPE IILDING 'J"	NET AREA	COUNT
1 BED / 1 BATH 2 BED / 2 BATH	683 SF 899 SF	12 10
2 BED / 2 BATH ADA	899 SF	2
		24
BUILDING 'K' UN	NITS	
UNIT TYPE	NET AREA	COUNT
JILDING 'K' 2 BED / 1 BATH	868 SF	20
		20
BUILDING 'L' UN	IITS	
UNIT TYPE	NET AREA	COUNT
JILDING 'L' 2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	12
		24
BUILDING 'M' UI	NITS	
UNIT TYPE	NET AREA	COUNT
UILDING 'M' 2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH 2 BED / 2 BATH ADA	899 SF 899 SF	10 2
Z DED / Z DA I TI ADA	033 OF	24
UILDING 'N' UN	JIT <b>e</b>	
UNIT TYPE	NET AREA	COUNT
ILDING 'N'		
3 BED / 2 BATH	1,121 SF	12
3 DED / Z DATTI	, -	12

**NET AREA** 

1,121 SF 1,121 SF

NET AREA

683 SF

COUNT

COUNT

**BUILDING 'P' UNITS** 

**BUILDING 'Q' UNITS** 

UNIT TYPE
BUILDING 'P'
3 PF

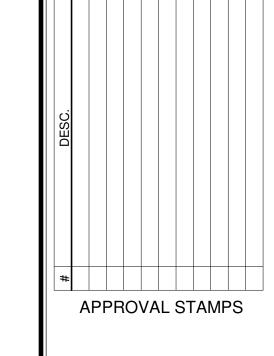
3 BED / 2 BATH 3 BED / 2 BATH ADA

UNIT TYPE

1 BED / 1 BATH 1 BED / 1 BATH ADA

2 BED / 2 BATH

BUILDING 'Q"



MERIDIAN P RESIDENTIA 407 VALLEY AV PUYALLUP, WA OVERALL S

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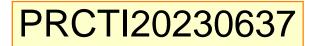
207 FOURTH AVENUE SOUTHEAST, PUYALLUP, WASHINGTON 98372

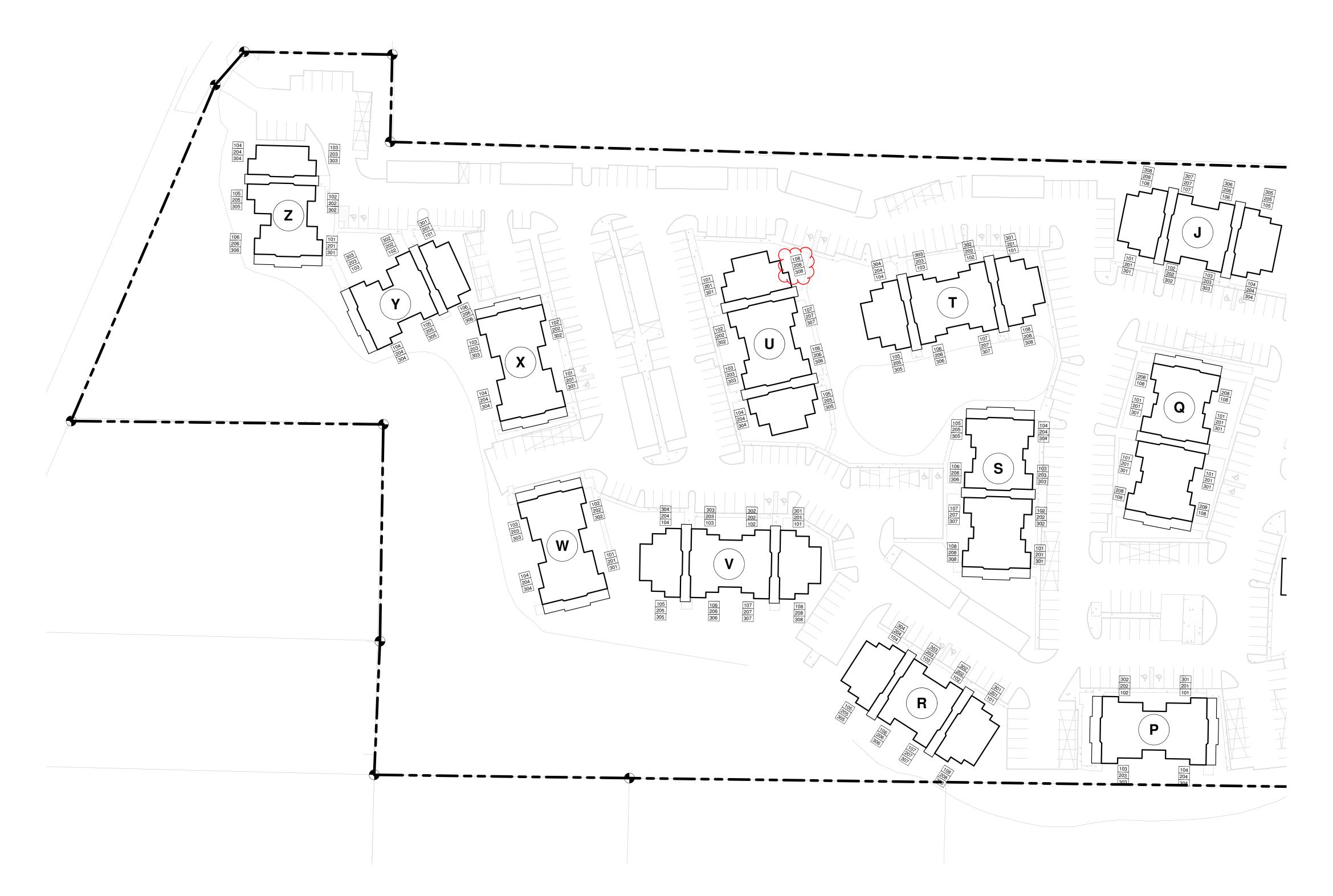
**AGENCY REVIEW** 09/14/2021

City of Puyallup Development & Permitting Services ISSUED PERMIT			
Building	Planning		
Engineering	Public Works		
Fire	Traffic		

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ISSUE DATE:	09/14/2021
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**OVERALL SITE PLAN - PHASE II** 



DOILDING V CIVITS				
UNIT TYPE	NET AREA	COUNT		
BUILDING 'V'				
2 BED / 1 BATH	868 SF	12		
2 BED / 2 BATH	899 SF	10		
2 BED / 2 BATH ADA	899 SF	2		
		24		

### **BUILDING 'W' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'W'		
3 BED / 2 BATH	1,121 SF	12
		12

### DILL DINC 'V' LINITO

UNIT TYPE	NET AREA	COUNT
BUILDING 'X'		
3 BED / 2 BATH	1,121 SF	11
3 BED / 2 BATH ADA	1,121 SF	1
		12

### **BUILDING 'Y' UNITS**

UNIT TYPE	COUNT	
91111 111 -	NET AREA	COUNT
BUILDING 'Y'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6

#### BUILDING '7' LINITS

BUILDING Z UNITS				
UNIT TYPE	NET AREA	COUNT		
BUILDING 'Z'				
1 BED / 1 BATH	683 SF	12		
2 BED / 1 BATH	868 SF	6		

# **BUILDING 'J' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'J"		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		0.4

## **BUILDING 'P' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'P'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

### **BUILDING 'Q' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'Q"		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20

# **BUILDING 'R' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'R'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
'	·	24

# **BUILDING 'S' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'S'		
1 BED / 1 BATH	683 SF	11
1 BED / 1 BATH ADA	683 SF	1
2 BED / 2 BATH	899 SF	11
2 BED / 2 BATH ADA	899 SF	1
·		24

## **BUILDING 'T' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'T'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
·		24

## **BUILDING 'U' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'U'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

### **BUILDING 'V' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'V'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
<u>'</u>	<u>'</u>	24

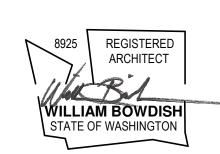
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UNIT TYPE	NET AREA	COUNT
BUILDING 'X'		
3 BED / 2 BATH	1,121 SF	11
3 BED / 2 BATH ADA	1,121 SF	1
<u>'</u>	·	10

BOILDING 2 CHITC		
NET AREA	COUNT	
683 SF	12	
868 SF	6	
	NET AREA 683 SF	

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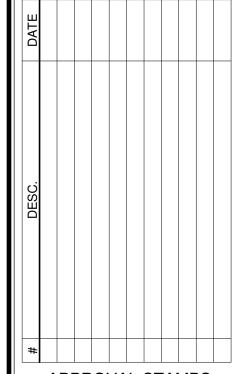
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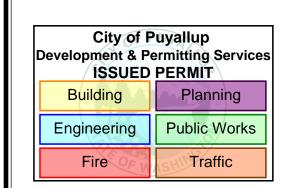
**AGENCY REVIEW** 

09/14/2021

MERIDIAN RESIDENT 407 VALLEY A PUYALLUP, W OVERALL



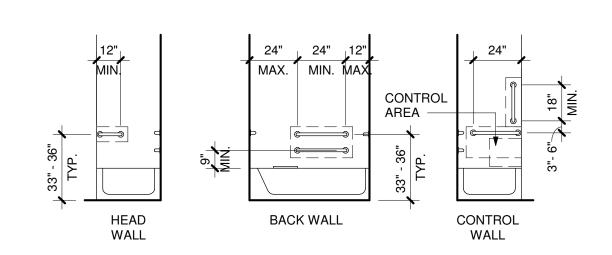
APPROVAL STAMPS



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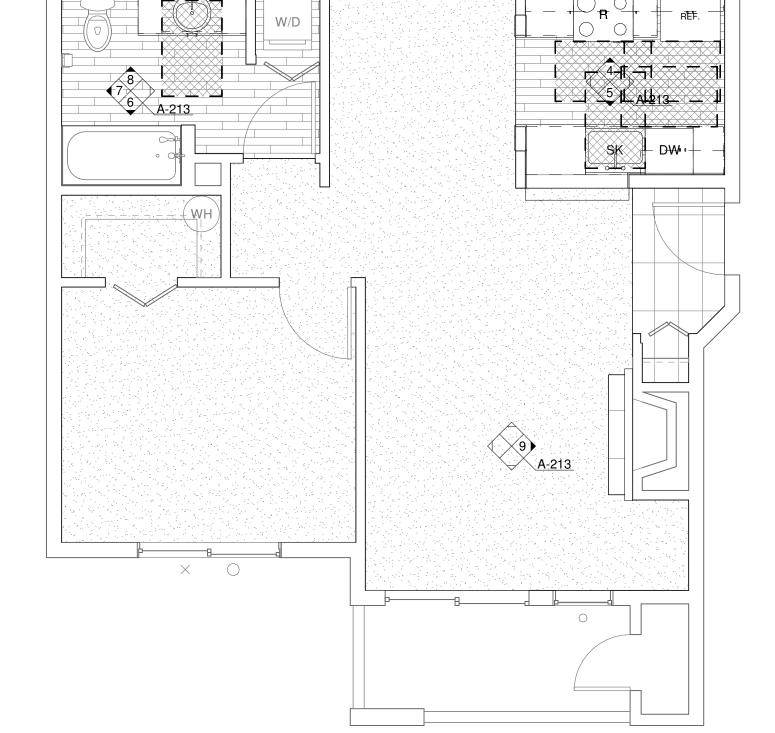


GRAB BARS:
INSTALL GRAB BARS 33" MIN & 36" MAX AFF. GRAB BARS SHALL COMPLY WITH AND MEET
THE STRUCTURAL STRENGTH REQUIREMENTS OF ANSI SEC.609.8. LOCATE GRAB BARS PER ANSI SEC. 607.4.2.

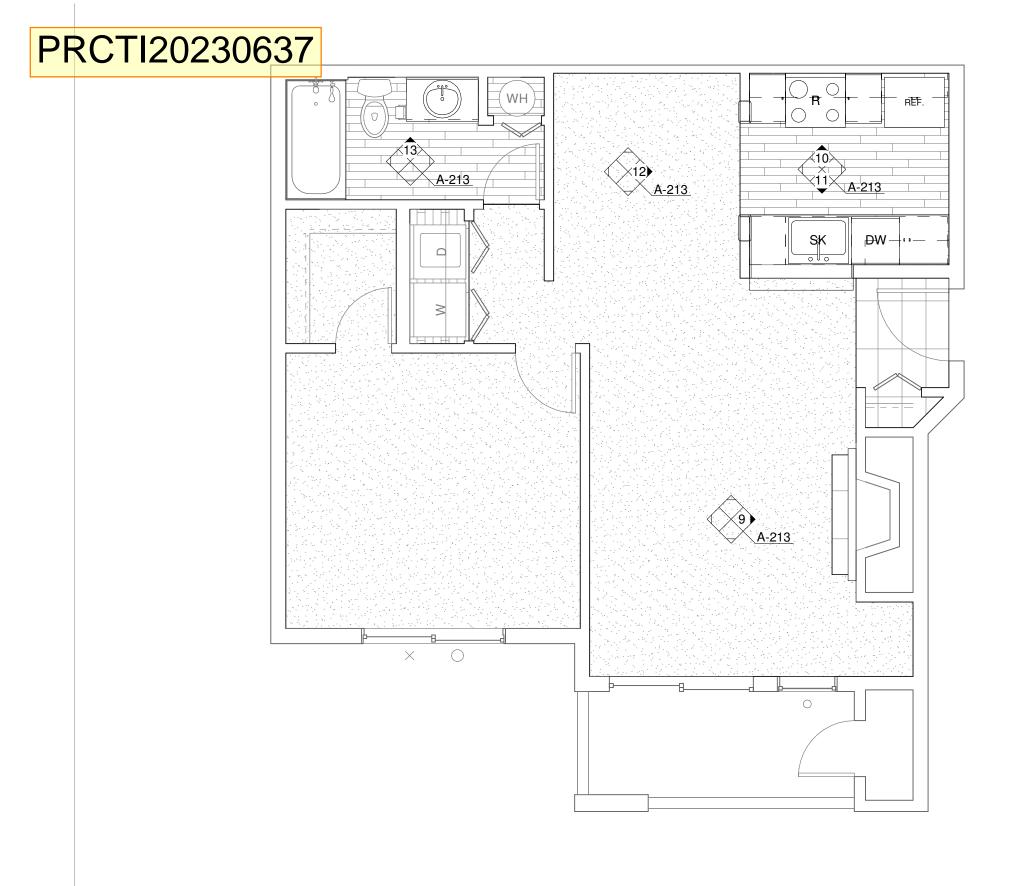
<u>SEAT:</u>
A REMOVABLE SEAT IS NOT REQUIRED PER ANSI SEC. 1003.11.2.5.1 EX.1.

9 FIREPLACE 3/8" = 1'-0"

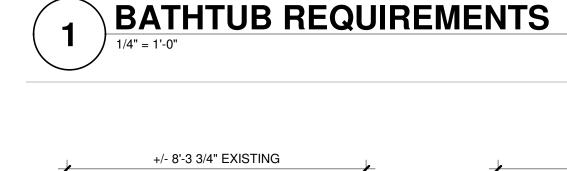
CONTROLS: 607.5 CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE PROVIDED ON AN END WALL, LOCATED BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. CONTROLS SHALL COMPLY WIT SECTION 309.4. THE ADJUSTABLE HEIGHT HAND SHOWER SHALL INCLUDE A 59" MIN LONG HOSE AND COMPLY WITH ANSI SEC. 607.6. CONTROLS SHALL NOT OBSTRUCT THE USE OF GRAB BARS.

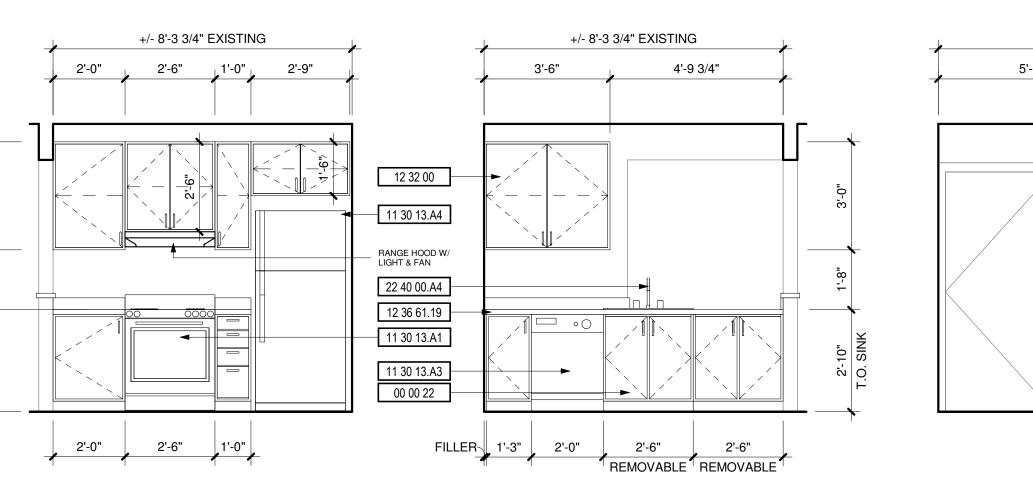


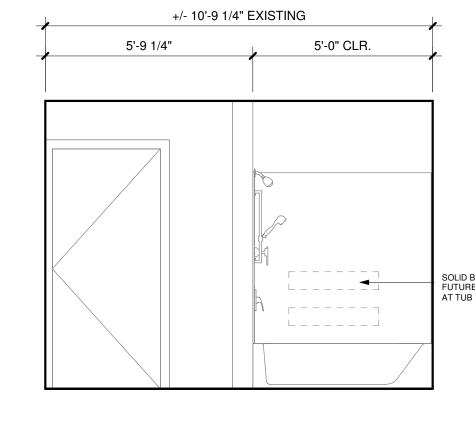
ENLARGED UNIT PLAN - 1 BED/1 BATH (ADA)



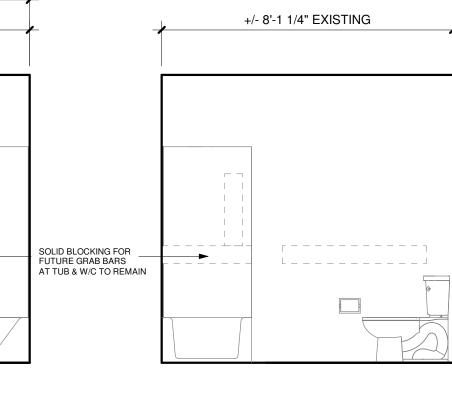
**ENLARGED UNIT PLAN - 1 BED/1 BATH (TYP)** 



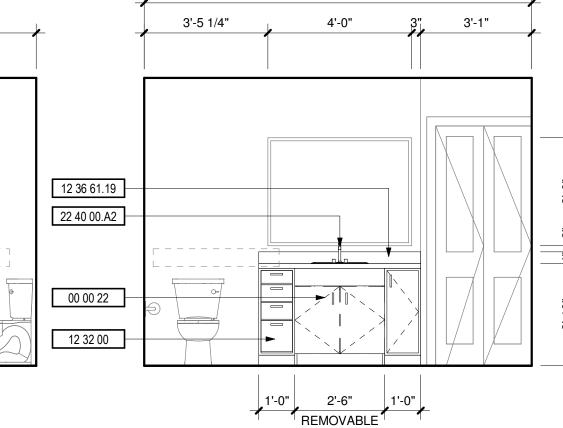




6 BATHROOM (ADA) 3/8" = 1'-0"

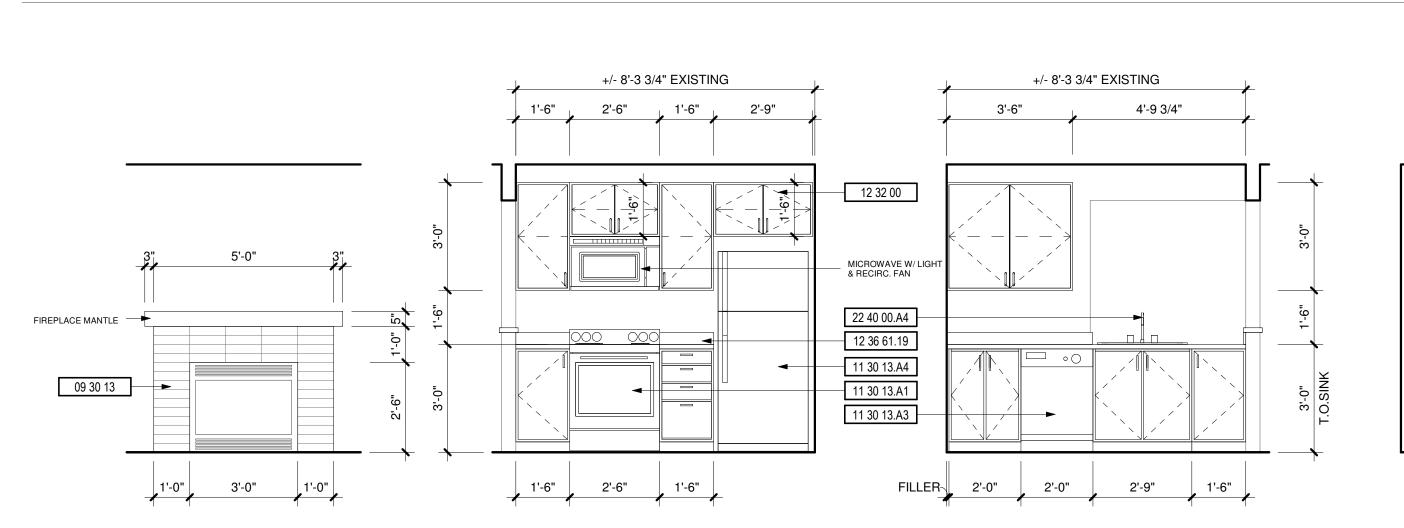


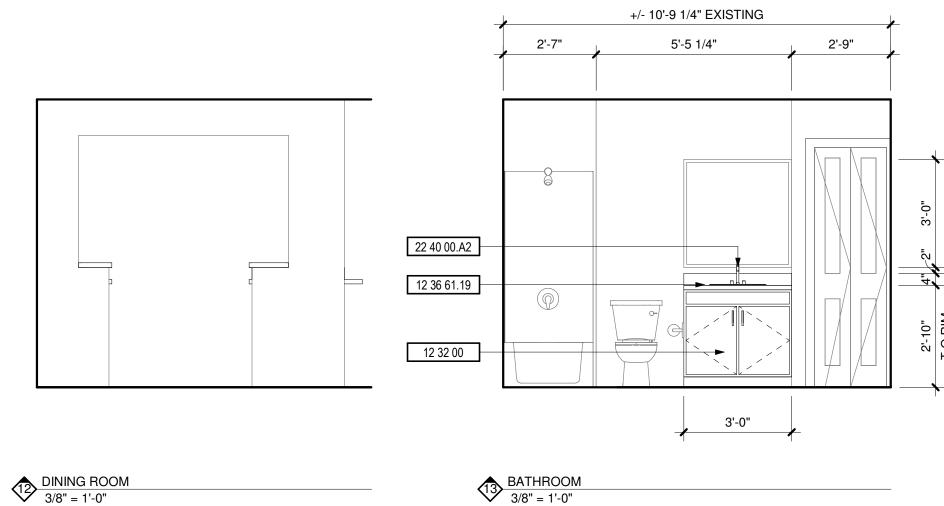
7 BATHROOM (ADA) 3/8" = 1'-0"



+/- 10'-9 1/4" EXISTING

8 BATHROOM (ADA) 3/8" = 1'-0"





### **DEMOLITION NOTES**

DESCRIPTION

1 REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED

2 DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR

3 REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED. 4 DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR

NEW FINISHES AS REQUIRED. 5 DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER, 6 MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.

7 DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.

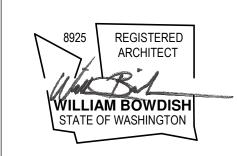
8 REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES. 9 REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND

ASSOCIATED RISER PIPING. 10 SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR

# **KEYNOTES**

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET

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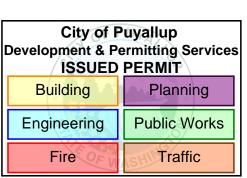
**AGENCY REVIEW** 

09/14/2021

MERIDIAN POINTE APARTMENTS
RESIDENTIAL UNIT REHABILITATION
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372

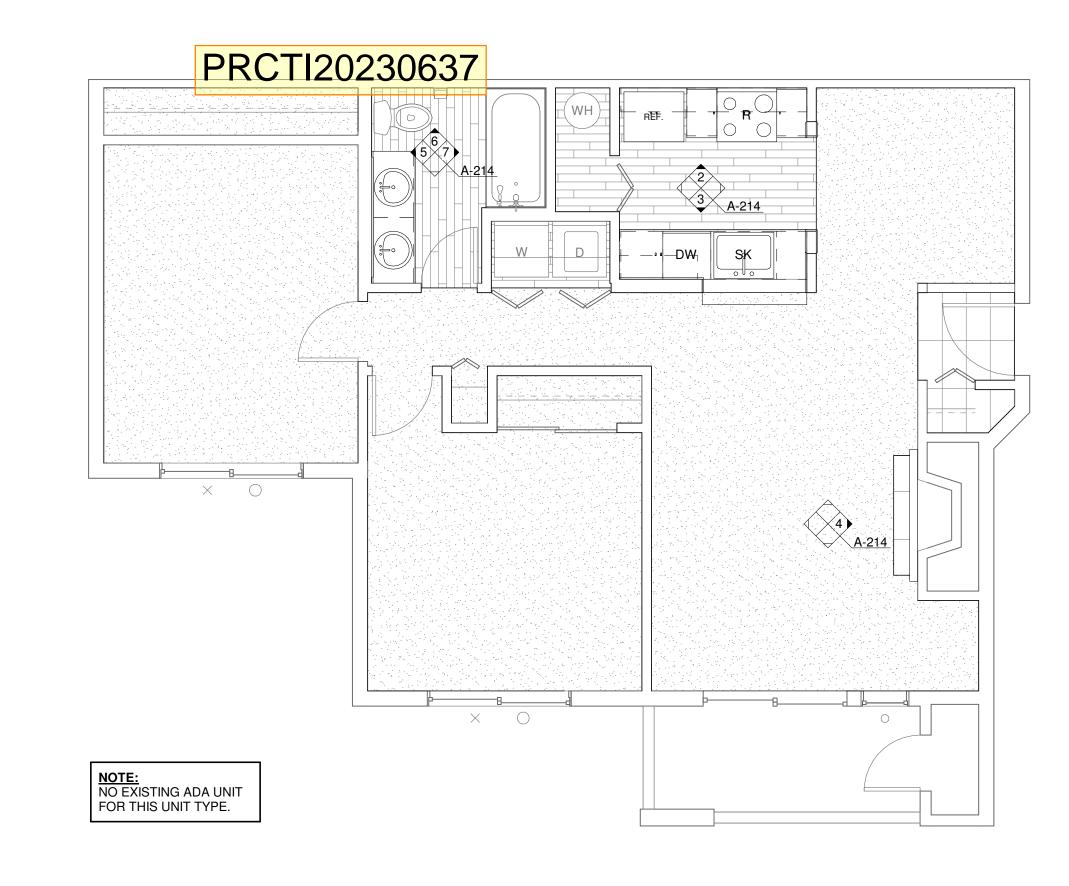
1 BED/1 BATH

APPROVAL STAMPS

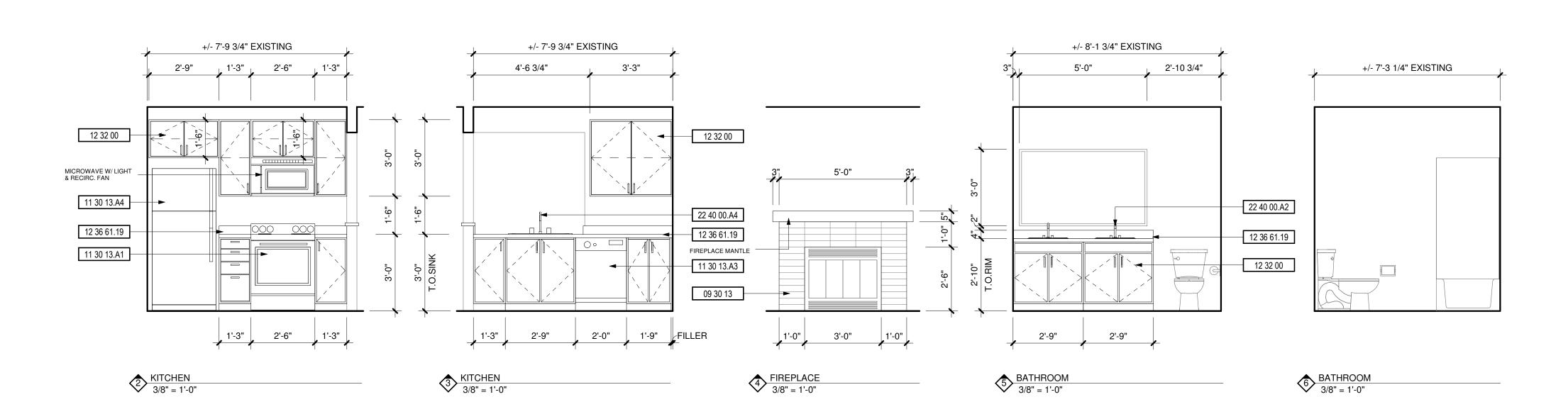


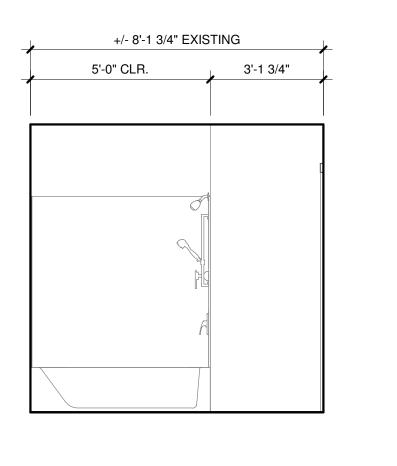
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# ENLARGED UNIT PLAN - 2 BED/1 BATH (TYP)





7 BATHROOM 3/8" = 1'-0"

# **DEMOLITION NOTES**

DESCRIPTION

1 REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED

2 DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR

3 REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.

4 DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.

5 DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER, 6 MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.

7 DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS. 8 REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS

REQUIRED FOR NEW FINISHES. 9 REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND

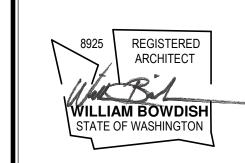
ASSOCIATED RISER PIPING.

10 SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

#### **KEYNOTES**

#	DESCRIPTION		
09 30 13	CERAMIC TILING		
11 30 13.A1	RANGE		
11 30 13.A3	DISHWASHER		
11 30 13.A4	REFRIGERATOR		
12 32 00	MANUFACTURED WOOD CASEWORK		
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS		
22 40 00.A2	LAVATORY/FAUCET		
22 40 00.A4	UNDER COUNTER SINK/FAUCET		

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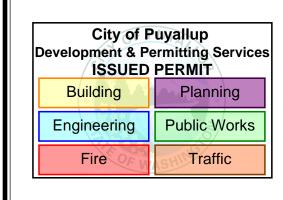
**AGENCY REVIEW** 

09/14/2021

**2 BED/1 BATH** 

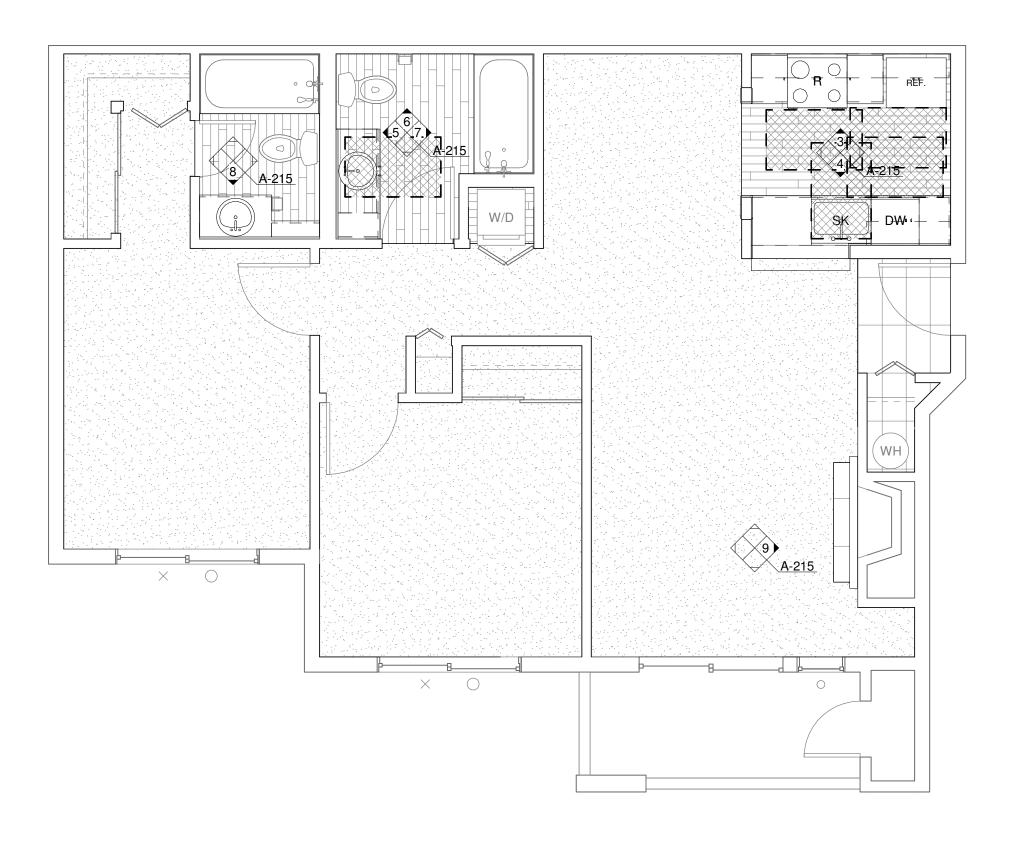
MERIDIAN POINTE AI
RESIDENTIAL UNIT F
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
ENLARGED UNIT PL/

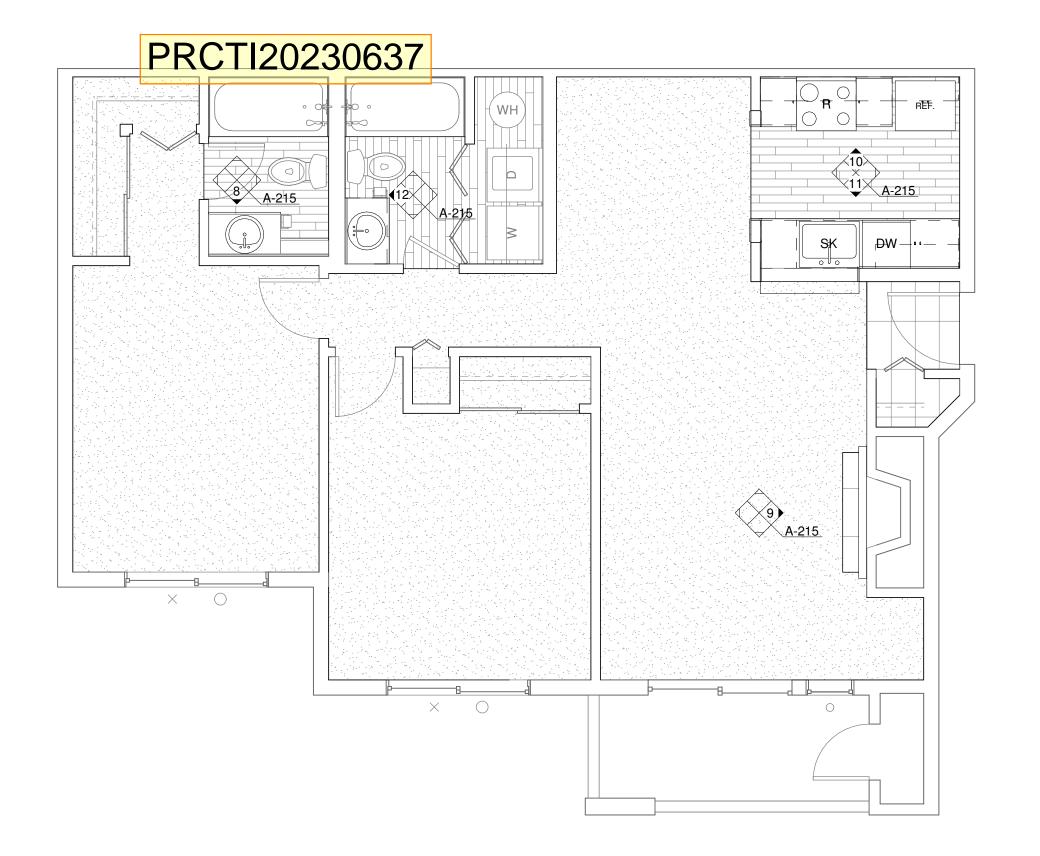
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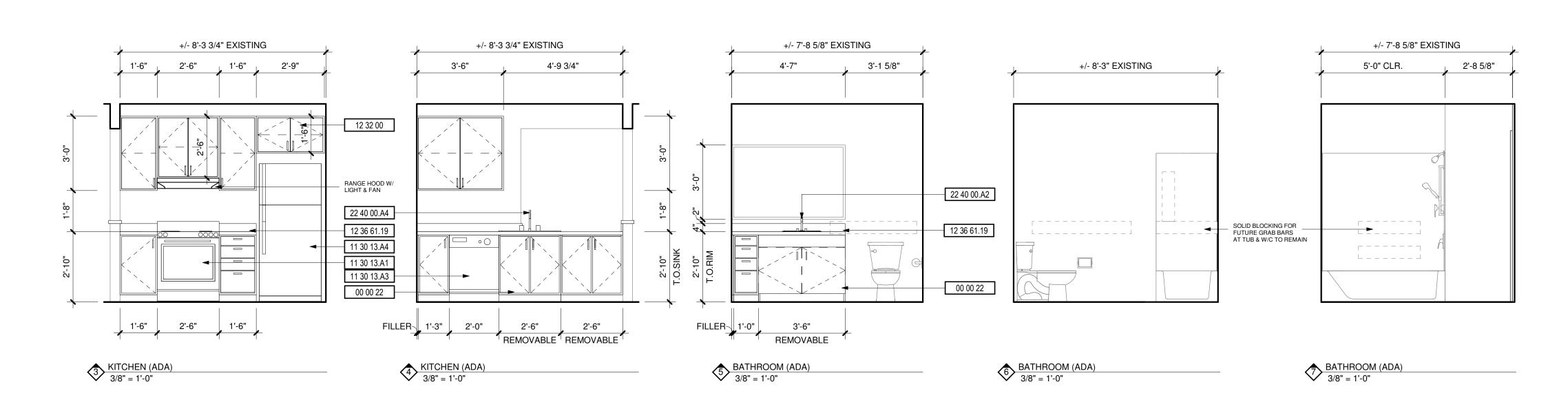
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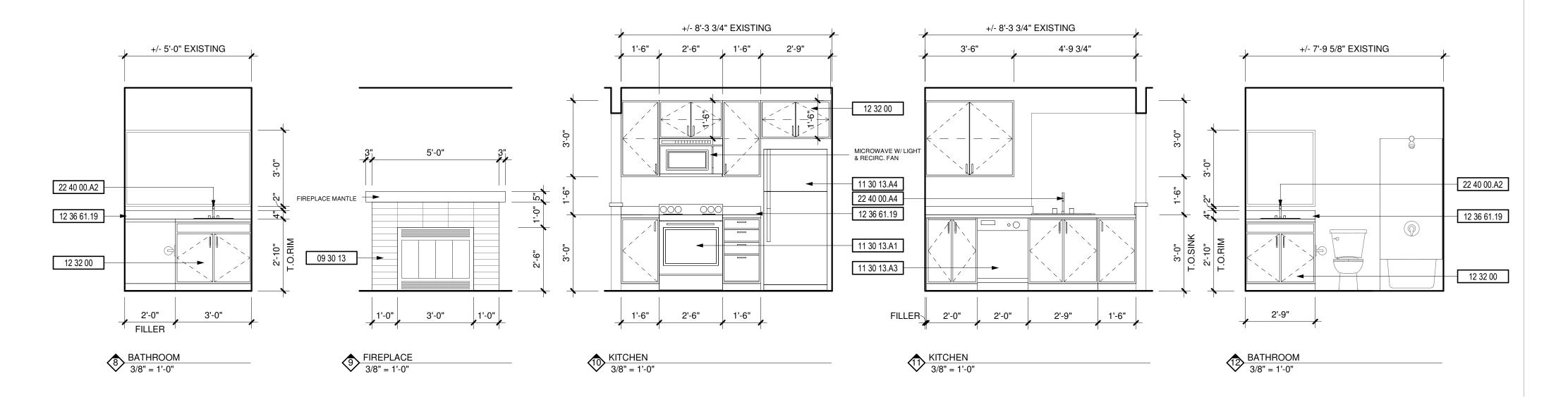




1 ENLARGED UNIT PLAN - 2 BED/2 BATH (ADA)

2 ENLARGED UNIT PLAN - 2 BED/2 BATH (TYP)





#### **DEMOLITION NOTES**

DESCRIPTION

1 REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED

2 DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR

3 REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4 DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR

NEW FINISHES AS REQUIRED.

5 DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER,

MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
 DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.

8 REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.

9 REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.

10 SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS

#### **KEYNOTES**

	RETINOTES	
#	DESCRIPTION	
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET	
09 30 13	CERAMIC TILING	
11 30 13.A1	RANGE	
11 30 13.A3	DISHWASHER	
11 30 13.A4	REFRIGERATOR	
12 32 00	MANUFACTURED WOOD CASEWORK	
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS	
22 40 00.A2	LAVATORY/FAUCET	
22 40 00.A4	UNDER COUNTER SINK/FAUCET	



ROSS DECKMAN & ASSOCIATES INC.
207 FOURTH AVENUE SOUTHEAST,
PUYALLUP, WASHINGTON 98372

PHONE: 253 . 840



AGENCY REVIEW

09/14/2021

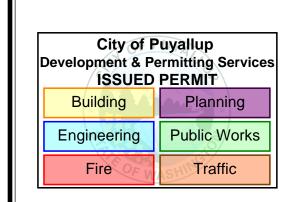
DINTE APARTMENTS L UNIT REHABILITATION . N.E.

MERIDIAN POINTE AI
RESIDENTIAL UNIT F
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
ENLARGED UNIT PL/

**2 BED/2 BATH** 

DESC. DATE

APPROVAL STAMPS

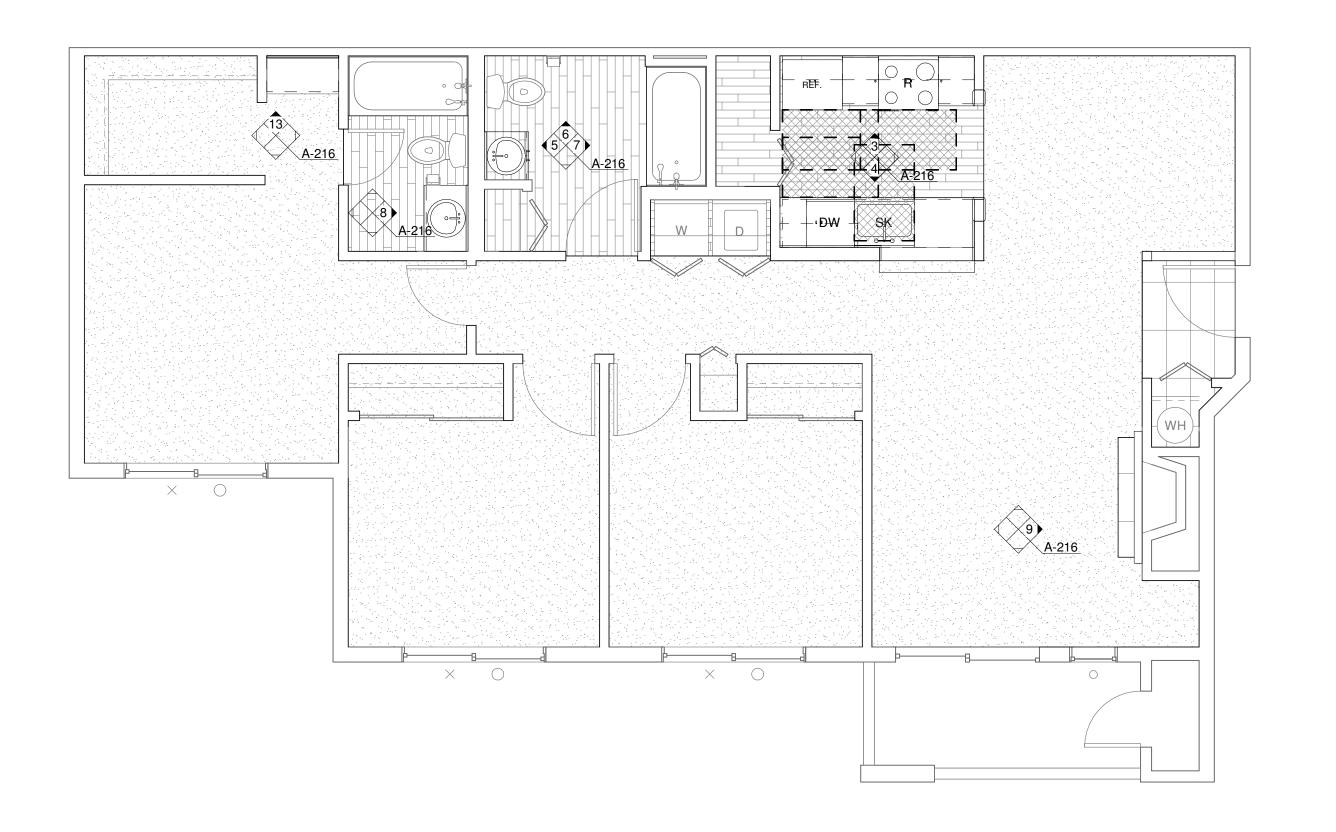


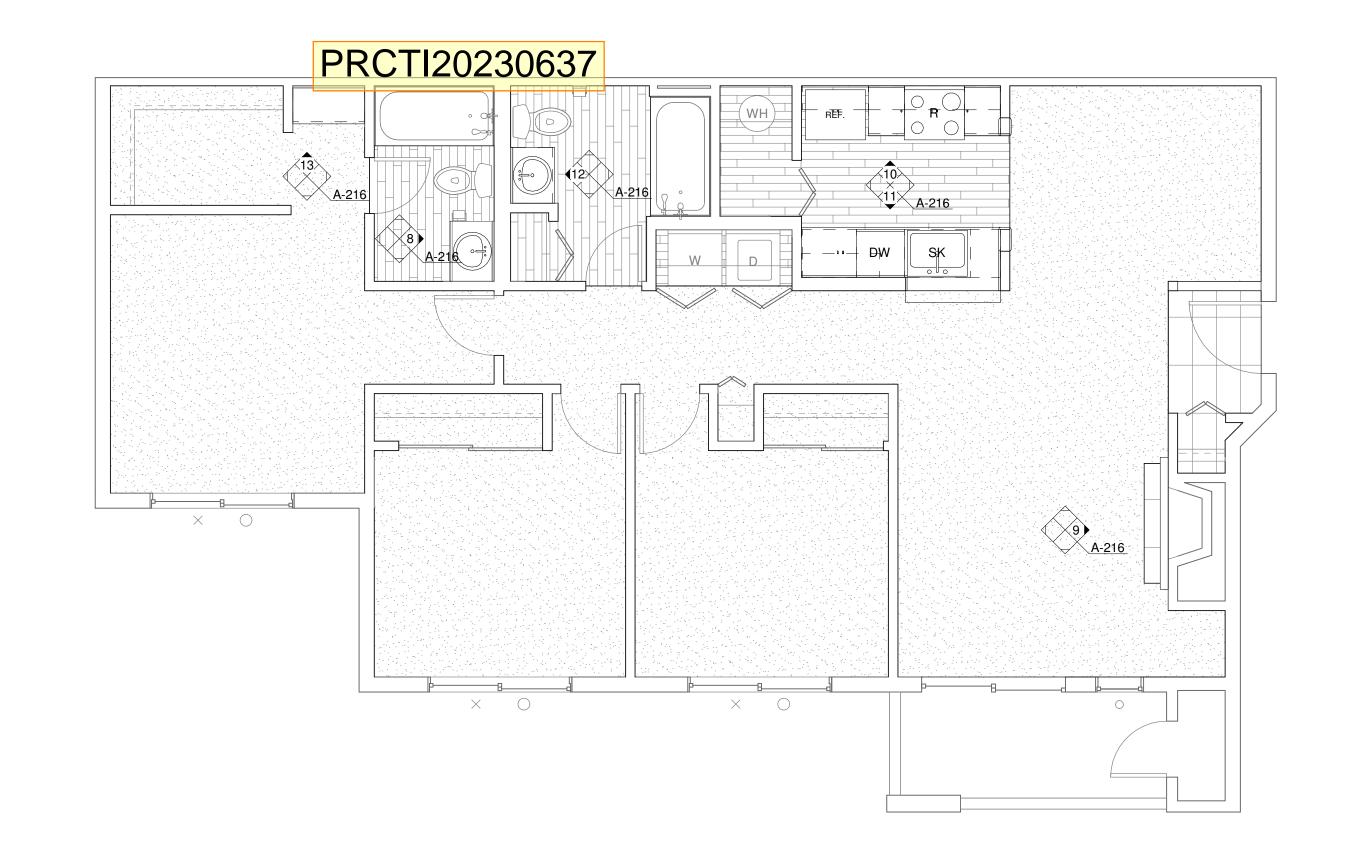
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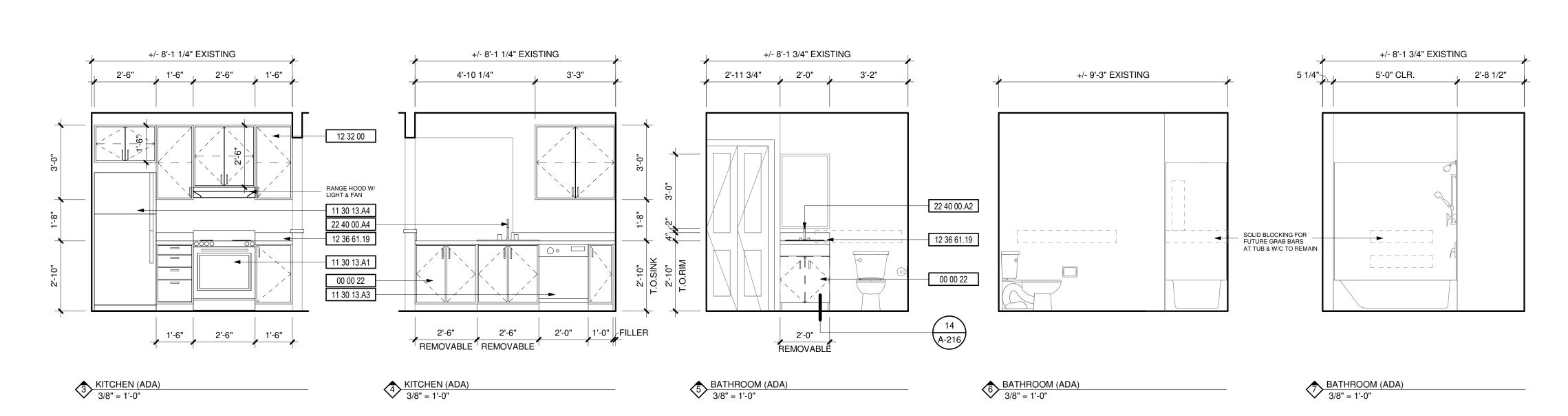
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**ENLARGED UNIT PLAN - 3 BED/2 BATH (ADA)** 

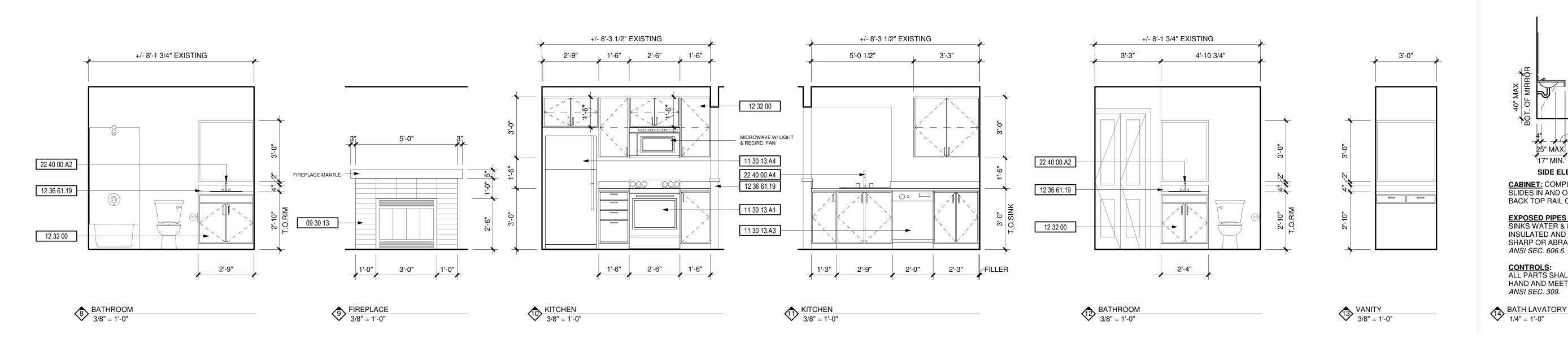
ENLARGED UNIT PLAN - 3 BED/2 BATH (TYP)

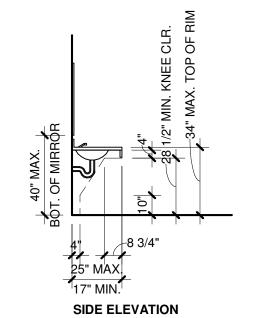


### **DEMOLITION NOTES**

- DESCRIPTION
- 1 REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED
- 2 DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR
- 3 REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED. 4 DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR
- 5 DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER, 6 MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
- 7 DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
- 8 REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES. 9 REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND
- ASSOCIATED RISER PIPING.
- 10 SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET





<u>CABINET:</u> COMPLETELY REMOVABLE; SLIDES IN AND OUT UNDER FIXED RAILS. BACK TOP RAIL CUT OUT ON SITE.

EXPOSED PIPES & SURFACES: UNDER SINKS WATER & DRAIN PIPES SHALL BE INSULATED AND THERE SHALL BE NO SHARP OR ABRASIVE SURFACES PER ANSI SEC. 606.6.

CONTROLS:
ALL PARTS SHALL BE OPERABLE w/ ONE HAND AND MEET THE REQUIREMENTS OF ANSI SEC. 309.



**AGENCY REVIEW** 09/14/2021

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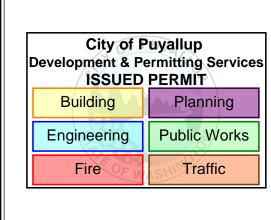
207 FOURTH AVENUE SOUTHEAST, PUYALLUP, WASHINGTON 98372

WILLIAM BOWDISH STATE OF WASHINGTON

**3 BED/2 BATH** 

APARTMENTS REHABILITATION MERIDIAN POINTE A
RESIDENTIAL UNIT F
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APPROVAL STAMPS



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