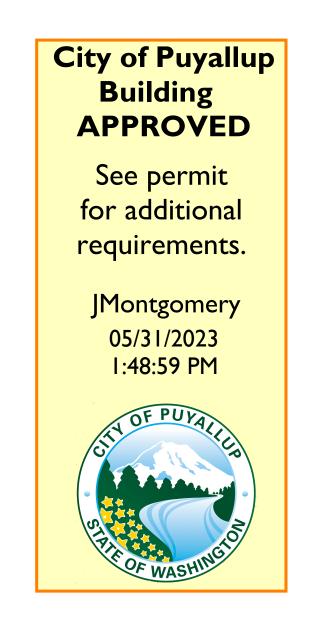
05/24/2023

10:22:00 AM

Occupancy will not be granted until all work associated with Permit PRUSR20230614 has been completed and a final inspection provided

A side sewer sampling connection shall be installed on the commercial sanitary side sewer service in accordance with City policy ENG 21-03. The site plan shall call out the location of the new or existing sampling connection per City standard detail 04.03.04. Apply for a Utility Connection Permit through the CityView portal for a sampling connection retrofit.



City of Puyallup **Planning Division APPROVED** See permit conditions. RNBrown 06/07/2023 10:50:00 AM

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

#### **GENERAL NOTES** PROLOGIS PUYALLUP 1 MAKE READY CONTRACTOR SHALL COMPLY WITH THE CURRENT "GENERAL CONDITIONS." AND BUILDING STANDARDS AS PROVIDED B

A.B. ANCHOR BOLT

ACOUS. ACOUSTICAL

ADJACENT

ALTERNATE

ALUMINUM

ANODIZED

ASSEMBLY

BTWN. BETWEEN

BUILDING

BLOCKING

BEAM BOTTOM OF

CENTERLINE

C.M.A. CONCRETE MASONR'

UNITS CERAMIC TIL

CABINET CEMENT

COUNTER

CONSTR. CONSTRUCTION

CORRIDOR / CORRUGATED CARPET

CONTR. CONTRACTOR

CENTER

COUNTERSUNK

DOUBLE ACTING

DISHWASHER

**DECORATIVE** 

DIAGONAL DIFFUSER

DN. DOWN
DOCS. DOCUMENTS
DR. DOOR
DTL. DETAIL
DWG. DRAWING

DIMENSION

**ELEVATION** 

ENCLOSURE

FLOOR DRAIN

F.E.C. FIRE EXTINGUISHER

F.F. FACTORY FINISH

F.O.F. FACE OF FINISH

F.O.I.C. FURNISHED BY OWNER,

F.T.I.C. FURNISHED BY TENANT

INSTALLED BY

CONTRACTOR

FIRE EXTINGUISHER

F.F.E. FINISH FLOOR ELEVATION F.F.W. FINISH FACE OF WALL

F.I.O. FURNISHED AND INSTALLED

**ELEVATION OR ELEVATOR** 

DAMPPROOFING

DEMO. DEMOLISH OR DEMOLITION

COMP. COMPOSITION

CUBIC YARD(S

BOTTOM

BLDG.

APPROX. APPROXIMATELY

**BUILDING STANDARD** 

ACOUSTICAL CEILING

ACOUSTICAL PANEL

ACOUSTICAL CEILING TILE

PART. PBD.

QTY.

PARTITION

PC. PIECE PERF. PERFORATED

PERP. PERPENDICULAR

PLAM. PLASTIC LAMINATE

PLATE

PANEL PAIR

PRCST. PRECAST PT. PAINT OR POINT

QUANITY

RISER

RELOCATE

RIGHT HAND

ROUGH-IN ONLY

REFERENCE OR

REFRIGERATOR

REINFORCING

SMOKE DETECTOR

STAINLESS STEEL

SQUARE FEET

SHEET VINYL

SCREEN

SECTION SHELF

SH.&P. SHELF AND POLE

SLOPE

SPEAKER SQUARE

STANDARD

STEEL

STAIN STORAGE

SUSPENDED

TOILET ACCESSORY

TACK BOARD TOP OF

T.O.C. TOP OF CURB OR

CONCRETE

T.O.P. TOP OF PAVEMENT

TUBE STEEL

TELEVISION

TELEPHONE

THICK
TOILET
THRESHOLD

**LABORATORIES** 

VAPOR BARRIER

VERTICAL GRAIN

VERIFY IN FIELD

V.W.C. VINYL WALL COVERING

WIDE WATER CLOSET

WATER HEATER

WATERPROOF

WITH

WDW. WINDOW WT. WEIGHT

WITHOUT

WATER RESISTAN

UNFINISHED

URINAL

VEST. VESTIBULE

W.A.

W/O

UNINTERUPTED POWER

VINYL COMPOSITION TILE

TYP. TYPICAL

TEMPERED OR TEMPORARY

T.O.W. TOP OF WALL

T.O.S. TOP OF SLAB OR TOP OF

TO BE DETERMINED

TONGUE AND GROOVE

STRUC. STRUCTURAL SURR. SURROUND

SYMM. SYMMETRICAL

SUSP.

SMS SHEET META SPEC. SPECIFICATION SPKLR. SPRINKLER SPKR. SPEAKER

SHEATHING

SHEET METAL SCREW

SPECIFICATION

SCHED. SCHEDULE

SHTH. SHEATHING SHWR. SHOWER SIM. SIMILAR

SQUARE YARDS

RELOCATED

REINF. REINFORCED OR

REMOVE

REQUIRED REVISION

ROOM

RATED

ROUGH OPENING

PTN. PARTITION

PLAS. PLASTER PLBG. PLUMBING

PLYWD. PLYWOOD

PARTICLEBOARD

ARCH / INTERIOR ABBREVIATIONS

FIRE RESISTIVE

FULL SIZE FOUNDATION

FLASH FLASHING FLDG. FOLDING FLR. FLOOR

FLUOR. FLUORESCENT

FURRING FUTURE

GRAB BAR

GAUGE

GROUP GRADE GYPSUM

GALVANIZED

GLU-LAM BEAM GYPSUM WALLBOARD

F.R.P. FIBERGLASS- REINFORCED

FRAME OR FRAMING

GENERAL CONTRACTOR

HANDICAP OR HOLLOW

INCLUDED, INCLUDING

INFORMATION

INT. INTEGRAL INTERIOR

KNOCK-OUT

LINEAL FOOT

LIVE LOAD LOW POINT LABORATORY

LAMINATE

LAVATORY

POUND LABEL LOCATION

M.D.F. MEDIUM DENSITY

FIBERBOARD

MANHOLE

MACH. MACHINE

MECH. MECHANICAL

MFR. MANUFACTURER

MINIMUM

MISC. MISCELLANEOUS

N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE

N/A NOT APPLICABLE

ON CENTER

OBSCURE OCCUPANT

OPERABLE

OPNG. OPENING OPP. OPPOSITE OVHD. OVERHEAD

OCCUPANT LOAD

ORIENTED STRANDBOARD

MEMB. MEMBRAN

MIRR. MIRROR

MTD. MOUNTED MTG. MOUNTING MTL. METAL

MULL. MULLION

NO. NUMBER

NOM. NOMINAL

M.D.O. MEDIUM DENSITY OVERLAY

MASONRY OPENING

MATCH EXISTING

KITCHEN

JANITOF JOIST JOINT

HOLLOW METAL

H.W.T. HOT WATER TANK

HEADER

HARDWAR

HORIZ. HORIZONTAL

HWD. HARDWOOD

INSUL. INSULATION

HOUR

HEIGHT

HARDBOARD

FEET OR FOOT

# **BUILDING SUMMARY**

#### I. PROJECT ADDRESS: PROLOGIS PUYALLUP 1 MAKE READY PUYALLUP 1 1601 INDUSTRIAL PARK WAY, SUITE #100 PUYALLUP, WA 98371

APPLICABLE CODES & ORDINANCES 2018 INTERNATIONAL BUILDING CODE WITH STATEWIDE AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE WITH STATEWIDE AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE

2018 INTERNATIONAL FIRE CODE WITH STATEWIDE AMENDMENTS 2018 WASHINGTON STATE COMMERCIAL ENERGY CODE 2018 UNIFORM PLUMBING CODE WITH STATEWIDE AMENDMENTS

2018 INTERNATIONAL EXISTING BUILDING CODE WITH STATEWIDE AMENDMENTS (FOLLOWING PRESCRIPTIVE COMPLIANCE METHOD 301.3.1) 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2020 NATIONAL ELECTRICAL CODE

GENERAL BUILDING DESCRIPTION: TYPE OF CONSTRUCTION: III-B FIRE RESISTIVE SYSTEM: SPRINKLERED WITHOUT QUICK RESPONSE HEADS OCCUPANCY TYPE: 'B' OFFICE / 'S-2' WAREHOUSE

FIRE RESISTIVE CONSTRUCTION REQUIREMENTS: SHAFT ENCLOSURES: 2 HOUR EXIT STAIR ENCLOSURES: 2 HOUR CORRIDORS: NON-RATED PER IBC TABLE 1020.1

5. CODE SUMMARY: REFER TO SHEET GI003 ±130,912 SF, NON-STRUCTURAL INTERIOR TENANT IMPROVEMENT: WORK INCLUDES NON-STRUCTURAL DEMOLITION, NEW PARTITIONS, DOORS, AND FINISHES

# PROJECT TEAM

AD101

AD102

ELECTRICAL

CEILING DEMOLITION PLAN

FINISH PLAN

CONSTRUCTION / POWER & DATA PLAN

REFLECTED CEILING PLAN - OFFICE

REFLECTED CEILING PLAN - WAREHOUSE

DOOR SCHEDULE & DETAILS / LIGHTING SCHEDULE

**LECTRICAL SYMBOLS & ABBREVIATIONS** 

| ELECTRICAL SPECIFICATION

ELECTRICAL SCHEDULES

GENERAL CONTRACTOR: ARCHITECT/DESIGNER: TBD - BIDDER DESIGN BUILD BY G.C. **BURGESS INTERIOR ARCHITECTURE** 1200 FIFTH AVENUE, SUITE 400 PLUMBING ENGINEER: SEATTLE, WASHINGTON 98101 TBD - BIDDER DESIGN BUILD BY G.C. TEL: 206.587.7120 ATTN: SOPHEAP HILLE MECHANICAL ENGINEER: EMAIL: SOPHEAPH@BURGESSPNW.COM METRIX ENGINEERS - SCOTT AARON MILLER

PRCTI20230310

BUILDING MANAGER: **ELECTRICAL ENGINEER:** METRIX ENGINEERS - BENJAMIN C. PREHODA 33930 WEYERHAEUSER WAY SOUTH, SUITE 100 FEDERAL WAY, WA 98001 TEL: 206.414.7626 METRIX ENGINEERS - SCOTT AARON MILLER ATTN: JAMES BIRCHARD EMAIL: JBIRCHARD@PROLOGIS.COM

# DEFERRED SUBMITTALS / SEPARATE PERMIT

FIRE, LIFE SAFETY PERMIT UNDER SEPARATE SUBMITTAL

IEET MBER	SHEET TITLE	SHEET ISSUED	REVISION #	REVISION DATE
	COVER SHEET / PROJECT INFORMATION	Х		
	PROJECT NOTES	Х		
	CODE SUMMARY	Χ	2	05.19.23
	PROLOGIS CUSTOMER STANDARD FINISH	Χ		
	PROLOGIS CUSTOMER STANDARD FINISH	Χ		
TECTURE				
	FLOOR DEMOLITION PLAN	Χ		

DRAWING INDEX

## LEGAL DESCRIPTION / PARCEL NO.

PARCEL NUMBER: 0420212076

LEGAL DESCRIPTION: SECTION 21 TOWNSHIP 20 RANGE 04 QUARTER 23 L 1 OF DBLR 2007-06-28-5005 DESC AS TH N 24 DEG 21 MIN 04 SEC E 15 FT TH S 89 DEG 32 MIN 08 SEC E 26.43 FT TO BEG OF NON TANG CURVE. CONCAVE NWLY RAD OF 38 FT & CENTRAL ANGLE OF 50 DEG 13 MIN 31 SEC TH NELY ALG ARC OF SD C TO L NLY ALG ARC OF SD C TO L 111.12 FT TH N 00 DEG 46 MIN 49 SEC E 299.51 FT TO BEG OF CURVE CONCAVE ELY RAD 330 FT & A CENTRAL ANGLE OF 38 DEG 09 MIN 03 SEC TH NLY ALG ARC OF C TO R 219.73 FT TH N 38 DEG 55 MIN 52 SEC E 562.96 FT TH S 56 DEG 32 MIN 28 SEC E 844.26 FT TO SD SELY LI OF PUY IND RES TH S 38 DEG 57 MIN 46 DEG W 1157.36 FT TO POB EXC THAT POR CYD TO CY OF PUYALLUP FOR R/W PER ETN 4207692 OUT OF 2-072 SEG 2010-0061 JU 8/20/09JU

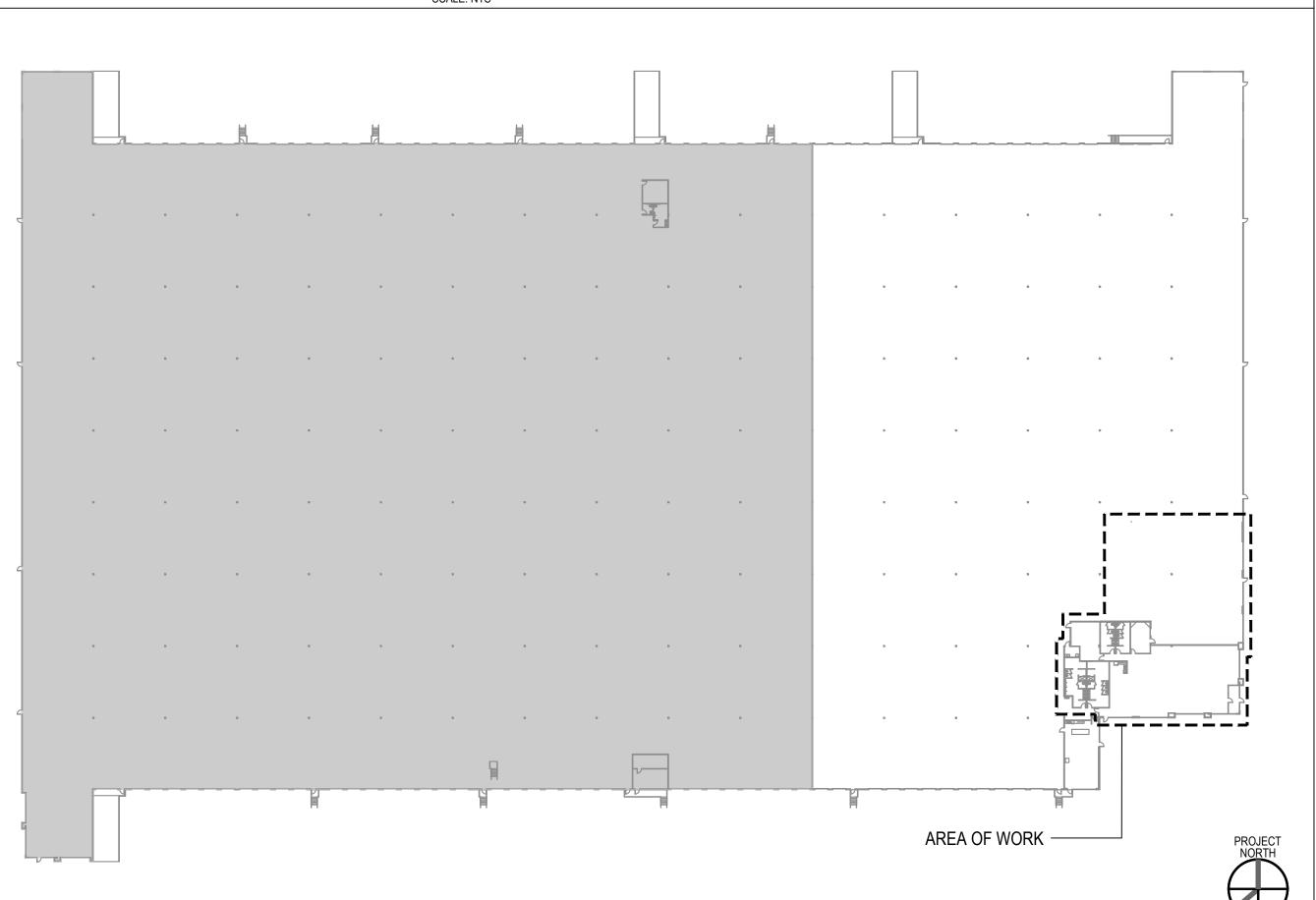
# STREET MAP

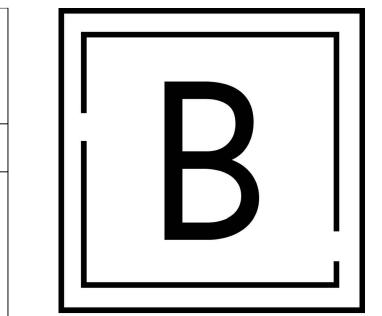


| ELECTRICAL SCHEDULES Χ LIGHTING DEMO PLAN POWER DEMO PLAN 04.12.23 LOW VOLTAGE DEMO PLAN POWER PLAN 04.12.23 Χ LOW VOLTAGE PLAN 04.12.23 ELECTRIC ONE-LINE DIAGRAM 04.12.23 MECHANICAL LEGEND & GENERAL NOTES 04.12.23, 05.19.23 MECHANICAL SCHEDULES 04.12.23, 05.19.23 04.12.23, 05.19.23 04.12.23, 05.19.23 MECHANICAL DEMOLITION FLOOR PLAN GAS PIPING DEMOLITION FLOOR PLAN 04.12.23, 05.19.23 MECHANICAL FLOOR PLAN 04.12.23, 05.19.23 MECHANICAL ROOF PLAN 04.12.23, 05.19.23 2 GAS PIPING FLOOR PLAN 04.12.23, 05.19.23 PLUMBING LEGEND & GENERAL NOTES PLUMBING DEMOLITION FLOOR PLAN Χ

# KEY PLAN / FLOOR PLATE

SCALE: NTS





## **BURGESS DESIGN**

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

PROLOGIS PUYALLUP MAKE READY PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371

1, 2 03.17.23 / 05.19.23

03.17.23

05.19.23

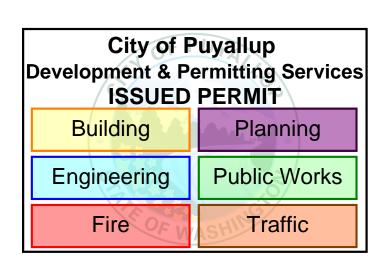
04.12.23

04.12.23

04.12.23

Χ

Χ



CONSTRUCTION WORK SHALL NOT PROCEED UNTIL THE BUILDING OWNER / REPRESENTATIVE AND BUILDING TENANT HAVE GIVEN THEIR APPROVAL TO THESE CONSTRUCTION DOCUMENTS. APPROVAL BY THESE PARTIES SHALL BE INTERPRETED AS APPROVAL OF DRAWING FOR CONTENT, FINISH SELECTIONS, SCOPE OF WORK, AND ALL DIMENSIONS REGARDED BY EITHER PARTY AS BEING NECESSARY TO THEIR OPERATIONS, USE OF THE SPACE, FURNISHINGS, AND TENANT EQUIPMENT AND FURNITURE INSTALLATIONS.

CONSTRUCTION AND/OR INITIATION OF CONSTRUCTION. AUTHORIZED BY THE BUILDING OWNER FROM THESE CONSTRUCTION DOCUMENTS, SHALL BE INTERPRETED BY THE DESIGNER AS APPROVAL IN FULL OF THESE CONSTRUCTION DOCUMENTS BY BOTH THE BUILDING OWNER /

Professional seal

STATE OF WASHINGTON

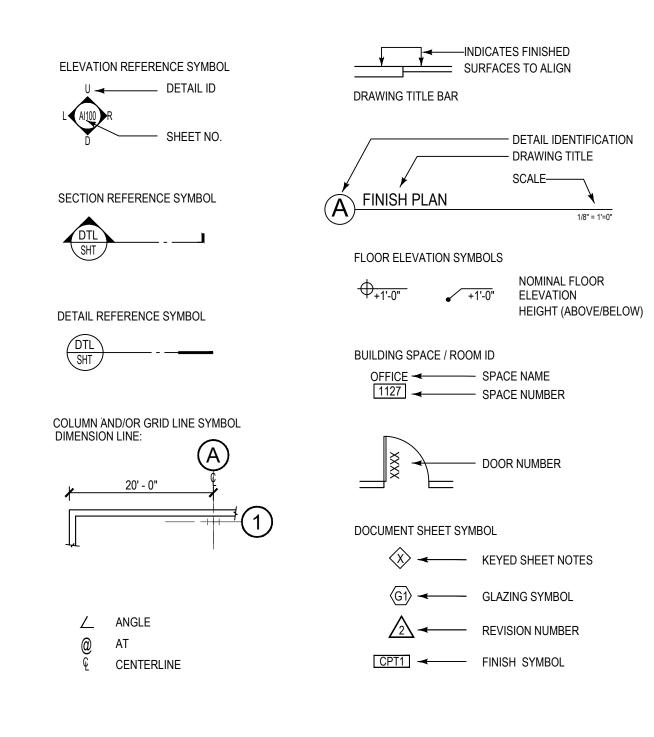
No.	Issue Description	Date
	REVIEW SET	01.06.23
	REVIEW SET	01.30.23
	REVIEW SET	02.17.23
	REVIEW SET	02.27.23
	PERMIT SET	03.10.23
$\overline{\bigwedge}$	CD SET	03.17.23
$\sqrt{2}$	CITY CORRECTION	05.19.23
-		

City Electronic Stamp Location

CLIENT APPROVAL City Electronic Stamp Location

COVER SHEET/

Original drawing is 30" x 42". Scale entities accordingly if reduced



2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF DIFFERENT TRADES.

4. CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER AND ARCHITECT FOR APPROVAL PRIOR

5. ALL MODIFICATIONS. REQUIRING OWNER OR ARCHITECT APPROVAL WILL NOT BE VALID UNLESS AUTHORIZED IN WRITING BY

ARCHITECT AND OWNER OF ANY ITEMS WHOSE ESTIMATED DELIVERY TO THE SITE WOULD BE LATER THAN THAT REQUIRED

FOR TIMELY INSTALLATION IN THE CONSTRUCTION SEQUENCE SUBSTITUTION OF ALTERNATE ITEMS WITH SHORTER LEAD

TIMES, PAYMENT OF RUSH FABRICATION OR DELIVERY CHARGES OUT OF SEQUENCE INSTALLATION, OR DELAY OF

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH THE LATEST.

8. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS AND SHALL REPORT ANY CONFLICTS OR QUESTIONS

10. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN

11. CONTRACTOR SHALL PROVIDE A WRITTEN CONSTRUCTION SCHEDULE. THIS SCHEDULE SHALL INCLUDE DELIVERY LEAD

TIMES OF CONSTRUCTION ITEMS. AND START AND COMPLETION DATES OF EACH PHASE. THE CONTRACTOR SHALL UPDATE

3. ACCESS TO AND FROM THE PROJECT SITE, SPECIAL CONDITIONS, NOISY WORK, TIMING OF WORK, INTERRUPTION OF

14. ADEQUATE CLEANUP, PROTECTION AND PLACEMENT OF ANY CEILING TILES AND/OR OTHER DISRUPTION TO THE ADJACENT

TENANT IMPROVEMENTS MUST BE REPLACED BEFORE BUSINESS HOURS OF THAT TENANT IN ORDER THAT THE OCCUPANT

15. EACH SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT

7. UPON COMPLETION OF ALL CONSTRUCTION, THE CONTRACTOR SHALL SUPPLY THE LANDLORD WITH ONE SET OF

20. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BACKING, BLOCKING, AND FRAMING FOR LIGHT

23. CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR REVIEW ON CABINETWORK, MILLWORK AND ANY OTHER SPECIAL

24. REPETITIVE FEATURES NOT FULLY SHOWN OR NOTED ON THE DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN

25. THROUGHOUT THE DRAWINGS ARE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED

ITEMS REQUIRING CUSTOM SHOP FABRICATION. SUBMIT TO ARCHITECT AT LEAST THREE (3) COPIES FOR REVIEW.

IS NOT INTENDED TO BE A COMPLETE LIST. THE ARCHITECT WILL DEFINE THE INTENT OF ANY IN QUESTION.

MECHANICAL AND ELECTRICAL SERVICES, RELOCATION OF EXISTING EQUIPMENT, CASEWORK, FIXTURES, FITTINGS, ETC.

9. THE USE OF WORD "PROVIDE" SHALL ALWAYS MEAN, "FURNISH AND INSTALL, CONNECT, OR SECURE" AS REQUIRED

12. WORK MUST BE SCHEDULED WITH THE BUILDING MANAGEMENT TO AVOID DISRUPTION TO THE TENANT:

WILL NOT BE INCONVENIENCED IN THE NORMAL CONTINUATION OF THEIR OFFICE HOURS.

16. SCHEDULE THE USE OF THE ELEVATOR WITH BUILDING MANAGEMENT

21. CONTRACTOR TO COORDINATE ALL FIRE ALARM WORK WITH BUILDING OWNER

18. ALL MATERIALS TO BE NEW UON

**SYMBOLS** 

TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWING ONLY WILL NOT SATISFY THIS REQUIREMENT.

DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS

INSTALLATION OPTIONS TO BE AT THE SOLE APPROVAL OF OWNER OR ARCHITECT

# **DEFINITIONS AND DIMENSIONS**

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM FOR THE CONDITION NOTED.

2. "SIMILAR" OR "SIM." INDICATES COMPLETE SYSTEM AND COMPONENTS COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.

3. "AS REQUIRED" INDICATES CONTRACTOR SHALL PROVIDE COMPONENTS REQUIRED TO COMPLETE THE NOTED SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS.

4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION ADJACENT MATERIALS. 5. "CLEAR" INDICATES CRITICAL DIMENSION AND SHALL SET PRECEDENT FOR LAYOUT OF PARTITIONS.

B. DIMENSIONS:

1. DIMENSIONS ARE INDICATED TO THE FACE OF FINISHED SURFACE AT ALL NEW AND EXISTING CONSTRUCTION, CENTER OF COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.

2. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. DIMENSIONAL LAYOUT SHALL BE IN THE FOLLOWING PRIORITY ORDER

A. STRUCTURAL DRAWINGS B. LARGE SCALE DETAILS C. SMALL SCALE DETAILS

D. ENLARGED PLANS AND SECTIONS

E. FLOOR PLANS 3. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE MAINTAINED.

4. FLOOR ELEVATIONS ARE INDICATED AT THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.

5. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR - "AFF".

6. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC CEILING GRID OR FACE OF FINISH MATERIAL FOR OTHER CEILING TYPES, UNLESS OTHERWISE NOTED.

7. DOCUMENTS ARE DRAWN DIAGRAMMATICALLY, AND SCALED DIMENSIONS ARE APPROXIMATE. DIMENSIONS SHALL INDICATE REQUIRED SIZE, CLEARANCES, AND RELATIONSHIPS ARE INDICATED BY DIMENSIONS AS NOTED.

## **PROJECT NOTES**

- THESE PROJECT NOTES ARE GENERIC IN NATURE. CONTRACTORS INSTRUCTIONS FOR CONSTRUCTION ADMINISTRATION MAY VARY BASED ON THE CONTRACT BETWEEN BUILDING MANAGEMENT AND TENANT. VERIFY WITH BUILDING MANAGEMENT ALL CONSTRUCTION REQUIREMENTS AND CONSTRUCTION ADMINISTRATION RESPONSIBILITIES. THE DESIGNER MAY NOT HAVE CONSTRUCTION ADMINISTRATION OBLIGATIONS.
- PLUMBING, ELECTRICAL, MECHANICAL & LIFE SAFETY SHALL BE PERFORMED UNDER THE DESIGN/BUILD CONTRACT. UNO. ALL WORK SHALL BE TO CODE. ANY INFORMATION ON THESE DRAWINGS ARE FOR REFERENCE AND SCHEMATIC DESIGN ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF THE DESIGN. VERIFY REQUIREMENTS OF BUILDING MANAGEMENT AND TENANT. REVIEW OF SHOP DRAWINGS, IF APPROPRIATE, IS FOR AESTHETIC REASONS
- VERIFY BUILDING STANDARDS WITH BUILDING MANAGEMENT WHEN WORKING IN SUITES WITH NON BUILDING STANDARD ELEMENTS. VERIFY PREFERRED DETAILING OF THESE ELEMENTS WITH BUILDING MANAGEMENT.
- VERIFY ALL RULES, GENERAL CONDITIONS AND SPECIALIZED BUILDING REQUIREMENTS WITH THE BUILDING
- VERIFY LEED REQUIREMENTS WITH BUILDING MANAGEMENT.

#### DIVISION I - GENERAL CONDITIONS

- GENERAL DESCRIPTION OF THE PROJECT: NON-STRUCTURAL INTERIOR TENANT IMPROVEMENT OF A COMMERCIAL
- WHERE NO BUILDING STANDARDS EXIST FOR MATERIALS CALLED OUT AS "BUILDING STANDARD" ON THE PLANS, THE CONTRACTOR SHALL SO ADVISE BURGESS INTERIOR ARCHITECTURE WITHIN TEN (10) DAYS OF THE CONTRACTOR'S
- CONTRACTOR SHALL VERIFY ALL REQUIREMENTS OF EXACT SIZE AND QUANTITY OF EQUIPMENT FURNISHED BY THE TENANT, INCLUDING REQUIREMENTS FOR MECHANICAL AND ELECTRICAL SERVICES, AND IS RESPONSIBLE FOR ALL ROUGH-IN CONNECTIONS. EACH SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND SHALL REPAIR SAID DAMAGE AT THEIR OWN EXPENSE

RECEIPT OF THE PLANS SO THAT BURGESS INTERIOR ARCHITECTURE MAY MAKE ALTERNATE SELECTIONS.

- FIRE/EMERGENCY SYSTEMS INCLUDE. BUT ARE NOT LIMITED TO, SPRINKLER MODIFICATIONS, FIRE EXTINGUISHER PLACEMENT, AUDIBLE ALARMS, SMOKE AND HEAT DETECTORS, STROBES, AND EXIT SIGN PLACEMENT.
- ALL DESIGN BUILD INFRASTRUCTURE SHALL BE UNDER A SEPARATE PERMIT BY CONTRACTOR.
- WORK NOT INCLUDED: CONTRACTOR SHALL PROVIDE THE FOLLOWING ITEMS DESCRIBED IN THE SPECIFICATIONS AND SHOWN ON THE PLANS EXCEPT FOR THE ITEMS INDICATED "N.I.C." (NOT IN CONTRACT), SUCH AS TELEPHONE AND DATA CABLES, OFFICE FURNITURE, EQUIPMENT AND MOBILE KITCHEN APPLIANCES.
- CONTRACTOR TO PROVIDE ALL FIRE/EMERGENCY SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES. FIRE/EMERGENCY SYSTEMS INCLUDE BUT NOT LIMITED TO SPRINKLER MODIFICATIONS, FIRE EXTINGUISHERS, AUDIBLE ALARMS, STROBES, SPRINKLERS, SMOKE AND HEAT DETECTORS, AND EXIT SIGNS.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, AND SHALL BE EQUIPPED WITH PANIC HARDWARE WHERE REQUIRED AND INDICATED.
- ANY MATERIAL USED IN CONSTRUCTION SHALL MEET CURRENT FLAME CODE REGULATIONS.
- ALL ELECTRICAL, PLUMBING AND MECHANICAL MATERIAL INSTALLATIONS SHALL COMPLY WITH THE BUILDING SHELL STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL LAY OUT THE WORK IN CONFORMITY WITH THE REQUIREMENTS OF CONTRACT DOCUMENTS, AND WILL BE HELD RESPONSIBLE FOR PROPER ESTABLISHMENT AND MAINTENANCE OF ALL LINES AND DIMENSIONS. BEFORE DOING AND WORK, THE GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE SITE AND NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES.
- UNLESS OTHERWISE NOTED. MATERIALS: ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED AS RECOMMENDED BY
- MANUFACTURERS. ALL LIKE MATERIALS USED SHALL BE OF THE SAME MANUFACTURER AND QUALITY UNLESS OTHERWISE SPECIFIED. ALL MATERIAL, EQUIPMENT AND FIXTURES SHALL BE CODE WORTHY WITH ALL PROPER
- CONFIRM LONG LEAD ITEMS AT THE START OF THE JOB AND REPORT TO DESIGNER AND BUILDING MANAGEMENT ANY SCHEDULE CONFLICTS

THE CONTRACTORS SHALL USE DIMENSIONS ONLY. DO NOT SCALE PLANS. ALL DIMENSIONS ARE TO FINISHED FACE

- CONFIRM ALL WARRANTEE PERIOD WITH BUILDING MANAGEMENT. IN LIEU OF STANDARD ALL WORK SHALL BE
- CONFIRM STRUCTURAL SYSTEM OF BUILDING AND USE APPROPRIATE CONNECTION TECHNICS. UTILIZE REBAR OR TENDON DETECTION TECHNOLOGY TO LOCATE EXISTING STRUCTURE IN CONCRETE SLABS AND OTHER ON SITE

#### DIVISION II - SITE WORK AND DEMOLITION

- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE THE DEMOLITION AND REMOVAL OF ALL ITEMS LOCATED IN THE CONSTRUCTION AREAS. UPON COMPLETION OF ALL DEMOLITION WORK, ALL AREAS SHALL BE LEFT BROOM CLEAN.
- EMOLITION OF TELEPHONES. ELECTRICAL. VOICE/DATA AND PANELS ARE TO BE REMOVED BACK TO ORIGINATING SOURCE. DEMOLITION OF CORES AND RELATED CABLING TO BE REMOVED FROM TENANT SPACES BELOW.
- DURING THE REMOVAL OF ANY ENVIRONMENTALLY HAZARDOUS MATERIALS, PROTECTION GUIDELINES SHOULD BE STRICTLY FOLLOWED BY CODE OR LOCAL GOVERNING AUTHORITY. VERIFY ALL REQUIREMENTS WITH BUILDING
- ALL EXISTING CONSTRUCTION ITEMS THAT INTERFERE WITH THE CONSTRUCTION NEGOTIATED BY THE PRICING PLAN / SPACE PLAN WITH WORK LETTER SHALL BE REMOVED, RELOCATED, OR KEPT FLUSH IN CEILING, WALL, OR FLOOR AS
- ALL DAMAGED, ALTERED OR REWORKED AREAS SHALL BE PATCHED AS REQUIRED AND FINISHED TO MATCH EXISTING ADJACENT AREAS OR AS SPECIFIED TO PROVIDE A "LIKE-NEW FINISH".
- CONTRACTOR SHALL PROVIDE PLASTIC SHEETING OR OTHER APPROPRIATE BARRIER TO CONTROL DUST AND DEBRIS SUCH THAT IT DOES NOT AFFECT AREAS OUTSIDE THE AREA OF WORK. CONTRACTOR SHALL PROVIDE ALL DUE CAUTION FOR SITE WORK. CALL 811 BEFORE STARTING ANY SITE WORK.
- DIVISION VI ARCHITECTURAL CARPENTRY AND CASEWORK
- ROUGH CARPENTRY TO INCLUDE ANY WOOD STUDS, FURRING, BLOCKING, ROUGH FRAMING, WOOD CURBS, BUCKS, NAILERS, BACKING, FIXTURE FRAMING, EQUIPMENT SUPPORTS, ETC. AS DETAILED.
- FINISH CARPENTRY TO INCLUDE INSTALLATION OF ALL FIXTURES AND ASSOCIATED TRIMS, HARDWARE AND NOSINGS. PROVIDE INTERIOR DOOR AND SIDELIGHT FRAMES AS SCHEDULED.
- CABINET CONSTRUCTION: COMPLY WITH THE A.W.I. ARCHITECTURAL WOODWORK QUALITY STANDARDS FOR CUSTOM GRADE WORK. CABINETS SHALL BE FLUSH CONSTRUCTION.
- PROVIDE PARTICLE BOARD, MED. DENSITY, WEIGHING <40 LB./CU. FT., AT LEAST 3/4" THICK. CABINET HARDWARE: FULL EXTENSION DRAWER GLIDES, STAINLESS STEEL CABINET PULLS, US32D FINISH, AND
- CONCEALED DOOR HINGES, SHELF HARDWARE AND OTHER REQUIRED ITEMS, UON IN ELEVATIONS / DETAILS, OR PER
- PLASTIC LAMINATE: HIGH-PRESSURE DECORATIVE LAMINATE SELECTED FROM WILSONART, NEVAMAR, AND FORMICA, UON. LAMINATE TO BE GENERAL-PURPOSE GRADE .050" HORIZONTAL AND .030" VERTICAL. SHELVING SHALL COMPLY
- CABINET HINGES SHALL BE 135 DEGREE FRAMELESS CONCEALED EUROPEAN STYLE HINGE AND FULL EXTENSION HEAVY DUTY DRAWER GLIDES, UNO. CORNER UNITS SHALL BE 94 DEGREE HINGES.
- INTERIOR CABINET SURFACES & SHELVES TO BE OF PREFINISHED BOARD WITH POLYESTER OVERLAY, UON. . SHELF EDGING TO BE P-LAM, UON
- SUBMIT SHOP DRAWING SUBMITTALS FOR ARCHITECT REVIEW.

### DIVISION VII - THERMAL AND MOISTURE PROTECTION

- WHEN PROJECT CONSISTS OF NEW RESTROOMS OR SHOWERS OR OTHER TYPES OF BUILD OUT. GC SHALL VERIFY ALL WATERPROOFING REQUIREMENTS WITH BUILDING MANAGEMENT. PROVIDE WATERPROOFING PER
- ROOF WORK SHALL BE DONE UNDER BUILDING MANAGEMENTS WARRANTEE POLICY. VERIFY ALL REQUIREMENTS WITH BUILDING MANAGEMENT. DIVISION VIII - DOORS AND WINDOWS
- PROVIDE AND INSTALL INTERIOR SUITE DOORS AS INDICATED ON DRAWINGS.
- DOOR SCHEDULE SPECIFIES FINISH (BOTH SIDES OF DOOR) AND FRAME, UON.
- DOORS SHALL BE PRE-MACHINED FOR HARDWARE PER HARDWARE SCHEDULE.
- SUBMIT SHOP DRAWING SUBMITTALS FOR ARCHITECT REVIEW.
- CONTRACTOR SHALL REVIEW SUITE FOR DOOR STYLE CHANGES AND VERIEY WITH ARCHITECT AND BUILDING MANAGEMENT THE DOOR AND SIDELIGHT STYLE TO MATCH IF A VARIATION IS PRESENT
- PROVIDE FIRE PROTECTION IN ALL PENETRATIONS IN RATED ASSEMBLIES.
- IN OPEN CEILING CONDITIONS REPAIR OR REPLACE FIRE PROTECTION AS NEEDED.
- FIRE PROOFING AND WALL SURFACE SO THAT THE COLOR CAN BE CORRECTED DUE TO THE SUBSURFACE CONDITIONS OF DISSIMILAR MATERIALS. PATCH AND REPAIR ANY FIREPROOFING AT SHAFTS, CORRIDORS AND OTHER RATED ASSEMBLIES AS NEEDED. MATCH
- EXISTING RATINGS AND CONDITIONS. PROVIDE FIRESTOPPING, SEALANT AND OTHER FIRE RATED ASSEMBLIES AS NEEDED. VERIFY WITH BUILDING MANAGEMENT PREFERRED METHODS AND MATERIALS. FINISH AND SPECIALTY HARDWARE INCLUDES ALL ACCESSORIES. TOOLS, AND FASTENERS REQUIRED FOR

F SPRAY ON FIREPROOFING IS VISIBLE AND TO RECEIVE PAINT FINISH PROVIDE A SMALL AREA MOCK UP OF BOTH

- HARDWARE INSTALLATION AND MAINTENANCE. ITEMS NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO COMPLETE THE WORK, SHALL BE FURNISHED MATCHING IN QUALITY AND FINISH OF SPECIFIED IN SIMILAR LOCATIONS. PROVIDE ALL HARDWARE AS SPECIFIED PER THE HARDWARE SCHEDULE.
- ALL LOCK SETS SHALL CONFORM TO THE BUILDING'S GRAND MASTER KEYING SYSTEMS. PROVIDE AT LEAST TWO (2) KEYS FOR EACH LOCK AND TWO (2) MASTER KEYS FOR THE SUITE. ALL KEYS TO BE TAGGED WITH ROOM NUMBER'S. CONFIRM QUANTITY WITH BUILDING MANAGEMENT.
- 13. SUBMIT HARDWARE SCHEDULE WITH CATALOGUE CUT SHEETS FOR ARCHITECT REVIEW. ALL DOORS SHALL HAVE A MINIMUM OF 1-1/2 PAIR OF BUTT HINGES, ONE LATCHSET OR LOCK SET, AND ONE DOOR
- STOP TO MEET ACCESSIBILITY REQUIREMENTS. ALL HARDWARE SHALL BE COMMERCIAL GRADE AND RATED AT REQUIRED ASSEMBLIES.
- . PROVIDE CLOSERS PER HARDWARE SCHEDULE AND AT ALL RATED ASSEMBLIES.
- ALL HARDWARE SHALL MATCH BUILDING STANDARD IN STYLE AND FINISH.
- SET UNITS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE AS NECESSARY FOR PROPER INSTALLATION AND OPERATION.
- ADJUST AND CHECK EACH OPERATING ITEM OF HARDWARE AND EACH DOOR TO ENSURE PROPER OPERATION OR FUNCTION OF EVERY UNIT. REPLACE UNITS WHICH CANNOT BE ADJUSTED TO OPERATE FREELY AND SMOOTHLY AS
- INTENDED FOR THE APPLICATION MADE.
- 0. PROVIDE PROPER SMOKE GASKETS AT RATED ASSEMBLIES.
- 1. THE FOLLOWING UL LISTINGS ARE REQUIRED ON THE FOLLOWING HARDWARE: FIRE EXIT HARDWARE - UL #106 & UL #305
  - ELECTROMAGNETIC LOCK HARDWARE UL # FWAX-S-A-6635 THE CRASH BAR MUST BE AT LEAST 1/2 OF THE DOOR WIDTH AND OPEN FORCE NO MORE THAN 5 LBS. VERIFY WITH BUILDING STANDARD & MANAGEMENT AND INFORM ARCHITECT IF BUILDING STANDARD
- 2. ALL EXTERIOR DOORS SHALL HAVE CODE REQUIRED U VALUE AND WEATHER STRIPPING.

- 23. ALL GLASS AT SIDELIGHTS AND DOORS SHALL BE 1/4" TEMPERED SAFETY GLAZING, UON.
- CONTRACTOR SHALL VERIFY GLASS THICKNESS IS APPROPRIATE FOR DIMENSIONS AND SPANS.
- THIS PROJECT MAY CONTAIN GLAZING THAT WILL BE SUBJECT TO FEDERAL GLAZING STANDARDS. GLAZING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ADHERENCE TO THE REQUIREMENTS. IF GLAZING SUBCONTRACTOR FINDS ANYTHING IN THE DOCUMENTS NOT IN COMPLIANCE WITH THE STANDARD, THEY SHALL BRING DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 26. RATED GLASS (CERAMIC) RELITE SHALL BE PREMIUM POLISHED FINISH. GLAZING SHALL COMPLY WITH IBC 716.3
- INCLUDE NECESSARY MATERIALS, LABOR AND ACCESSORIES FOR THE INSTALLATION OF ALL PARTITIONS AS SHOWN IN THE PLANS.
- "WALL SURFACES" MEAN ALL VERTICAL SURFACES INCLUDING COLUMNS WHERE EXPOSED, CONVECTOR OR RADIATOR ENCLOSURES, FASCIAS, RETURNS, PLYWOOD BACKBOARDS, ETC.
- . ALL PARTITION HEADS SHALL MATCH BUILDING STANDARD, UON.
- WALLS SHOWN ALIGNED WITH BASE BUILDING STRUCTURE SHALL BE FLUSH AND SMOOTH WITH BASE BUILDING
- SEISMIC BRACING: PROVIDE SEISMIC BRACING AS REQUIRED PER THE LATEST BUILDING CODES TO THE PARTITION HEADS AND CEILING GRID.
- FRAMING STUDS: GALVANIZED STEEL STUDS PER CONSTRUCTION PLANS. PROVIDE WITH SHEET METAL BACKING WITHIN ALL WALLS RECEIVING CASEWORK (CABINETS, BOOKSHELVES, ETC.). VERIFY STUD SIZE MATCHES DOOR FRAMES IN STOCK IF APPLICABLE.
- CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL
- DUCTS, PLUMBING, AND ELECTRICAL WORK. FIRE RATE AS REQUIRED. ALL DRYWALL TO BE 5/8" TYPE "X" UNLESS OTHERWISE NOTED. PROVIDE "M/R" TYPE DRYWALL OR CEMENT BOARD
- WHERE REQUIRED BY CODE AND AT ALL TOILET ROOMS, AND BEHIND CERAMIC TILES, UON. INSTALL CORNER BEADS AT ALL EXTERNAL CORNERS. INSTALL METAL EDGE TRIM WHENEVER EDGE OF GYPSUM
- BOARD WOULD OTHERWISE BE EXPOSED OR SEMI-EXPOSED. 10. PRIOR TO RECEIVING FINISH, ALL SURFACES SHALL BE PROPERLY PREPARED AS REQUIRED TO RECEIVE FINAL FINISHING AS SPECIFIED.
- EXTEND ALL SOFFIT FRAMING TO STRUCTURE ABOVE. PROVIDE STRUCTURAL DIAGONAL BRACING AS NECESSARY. 12. PROVIDE FRAMING FOR SUSPENDED CEILING WITH SEISMIC BRACING IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE CODES AND AS SHOWN ON DRAWINGS.
- USE ACOUSTICAL SEALANT AROUND ALL PIPES, DUCTS, CONDUIT, OUTLETS, SWITCHES, ETC. ON BOTH SIDES OF CROSSING/PENETRATING WALLS WITH ACOUSTICAL INSULATION. PENETRATIONS OF FIRE-RATED WALLS SHALL BE PROTECTED BY APPLICABLE FIRE-RATED ASSEMBLIES AND MATERIALS.
- 14. FIRE AND SMOKE SEPARATION ASSEMBLIES SHALL BE MARKED AS REQUIRED IN IBC SECTION 703.7. 15. PROVIDE NEW CEILING TILE, CEILING GRID AND ALL ACCESSORIES AS REQUIRED TO INSTALL SUSPENDED
- ACOUSTICAL CEILINGS AS INDICATED ON DRAWINGS. 16. PROVIDE SEISMIC BRACING AS REQUIRED BY CODE AT NEW CEILING WORK ONLY. VERIFY WITH BUILDING
- MANAGEMENT IF EXISTING CONDITIONS ARE SEISMICALLY BRACED OR PROVIDE PER CODE. COORDINATE WORK WITH OTHER TRADES HAVING WORK IN THE CEILING AND THE TELEPHONE AND DATA CABLE COMPANIES WHEREVER THEIR RESPECTIVE WORK IS CONTIGUOUS.
- 18. PROVIDE CUTOUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WORK AS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS, SPRINKLERS, AND OTHER INSERTED ITEMS. 19. ALL CUTOUTS SHALL BE CENTERED WITHIN ACOUSTIC CEILING TILE, UON.
- 20. ALL MATERIAL SHALL HAVE AN IDENTIFIED CLASSIFICATION FOR BOTH FLAME SPREAD INDEX AND SMOKE DEVELOPMENT INDEX AS IDENTIFIED IN CHAPTER 8 INTERIOR FINISHES OF THE IBC FOR OCCUPANCY AND ROOM
- ALL JOINTS IN THE TILE FIELD SHALL BE SQUARE, LEVEL AND PERFECTLY ALIGNED WITH EACH OTHER.
- 22. INSTALLED SUSPENDED CEILINGS TO BE LEVEL WITHIN A TOLERANCE OF 1/8" IN 12'-0". ANCHOR AS REQUIRED. 23. IN AREAS OF ALTERATIONS CONTRACTOR SHALL MATCH CONDITIONS AND MAKE EVERY EFFORT TO ALIGN, LEVEL AND MATCH NEW CEILING TO OLD. CONTRACTOR SHALL REVIEW ALL CEILINGS UPON COMMENCEMENT OF THE PROJECT
- AND INFORM THE BUILDING MANAGEMENT OF ANY DISCONTINUITIES IN THE CEILING WITHIN 10 DAYS.
- 24. ADJUST PARTITION HEAD DETAIL TO MATCH EXISTING CEILING CONDITIONS IF NECESSARY. 25. IN OPEN CEILING CONDITIONS OR IF CLOUDS ARE SPECIFIED. PROVIDE ALL WORK SUITABLE FOR AN EXPOSED AND
- VISIBLE CONDITION. HANGING, CONDUIT, DUCTWORK AND OTHER ITEMS SHALL BE PLUM AND TRUE. VERIFY ALL REQUIREMENTS WITH BUILDING OWNER CONCERNING MAINTAINING THE RETURN AIR PLENUM. PROJECTS THAT CONVERT ACT SPACE INTO OPEN SPACE SHALL HAVE THE FINISH OF THE OLD INTERSTITIAL SPACE FINISHED WITH GWB TO A LEVEL FLOOR FINISH, UNO. THIS MAY REQUIRE FURRING OR STUDS EXTENDED TO THE UNDERSIDE OF
- 26. PROVIDE ACOUSTICAL INSULATION BETWEEN FRAMING STUDS AND EXTENDING TWO FEET ON EACH SIDE OF
- PARTITION HEAD ABOVE CEILINGS FOR ALL WALLS NOTED PER PLANS. NEW DEMISING WALL CONSTRUCTION TO HAVE SOUND BATT INSULATION BETWEEN FRAMING STUDS AND TWO FEET OF INSULATION ON EITHER SIDE OF THE PARTITION HEAD ABOVE CEILING GRID, UON.
- 28. PROVIDE VCT, SHEET LINOLEUM, SHEET VINYL AND RUBBER BASE AS INDICATED IN DRAWINGS. COLOR AND
- MANUFACTURER PER FINISH SCHEDULE.  $^{29}$ . PROVIDE RUBBER-REDUCING STRIPS IN COLOR TO MATCH SPECIFIED BASE, UNO. REDUCING STRIPS TO OCCUR A ALL AREAS OF FLOOR MATERIAL TRANSITION. USE STAINLESS STEEL TRANSITION AT TILE TO DISSIMILAR MATERIAL,
- BASE TO BE INSTALLED IN LONGEST AVAILABLE LENGTH WITH NO PIECE LESS THAN 12". NO JOINTS AT OUTSIDE CORNERS OR WITHIN 6" OF CORNERS. VERIFY HEIGHT OF RUBBER BASE REQUIRED WITH BUILDING MANAGEMENT. 4.5" MAY BE NECESSARY.
- 31. PATCH, LEVEL AND PREPARE SUB FLOORING WITH CEMENTITIOUS UNDERLAY PER MFR'S WRITTEN INSTRUCTIONS IN AREAS TO RECEIVE NEW FLOORING. MAX. ALLOWABLE TOLERANCE = 1/4" OVER 10'.
- 32. GENERAL CONTRACTOR SHALL APPLY FLOOR WAX TO NEW FLOORING AREAS PER MANUFACTURERS SPECIFICATION,
- 33. UNLESS SPECIFIED ALL RUBBER BASE SHALL BE COVED BASE.
- 34. PROVIDE AND INSTALL COMMERCIAL GRADE CARPET AS INDICATED IN DRAWINGS. 35. PROVIDE SEAMING DIAGRAMS FOR ARCHITECT'S REVIEW.
- 36. UNLESS OTHERWISE NOTED, PRIME ALL GWB WALL SURFACES AND PAINT WITH MINIMUM OF TWO (2) FINISH COATS OF BENJAMIN MOORE EGGSHELL FINISH LATEX PAINT OR APPROVED EQUAL, UON. PROVIDE FOR NUMBER OF PAINT COLORS AS INDICATED IN DRAWINGS. VERIFY STANDARD LEVEL OF FINISH WITH BUILDING MANAGEMENT.
- FINISH DOORS, DOOR FRAMES, AND SIDELIGHT FRAMES AS INDICATED IN DRAWINGS. A) PAINTED WOODWORK TO BE FINISHED WITH ONE (1) COAT PRIMER AND TWO FINISH COATS. B) SEALED WOODWORK TO BE STAINED PER FINISH SCHEDULE AND SEALED WITH A COMMERCIAL GRADE CLEAR SATIN VARNISH.
- 38. PAINT FOR THE LIGHT SURFACES TO CONFORM TO THE REQUIREMENTS OF THE "ARCHITECTURAL SPECIFICATIONS. MANUAL" (AWS) FOR PAINT SYSTEMS. LATEX PAINT: AWS SYSTEM 3-B "CUSTOM" (1) COAT PRIMER AND TWO (2) FINISH COATS. GRADE LIGHT COLOR PAINT FINISH ON GYPSUM BOARD SURFACES.
- 39. PAINT FOR THE DARK SURFACES TO CONFORM TO THE REQUIREMENTS FOR THE "ARCHITECTURAL SPECIFICATIONS MANUAL" (AWS) FOR PAINT SYSTEMS. LATEX PAINT: AWS SYSTEM 3-B "CUSTOM" (1) COAT PRIMER AND TWO (2) FINISH COATS. GRADE DEEP TONE PAINT FINISH ON GYPSUM BOARD SURFACES.
- 40. UPON COMPLETION OF WORK, REMOVE EXCESS PAINT, STAIN, VARNISH, ADHESIVE, CAULK, ETC. FROM ALL OTHER SURFACES THAT WERE NOT SPECIFIED TO RECEIVE SAME.
- 41. TOUCH-UP AND PATCH SURFACES AS REQUIRED AFTER THE COMPLETION OF WORK BY OTHER TRADES. 42. WHERE COLUMNS OCCUR IN AREAS SCHEDULED TO BE FINISHED, THEY SHALL RECEIVE THE SAME FINISH AS THE
- 43. ALL PAINTED SURFACES SHALL BE PREPARED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS (ESPECIALLY IN REGARD TO THE PRIMING OF EXISTING SURFACES).
- 44. PUTTY ALL NAIL HOLES, COUNTERSUNK SCREWS, BOLTS, CRACKS, ETC. BEFORE APPLYING FINISH. 45. SAND ALL WOOD SURFACES SMOOTH AND EVEN BEFORE APPLYING FINISH.
- 46. SAND ENAMELED FINISHES APPLIED TO WOODS OR METAL BETWEEN COATS WITH FINE SANDPAPER TO PRODUCE
- MAKE FINISH WORK UNIFORM AND SMOOTH, FREE OF RUNS, SAGS, DEFECTIVE BRUSHING AND CLOGGING. MAKE EDGES OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN WITHOUT OVERLAPPING.
- 48. CHANGE PAINT FORMULATION AS REQUIRED FOR DIFFERENT ENVIRONMENTS, MATERIALS AND SURFACE PREPARATIONS.
- 49. VERIFY ATTIC STOCK REQUIREMENTS OF ALL FINISH MATERIALS WITH BUILDING MANAGEMENT AND TENANT.
- ALL EXISTING INTERIOR AND PERIMETER MINI BLINDS TO BE BAGGED AND CLEANED TO LIKE-NEW CONDITION. ALL PERIMETER GLAZING TO RECEIVE BLINDS AS INDICATED IN DRAWINGS. COORDINATE WITH BUILDING
- MANAGEMENT. MATCH EXISTING CONDITIONS UON.
- ALL INTERIOR SIDELIGHTS TO RECEIVE 1" MINI-BLINDS WHERE INDICATED IN DRAWINGS.
- 4. PROVIDE SAMPLE AND CUT SHEET TO ARCHITECT FOR REVIEW.
- PROVIDE AND INSTALL ALL CODE REQUIRED SIGNAGE.
- TENANT'S FURNITURE SHALL BE THE RESPONSIBILITY OF THE TENANT AND THEIR VENDOR. GC SHALL INVITE AND COORDINATE TENANTS VENDOR FOR FIELD MEASUREMENTS AND VERIFICATION OF LAYOUT AND ALL ELECTRICAL
- FURNITURE SYSTEMS CONNECTIONS (WHIPS) SHALL BE PROVIDED BY TENANT'S FURNITURE VENDOR AND INSTALLED BY THE GC, UNO. GC TO COORDINATE. VERIFY ALL ELECTRICAL AND VOICE DATA CONNECTIONS. **DIVISION XXI - FIRE SUPPRESSION**
- ALTER OR INSTALL FIRE PROTECTION SYSTEM PER BUILDING STANDARD, LOCAL REGULATIONS AND ORDINANCES.
- PROVIDE ALL EMERGENCY LIGHTING. EXIT SIGNS, FIRE ALARM SPEAKERS, STROBES AND BELLS AS REQUIRED BY CODE. DESIGN AND INSTALL THE SAME IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. PROVIDE SPRINKLERS, FIRE RATED DOORS AND FRAMES, FIRE EXTINGUISHERS, ETC. AS REQUIRED BY APPLICABLE
- FIRE EXTINGUISHERS SHALL BE BY UNDERWRITER'S LABORATORY 2A-10BC 5-LB. MULTIPURPOSE EXTINGUISHER WITH SQUEEZE-TYPE HANDLE AND FLEXIBLE DISCHARGE HOSE WITH VISIBLE PRESSURE GAUGE, UON.
- FIRE EXTINGUISHERS SHALL BE INSTALLED PER BUILDING STANDARD REQUIREMENTS, UON, VERIFY LOCATION WITH FIRE MARSHALL. WHEN REQUIRED BY CODE. PROVIDE 1 WALL MOUNT TYPE IN EACH SERVER ROOM OR LABORATORY.

CONTRACTOR TO PROVIDE INSTALLATION DESIGN DOCUMENTS TO ARCHITECT AND BUILDING OWNER FOR REVIEW

9. USE OF NFPA 13 QUICK RESPONSE HEADS MAY BE REQUIRED. CONTRACTOR SHALL VERIFY EXTENT OF QUICK

DESIGN BUILD FIRE PROTECTION DRAWINGS SHALL INDICATE: LAYOUT, LOCATION, AND SIZE OF SPRINKLER LINES AND HEADS. PRESSURE REQUIREMENTS.

SPRINKLER HEAD SPECIFICATIONS

LOCAL CODES AND LAWS.

LOCATION OF FIRE PROTECTION RISERS AND WALL HYDRANTS CHANGES OF USE SHALL BE RESOLVED FOR NEW OCCUPANCY FIRE FLOW.

AND APPROVAL PRIOR TO INSTALLATION. INCLUDE HORNS AND STROBES.

. ALL SPRINKLER HEADS SHALL BE CENTERED IN ACOUSTICAL CEILING TILE, UON.

- RESPONSE HEADS BY CITY FOR THIS PROJECT.
- 10. IF CEILING IS DESIGNED FOR AN OPEN CEILING CONDITION, GC SHALL PROVIDE SPRINKLER HEADS IN AN UPRIGHT CONDITION. WORK SHALL BE VISIBLE AND SUITABLY CONSTRUCTED.
- **DIVISION XXII PLUMBING** PROVIDE SUPPLY, WASTE AND VENT LINES, VALVES, FITTINGS, ETC. REQUIRED FOR KITCHEN SINKS, DISHWASHER,
- REFRIGERATOR, AIR CONDITIONING UNIT(S), VENDING MACHINES, COFFEE MAKER, WATER HEATERS, ETC.
- ALL FIXTURE INSTALLATIONS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT.
- PROVIDE NEW PLUMBING FIXTURES AS SPECIFIED PER DRAWINGS, OR PER BUILDING STANDARD, UON.
- 4. PROVIDE HOT AND COLD WATER TO SINKS/DISHWASHERS IF APPLICABLE.
- ALL NEW WATER HEATERS ARE TO BE INSTALLED WITH DRIP PAN CONNECTED TO WASTE LINE. VERIFY LOCATIONS WITH BUILDING MANAGEMENT AND INSPECTORS.
- ALL PLUMBING FIXTURES ARE TO BE INSTALLED TO MEET CURRENT GOVERNING LOCAL AND FEDERAL CODES. CONTRACTOR SHALL PROVIDE INSTALLATION DESIGN DOCUMENTS TO ARCHITECT AND BUILDING OWNER FOR REVIEW
- AND APPROVAL PRIOR TO INSTALLATION. VERIFY WATER SUPPLY & SEWER DRAIN CAPACITY FOR ENTIRE BUILDING WILL MEET NEW CAPACITY WHEN NEW RESTROOMS ARE ADDED TO BUILDING.
- <u>DIVISION XXIII MECHANICAL</u> PROVIDE BUILDING STANDARD HVAC SYSTEM WITH ALL MATERIALS, LABOR AND ACCESSORIES FOR COMPLETE
- OPERATION OF SYSTEM. CONTRACTOR TO BALANCE HVAC SYSTEM AS REQUIRED. DESIGN BUILD MECHANICAL ENGINEERING DRAWINGS INDICATE:
- CONTRACTOR TO PROVIDE INSTALLATION DESIGN DOCUMENTS TO ARCHITECT AND BUILDING OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- HVAC CONTRACTOR TO CLEAN, REPAIR OR REPLACE SOILED OR DAMAGED HVAC GRILLS, FILTERS AND

A. DUCTS, AIR MOVEMENT REQUIREMENTS, & SIZES OF GRILLES & REGISTERS.

- RE-ZONE, ALTER OR SEPARATE HVAC AS NECESSARY AS DIRECTED BY BUILDING MANAGEMENT FOR ALTERED SUITES. IN OPEN CEILING CONDITIONS DESIGN OF HVAC WILL ACCOUNT FOR CHANGES IN THE RETURN AIR PLENUM. ALL HVAC
- IN HIGHRISE BUILDINGS CONTRACTOR SHALL VERIFY METHOD OF SMOKE CONTROL AND PROVIDE DESIGN CONSIDERATIONS IF NEEDED.
- **DIVISION XXVI ELECTRICAL AND TELECOMMUNICATIONS** REUSE EXISTING ELECTRICAL AND DATA AS APPROPRIATE TO MEET THE TENANT'S REQUIREMENTS. REPLACE OUTLET
- PROVIDE ALL WORK, EQUIPMENT AND LABOR FOR A COMPLETE AND OPERABLE ELECTRICAL SYSTEM. PROVIDE ELECTRICAL OUTLETS PER POWER AND DATA PLAN.
- PROVIDE MUD RING FOR DATA AND COMMUNICATION AS SHOWN ON THE POWER AND DATA PLAN. EACH MUD RING TO HAVE A MINIMUM NUMBER OF WIRE PULLS AS INDICATED ON DRAWINGS. COORDINATE DATA CABLE CONFIGURATION WITH THE TENANT

WILL BE VISIBLE AND OF SUITABLE MATERIAL AND INSTALLATION METHOD.

COVER PLATES TO MATCH NEW FINISH IF APPLICABLE.

FINISH AS REQUIRED. FLOOR SHALL BE LEFT FLUSH

BUILDING MANAGEMENT

- . ALL OUTLETS AND MUD RINGS TO BE LOCATED AT 18" AFF TO THE CENTER LINE, UON. WHERE MULTIPLE DEVISES OCCUR IN A SINGLE LOCATION, ALL DEVICES SHALL BE GANGED UON.
- INTERRUPTED CIRCUIT. ALL WIRING DEVICES: SHALL BE BUILDING STANDARD EXCEPT: "ISOLATED GROUND" OUTLETS SHALL BE ORANGE, "HOSPITAL GRADE ISOLATED GROUND" OUTLETS SHALL BE ORANGE WITH A GREEN DOT, "EMERGENCY" OUTLETS SHALL BE RED, AND "DEDICATED" OUTLETS FOR "CLEAN CIRCUIT" FIXTURES SHALL BE GRAY (UNLESS BUILDING STANDARD DICTATES OTHERWISE). ALL COVER PLATES SHALL BE BUILDING STANDARD FINISH, UON. VERIFY WITH

ALL ELECTRICAL OUTLETS WITHIN THE CODE REQUIRED DISTANCE FROM A SINK SHALL BE ON A GROUND FAULT

PROVIDE SEPARATE CIRCUITS FOR TENANT'S EQUIPMENT (INCLUDING THE TELEPHONE SWITCH, COPIERS, COMPUTERS, ETC.) WHEN NOTED ON THE CONSTRUCTION DOCUMENTS.

COORDINATE SCHEDULE WITH FURNITURE VENDOR FOR THE USE OF ELECTRICIANS DURING THE INSTALLATION OF

- TENANT'S NEW FURNITURE 10. ALL ELECTRICAL WIRING, TELEPHONE AND COMPUTER CABLING, AND CONDUIT SHALL BE CONCEALED IN FLOORS, WALLS, OR CEILINGS. CABLING FOR VOICE AND DATA TO BE PROVIDED BY TENANT'S VENDORS AND SHALL BE COORDINATED BY THE BUILDING MANAGER, UNO.
- LIMITED TO: ELECTRICAL AND DATA WIRING LOCATIONS, J-BOX LOCATIONS, CONNECTIONS AND WALL MOUNTED THE CONTRACTOR IS TO VERIFY EXISTING ABANDONED CORE DRILL LOCATIONS AND FILL AS REQUIRED WITH

THE CONTRACTOR IS TO COORDINATE WITH THE TENANTS SUPPLIED FURNITURE SYSTEMS TO INCLUDE BUT NOT

MATERIAL TO MEET CURRENT FLAME SPREAD REGULATIONS. LOCATIONS TO BE PREPARED TO RECEIVE NEW FLOOR

- B. ARCHITECTURAL DRAWINGS INDICATE LOCATION ONLY OF DEVICES SHOWN. SWITCHING AND CIRCUITING SHALL BE INDICATED ON SEPARATE ELECTRICAL ENGINEERING AS-BUILT DRAWINGS AND SHALL MEET OWNER'S GUIDELINES. 14. ALL TELEPHONE, ELECTRICAL, COMMUNICATION AND SECURITY WORK SHALL BE COMPLETED IN ACCORDANCE WITH
- 5. DRAWINGS INDICATE ALL DIMENSIONS TO CENTERLINE OF TELEPHONE, ELECTRICAL, AND COMMUNICATION COVER PLATE. OUTLETS SHOWN GROUPED TOGETHER ON PLAN SHALL BE SET TO A MINIMUM DIMENSION BETWEEN EACH
- 16. BACK-TO-BACK OUTLETS ARE NOT PERMITTED. OFFSET OUTLETS THE MINIMUM DIMENSION REQUIRED FOR ACOUSTICAL CONTROL.
- LOCATION OF ALL WALL MOUNTED POWER AND DATA DEVICES SHALL BE FIELD REVIEWED BY THE TENANT BEFORE 8. ELECTRICAL ENGINEER TO PROVIDE DESIGN/BUILD PACKAGE TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- FOR SCOPE, TECHNICAL LAYOUT AND SPECIFICATIONS FOR EACH DISCIPLINE. 20. ARCHITECTS DOCUMENTS INDICATE LOCATION AND RELATIONSHIP OF DEVICES. COORDINATE EXACT LOCATION WITH

19. THE LAYOUT DIAGRAMS COORDINATE LOCATION OF POWER & DATA DEVICES. REFER TO DESIGN/BUILD DOCUMENTS

- 21. COORDINATE POWER/DATA, FIRE SAFETY DEVICES & LIGHT FIXTURE MOUNTING LOCATIONS WITH INTERIOR ELEVATIONS, SYSTEM FURNITURE, FINISHES & CASEWORK.
- 22. PROVIDE EXTENSION RINGS AND MOUNTING ACCESSORIES WHERE REQUIRED FOR POWER/DATA DEVICES AND LIGHT FIXTURES. COORDINATE WITH INTERIOR FINISHES AND CASEWORK. 23. CONTRACTOR TO PROVIDE INSTALLATION DESIGN DOCUMENTS TO ARCHITECT AND BUILDING OWNER FOR REVIEW
- AND APPROVAL PRIOR TO INSTALLATION. 24. RECIRCUIT, ALTER OR SEPARATE ELECTRICAL AND VOICE SYSTEM AS NECESSARY AND AS DIRECTED BY BUILDING
- MANAGEMENT FOR ALTERED SUITES. 25. IN AN OPEN CEILING CONDITION ALL ELECTRICAL AND VOICE DATA SHALL BE VISIBLE AND SUITABLE INSTALLATION

A MAXIMUM HEIGHT OF 48" A.F.F. TO MEET THE LATEST ACCESSIBILITY CODES AND REGULATIONS.

- METHODS SHALL BE USED 26. LOCATION OF SWITCHES SHALL BE SHOWN ON THE REFLECTED CEILING PLAN. ALL SWITCHES SHALL BE MOUNTED AT
- 27. WHERE MULTIPLE SWITCHES OCCUR IN A SINGLE LOCATION, ALL SWITCHES SHALL BE GANGED UON. 28. WHEN WORKING IN PUBLIC CORRIDOR OR COMMON AREAS VERIFY SWITCHING REQUIREMENTS WITH BUILDING
- 29. VERIFY WITH BUILDING MANAGEMENT SEPARATION OF SUITE SWITCHING WHEN DEMISING CONFIGURATIONS CHANGE.
- 30. DOWN LIGHTS SHOWN IN THE CENTER OF CEILING TILE WITHOUT DIMENSIONS ARE TO BE LOCATED IN THE CENTER OF CEILING TILE OR CENTER OF 2X2 PORTION OF 2X4 SECOND LOOK TILE. UON. 31. REUSE ALL EXISTING BUILDING STANDARD FLUORESCENT FIXTURES AS NEEDED PER DESIGN LAYOUT AND TO MEET

LOCAL ENERGY CODE COMPLIANCE. VERIFY OR PROVIDE NEW LAMPS AND REPLACE FAULTY BALLASTS.

- 32. PERMIT DRAWINGS TO BE REVIEWED AND APPROVED IN WRITING BY LANDLORD PRIOR TO COMMENCEMENT OF
- 33. ALL OFFICE AREAS LESS THAN 300 SQ. FT. ENCLOSED BY WALLS OR CEILING-HEIGHT PARTITIONS, AND ALL MEETING AND CONFERENCE ROOMS, SHALL BE EQUIPPED WITH OCCUPANCY SENSORS, PER CODE.
- A. CIRCUITING AND WIRING OF LIGHT FIXTURES, AND SWITCHES. B. LIFE SAFETY EQUIPMENT. C. LOCATION OF REQUIRED EMERGENCY LIGHT FIXTURES. D. LIGHT FIXTURE SPECIFICATIONS

EXISTING CONDITIONS AND CODE REQUIREMENTS.

34. DESIGN BUILD ELECTRICAL ENGINEERING DRAWINGS INDICATE:

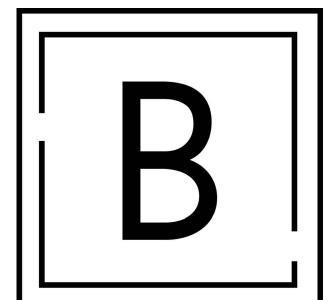
- 35. CONTRACTOR TO PROVIDE INSTALLATION DESIGN DOCUMENTS TO ARCHITECT AND BUILDING OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 36. CONTRACTOR SHALL RE-CIRCUIT AND RE-SWITCH ALL ASPECTS OF TENANT SUITE AND ADJOINING SUITES AS NECESSARY TO FULLY SEPARATE TENANT SUITE FROM OTHERS, AND PROVIDE NEW CORRIDOR, HALLWAY AND OPEN OFFICE SWITCHES AS NEEDED.
- 37. VERIFY SWITCHING WITH TENANT AND BUILDING MANAGEMENT. VERIFY APPROVED ENERGY CODE REQUIREMENTS OR ENERGY MANAGEMENT SYSTEM AS PART OF THE DESIGN BUILD CONTRACT.
- 39. EXIT SIGNS SHALL HAVE UL #924 40. PROJECT MAY HAVE MULTIPLE LIGHT SOURCES AND LAMPS. CONTRACTOR SHALL PROVIDE CONSISTENT LAMPING

38. PROVIDE, ALTER OR VERIFY ALL EMERGENCY EXIT LIGHTING AND ACCESS PATHWAY LIGHTING AS DIRECTED BY

- FOR ALL LIGHT FIXTURE AND BETWEEN FIXTURE TYPES. 3,500K IS PREFERRED. NOTIFY DESIGNER IF CONSISTENT LAMPING IS UNOBTAINABLE AT THE START OF THE PROJECT. 11. VERIFY ALL ENERGY CODE REQUIREMENTS WITH JURISDICTION OF RECORD. VERIFY LIGHT SWITCHING WITH TENANT
- 42. PROJECT MAY HAVE LED LIGHTS SPECIFIED. PROVIDE LIGHTING LEVEL ANALYSIS (IN FOOT CANDLES) FOR HAVE DIMMING CAPABILITIES SO THAT AS FIXTURE DIMINISHES THE POWER CAN BE INCREASED SO THAT LIGHTING

LEVELS REMAIN CONSTANT AT 70% OVER THE LIFE OF THE FIXTURE (10 YEARS).

43. GC SHALL VERIFY ALL CARD ACCESS AND SECURITY REQUIREMENTS WITH BUILDING MANAGEMENT AND TENANT. DETERMINE IF A BUILDING WIDE SYSTEM IS AVAILABLE AT THE START OF THE PROJECT. IF SO AL WORK SHALL BE DONE SO THAT THE BUILDINGS WARRANTEE AND OPERATION IS MAINTAINED.

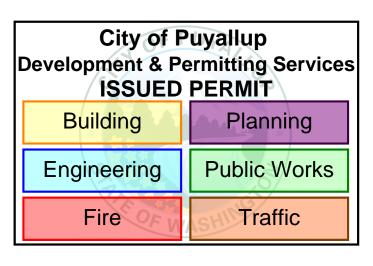


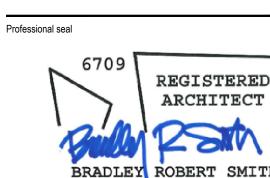
INTERIORS + ARCHITECTURE

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

PROLOGIS PUYALLUP 1 MAKE READY PUYALLUP 1 1601 INDUSTRIAL PARK #100

PUYALLUP, WA 98371





STATE OF WASHINGTON

05.19.23

No. Issue Description REVIEW SET 01.06.23 REVIEW SET 01.30.23 REVIEW SET 02.17.23 02.27.23 **REVIEW SET** PERMIT SET 03.10.23 CD SET 03.17.23

CITY CORRECTION

CLIENT APPROVAL

City Electronic Stamp Location

Drawn by: XX

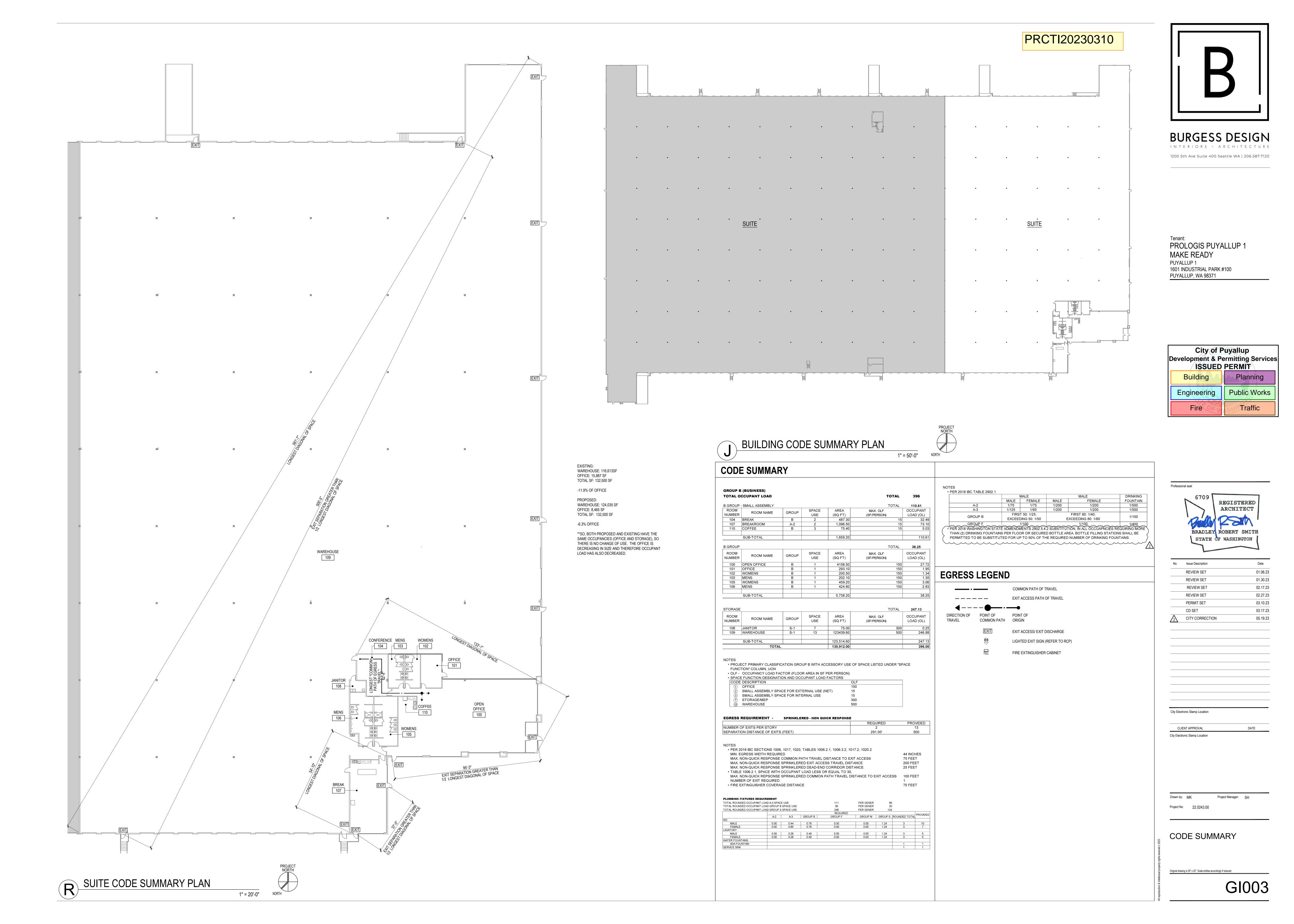
Project No: 22.0243.00

City Electronic Stamp Location

PROJECT NOTES

Original drawing is 30" x 42". Scale entities accordingly if reduced

Project Manager: SH



DIVISION 1	NORTHWEST  GENERAL REQUIREMENTS		DOORS AND WINDOWS  NEW EXTERIOR DOORS/ERAMES: 20 gauge, full flush, 1,3//" thick hollow metal with fibrous honeycomb core or steel
	GENERAL REQUIREMENTS  CODES: All construction shall comply with local, state and federal codes and regulations, including all ADA standards.	8.2	NEW EXTERIOR DOORS/FRAMES: 20 gauge, full flush, 1-3/4" thick hollow metal with fibrous honeycomb core or steel stiffened hollow metal. Install overhead rain drip flashing and weather stripping on new hollow metal doors. Frame: 18 gauge with 2" faces and 5/8" stops formed internal corners mitered, welded and ground smooth.
	PERMITS: Owner shall reimburse contractor for the cost of the building permit and any impact fees. Contractor shall	8.3	INTERIOR DOOR HARDWARE: Furnish and install Schlage AL10S Saturn passage hardware on all doors except single
	be responsible for all trade permits and business licenses  INSURANCE: MUST CONFORM WITH Prologis RISK MANAGEMENT REQUIREMENTS		accommodation toilet rooms which shall receive Schlage AL40S privacy locks. The door hardware shall have a brushed chrome 626 finish U.O.N. Furnish and install weather-stripping, closers, and drop seals at doors between conditioned and non-conditioned areas. Furnish and install closers on all toilet and shower room doors. The closer shall be
1.3	BUILDERS RISK INSURANCE: Owner shall provide builders risk insurance to cover the full value of the work being performed		installed on the toilet room or warehouse side of the door. When working in an existing tenant space, the new door hardware shall match the existing door hardware U.O.N.
	IORSITE CONDITIONS: All contractors are the section of the section		
1.4	JOBSITE CONDITIONS: All contractors must verify existing job conditions prior to bid.  DOCUMENT CONFLICTS: If there is a conflict in the drawings, or between the written specs and the drawings, the	8.4	EXTERIOR DOOR HARDWARE: Match the existing building hardware. Include door closers, mail slots, and latch guard on all new doors.
	contractor shall be responsible for the more expensive of the options.	8.5 8.6	KEYS: Owner shall rekey all locking hardware  DOOR SIGNAGEnclude all signage per code (Handicap, Exit, etc.)
	CLOSE-OUT DOCUMENTS: Provide O & M manuals and "as-built" drawings for all architectural, structural, plumbing, electrical, HVAC and fire protection work on two (2) flash drives in pdf format. Provide one (1) hard copy and one	8.7	OVERHEAD DOORS: Match the existing building overhead doors and door insulation. If no O.H. doors exist, use
	electronic copy in pdf format of the stamped permit set of drawings. The value of the close-out documents shall be 10% of the value of the respective work.		insulated Overhead Door Company or equal with 3" track 20 gauge door vertical reinforced bottom rail, with step plate flush panel sectional. Sawcut at exterior concrete panels must be certified by a licensed structural engineer. No overcuts will be allowed. Protect new overhead door tracks with "Zee Guards": 3/8" thick bent plate, 4 feet long,
	EXISTING STRUCTURE: Nothing may be suspended from the 2x4 or 2x6 sub-purlins at the roof without the structural engineer's written permission except for warehouse lighting fixtures specified below.	0.0	bolted to the tilt-up wall panel to protect all dock overhead door tracks
	EXISTING CONDITIONS: These finish standards shall be modified to match existing conditions with written approval from the Prologis Project / Property Manager	8.8	INTERIOR WINDOW FRAMES/GLASS: Interior windows shall be 1/4" clear tempered glass set in black "Timely" frames (or anodized aluminum frames in the S.F. Bay Area) to match the interior door frames. Glazing height shall match door height, UON; width shall be as indicated on plans.
	FLOOR MAINTENANCE: No vehicles except scissor lifts shall be allowed inside the building during construction without written permission from the owner. All scissor lifts shall have non-marking tires and must be diapered to prevent	8.9	MIRRORS: Furnish and install 4' high x 1/4" thick plate glass mirrors with two coats silver and electroplated copper backing, and wiped edges at all lavatory vanities. The mirror shall be the length of the lavatory top set directly on top
	marking and staining of the concrete floor.		of the splash and extending to the underside of the light shelf. If wall mounted lavatories are used, the mirror shall be a Bobrick 2436.
	SUPERVISION: The general contractor shall provide a highly experienced jobsite superintendent, acceptable to the owner, to manage all the work during the course of construction.	8.1	EXTERIOR GLASS: The glass in new storefront doors and "in-filled" truck door openings shall match the existing building glass. If the building glass is a long lead item, install gray vision glass (tempered if necessary) for temporary use until building standard glass is available.
	SAFETY: Contractor shall be green flagged in Avetta system prior to beginning any work	8.11	WINDOW MULLIONS: Where interior drywall partitions meet the exterior window wall, furnish and install aluminum "false" mullions finished to match the existing exterior storefront.
1.12	WARRANTIES: Contractor shall provide a one year labor and material warranty from project completion on all work		laise mullions infished to match the existing exterior storehold.
DIVISION 3	performed.  CONCRETE	DIVISION 9	FINISHES
	PATCHING: Any removal and replacement of the concrete slab shall meet the requirements of the existing slab. Do	9.1	FIRE RATED WALLS: All Rated walls and partitions to meet UL U419 listed standards or equal. Metal studs with one layer of 5/8" type "X" gypsum board on each side from the floor to the roof deck. The stud size and spacing shall be
	not overcut corners when cutting the floor in warehouse areas. Use care when removing concrete to avoid damage to adjacent slabs to remain. Backfill and subgrade shall be compacted to 95% of maximum dry density determined in accordance with ASTM D-1557. Dowel the new concrete patch to the existing slab with 1/2" steel dowels, extending a		per the stud manufacturer's tables and local code requirements. Install fire safing between the gypsum board and roof deck U.O.N. Provide proper UL listed head joint detail when required by code. Penetrations at one hour walls
	minimum of 8" into slab at 18" o.c., secured with epoxy. Install two (2) #4 rebar horizontally in all plumbing trenches.  Use 4,000 p.s.i. (at 28 days) concrete for the pour back. All trench patching in the warehouse area shall have a 1/8 inch radius edge and apply new concrete seal. Prior to pouring concrete, stone the existing sawcut edge with an	9.2	shall be fire safed or caulked per UL listings.  FULL HEIGHT DRYWALL PARTITIONS (including tenant demising walls): Metal studs with one layer of 5/8" type "X"
	abrasive brick to approximate a 1/8 inch radius edge. Install vapor barrier if there is existing vapor barrier. Sawcut control joints in new concrete to match existing, and install joint filler to match existing (Metzger McGuire MM80 or	9.2	gypsum board on each side from the floor to the roof deck with top slip track. The stud size and spacing shall be per the stud manufacturer's tables and local code requirements. Drywall installed above an acoustical ceiling shall be
	equivalent)  BOLT HOLE AND SLAB CRACK REPAIR: All the top of the floor. Utilize a 2- part epoxy to fill the hole and over-apply to	9.3	firetaped and screws spotted  OFFICE DRYWALL PARTITIONS: All partitions in areas with ceilings shall be undergrid 3-5/8" or 3-1/2" x 25 GA. metal
	the slab surface. Scrape off the excess material once it is dry. Acceptable material: Metzger McGuire MM-80 semirigid 2-part epoxy material, or equal. For crack repair: Repair Procedure:	9.3	studs at 24" o.c. with 5/8" fire code type "X" gypsum board on each side. The ceiling grid shall be installed first with walls built to the grid. The intersection of the wall at the grid shall be snug and flush. Install "L" metal trim at the top
	Chip out spalls to reveal fresh concrete and clean repair area thoroughly.  • Repair areas to be at least ½" deep and ½" wide (on either side of control joint), with vertical repair edges, no feathering!		of the wall. Toilet room perimeter walls shall be built to 6" above grid. Furr perimeter concrete walls and interior columns in office areas to 6" above the grid.
	• You'll need to fill any deep cracks with sand to provide a backer rod underneath the patching material so it doesn't sink down below grade after you pour the concrete in. Leave $\frac{1}{2}$ above sand to be filled with epoxy. Epoxy to be poured so that it's supported directly by firm concrete, with no sand.	9.4	OFFICE/TOILET RM. WALL/CEILING FINISH: All office drywall shall receive a light skip trowel textured wall finish. Denver, Salt Lake City, Portland and Seattle area projects shall receive a smooth finish. The skip trowel texture shall be the size of a quarter dollar coin. The finish shall be mocked-up on a 4'x4' piece of drywall on the jobsite for the
	<ul> <li>Fill area with the 2 part epoxy. Epoxy to be slightly higher than the top of the floor and allow to cure</li> <li>Sand down the patches so they're smooth and flush with the floor.</li> </ul>		owner's approval prior to final application. The toilet and shower room walls and ceilings shall have a smooth finish and drywall ceiling installed at 8'-0" A.F.F. U.O.N.
	• When repairing the floor at a warehouse floor joint, it's critical that relief cuts are installed to prevent repair failure.	9.5	WAREHOUSE GYPSUM BOARD WALL FINISH: All drywall in the warehouse shall be fire taped only unless otherwise noted. Spot screws in firetaped areas
DIVISION 4	MASONRY	9.6	END CAPS: Where a partition meets a window mullion, furnish and install an aluminum "wall end cap" finished to match the storefront U.O.N. Install rigid 2" x 2" black foam between end cap and storefront glass if end cap does not
4.1	MASONRY WALLS: NIC METALS		intersect vertical mullion.
5.1	BOLLARDS: Furnish and install two (2) 6" diameter, concrete filled, thin wall steel, pipe bollards extending 4'-0" A.F.F., set in 3'-0" of concrete at each grouping of electrical transformers and panels and at all sprinkler risers in all	9.7	WAINSCOT: Toilet room walls shall have 4' high white FRP or plastic laminated wainscot set 6" A.F.F. U.O.N. Walls behind mop sinks, drinking fountain and laundry sinks shall receive a 4' x 4' wainscot along each side of the sink in contact with the wall. All wet walls shall receive water resistant drywall (greenboard). Walls in showers shall receive
	warehouse areas and other locations exposed to vehicular traffic. Paint new and existing bollards OSHA "Caution Yellow". Surface mounted bolt down bollards may be acceptable at low traffic areas (verify with Prologis Project /		cement board backer.
	Property Manager). Surface mounted bollards shall be 4" diameter 4'-0" A.F.F. with a one foot square base plate and expansion anchored to the concrete floor with four (4) each ½" expansion anchors.	9.8	ACOUSTIC CEILING TILE: Furnish and install 24" x 48" x 5/8" USG Omni non-directional fissured tile or equal, installed at 9'-0" A.F.F., U.O.N. in all office areas except toilet and shower rooms. Use second-look ceiling tile in Seattle market.
<del></del>	Framing for roof penetrations and supports for all rooftop equipment must be reviewed, approved and stamped by a structural engineer. See 15.3.6.	9.9	ACOUSTIC CEILING TILE SUSPENSION SYSTEM: Furnish and install Class "A" 15/16" exposed "T" grid system,
	EXTERIOR METAL STAIRS: Match existing stairs		intermediate duty (heavy duty in seismic design category "D" areas) with 1-1/2" main tees, 1-1/2" cross tees, and 7/8" x 7/8" wall mold as manufactured by Donn or equal per code. Fire rated grid and tile shall be used where code requires.
DIVISION	WOOD AND PLASTICS		The grid color shall be white to match the tile exactly.  CARPET: Carpeting shall be Designweave, Shaw (such as Lynchburg 26 series) or approved equal, loop graphic,
		9.10	solution dyed 100% nylon, 26 oz. per square yard average yarn weight minimum, 1/10th gauge, color to be selected from manufacturer's standard colors U.O.N. Carpet shall be direct glue down U.O.N. Verify with Prologis Manager for final finish selection. In Seattle Area: Install walk-off mat at all doors from office to either exterior of the building or
	CABINETS: Furnish and install a coffee bar and / or lunch room base cabinet. The base cabinet(s) shall be plastic laminate by Wilsonart or approved equal in the manufacturer's standard color on all exposed horizontal and vertical surfaces, including open cabinet interiors, unless otherwise noted. Semi-exposed cabinet interiors and shelves shall	3.10	warehouse. The walk-off mat should be at least 4' wide or the width of the hallway by 3' deep. The product should be Connexus Super No 52 in either roll good or modular tile or equal.
	be white melamine with .5mm PVC edge binding. Drawers shall be Grass 6036 Zargen System slides or approved equal. The hardware shall be 96mm wire pulls, 125deg. Blum concealed hinges or approved equal. The cabinet(s) shall be 6'-0" long minimum and 34" high. Each cabinet shall have one row of drawers over doors. The maximum	9.11	CARPET BORDERS: Carpet insets or borders when specified as a customer upgrade shall be mitered at the corners.
	depth for cabinet and countertop should be 24". If the toe-kick is integrated with the cabinet doors to meet the ADA requirements, use stainless steel toe-kicks for those doors.	9.12	CARPET PAD: Only when specified by the customer as an upgrade, shall be a minimum 3/8" thick, 8lb. dense rebound or slab rubber pad.
	COUNTERTOPS: The countertops shall be plastic laminate by Wilsonart or approved equal. The coffee bar tops shall have a 2" bull nosed front edge and top edge with a 4" splash and a radius inside and outside corner at the backsplash.	9.13	VINYL COMPOSITION TILE: Furnish and install 1/8" gauge, standard grade, VCT as manufactured by Tarkett, Azrock, or Armstrong. Install VCT in server rooms and IT closets. No VCT shall be installed in toilet rooms. Verify with Prologis
	For SF Bay Area Market, install a solid surface countertop per finish spec provided by Prologis personnel.	9.14	Manager for final finish selection.  RUBBER BASE: All areas receiving floor covering and new walls except the toilet rooms shall have 4" high topset
	LAVATORY COUNTERTOPS: All office toilet rooms with multiple lavatories shall have vanities. The lavatories shall be installed in a plastic laminated counterton with 2" bull posed front edge, a 4" backsplash and a radius inside and	3.14	rubber base as manufactured by Burke, Roppe, or Tarkett in a standard color. Install the rubber base on a continuously roll, not sectional. Verify with Prologis Manager for final finish selection.
	installed in a plastic laminated countertop with 2" bull nosed front edge, a 4" backsplash and a radius inside and outside corner at the backsplash. Single accommodation toilet rooms and multiple accommodations toilet rooms serving the warehouse shall receive wall mounted lavatories. For SF Bay Area Market, install a solid surface	9.15	SHEET VINYL: New toilet rooms shall receive sheet vinyl flooring with a 6" integral flashed cove base with brushed aluminum trim on the top edge. All joints shall be heat welded and receive seam sealer. The sheet vinyl shall be
	countertop per finish spec provided by Prologis personnel.  MILL WORK OLIALITY: Architectural millwork and cabinetry shall be of a construction quality equal to that of the		Corlon or Mannington Magna. not available, need to specify later installed in all new toilet rooms. Verify with Prologis Manager for final finish selection.
	MILLWORK QUALITY: Architectural millwork and cabinetry shall be of a construction quality equal to that of the Architectural Woodwork Institute's (AWI) custom grade for flush overlay construction. MDF products shall be made with binder containing no urea-formaldehyde. Wood glues used for fastening shall have a VOC content of 30 g/L or	9.16	TRANSITION STRIPS: Furnish and install black vinyl transition strips at all changes in flooring material U.O.N.
	less when calculated according to 40 CFR 59, Subpart D (EPA Method 24). Multipurpose construction adhesives shall have a VOC content of 70 g/L or less when calculated according to 40 CFR 59, Subpart D (EPA Method 24). Contact adhesives shall have a VOC content of 250 g/L or less when calculated according to 40 CFR 59, Subpart D(EPA Method	9.17	CERAMIC TILE: (Central Valley area only)
	24) MILLWORK ADA STANDARDS: All Millwork must meet ADA standard as required by governing agency. Millwork must		RESTROOMS: Use 2x2 American Olean ceramic tile or equal slip resistant on floors and 4x4 ceramic tile on walls as noted on plans.
	pass review to properly close out the project.  BLOCKING: Blocking is to be provided as required for installation of wall mounted items and is to meet requirements		ENTRANCES: When specified on plans, 8"x8" American Olean ceramic tile or equal.
	of IBC 603.1.		GROUT: color to be selected from manufacturer's standard colors. The tile floor shall be cleaned after installation to remove excess mortar and grout. The grout shall be sealed per manufacturer's recommendations. Verify with Prologis Manager for final finish selection.
DIVISION 7	THERMAL AND MOISTURE PROTECTION	9.18	Manager for final finish selection.  CONCRETE FLOOR SEALER: All concrete floor patches shall be resealed to match the existing concrete floor sealer / hardener in warehouse areas.
	ROOF INSULATION: The roof insulation above conditioned area ceilings shall be R-19 (or as required by the energy compliance calculation), unfaced fiberglass batts, wire-tied in place as manufactured by Owens-Corning or equal.		
	Attach the vapor barrier (foil) to the sub-purlin where required by code or Prologis Managers. For the office where perimeter office walls do not extend to the roof deck, lay insulation on top of the ceiling tiles if code allows.	9.19	PAINT: On walls receiving a skip troweled finish, apply one (1) coat of interior satin latex paint, Sherwin Williams or equal in a standard light color. Lunch / break rooms, toilet and shower rooms and the wall at the coffee bar shall
	CEILING INSULATION: Where permitted by code furnish and install R-19 (or as required by the energy compliance calculation), unfaced fiberglass batt insulation on top of the suspended acoustical ceiling at conditioned spaces.		receive one (1) coat of latex semi-gloss enamel over one (1) coat of PVA sealer. Smooth finished walls shall receive two coats of eggshell latex paint. Paint the warehouse demising wall(s) and warehouse side of the office walls one (1) coat of interior flat latex paint if required. Verify with Prologis Manager for final finish selection. All exposed
	THERMAL WALL INSULATION: Furnish and install R-13 (or as required by the energy compliance calculation) unfaced		warehouse columns 18'-0" or taller shall be painted OSHA yellow to 12'-0" from A.F.F The remainder of the column above 12'-0" to the roof shall be painted white.
	fiberglass batt insulation from floor to roof in walls between conditioned and unconditioned spaces. Furnish and install R-13 at all furred exterior concrete wall at conditioned spaces. Provide a vapor barrier where required by code. For Seattle market, install R-10 rigid insulation from floor to roof in walls between conditioned and unconditioned	9.20	PAINT – REPAINT INTERIOR: When re-painting in an occupied area, utilize zero VOC paint in the appropriate finish.  Adhere to all surface preparation and application requirement per manufacturer's product specification data.
	spaces.		Adhere to all surface preparation and application requirement per manufacturer's product specification data.  Standard of quality shall be PPG Industries zero VOC product offering such as PPG/Pittsburgh Paints Pure Performance Line.
	ACOUSTIC INSULATION: Furnish and install 3 1/2" unfaced fiberglass batt acoustic insulation in all toilet and shower room walls and ceilings, and demising wall at office area. The batt insulation at office demising wall should go the full height of the wall.	9.21	STAIN – NEW INTERIOR: Provide one (1) coat of stain, one (1) coat of sealer, and two (2) coats of polyurethane satin finish for all interior wood doors. Adhere to all surface preparation and application requirements per manufacturer's product appointed by the product of quality shall be RPC/Parter Paints professional best product effecting such as
7.5	height of the wall.  INSULATION FACING: All exposed fiberglass batt insulation shall have a white PSK-25 or approved equivalent facing.		product specification data. Standard of quality shall be PPG/Porter Paints professional best product offering such as Porter Paints Wood Guardian or Pittsburgh Paints Rez Line.
	SKYLIGHTS: Existing skylights in conditioned areas shall be sealed if they are vented.	9.22	WALLCOVERING: NIC
7.7	ROOFING: The contractor shall use a roofing contractor certified to install the existing roofing material for patching of all roof penetrations. Prior to the work, contractor should verify with Prologis manager for the qualified roofers. The	9.23	PAINT – EXTERIOR: The exterior of the office/warehouse wall shall be painted with exterior acrylic flat white paint.  Adhere to all surface preparation and application requirements per manufacturer's product specification data
	new roof penetrations shall be made in accordance with the roofing manufacturer's recommendations, such that the existing roofing warranty is maintained. The patch shall also meet all of the requirements stated in the building shell		Adhere to all surface preparation and application requirements per manufacturer's product specification data. Standard of quality shall be PPG/Porter Paints professional best product offering such as Porter Paints Acri Pro 100 or Pittsburgh Paints Speedhide.
	specifications. On built-up roofs, pipe and conduit penetrations at the roof shall receive galvanized pipe flashing with screw clamp and elastomeric sealant and shall also be hot asphalt patched with 4 ply.	9.24	PAINTING - DOCK EQUIPMENT - Paint dock levelers, latex enamel semi-gloss Iron Ore SW 7069 with pit angle painted safety yellow.
	ARCHITECTURAL SHEETMETAL: Furnish and install sheet metal cap flashing on top of any roof mounted wood	9.25	WAREHOUSE FLOOR STRIPING: Installed with the intent of future removal. Grinding and/or shot blasting is NOT an acceptable method of floor preparation for striping. Use a modified epoxy paint similar or equal to International Interguard safety yellow; substitutions to be pre-approved by Prologis. Striping to be removed using Smart Strip.
	sleepers approved by owner.  FIRE SAFING: Penetrations at one hour walls shall be fire safed or caulked.	9.26	BATTERY CHARGER FLOOR COATING (Epoxy): All new battery charging areas are to receive approximately 70 square feet of epoxy coating per battery charger. In the areas to receive epoxy coating, mechanically abrade the surface
7.9		I	
	DOORS AND WINDOWS		to clean and prepare the concrete for installation of new epoxy coating or by manufacturers recommendation. Apply one coat of General Polymers 3579 100% solids epoxy primer Apply two coats of General Polymers 3741 100% solids
	DOORS AND WINDOWS  INTERIOR DOORS AND FRAMES: Furnish and install 3'-0" x 7'-0" x 1-3/4", solid core, birch, B-3 stain prefinished doors	DIVISION 10	coat of General Polymers 3579 100% solids epoxy primer Apply two coats of General Polymers 3741 100% solids Novalac finish. General Polymers is the industrial floor division of Sherwin Williams.

n "Timely" prefinished black steel frames (clear anodized aluminum frames by ACI, Eclipse or approved equal in the

San Francisco Bay Area), with 1-1/2" pairs of Hager BB1279 butts per door U.O.N. (All office door shall receive a 2'-0"

sidelight in the San Francisco Bay and Seattle Areas). Doors receiving closers shall receive ball-bearing butts. Doors

and frames shall be 20 minutes rated where required. When working in an existing tenant space, the new doors and

frames shall match the existing doors and frames U.O.N. Use metal frame for door backing, wood is not allowed.

ycomb core or steel doors. Frame:		SEAT COVER DISPENSER: Bobrick B-221 seat cover dispenser in each toilet stall.  TOILET PAPER HOLDER: Bobrick B-686 double toilet paper holder.
doors except single		GRAB BARS: Bobrick No. B6806-36 and B6806-42 stainless steel per ADA.  WASTE RECEPTACLE: Bobrick #B-3644
hall have a brushed ween conditioned er shall be , the new door		FRAMED MIRROR: Bobrick #B165-3436
		ACCESSORY INSTALLATION: Contractor is responsible for all blocking and framing additional requirements for powered accessories.
ots, and latch guards	10.2	TOILET PARTITIONS: Furnish and install metal, floor mounted, toilet partitions with a Steel, Knickerbocker or equal in manufacturers standard "quick ship" color. Project Malaminated partitions pending approval of specifications.
ors exist, use ail, with step ıral engineer. No		SIGNAGE: Furnish and install all handicap and exit signage as required by code.  DOCK EQUIPMENT
4 feet long,		MANUFACTURER: All dock equipment when required by the customer as an upgrade Nordock or Powerramp.
ack "Timely" frames at shall match door applated copper	11.2	LEVELER PIT: All exposed edges of the dock leveler pit shall be protected with steel angle or channel at the face of the existing dock shall be replaced with new steel integovercut the corners when sawcutting the concrete slab for the new pit. On the exterior clean 3/4" chamfer, accomplished by grinding or sawcutting the existing concrete with a
et directly on top e mirror shall be	11.3	new concrete with a 3/4" chamfer.  DOCK LEVELERS: Mechanical 6' x 8' 35,000 lb. capacity Arbon, Kelly / Serco, Nordo per manufacturer's detail.
n the existing y) for temporary	11.4	EDGE OF DOCK LEVELERS: 72" wide x 3,000 lb. capacity Arbon, Kelly / Serco, Norobe mounted per manufacturer's instructions and must be installed with a transition plathe building if there is no existing steel channel in the dock. Sawcut transition plate int leading edge.
stall aluminum	11.5	DOCK SEALS: Rite-Hite PLATP793 (or approved equal) with 22 oz. black vinyl base f with an 8" exposure. The projection shall be 10" standard or 21" at E.O.D.'s including
		DOCK SHELTERS: Rite Hite PLLE524 dock shelters (or approved equal). The fabric sprojection shall be 24" standard and 36" at E.O.D.'s.  DOCK LIGHTS: Adjustable dock loading light with 40" extension.
al studs with one pacing shall be im board and ne hour walls		DOCK BUMPERS: Serco or Rite Hite 24" Model B410-24 (or approved equal). Ancho bolt per manufacturer recommendations.
er of 5/8" type "X"		FURNISHINGS  BLINDS: All exterior windows, including exterior warehouse windows and windows ab
iling shall be  1/2" x 25 GA. metal talled first with trim at the top		receive mini-blinds by Bali "Classic" or approved equal, with a valance, in a color to m color U.O.N. The blinds shall be "inside mounted" (between the vertical window mullic the mullion. Storefront doors and any interior windows shall not receive blinds. Install
red wall finish. wel texture shall be ite for the	DIVISION 15 15.1.1	DESIGN BUILD: Unless engineered plumbing system drawings are included in the bid shall be performed on a design-build basis. The design-build plumbing contractor shall and operative plumbing system to meet all local and state codes.
smooth finish y unless otherwise	15.1.2	PLANS: Provide plumbing plans for architect's and owner's review and approval.
p" finished to nd cap does not	15.1.2.A 15.1.3	SEWER LINES: Sewer, soil and waste lines within the building below the finished floo ABS plastic or schedule 40 PVC plastic pipe. Sewer, soil and waste lines within the buelevation shall be standard weight cast iron. ABS piping may be used above the finish
F. U.O.N. Walls e of the sink in rs shall receive	15.1.4	approved by the owner. All lines should be at least a 1% grade of gravity flow. Must el interfere with path of the sewer, soil, and waste lines.  GAS LINES: All gas lines shall be run under the roof above the bottom cord of the trus
e or equal, installed in Seattle market.	15.1.5	the existing roof structure. All new and existing gas lines within a single tenant space gas meter.  PIPE MATERIAL: All pipe materials shall be subject to the requirements of the City and domestic water, condensate, and smitty pan drain lines must be copper.
Γ" grid system, ss tees, and 7/8" x ere code requires.		PLUMBING FIXTURES AND TRIM:  LAVATORY FOR VANITY: American Standard, " Cadet Everclean- Oval Countertop S self-rimming or equal with a Delta Model 523 LF HDF or Moen L4601 single lever type strainer and bright chrome finish. Furnish and install a Handy-Shield Drain Cover #30 Products under each lavatory.
loop graphic, or to be selected ogis Manager for ne building or roduct should be	15.1.6.B	WALL-HUNG LAVATORY: American Standard, "Lucerne", model 0355.012, white, wa a Delta Model 523 LF HDF single lever type faucet assembly with a grid strainer and b install a Handy-Shield Drain Cover #3011 White by Plumberex Specialty Products und
ed at the corners.	15.1.6.C	WATER CLOSET: American Standard, "Madera FloWise-Right Height" elongated, flow 3043.001 or approved equal in white, with an Olsonite #95 seat and a Sloan #111 flus
Blb. dense rebound	15.1.6.D	WATER CLOSET IF WATER SUPPLY IS NOT SUFFICIENT FOR FLUSH VALVE: All elongated pressure-assisted toilet, Model # 2333.100 (white) with Olsonite #64 SSTL non-handicapped applications.
by Tarkett, Azrock, 'erify with Prologis		American Standard 'Cadet' Right Height Elongated pressure-assisted toilet, model # 2 64 SSTL toilet seat (white) for ADA applications.  URINAL: American Standard, "Washbrook FloWise", model 6590.125, or approved ed For Portland Area: American Standard, "Washbrook FloWise", model 6590.125, or approved to the control of t
4" high topset e on a		Standard model 6590.125 comes with flush valve  COFFEE BAR / LUNCH ROOM SINK: Elkay, model LRAD 1918, stainless steel, with
e with brushed inyl shall be rify with Prologis		Room base cabinet is 8'-0" or longer, use an Elkay model GECR 2521. Furnish and in #3011 White by Plumberex Specialty Products under each sink.  LAUNDRY TRAY: When specified as a customer upgrade use Fiat Products, Molded-capacity, or Florestone Model FM Utility Sink with a Delta model 2123 laundry tub fau
rial U.O.N.	15.1.6.1	SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, who shower stall, 44-52H white with grab bars, seat, mixing valve and shower curtain rod. slope floor to drain the water to the floor drain.
ic tile on walls as	15.1.6.J	WATER HEATER: The water heater shall be A.O. Smith, State or approved equal size located on the warehouse floor in a smitty pan draining into a hub drain with a trap prince to by the architect or approved by the owner. All plumbing connections shall be restalling the water heater above the ceiling is not allowed.
er installation to erify with Prologis	15.1.6.K	WATER COOLER: If drinking fountain is specified on the plan use Elkay model EZST fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick ½" stainless steel. Install two grab bars, one at each end of the fountain.
ncrete floor sealer /	15.1.6.L 15.1.6.M	JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W –  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 1/4" with Mustee Service
win Williams or ee bar shall alls shall receive	15.1.7	chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equipment. The lines shall be no smaller than 3/4" diameter and shall be located under code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in
ffice walls one (1) posed er of the column	15.1.8	SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restroomen's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provalve" on the access panel.
appropriate finish. on data. ts Pure polyurethane satin	15.1.9	MAIN WATER LINE: If a main domestic water line is not existing above the tenant spatial diameter copper water line at the roof installed above the bottom cord of the trusses, provement. At each future tenant space that the line crosses, install a 2" "T" with 2" gastorefront door). Extend the water line through the tenant demising wall into the "down space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve.
manufacturer's offering such as	15.1.10	service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). each use.
	15.1.11	CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover at the proper finished out is in the warehouse area.
lat white paint. ion data. nts Acri Pro 100 or		FLOOR DRAINS: Provide in toilet rooms where required by code.
vith pit angle painted lasting is NOT an ernational		INSULATION: Insulate all water piping (except Florida) with 1" insulation. Use 1 ½" insulation.  FIRE PROTECTION
Smart Strip.  proximately 70 y abrade the surface	15.2.1	DESIGN BUILD: The fire protection work shall be performed on a design-build basis. contractor shall furnish and install all modifications to the existing fire sprinkler system
endation. Apply one		state fire code requirements. Sprinkler heads shall be dropped into all suspended ceil

NAPKIN DISPOSALS: Bobrick B-270 sanitary napkin disposals in each women's toilet stall U.O.N.

ccommodation toilet rooms) recessed paper towel dispenser with a waste receptacle U.O.N.

PAPER TOWEL DISPENSER: Bobrick B-369 (for single accommodation toilet rooms) or a Bobrick B-3944 (for multiple

per manufacturer's detail.  EDGE OF DOCK LEVELERS, 72° wide x 3,000 B. capacity Arbon, Kelly / Serco, Nordock or Powerramp. The EOD must be mounted per manufacturer's instructions and must be installed with a transition plate extending 12° minimum into the building if there is no existing steel channel in the dock. Survout transition plate into the concrete floor at the reading ridge.  DOCK SEALS, Rite-Hills PLATP739 (or approved equal) with 22 or. black viny) base fabric and 40 oz. viny) wear pleats within an 6° opcomer. The projection shall be 10° standard or 21° at E.O.D.'s. including wout block outs.  DOCK SEALS, Rite-Hills PLATP739 (or approved equal) with 22 or. black viny) base fabric and 40 oz. viny) wear pleats within an 6° opcomer. The projection shall be 24° standard an 36° at E.O.D.'s.  DOCK SEMPERS: Serco or Rite Hille 24° Model B410-24 (or approved equal). The fabric shall be 40 oz black hypation. The projection shall be 24° standard an 36° at E.O.D.'s.  DOCK BUMPERS: Serco or Rite Hille 24° Model B410-24 (or approved equal). Anchor to embed dock angle and anchor only per manufacturer recommendations.  DOCK BUMPERS: Serco or Rite Hille 24° Model B410-24 (or approved equal). Anchor to embed dock angle and anchor only per manufacturer recommendations.  BLINDS: All existence indicates including auterior variebouse windows and vindows along a sousitic cellings, shall be 10° and 10° approved equal, with a valance, in a color to match the atoenfornal autinition color U.O.N. The blinds shall be 'inside mounted' (between the vertical window mullions) flush with the inside face of the mullions. Storefort doors and any interior windows shall not receive bilinds, install blinds at all door sidelights.  DESIGN BUILD: Unless engineered plumbing system drawings are included in the bild documents, the plumbing work shall be performed on a design-build beats. The design-build plumbing contractor shall furnish and install a complete and operative plumbing system on each all hocal and stall accords.  PLANS: Provide		GRAB BARS: Bobrick No. B6806-36 and B6806-42 stainless steel per ADA.
ACCUSATION ASSOCIATION Consequence in responsible or all sharing and immining resonances in a well as any well as implacements in permission and association in the control of the permission and association in the control of the permission and association in the control of the permission and association and associatio		
COCKEDITIONS Facilities and sided indicates an expected set stopped from the better section from the forest formed activities and appeal in one of them as examined. Your old plant are plant and activities are plant and activities and activities and activities. See a section of the plant activities are plant and activities.  SECALOF Facilities (A. A. does a plant or after an examined plant and activities and activities and activities and activities and activities. Activities and activities and activities and activities and activities. Activities and activities and activities and activities and activities. Activities and activitie		ACCESSORY INSTALLATION: Contractor is responsible for all blocking and framing requirements, as well as any
Seet. Not developed or septiminary injured of general control work product and seed of the control product of general control and the selection and control and control and control and the selection and control		additional requirements for powered accessories.
MAGENTERIST ALL ALL supposer values repland by the calcium of an engige the whall as Alles Mode, Section 1995.  MAGENTERIST ALL ALL ALL SUPPOSED AND ALL STATES AND ALL ALL ALL ALL ALL ALL ALL ALL ALL AL		Steel, Knickerbocker or equal in manufacturers standard "quick ship" color. Project Manager may substitute plastic
Modella A. Description of the major of the impaired by the major or source aggle below to Address, Golg 7 flows Modella A. Description of the Modella A. Des		SIGNAGE: Furnish and install all handicap and exit signage as required by code.
Notices of Pre-sterring.  INCRESS OF A sequence sequence of the dark whosh picked by provide and only and common acides. The existing send project of common acides are the control of the	11	
Explore printed direct both of the complete completed and her explored all her explored and the provided and		Nordock or Powerramp.
recreated with a Contraction of the Contraction of		angle or channel at the face of the existing dock shall be replaced with new steel integrally tied to the new pit. Do not overcut the corners when sawcutting the concrete slab for the new pit. On the exterior wall, all edges must have a
EXECUTION CONTRIBUTION TO A CONTRIBUTION OF THE CONTRIBUTION OF TH		new concrete with a ¾" chamfer.  DOCK LEVELERS: Mechanical 6' x 8' 35,000 lb. capacity Arbon, Kelly / Serco, Nordock or Powerramp with recessed pit
the Matting Titlends and contining data charged is the decide to the decident of the decident of 40 ps. who was plants on the processor species.  DOCS SEALES Retail the PALTIPIPATE or approved expant with 20 ps. the contribution of 40 ps. who was plants and the PALTIPIPATE or approved expant with 20 ps. the contribution of 40 ps. who was plants and the PALTIPIPATE or approved expant with 20 ps. the Contribution of 40 ps. who was plants and the PALTIPIPATE of 40 ps. the Contribution of 40 ps. who was plants and the PALTIPIPATE of 40 ps. the Contribution of		· EDGE OF DOCK LEVELERS: 72" wide x 3,000 lb. capacity Arbon, Kelly / Serco, Nordock or Powerramp. The EOD must
with a fire disposant. The appointed sould be 17 standards or 27 at a LOLD in rotating wood sook cuts.  OCOVIC SELECTION belief with A LOLD AND AND AND AND AND AND AND AND AND AN		the building if there is no existing steel channel in the dock. Sawcut transition plate into the concrete floor at the
Segment of the DeC Searchest and Stiff E.D.D.S.  OCCC LIBITIS Segment recommendation.  The analysis of the production of the libit 24" fooded bit 10.24 (or approved ecoal). Another to entired door angle and control ordine or multiclicate in recommendation.  The analysis of the production of the libit 24" fooded bit 10.24 (or approved ecoal). Another to entired door angle and control ordine or multiclicate in recommendation.  The analysis of the production of		
COCK BLAMPICES Series on the late 24" Mode (ast 10.24 (or approved equal). Another to entered data angle and another following manufactures recommendations.  INCRESSION COCK BLAMPICES AND COCK AND COCK BLAMPICES AND COCK BLAMPICES AND COCK BLAMPICES. All contents are subjected by the action of destruction of the action of the action of the action of destruction of the action of the action of destruction of the action of th		projection shall be 24" standard and 36" at E.O.D.'s.
IN LINES, All parties values in educing patients workness whether and endesse above any possessic college that it is content workness to be a proposed to all with a single patient workness and the second to all countries and the patients are content and the patients are content and the patients are content and the patients and the patients are content an		DOCK BUMPERS: Serco or Rite Hite 24" Model B410-24 (or approved equal). Anchor to embed dock angle and anchor
sective this idinate by Bid "Course" or approved eyear, with a valence, in sooils in middle the other include about 100 million. Grandwort data the "trings" or middle dischort inclining but with the stand-large of the million. Grandwort data and any increase whether shall not receive shrinks, install fallions at all door shorting and the million. Grandwort data and any increase whether shall not receive shrinks, install fallions at all door shorting and the shall be provided and the shall be provided and the shall be provided and any increase whether shall be provided and a congestive the shall be provided by the bid documents. It is alternating work whether shall be provided and a congestive the shall be provided purposed and opportunity gration to most all cools and state codes.  FLANS, Provide plurabing plans for and identify and correctly review and approved.  FLANS, Provide plurabing plans for and identify and correctly review and approved.  FLANS, Provide plurabing plans for and identify and correctly review and approved.  FLANS, Provide plurabing plans for and identify and correctly review and approved.  FLANS, Provide plurabing plans for and identify and correctly review and approved by the correct and the school and additional and any all the school and additional and any all the school and additional additional and additional additional and additional a	12	
The multium. Situational documents are protected planning evalent diseases are included in the biol documents. The planning over the planning of the performed on a design poul bid basis. The design balls planning controlled that for interior and install a complete and operation planning systems in zero all count and data. And operations of the planning systems in zero all count and situation.  PLANS. Provide planning planns from an article can and situation.  SEVER LINES: Sower, and and waste lines within the building sower the fishered from disorden asked to exhaust a situation of ASS places or shouldness of the planning planning from the planning of the planning of the planning above the fishered from disorden asked to exhaust a situation of ASS places or shouldness within the building sower the fishered from disorden asked to the planning above the fishered from disorden asked to the planning above the fishered from the country of the		receive mini-blinds by Bali "Classic" or approved equal, with a valance, in a color to match the storefront aluminum
SSCOR BUILD. Whose opponents planning system densitys are behanded in the bed documents, the planning system of the planning contractor shall familiar and install a comprete man operation puring system to most allocated states of the planning contractor shall familiar and install a comprete man operation puring systems from all coal and state occasion.  **ELANS. Provide purinding plans for architects and corner's review and approval.  **ELYES LINES: Sever, soil and words lines within the building plans the finished floor devotion shall be schedule 40 MSS planning and states in the same time and states of the state of the SS planning and states in the same time and states of the same and states of the same time and states of the same and states of the planning of the same has the review of the same and states of the same of the same time and states of the same time and time and states of the same time and time and states of the same time and t		
hald be performed on a design-politic basis. The design build pluming contractor should furnish and install a complete ground operating systems to read the cold and alteractors.  PLANS: Provice pluming plans for architects and covered review and approved.  PLANS: Provice pluming plans for architects and covered review and approved.  PLANS: Provice pluming plans for architects and covered review and approved for the covered and accordance and the covered and the	15	PLUMBING
PLANS Provide plumbing place for architects and counter's review and approval.  SEWER LINES: Sewer, soil and waste lines within the building below the finished floor deveation shall be achieved to shall be controlled to the control of the shall be achieved to shall be controlled to the controlled to shall be achieved to shall be controlled to the		shall be performed on a design-build basis. The design-build plumbing contractor shall furnish and install a complete
ASS picials or achievate 40 PCV (pasis) pipe. Severe, soil and words these shallon for promised receivation with the shallond weight joint and ASS piping may be used above the finite for promised by rock and approved by the nome. All insis should be all cents of 1% grade of gravity flow. Must ensure that the receivation of the center, and a weeke times.  ASS LINES: All gas lines shall be an uncare the rock above the bottom cord of the trasses perpandicular or parallel to the existing not extroute. All prevented and severe the center of the ce		
ASS picials or achievate 40 PCV (pasis) pipe. Severe, soil and words these shallon for promised receivation with the shallond weight joint and ASS piping may be used above the finite for promised by rock and approved by the nome. All insis should be all cents of 1% grade of gravity flow. Must ensure that the receivation of the center, and a weeke times.  ASS LINES: All gas lines shall be an uncare the rock above the bottom cord of the trasses perpandicular or parallel to the existing not extroute. All prevented and severe the center of the ce		
ASSI LINES All gas lives shall be run under the roal above the ballom cool of the husses perpendicular or parallel to the oxiding roof structure. All now and oxiding gas lives within a single termat epoce shall be connected on a separate gas mater.  PIPE METERAL. All pipe materias shall be subject to the requirements of the City and/or governing body. All connection when condensate, and anistry pain drain lines must be copper.  PLUMBING FISTURES AND TRIM:  LANATORY FOR VANITY: American Standard, "Cader Everolean-Oval Countertop Sink", model 0419.444EC, white self-imming or equal with a Deta Model 520 LF 107 Momen L8001 stigle lives type flucid searenthy with a gild anism and bright circumster floration. Plant and install a land-of-Shall Oran Cover 361 Life Vision Everolean Cover Lives (Cader) and the search browless and the search browless. Plant of the control of the cover of		ABS plastic or schedule 40 PVC plastic pipe. Sewer, soil and waste lines within the building above the finished floor elevation shall be standard weight cast iron. ABS piping may be used above the finished floor if permitted by code and approved by the owner. All lines should be at least a 1% grade of gravity flow. Must ensure that tree roots will not
plas meter.  PPLE MATERAL. All pipe materials shall be subject to the requirements of the City and/or governing body. All demostic water, condensate, and smithy pan drain lines must be coppor.  PLIMBING FIXTURES AND TRIM:  LANATORY FOR VANITY. American Standard. 1 Coaled Everteem. Oval Counterings Sink*, model 6419-444EC, white, subject and bright churse finish. Furnish and install a Harnly-Shield Drain Cover #3011 White by Plumberers Specially Products under each invalidor.  WALL LAUNG LAWATORY. American Standard. 1 Learne*, model 635-512, white, sublinearing the property of the case sensitively with a grid stainer and bright churse finish. Furnish and install a brandy-Shield Drain Cover #3011 White by Plumberers Specially Products under each learner with the John Model of the Cover #3011 White by Plumberers Specially Products under each learner with residual related a blendy-Shield Drain Cover #3011 White by Plumberers Specially Products under each learner with the standard stall a blendy-Shield Drain Cover #3011 White by Plumberers Specially Products under each learner with the standard stall a blendy-Shield Drain Cover #3011 White by Plumberers Specially Products under each learner with the stall a blendy-Shield Drain Cover #3011 White by Plumberers Specially Products under each learner with the stall a blendy-Shield Drain Cover #3011 White by Plumberer Specially Products and the stall stall stall a blendy-Shield Drain Cover #3011 White by Plumberer Specially Products and the stall s		GAS LINES: All gas lines shall be run under the roof above the bottom cord of the trusses perpendicular or parallel to
PLUMBING FIXTURES AND TRIM:  LAVATORY FOR VANITY: American Standard, "Cadel Exercisan-Oval Counsiders Sink", model 0419,444EC, white, self-invining or equal with a Delta Moutel 553 LF HOFF in Maner 1450 single-lever type fluored assembly with a grid standar and begind from the finish. Furnish and installal a Handy-Sheld Drain Cover 25011 White by Plumbrer's Specialty Products under each levelory.  WALL-HUNG LAVATORY: American Standard. "Luceme", model 0366,012, white, well mounted levelory or equal with a Delta Model 553 LF HOF single level type fluored assembly with a grid stience and bright chrone finish. Furnish and vocidal a Faloury-Sheld Drain Cover 25011 White by Plumbrer's Specialty Products under each favorous.  WATER CLOSET F. American Standard. "Materia Fibbles" Right Height Geograph (flush wake tollet, 177 height, model 3043,001 or approved equal in white, with an Olsonite #96 seat and a Sloan #111 flush valve tollet, 177 height, model 3043,001 or approved equal in white, with an Olsonite #96 seat and a Sloan #111 flush valve tollet, 177 height, model 640,001 or approved equal in white, with an Olsonite #96 seat and a Sloan #111 flush valve tollet, 177 height, model 640,001 or approved equal white for non-handlasped applications.  WATER CLOSET IF WATER SUPPLY IS NOT SUPPLIED TOOR FLUSH YALVE. American Standard "Cadel" colonization and the product of the supplications of the supplication		gas meter.  PIPE MATERIAL: All pipe materials shall be subject to the requirements of the City and/or governing body. All
LAVATORY FOR VANITY: American Standard. "Cadet Everoleum: Oval Countertop Sint", model 0419.444EC, white, self-immining or copal with a Debta Model 223 EF IPO on Moon LAFO single leves type flauoral assembly with a gird products under each levatory.  Products under each invalory.  WALL-HUNG LAVATORY: American Standard. "Luceme", model 0356.012, white, wall mounted levatory or equal with a Delta Model 523 EF IPO Single lever type flauor assembly with a grid strainer and bright browne finish. Furnish and install a Handy-Sinel Drain Cover Single IV with a Delta Model 523 EF IPO Single lever type flauor assembly with a grid strainer and bright browne finish. Furnish and install a Handy-Sinel Drain Cover Sinel IV with the Divinioner's Specialty Products under each leavatory.  WATER CLOSET F. WATER SUPPL VIS NOT SUFFICIENT FOR FLUSH VIAL VE. American Standard "Cadet Calority in Water Supple VIS NOT SUFFICIENT FOR FLUSH VIAL VE. American Standard "Cadet Calority In Water Supple VIS NOT SUFFICIENT FOR FLUSH VIAL VE. American Standard "Cadet Right Model 8 2333.100 (white) with Olsonite 804 5237.1100 (white) with Olsonite 640 5237.1100 (w		domestic water, condensate, and smitty pan drain lines must be copper.
Istanier and bright chrome frish. Furnish and install a Handy-Shield Drain Cover 40011 White by Plumberex Specially Products under each lavasory.  WALL-HUNG LAVATORY. American Standard, "Lucerne", model 035.012, while, wall mounted lavalory or equal with a Delta Model \$23 LF HOP eingle lever type faucet assembly with a grid shainer and bright chrome finish. Furnish and install a Handy-Shield Drain Cover 8011 White by Plumberex Specially Products under each lavatory.  WATER CLOSET. American Standard, "Masteric Florifical-Rept Height dengaged, flush valve tollet, 17" height, model 3043.00 or approved equal in white, with an Oleonite #55 seal and a Streat #111 flush valve  WATER CLOSET. If WATER SUDRY VS NOT SUEFICIENT FOR FLUSH VALVE. American Standard Cader Height Engaged splications.  American Standard Cader Right Height Elongaled pressure—assisted tollet, Model #2333.100 (white) with Oleonite #64 SSTI. tollet seak (white) for non-handraged applications.  American Standard Cader Right Height Elongaled pressure—assisted tollet, model #2377.100 (white) with Oleonite #64 SSTI. tollet seak (white) for AD applications.  URINIA. American Standard, "Washtrook Florifica", model 5590.125, or approved equal, white, with a 34" too spud Fire Prelland Area American Standard, "Washtrook Florifica", model 5890.125, or approved equal, white, with a 34" too spud Fire Prelland Area American Standard, "Washtrook Florifica", model 5890.125, or approved equal, white, with a 34" too spud Fire Prelland Area American Standard, "Washtrook Florifica", model 5890.125, or approved equal, white, with a 14" too spud Fire Prelland Area American Standard, "Washtrook Florifica", model 5890.125, or approved equal, white, with a 14" too spud Fire Prelland Area American Standard, "Washtrook Florifica", model 5890.125, or approved equal, white Area Area Area Area Area Area Area Are		LAVATORY FOR VANITY: American Standard, " Cadet Everclean- Oval Countertop Sink", model 0419.444EC, white,
a Deta Model 523 LF NDP aingle lever type faucet assembly with a grid strainer and bright chrome finish. Furnish and install a Handy-Sheld Drain Over 35011 Wille by Purbinerox Specially Products under each levalory.  WATER CLOSET: American Standard, "Madera FloWiso-Right Height" elongated, flush valive toiled, 17' height, model 0x43 poly of approved equal in white, with an Olsonite #85 seat and a Slean #111 flush valive  WATER CLOSET IF WATER SUPPLY IS NOT SUFFICIENT FOR FLUSH VALVE. American Standard 'Caded' Rejine Lose Model # 2333 100 (white) with Olsonite #64 SST1, toilet seat (white) for non-handicapped applications.  American Standard 'Caded Rejine Height Elongated pressure-assisted toiled, model # 2377-100 (white) with Olsanite #64 SST1, toilet seat (white) for ADA applications.  URINAL: American Standard, "Washbrook FloWise", model 6590-125, or approved equal, white. With a 04" los pspud. For Portland Area: American Standard, "Washbrook FloWise", model 6590-125, or approved equal, white. American Standard model 5500-125 cores with flush valive  COFFEE BAR (LUNCH ROOM SINK: Elikay, model LRAD 1916, staninises steel, with a Deta #100 faucet. If the Lunch-Room base cabinet is 6-0" or longet, use an Elay model GECR 251. Furnish and install a Handy-Shield Drain Cover 8001 Willie by "Pumberor Specially Products under each wink.  LAUNDRY TRAY: When specified as a customer upgrade use Filar Products, Molded-Shone, model FL-1, with 20 gallon capacity, or Forestone Model # Flo flow drain.  WATER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible floorglass shower stall, 44-254 white with gaib bats, seat mixing valve and shower outsian rod. Oxiside the shower pan. to sure to slope floor to drain the water to the flow drain.  WATER REATER. The water heater shall be A.D. Smith. State or approved equal sized to meet the demand. It shall be concarded by the architect or approved by the owner. All plumbing connections shall be associated by the architect or approved by the owner. All		strainer and bright chrome finish. Furnish and install a Handy-Shield Drain Cover #3011 White by Plumberex Specialty
WATER CLOSET: American Standard, "Madera Flowlise-Right Height" elongated, flush valve toilet, 17' height, model 3043,001 or approved equal in white, with an Olsonite 495 seat and a Soan #111 flush valve  WATER CLOSET IF WATER SUPPLY IS NOT SUFFICIENT FOOR FLUSH VALVE: American Standard 'Codet' Right Model #2333,100 (white) with Olsonite 404 SSTL toilet seat (white) for non-handreapped applications.  American Standard 'Cadet' Right Height Elongaided pressure-assisted toilet, model #2377,100 (white) with Olsanite #6 4 SSTL toilet seat (white) for ADA applications.  BINAL: American Standard, 'Masthrook FloWiset', model #690,125, or approved equal, white, with a 34't top spud. For Fortland Area: American Standard, 'Wasthrook FloWiset', model #690,125, or approved equal, white, American Standard model #690,125 comes with flush valve.  COFFEE BART, LUNCH ROOM SINK: Elixay, model #2621, Eurnish and install a Handy-Shield Drain Cover #3011 White by Plumberes Specially Products under each sink.  LAUNDRY TRAY: When specified as a customer upgrade use First Products. Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Delta model #223 laundry to flaucet.  BROWER EROK GSUEE: When specified as a customer upgrade use First Products. Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Delta model #223 laundry to flaucet.  BROWER EROK GSUEE: When specified as a customer upgrade use First Products. Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Delta model #223 laundry to flaucet.  BROWER EROK GSUEE: When specified as a customer upgrade use First Products. Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Delta model #223 laundry to flaucet.  WATER HEATER The water heater shall be A.O. Smith, State or approved equal state to meet the demand. It shall be acceled on the variethouse foor in a smithy pan drinning may have an advanced and shall be maded to mee		a Delta Model 523 LF HDF single lever type faucet assembly with a grid strainer and bright chrome finish. Furnish and
WATER CLOSET IF WATER SUPPLY IS NOT SUEFICIENT FOR FLUSH VALVE: American Standard Cadet' elongated pressure-assisted to litet, Model # 2333-100 (white) with Olsonite #64 SSTL tollet seat (white) for non-handraged applications.  American Standard 'Cadet' Right Height Elongated pressure-assisted tollet, model # 2377-100 (white) with Olsonite # 64 SSTL tollet seat (white) for ADA applications.  American Standard 'Cadet' Right Height Elongated pressure-assisted tollet, model # 2377-100 (white) with Olsonite # 64 SSTL tollet seat (white) for ADA applications.  URINAL: American Standard, "Washbrook FloWise", model 6590-125, or approved equal, white, with a 34" top spud For Portland Area: American Standard model 5600-125 or approved equal, white American Standard Standard 5600-125 or approved equal standard to ADA STANDARD MINE MINE STANDARD MINE MINE STANDARD MINE STANDAR		WATER CLOSET: American Standard, " Madera FloWise- Right Height" elongated, flush valve toilet, 17" height, model
non-handcapped applications.  American Standard Cadet "Right Height Elongated pressure-assisted toilet, model # 2377.100 (white) with Olsanite # 64 SSTL toilet seat (white) for ADA applications.  URINAL: American Standard, "Washbrook FloWise", model 6590.125, or approved equal, white, with a 34" top spud. For Portland Area: American Standard, "Washbrook FloWise", model 6590.125, or approved equal, white, with a 34" top spud. Standard model 6590.125 comes with flush valve  COFFEE BAR, 'LINCH ROOM SMN-Elkoy, model LRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base cathried is 8" of "or longer, use as Elkoy model CRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base cathried is 8" of "or longer, use as Elkoy model CRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base cathried is 8" of "or longer, use as Elkoy model CRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base cathried is 8" of "or longer, use as Elkoy model CRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base cathried is a customer upgrade use Flore Forducts, Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sirk with a Delta model 21/23 laundry tub faucet.  SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stail, 44-52H white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor for drain the water to the floor fault in the Wash fault is grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor for drain the water to the floor fault in the water to the floor fault in the sure floor floor floor for drain the water to the floor flo		WATER CLOSET IF WATER SUPPLY IS NOT SUFFICIENT FOR FLUSH VALVE: American Standard 'Cadet' elongated pressure-assisted toilet, Model # 2333.100 (white) with Olsonite #64 SSTL toilet seat (white) for
URINAL: American Standard, "Weathrook FloWise", model 6590.125, or approved equal, white, with a 34" top spud For Portland Area: American Standard, "Washbrook FloWise", model 6590.125, or approved equal, white. American Standard model 6590.125 comes with flush valve COFFEE BAR? I LUNCR ROOM SINK. Elikay, model LRAD 1918, stainless steel, with a Delta #100 faucet, if the Lunch Room base calabies is 6.7" or longer, use an Elikay model GECR 221, Furnish and install a Handy-Shield Drain Cover #3011 White by Plumberex Specialty Products under each sink.  LAUNDRY TRAY: When specified as a customer upgrade use Flat Products, Molded-Stone, model FL-1, with 20 gallon capacity, or Fiorestome Model Fullibly Shin with a Delta model 2123 laundry tub faucet.  SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stall, 44-529 white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor to drain the water to the floor drain.  WATER HEATER: The water heater shall be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The location shall be as located by the architect or approved by the owner. All plumbing connections shall be made with dielectric unions. installing the water heater above the ceiling is not allowed.  WATER COOLER: if drinking fourtiain is specified on the plan use Elikay model EZSTL8LC for the high-low drink fountian. If the local jurisdiction requires the production for a blind person, use Bobrick model '819296' grab bar; 1 ½' stainless steel, Install two grab bars, one at each end of the fourtian.  JAINTORS HAND SINK: Mustee Wittibut Model # 18 Fer Floor mount, or Model 18W — wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet. ½" if the clean-out is in the warehouse area, fu		American Standard 'Cadet' Right Height Elongated pressure-assisted toilet, model # 2377.100 (white) with Olsanite #
COFFEE BAR / LUNCH ROOM SINK: Elkay, model LRAD 1918, slainless steel, with a Deta #100 faucet. If the Lunch Room base cabinet is 8-2" or longer, use an Elkay model GECR 2521. Furnish and install a Handy-Shield Drain Cover 43011 White by Plumberex Specialty Products under each sink.  LAUNDRY TRAY: When specified as a customer upgrade use Fiat Products, Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Detla model 2123 laundry bub faucet.  SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stall. 44-52H white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor to drain the water to the floor drain.  WATER HEATER: The water hashal be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The localion shall be as located by the architect or approved by the cover. All plumbing connections shall be made with dielectric unions. Installing the water heater above the ceiling is not allowed.  WATER COOLER: If drinking fountain is specified on the plan use Elkay model EZSTLBLC for the high-low drink fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bar; 1 ½" stainless steel, Install two grab bars, on at each end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install a capacity of universal provides a typed label "Main Water Valve" on the access panel.  CONDENSATE DRAINS: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above t		URINAL: American Standard, "Washbrook FloWise", model 6590.125, or approved equal, white, with a 3/4" top spud . For Portland Area: American Standard, "Washbrook FloWise", model 6590.125, or approved equal, white. American
ALNDRY TRAY: When specified as a customer upgrade use Fiat Products, Molded-Stone, model FL-1, with 20 gallon capacity, or Florestone Model FM Utility Sink with a Delta model 2123 laundry tub faucet.  SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stall, 44-554 white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor to drain the water to the floor drain.  WATER HEATER: The water heater shall be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The location shall be as located by the architect or approved by the owner. All plumbing connections shall be made with dielectric unions. Installing the water heater above the ceiling is not allowed.  WATER COOLER: If drinking fountain is specified on the plan use Elkay model EZSTLBLC for the high-low drink fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819296" grab bar; 1 //s stainless steel. Install two grab bars, one at each end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8" with Mustee Service Faucet Part No. 63.600A chrome plated brass services sink faucet, /s" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 34" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restoroms in the handicapped stall in the men's restorom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Wat		COFFEE BAR / LUNCH ROOM SINK: Elkay, model LRAD 1918, stainless steel, with a Delta #100 faucet. If the Lunch Room base cabinet is 8'-0" or longer, use an Elkay model GECR 2521. Furnish and install a Handy-Shield Drain Cover
SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stall, 44-52H white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to slope floor to drain the water to the floor drain.  WATER HEATER: The water heater shall be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The location shall be as located by the architect or approved by the owner. All plumbing connections shall be made with dielectric unions. Installing the water heater above the ceiling is not allowed.  WATER COOLER: If drinking fountain is specified on the plan use Elikay model EZSTL8LC for the high-low drink fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bars; 1 ½" stainless steel. Install two grab bars, on a 4 each end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 ½" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Fumish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 34" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above th		LAUNDRY TRAY: When specified as a customer upgrade use Fiat Products, Molded-Stone, model FL-1, with 20 gallon
WATER HEATER: The water heater shall be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The location shall be as located by the architect or approved by the owner. All plumbing connections shall be made with dielectric unions. Installing the water heater above the ceiling is not allowed.  WATER COOLER: If drinking fountain is specified on the plan use Elkay model EZSTL8LC for the high-low drink fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bar; 1 % stainless seel. Install two grab bars, on a teach end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 %" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, %" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "think 12" gate valve (one valve per storefont door). Extend the water line through the tenant demising wall into the "downstream" adjacent lenant spac		SHOWER ENCLOSURE: When specified as a customer upgrade use Florestone, wheelchair accessible fiberglass shower stall, 44-52H white with grab bars, seat, mixing valve and shower curtain rod. Outside the shower pan, be sure to
Installing the water heater above the ceiling is not allowed.  WATER COCLER: If drinking fountain is specified on the plan use Elkay model EZSTL&LC for the high-low drink fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bar; 1 ½" stainless steel. Install two grab bars, one at each end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 ½" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code, PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "Tiv with 2" gate valve (one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install at brass floor clean-out cover at		WATER HEATER: The water heater shall be A.O. Smith, State or approved equal sized to meet the demand. It shall be located on the warehouse floor in a smitty pan draining into a hub drain with a trap primer. The location shall be as
fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bar; 1 ½" stainless steel. Install two grab bars, one at each end of the fountain.  JANITOR'S HAND SINK: Mustee Utilitub Model # 18F – Floor mount, or Model 18W – wall hung, or equal.  Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 ½" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2"" "T" with 2" gate valve (one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished elevation as required. If the clean-out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover.  FLOOR DRAINS: Provid		
Janitor's Mop Service Basin: Mustee Model # 62M 24" x 24" x 8 1/" with Mustee Service Faucet Part No. 63.600A chrome plated brass service sink faucet, 1/2" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "T" with 2" gate valve (one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished elevation as required. If the clean-out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover.  FLOOR DRAINS: Provide in toilet rooms where required by code.  INSULATION: Insulate all water piping (except Florida) with 1" insulation. Use 1 ½" insulation for piping in exterior walls.  In the protection of the design-build fire protection contractor shall furnish and install all modifications to the existing f		fountain. If the local jurisdiction requires the protection for a blind person, use Bobrick model "819298" grab bar; 1
chrome plated brass service sink faucet, ½" pipe eccentric inlets on 8" centers, or equal.  CONDENSATE DRAINS: Furnish and install copper condensate drainage lines with proper venting for all HVAC equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "Twith 2" gate valve one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished elevation as required. If the clean-out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover.  FLOOR DRAINS: Provide in toilet rooms where required by code.  INSULATION: Insulate all water piping (except Florida) with 1" insulation. Use 1 ½" insulation for piping in exterior walls.  FIRE PROTECTION  DESIGN BUILD: The fire protection work shall be performed on a design-build basis. The design-build fire protection contractor shall furnish and install all modifications to the existing fire sprinkler system to meet all app		
equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by code. PVC condensate lines may not be used. In Reno, provide evaporator pans set in roof mastic.  SHUT-OFF VALVE: Furnish and install a main water line shut-off valve for the restrooms in the handicapped stall in the men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "timit?" gate valve (one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished elevation as required. If the clean-out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover.  FLOOR DRAINS: Provide in toilet rooms where required by code.  INSULATION: Insulate all water piping (except Florida) with 1" insulation. Use 1 ½" insulation for piping in exterior walls.  DESIGN BUILD: The fire protection work shall be performed on a design-build basis. The design-build fire protection contractor shall furnish and install all modifications to the existing fire sprinkler system to meet all applicable local and state fire code requirements. Sprinkler heads shall be dropped into all suspended ceiling areas. Upgrade of existing system shall conform with a class IV occupancy. In buildings with ESFR systems,		chrome plated brass service sink faucet, $rac{1}{2}$ " pipe eccentric inlets on 8" centers, or equal.
men's restroom, not above the ceiling, with an 8" x 8" painted steel access panel. Provide a typed label "Main Water Valve" on the access panel.  MAIN WATER LINE: If a main domestic water line is not existing above the tenant space, furnish and install a 2" diameter copper water line at the roof installed above the bottom cord of the trusses, properly braced to avoid movement. At each future tenant space that the line crosses, install a 2" "T" with 2" gate valve (one valve per storefront door). Extend the water line through the tenant demising wall into the "downstream" adjacent tenant space with a 2" diameter gate valve. Furnish and install a 2" pressure reducing valve with an access panel at the water service entrance when required.  HOSE BIB: Provide one rooftop hose bib if not existing (freeze proof where required). Vendors to drain water after each use.  CLEAN-OUTS: Furnish and install a brass floor clean-out cover at the proper finished elevation as required. If the clean-out is in the warehouse area, furnish and install a cast iron heavy duty traffic rated cover.  FLOOR DRAINS: Provide in toilet rooms where required by code.  INSULATION: Insulate all water piping (except Florida) with 1" insulation. Use 1 ½" insulation for piping in exterior walls.  FIRE PROTECTION  DESIGN BUILD: The fire protection work shall be performed on a design-build basis. The design-build fire protection contractor shall furnish and install all modifications to the existing fire sprinkler system to meet all applicable local and state fire code requirements. Sprinkler heads shall be dropped into all suspended ceiling areas. Upgrade of existing system shall conform with a class IV occupancy. In buildings with ESFR systems, maintain the necessary clearances from all obstructions.  PIPE MATERIAL: All fire sprinkler piping shall be standard schedule 10 for 6" piping, and schedule 7 for 4" and 2 ½"		equipment. The lines shall be no smaller than 3/4" diameter and shall be located under the roof unless prohibited by
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		PIPE MATERIAL: All fire sprinkler piping shall be standard schedule 10 for 6" piping, and schedule 7 for 4" and 2 $\frac{1}{2}$ "

FIRE EXTINGUISHERS: Fire extinguishers shall be furnished and installed per city fire code. Extinguishers may be wall SYSTEM SHUT DOWN: The building may be equipped with an ESFR fire protection system and booster pump. The pump must be turned off prior to causing any flow in the system. The pump must be turned back on immediately after flow is complete each day. Hoses must be used to drain down the system into the nearest catch basin to avoid staining of concrete, asphalt surfaces, and damage to landscape areas. Contact the Owner's property manager prior to performing any work on the fire system, or deactivating the pump. INTERIORS + ARCHITECTURE 15.2.9 In buildings with ESFR systems, maintain the necessary clearances to avoid sprinkler head obstructions. Utilize FM Global Property Loss Prevention Data Sheets 2-2 for guidance. **DIVISION 15 HVAC** 15.3.1 DESIGN BUILD: Unless engineered HVAC system drawings are included in the bid documents, the HVAC work shall be performed on a design-build basis. The design shall be based upon ASHRAE standards, local code, and weather data. Calculations shall be provided upon owner request. The design-build HVAC contractor shall furnish and install a complete and operative HVAC system to meet all local and state codes. PLANS: Provide HVAC plans for architect's and owner's review and approval. WARRANTY AND SERVICE: All work shall include a one year parts and labor warranty, a five year compressor parts arranty and a 90 day service contract from the date of project completion. DESIGN TEMPERATURES: The HVAC system shall maintain 75 degrees indoors, on a 100 degree outdoor day or local ASHRAE standards and code requirements, whichever is more stringent. 15.3.5 UNITS: The HVAC units shall be gas/electric, bottom discharge, as manufactured by Carrier, Trane, Lennox, or York. Units shall be installed on a leveled, manufactured curb. All rooftop equipment shall be seismically fastened to the structure. Side discharge units may not be used. Commercial grade heat pumps by Carrier (model 50TCQ), or Trane (model WCD) may only be used in the Las Vegas or Phoenix markets. When heat pumps are used, they must be installed with auxiliary strip heaters and single point wiring kits. Furnish and install economizers on all units larger than five tons and whenever required by the energy code. For Denver and Salt Lake City areas, provide hail guards on rooftop units 15.3.6 UNIT LOCATIONS: HVAC and evaporative cooler units (when used) shall be located on roof, adjacent to a glulam beam or girder, at or near a structural column, set back from building edge to hide them from sight. Framing for roof penetrations and supports for all roof-top equipment must be reviewed, approved, and stamped by a structural EVAPORATIVE COOLER: Evaporative coolers when specified as a customer upgrade shall provide a minimum of four ir changes per hour U.O.N. The coolers shall be United Metal Products "Slimline" units or approved equals. Provide adequate relief venting to allow all doors within the tenant space to close properly. The cooler plenums shall be located midway between fire sprinkler lines and fire sprinkler heads in buildings with ESFR systems. The plenums, water supply lines and drain lines shall not encroach into the building's clear space U.O.N. CURBS/SLEEPERS: All mechanical units (HVAC units, evaporative coolers, and relief vents) shall be located on roof and shall be installed with a self-flashing, leveled, factory curb. Furnish and install 4 inch leg cant strips around all curbs. Absolutely no wood or metal sleepers may be used without owner's written permission. 15.3.9 CONTROLS: The HVAC system shall be connected to a 7-day digital programmable thermostat. All thermostats shall be nounted at 48" A.F.F. and shall have an automatic change-over feature. All thermostats that are not digital are to be onverted to a digital programmable thermostat during Make Ready and Tenant Improvement projects. If freeze protection only is installed in the warehouse, the thermostat control should be mounted on the on the inside of the unit at the roof top level. 15.3.10 EXHAUST FANS: Furnish and install an exhaust fan in each toilet room and shower room (if applicable). Install a supply air grille or a transfer grille from the toilet, shower, or break room ceiling to the adjacent conditioned space. In multifixture restrooms, fans shall be rated at 150 CFM minimum. 15.3.11 DUCTING: All vertical ducting shall be galvanized spiral, insulated with 1-1/2" wrap and vapor barrier. Horizontal runs may be galvanized spiral or duct board. Any exposed duct in a conditioned warehouse area must be galvanized spiral sheet metal. Final connections to the registers shall be made with a minimum 5' soft flex duct for sound attenuation, and a maximum of 8' in length.. All plenums shall be fabricated from insulated galvanized sheet metal of appropriate gauge for low pressure use. Plenums shall extend from the unit to the level of the horizontal branches. No ducting or plenum drops may be installed over warehouse space, unless approved by owner. If the project is a remodel of an existing system, all abandoned ducting shall be removed. 15.3.12 FITTINGS: All wye branch fittings shall have volume dampers with locking quadrant in main and branch ducts. The dampers shall be tagged for easy recognition. 15.3.13 GRILLES: All conditioned areas shall have a supply register and a ducted return register. Transfer grills are not permitted in the office area. Supply and return air registers shall be white baked enamel 2'x2' with a perforated face, flush mounted. Supply air registers shall have a 4-way directional blow. Restroom registers need to be 1'x2' if there are multiple stalls. Restroom registers may be 1'x1' for one toilet bathrooms. 15.3.14 FILTERS: Filters shall be located at the unit, not at the return register. Replace all existing filters after the completion of the construction. 15.3.15 CONDENSATE DRAINS & PIPING: See section 15.1.7. 15.3.16 DUCT SMOKE DETECTORS: Smoke detectors shall be installed in all units 2000 cfm or greater and/or 5 ton or greater, or as required by code. WAREHOUSE HEATERS: NIC 15.3.18 DRAFT STOPS: NIC DESIGN BUILD: Unless engineered electrical system drawings are included in the bid documents, the electrical work shall be performed on a design-build basis. The design-build electrical contractor shall furnish and install a complete and operative electrical system to meet all local and state codes. PLANS: Provide electrical plans for architect's and owner's review and approval. ENERGY CALCS: Provide energy compliance code lighting calculations if required. METER SECTION: Furnish and install an electrical meter section "bussed for future" sections if not existing. PANELS AND TRANSFORMERS: The locations of the 277/480 volt electrical panel, the transformer, and the 120/208 olt electrical panel shall be approved by the owner. Typically these should be located on the office/warehouse wall adjacent to the toilet rooms. The panels should not be located on a demising wall. The electrical panels and transformer shall be sized to allow for a 25% increase in the number of circuits in the future. 16.6-16.8 REFER TO Prologis LED SPECIFICATION FOR DESIGN, INSTALLATION AND FIXTURE REQUIREMENTS. OFFICE LIGHTING: Furnish and install 2'x4' lay-in LED light fixtures with standard acrylic lens, wired to the 277/480 volt panel, average 35 foot candles at 30" A.F.F. or as permitted by code but no less than two (2) fixtures per 10'x12' office. Wire one (1) light fixture near each exterior exit door to provide 24 hour lighting. WAREHOUSE LIGHTING: If not included in the building shell, furnish and install LED hi bay fixtures to achieve 25 foot candles (avg) at 30" A.F.F. based on an open floor plan. Fixtures shall have 15' of MC cable and shall be placed to maintain clearances and avoid conflicts relative to ESFR sprinkler systems (generally mid-way between ESFR heads or sprinkler lines). Variations from this layout necessary to accommodate the tenant's racking must meet fire code OUTLET BOXES: All outlet boxes for wall switches, wall receptacles, telephone, etc. shall be galvanized steel or cast RECEPTACLES: Furnish and install two (2) 110V duplex receptacles and one (1) telephone "ring and string" in each office. Any unused telephone boxes shall receive a blank cover. DEDICATED RECEPTACLES: Furnish and install a dedicated 110 volt fourplex outlet at the telephone board and two dedicated 110V outlets at the coffee bar. Provide a dedicated 20 AMP GFI receptacle if within 6' of any sink. GFI RECEPTACLES: Provide one GFI electrical outlet in each toilet room and above the break room counter. Install GFI eceptacles wherever required by code. WAREHOUSE SWITCHING: The warehouse lighting shall be controlled with integral occupancy sensors, or in accordance with local code. Additionally, a manual switch (operating lighting contactors) to turn on lighting in the Speed Bay shall be provided in a location approved by Prologis. ELECTRICAL CONDUIT / CONDUCTOR MATERIAL: All conduit shall be EMT or MC cable. All conductors must be copper. ESFR sprinkler heads shall not be obstructed by conduit. CONDUIT INSTALLATION: All conduits in areas without ceilings shall be installed at or above the bottoms of the trusses or beams. All conduits shall be run at 90 degrees or parallel to structural members, walls, floors, and ceilings. No conduit may be installed below the slab or on top of the roof without the owner's written permission. TELEPHONE CONDUIT: Furnish and install a 2" diameter metal conduit for phone system from the building telephone service entrance to a telephone board within the tenant space. Use PVC where allowable by code. Field verify location of building telephone service entrance. Verify that the conduit does not obstruct ESFR sprinkler heads. TELEPHONE BOARD: Furnish and install one, 4'x8'x3/4", APA C-D plugged (paint grade), fire retardant plywood telephone backboard for mounting customer's electrical or telephone equipment. Provide No. 6 copper ground wire unless otherwise required. TRIM COLOR: All light switches, outlets, and electrical trim shall be white U.O.N. LABELING: Label all panels, control points, switches, and motors as directed. Panels shall be identified by panel number. Switches shall have typed labels indicating the equipment which they control. Typed (circuit) panel directories are to be supplied and installed. 16.20 LABELING: Label all panels, control points, switches, and motors as directed. Panels shall be identified by panel number. Switches shall have typed labels indicating the equipment which they control. Typed (circuit) panel directories are to be supplied and installed.

STANDARD WALL: Schedule 40 pipe is considered "standard wall" pipe. Schedule 10 pipe is acceptable in size 6-inch r larger provided submittals for Schedule 10 pipe are approved by the Prologis Project Manager. Pipe connections shall

be welded or grooved couplings (Victaulic or approved equal). Threadable thin wall pipe shall not be used. Schedule 5

THIN WALL: Schedule 7 Dyna-flow "lined pipe", or approved equal is acceptable for branch lines less than 6-inches in diameter provided submittals for Schedule 7 Dyna-flow "lined pipe", or equal, are approved by the Prologis Project

Manager. Pipe connections shall be welded or grooved couplings (Victaulic or approved equal). Threadable thin wall

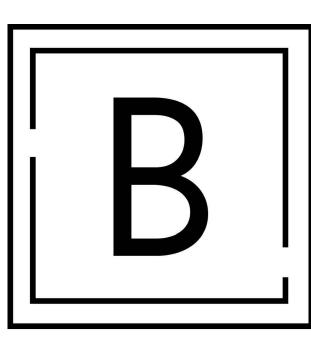
escutcheons. When "second look" acoustical ceiling tiles are used, sprinkler heads shall be centered on the half tile.

HYDRAULIC TESTING: The contractor shall include the cost of any required hydraulic testing of the fire sprinkler

15.2.5 SPRINKLER HEADS: The fire sprinkler heads in areas with ceilings shall be chrome, semi-recessed, with white

pipe shall not be used. Schedule 5 and other thin wall pipes shall not be used.

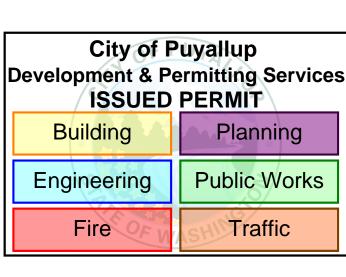
and other thin wall pipes shall not be used.



## **BURGESS DESIGN**

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

PROLOGIS PUYALLUP 1 MAKE READY PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371



Professional seal

No.	Issue Description	Date
	REVIEW SET	01.06.23
	REVIEW SET	01.30.23
	REVIEW SET	02.17.23
	REVIEW SET	02.27.23
	PERMIT SET	03.10.23
	CD SET	03.17.23
	CITY CORRECTION	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL City Electronic Stamp Location

Drawn by: MK Project Manager: SH

PROLOGIS CUSTOMER FINISH STANDARDS

Original drawing is 30" x 42". Scale entities accordingly if reduced

#### **Prologis LED Lighting Specification – Americas**

This LED Lighting Specification sets product, install, and procurement guidance for all LED lighting work in the Prologis Americas portfolio. Prologis has selected Acuity Brands to be the sole manufacturer of LED lighting in the portfolio. All LED lighting spend will need to be directed through Acuity's National

National Account Pricing Reference Code **Acuity Brands** 901-18-10355 (Lithonia Lighting)

Specific process flow charts outlining the procurement process and correct contact for each category (New Development, TI, Make Ready, Essentials) are attached as exhibits to this document.

#### LIGHTING SYSTEM DESIGN, PERFORMANCE AND INSTALLATION REQUIREMENTS

General Requirements: The following general requirements apply to all Prologis lighting projects:

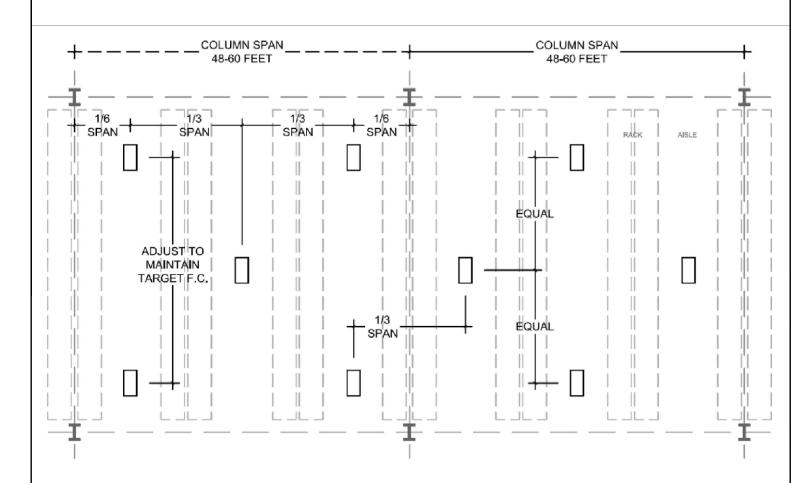
- 1. All work should be permitted and performed in accordance with local codes. 2. Photometric illumination studies are required for all projects. Reflectance values of walls, floors and ceilings should be set based on the space being lit, utilizing photos, site
- 3. Local, regional or tenant-driven specifications must be approved or directed by Prologis.
- 4. Branch wiring #2 and smaller shall be copper. 5. Conduit and cable shall run parallel to or at 90° to building lines.
- 6. Overhead conduits to be EMT. Alternate types for special conditions to be approved by
- 7. Junction boxes shall be labeled with source panel and circuits contained.
- 8. Conduits above the roof deck (under the insulation) or within or below the slab are not

#### Warehouse Specifications:

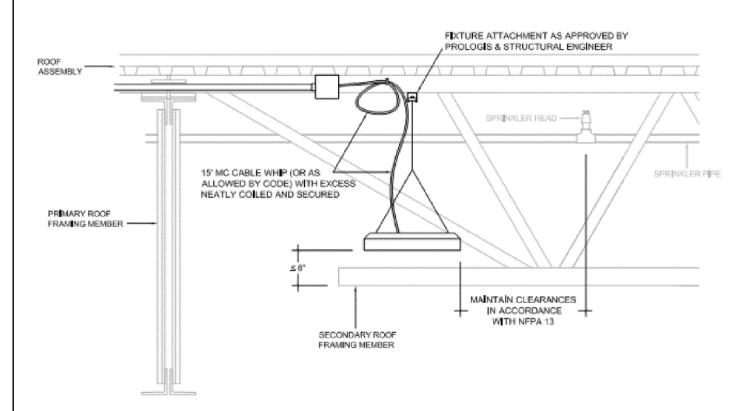
A. Minimum Illumination: Open warehouse areas - 25 FC average, 12.5 FC minimum (30" AFF). Racked aisles - 15 FC average, 7.5 FC minimum (30" AFF).

3. Uniformity Ratio: Maximum to minimum of 4:1, average to minimum of 2:1. . Design Considerations: Fixtures shall be evenly spaced across the floor plan. Lighting designer shall have the flexibility to shift perimeter light rows off of the typical spacing for the project to minimize dark corner conditions and better illuminate the "Speed Bays" (the first column bay in from the dock wall). When available, racking plans should be used to develop a quality, cost-efficient lighting

design. When racking plans are not available, and a new lighting layout is feasible, layouts based on diamond fixture arrangements illuminate open floor plans well and remain flexible for future racking (by requiring fewer fixtures to be added and avoiding instances where fixtures fall directly above racking).



. Fixture Mounting: Fixtures shall hang 0-6" above the bottom chord of the secondary roof framing members (above the Clear Height) to maximize warehouse volume. Please refer to the fixture mounting detail below. Luminaires shall be installed with MC Cable whips containing #12 AWG conductors, 15' in length or as allowed by code. If allowed locally, a building-wide modular wiring system (RELOC, MWS, etc.) may be used. Fixtures cannot be attached to the roof deck without approval from Prologis and the structural engineer.



E. Controls: Local code will drive the level of controls required. At a minimum, luminaires should be provided with integral occupancy sensors (and daylight sensors when skylights are present) for local, non-networked control. All sensor and control types shall be selected by the design professional.

### Office/Non-Warehouse Specifications:

## A. Minimum Illumination:

- 1. Office: 35 FC average (30" AFF)
- 2. Conference rooms: 40 FC average (30" AFF) 3. Corridors / circulation: 25 FC average (30" AFF)
- 4. Restrooms, cafeteria, break areas: 30 FC average (32" AFF) 3. Uniformity Ratio: Maximum to minimum of 3:1, average to minimum of 2:1

C. Fixture Application: Illumination for interior office suites should be provided with 2x2, 2x4, recessed downlights and linear fixtures as required to meet the design intent. No less than two fixtures per private office, one light fixture near each exterior exit door to provide 24-hour lighting, plus emergency D. Controls: Local code will drive the level of controls required. At a minimum, non-networked

occupancy controls should be provided. All sensor and control types shall be selected by the design professional. Care should be taken to ensure the specific sensor matches the use of the space, occupancy type, spatial and environmental factors, and local code.

### **Exterior Lighting Specifications:**

### A. Minimum Illumination:

- 1. Trailer parking and truck courts: 0.5 FC average (at grade)
- 2. Auto parking: 1 FC average (at grade) 3. Main building entry and exits: 5 FC average (at grade)
- 4. Pedestrian walkways: 2 FC average (at grade)
- 5. General traffic circulation: 1 FC average (at grade) B. Uniformity Ratio: Average to minimum of 4:1

C. Fixture Application: Exterior lighting projects shall comply with all applicable codes and requirements. Illumination shall be provided first by wall packs, then by pole-mounted luminaires as a last resort, to meet the design intent. Wall packs shall be provided at exterior man doors and at truck dock areas. Pole lights shall be 30' and 40' tall in car and truck traffic areas, respectively (or as required by local code), and shall not be installed in traffic-exposed areas. Fixture selections should consider site-specific factors such as backlight, uplight, and glare restrictions (collectively B.U.G.), ambient temperature, susceptibility to corrosion, and presence of roosting birds.

D. Controls: Local code will drive the level of controls required. Exterior lighting shall, at a minimum, be controlled by an astronomic time clock system located near the house electrical panel. Time clock should include an override function so lighting can be forced 'on' during non-programmed hours to assist trouble shooting and replacement.

## **LED HIGHBAY**



Specifications:
☐ Color Temp – 5000K
☐ Color Rendering - 80 CRI □ Lumens- 24000 nominal
□ LPW Target -160 LPW Nominal
□ Ambient – 55 Degree C ☐ Options: ☐ LSXR Sensor (LSXR6 ADC) Job Pack (48-60) Battery Back up (Title 20 compliant 20 watt- MVOLT only) □ Cord & Plug (Öption only)

## **MOTION SENSOR**

HVOLT (347-480)



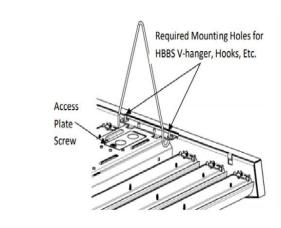
LSXR 6 ADC 1V 7.5M 7.5MVLP Occupancy Time Delay = 7.5 minutes Dim to Off Time Delay = 7.5 minutes High Trim = 100% Low Trim = 10% Photocell = Enabled on/off and dimming Photocell Set Point = 4fc

Sensor Programming & Specifications

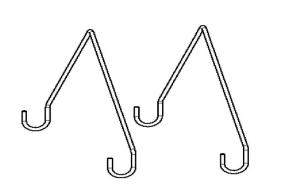
#### Sequence Of Operations

- 1. Upon occupancy: lights turn on to 100% 2. Ambient light is measured by the photocontrol, and if detected, will adjust the light level to 4 fc which is read at the sensor
- 3. After vacancy of 7.5 minutes.... lights will dim to 10% and remain there for another 7.5 minutes and then shut off, provided not occupancy it detected during this timeout period, otherwise process starts again.
- This gives a maximum ON time of 15 minutes (7.5 @ 100% or less, and 7.5 @ 10%).

## MOUNTING



### HBBS & IBGACVH V-HANGER ACCESSORY



**BATTERY BACKUP** 

# (Access Plate not removable)

Battery Back up back box – needed for battery back \* Step down will be needed for HVOLT options adding to cost

## TRADITIONAL SQUARE VANITY (FMVTSL)



## FEATURES & SPECIFICATIONS

#### **INTENDED USE**

Provides an LED lighting platform to deliver general or task lighting for residential and light commercial applications. Light engine delivers long life and excellent color to ensure a quality, low-maintenance light installation. Ideal for use in bathrooms, lavatories, hallways, corridors, stairways, utility areas and more.

#### CONSTRUCTION

The Traditional Square Vanity is constructed of an acrylic diffuser with housings available in brushed nickel. The white acrylic diffuser provides even illumination and softens the appearance of the LEDs for improved aesthetics. **OPTICS** 

2' produces 1300 lumens, 3' produces 1900 lumens, and 4' produces 2500 lumens at 3000K with 50,000

#### Extruded acrylic diffuser is of highly transmissive material to minimize LED image and provides highangle brightness control. **ELECTRICAL**

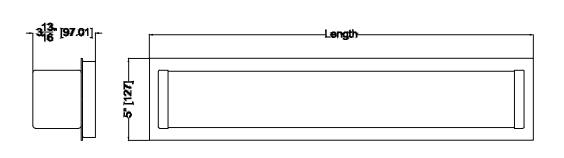
Long-life LEDs, coupled with a multivolt driver, provide extended service life. Standard input = 9.5 watts, (2'); 26 watts, (3'); 34 watts, (4'). Fixture is rated to deliver L70 performance at 50,000 hours and operates at 120-277 volts.

#### Use with non-dimmable switches only. LISTINGS

UL Listed to US and Canadian safety standards. Listed for damp locations. ENERGY STAR® certified. WARRANTY

5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms\_and\_conditions.aspx

NOTE: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



SPECIFICATIONS	2FT	3FT	4FT		
Length:	23-7/16 (595)	35-1/4 (895)	47-1/16 (1195)		
Weight:	7.3 (3.3)	10 (4.5)	12.7 (5.8)		
3000K Lumens (LPW)	1302 (72)	1919 (73)	2551 (75)		
4000K Lumens (LPW)	1373 (76)	2024 (77)	2689 (79)		
All dimensions are inches (millimeters) unless otherwise indicated. Weights are					

7 iii dimensions die mones (minimeters) diness otherwise maleated. Weights e	ire pourius (mograms).

Series	Length	Voltage	Color temperature	CRI	Finish
<b>FMVTSL</b> Traditional Square Vanity	24IN 2' Nominal 36IN 3' Nominal 48IN 4' Nominal	MVOLT MVOLT (120V-277V)	<b>30K</b> 3000 K	90CRI >90	BN Brushed Nickel

## ELKAY BOTTLE FILLING STATION (LZSTL8WSLP)



### **PRODUCT SPECIFICATIONS**

Elkay Enhanced ezH2O® Bottle Filling Station, & Versatile Bi-Level ADA Cooler, Filtered 8 GPH Light Gray. Chilling Capacity of 8.0 GPH (gallons per hour) of 50 □ F drinking water, based on 80 □ F inlet water and 90 ☐ F ambient, per ASHRAE 18 testing. Features shall include Hands Free, Visual Filter Monitor, Automatic Filter Status Reset. Filtered, Energy Savings, Green Ticker™, Laminar Flow, Antimicrobial, Real Drain. Furnished with Flexi-Guard ® Safety Bubbler. Electronic Bottle Filler Sensor With Electronic Front And Side Bubbler Pushbar activation. Product shall be Wall Mount (On Wall), for Indoor applications, serving 2 station(s). Unit shall be certified to UL 399 and CAN/CSA C22.2 No. 120. Unit shall be lead-free design which is certified to NSF/ANSI 61 & 372 (lead free) and meets Federal and State low-lead requirements.

#### **Special Features:** Hands Free, Visual Filter Monitor, Automatic Filter Status Reset, Filtered, Energy Savings, Green Ticker™, Laminar Flow, Antimicrobial, Real Light Gray Granite Power: 115V/60Hz Flexi-Guard ® Safety Bubbler **Bubbler Style:** Electronic Bottle Filler Sensor With **Activation by:** Electronic Front And Side Bubbler Pushbar Wall Mount (On Wall) **Mounting Type:** 8.0 GPH Chilling Option\*: **Full Load Amps Rated Watts:** 36-3/4" x 19" x 39-1/2" Dimensions (L x W x H): **Approx. Shipping Weight:** 104 lbs. Indoor **Installation Location:** No. of Stations Served:

\*Based on 80° F inlet water & 90° F ambient air temp for 50° F chilled

#### drinking water. Special Note: One-Box Packaging.

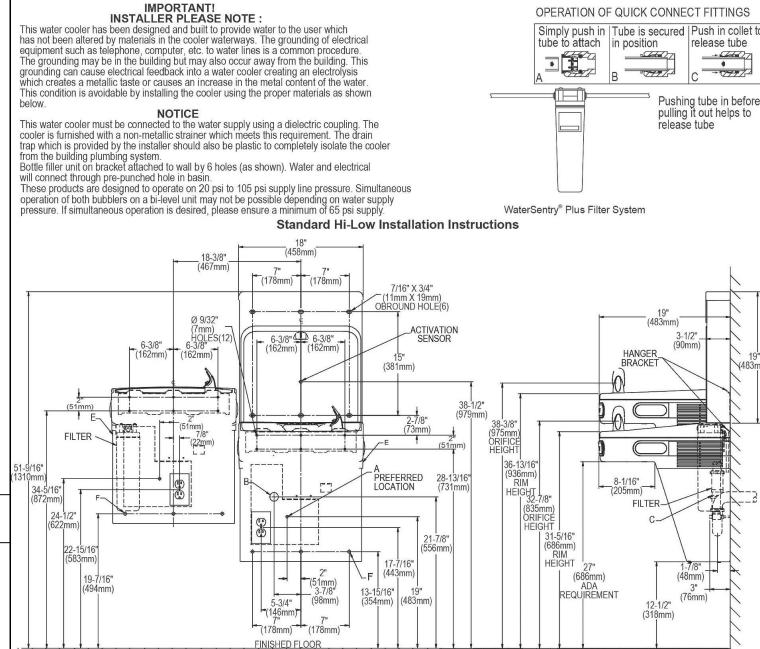
- Visual Filter Monitor: LED Filter Status Indicator for when filter change is necessary.
- Filter is certified to NSF 42 and 53 for lead, particulate, chlorine, taste and odor reduction. 3,000 gal. capacity.
- Energy-Savings Feature allowing for the refrigeration to be
- powered off when not in use. Green Ticker: Informs user of number of 20 oz. plastic water
- bottles saved from waste.
- Laminar flow provides clean fill with minimal splash. • Silver Ion Antimicrobial protection on key plastic

#### components to inhibit the growth of mold and mildew. Real Drain System eliminates standing water.

#### COOLING SYSTEM

- □ Compressor: Hermetically-sealed, reciprocating type,
- single phase. Sealed-in lifetime lubrication. Condenser: Fan cooled, copper tube with aluminum
- fins. Fan motor is permanently lubricated.
- Cooling Unit: Combination tube-tank type. Continuous copper tubing with is fully insulated with EPS foam that
- meets UL requirements for self-extinguishing material. Refrigerant Control: Refrigerant R-134a is controlled by
- accurately calibrated capillary tube. Temperature Control: Easily accessible enclosed

adjustable thermostat is factory preset. Requires no adjustment other than for altitude requirements.



REDUCE HEIGHT BY 3 INCHES FOR INSTALLATION OF CHILDRENS ADA COOLER = Recommended Water Supply location. Shut-off Valve (not furnished) to accept 3/8" O.D. unplated copper tube. Up to 3" (76mm) maximum out from wall. Recommended Waste Outlet location. To accommodate 1-1/2" nominal drain. Drain stub 2" (51mm) out from wall. ) = Electrical Supply (3) Wire Recessed Box Duplex Outlet.
= Insure proper ventilation by maintaining 6" (152mm) minimum clearance from cabinet louvers to wall. = 7/16" (11mm) Bolt Holes for fastening to wall.

Note: New Installations Must Use Ground Fault Circuit Interrupter (GFCI). It is highly recommended that the circuit be dedicated and the load protection be

City Electronic Stamp Location

Project No: 22.0243.00

CLIENT APPROVAL City Electronic Stamp Location

**BURGESS DESIGN** 

INTERIORS + ARCHITECTURE

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

PROLOGIS PUYALLUP 1

PRCTI20230310

City of Puyallup

**Development & Permitting Services** 

**ISSUED PERMIT** 

Planning

Public Works

Traffic

REGISTERE

01.06.23 01.30.23

02.17.23

02.27.23

03.10.23

03.17.23

05.19.23

1601 INDUSTRIAL PARK #100

MAKE READY

PUYALLUP, WA 98371

Engineering

Professional seal

No. Issue Description

**REVIEW SET** 

REVIEW SET

REVIEW SET

REVIEW SET

PERMIT SET

CITY CORRECTION

CD SET

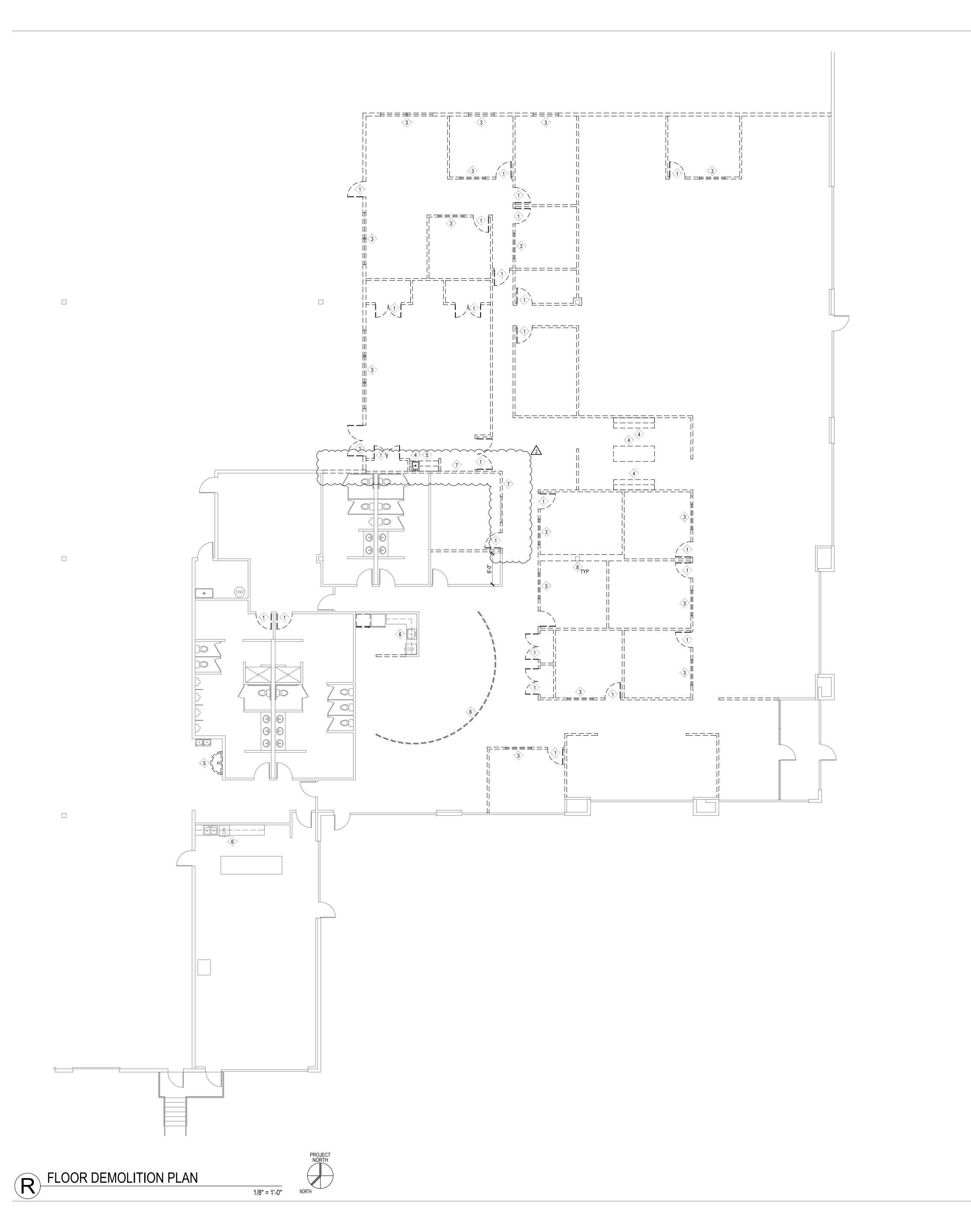
OPERATION OF QUICK CONNECT FITTINGS

PUYALLUP 1

Drawn by: MK Project Manager: SH

PROLOGIS CUSTOMER FINISH STANDARDS

Original drawing is 30" x 42". Scale entities accordingly if reduced



## **DEMOLITION SYMBOLS**

EXISTING CONSTRUCTION TO REMAIN

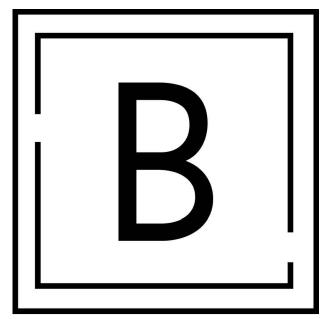
NOT IN CONTRACT, (NIC)

## GENERAL DEMOLITION NOTES

- 1. REFER TO CONSTRUCTION PLAN AND CEILING PLAN FOR EXTENT OF DEMOLITION.
- 2. SAVE AND STORE ALL LIGHT FIXTURES, EXIT SIGNS, DOORS & HARDWARE FOR RE-USE, UON.
- 3. SAVE ALL EXISTING PLUMBING FIXTURES FOR RE-USE, UON.
- 4. REMOVE ALL TELEPHONE, ELECTRICAL, AND DATA OUTLETS, FIXTURES, PANELS, ETC, FROM ALL DEMOLISHED PARTITIONS. REMOVE ALL CORRESPONDING CABLES, CONDUIT, WIRING, ETC. ALL THE WAY BACK TO THE ORIGINATING SOURCE, UON.
  - REMOVE ALL FLOOR FINISHES EXCEPT FOR EXISTING ROOMS NOTED AS NOT IN CONTRACT OR OTHERWISE INDICATED IN THE KEYNOTES. SCRAPE ALL ADHESIVE TO CLEAN FINISH. PATCH AND REPAIR FLOOR SLAB AS REQUIRED TO MAINTAIN A SMOOTH AND EVEN SURFACE. LEAVE FLOOR SLAB IN BROOM SWEPT CLEAN CONDITION TO PREPARE FOR
  - REMOVE ALL WALL FINISHES, WALL BASE AND SKIM WALLS EXCEPT FOR EXISTING ROOMS NOTED AS NOT IN CONTRACT OR OTHERWISE INDICATED IN THE KEYNOTES.

## KEYED SHEET NOTES

- REMOVE DOOR, FRAME, AND HARDWARE TO BE STORED OR RELOCATED AND REINSTALLED WHERE APPLICABLE; VERIFY WITH BUILDING MANAGEMENT. PATCH AND REPAIR SURFACES, AS REQUIRED, FOR NEW CONSTRUCTION AND/OR FINISHES.
- REMOVE STOREFRONT GLAZING, DOOR AND ASSOCIATED SUPPORT. PATCH AND REPAIR SURFACES, AS REQUIRED, FOR NEW CONSTRUCTION AND/OR FINISHES.
- REMOVE RELITE AND FRAME TO BE STORED OR RELOCATED AND REINSTALLED WHERE APPLICABLE; VERIFY WITH BUILDING MANAGEMENT. PATCH AND REPAIR SURFACES, AS REQUIRED, FOR NEW CONSTRUCTION AND/OR FINISHES.
- 4 REMOVE UPPER AND LOWER CASEWORK.
- 5 REMOVE EXISTING PLUMBING FIXTURES, HARDWARE AND ASSOCIATED EQUIPMENT. REMOVE WATER AND DRAIN LINES, NOT TO BE REUSED, AND CAP PLUMBING AS REQUIRED. PATCH AND REPAIR ALL SURFACES AS REQUIRED FOR NEW CONSTRUCTION AND FINISHES.
- 6 UPPER CASEWORK TO REMAIN.
- DEMOLISH AND DISPOSE OF GWB ON THIS SIDE OF EXISTING PARTITION. REMAINDER OF EXISTING WALL TO REMAIN. PREPARE FOR NEW WALL CONSTRUCTION. COORDINATE DEMOLITION WITH CONSTRUCTION PLAN.
- 8 PROTECT EXISTING COLUMN DURING DEMOLITION AND CONSTRUCTION, TYP.



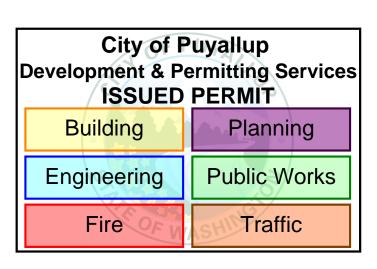
## **BURGESS DESIGN**

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

INTERIORS + ARCHITECTURE

Tenant:
PROLOGIS PUYALLUP 1
MAKE READY
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371

## PRCTI20230310



Professional seal

BRADLEY ROBERT SMITH

No.	Issue Description	Date
	REVIEW SET	01.06.23
	REVIEW SET	01.30.23
	REVIEW SET	02.17.23
	REVIEW SET	02.27.23
	PERMIT SET	03.10.23
	CD SET	03.17.23
2	CITY CORRECTION	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL

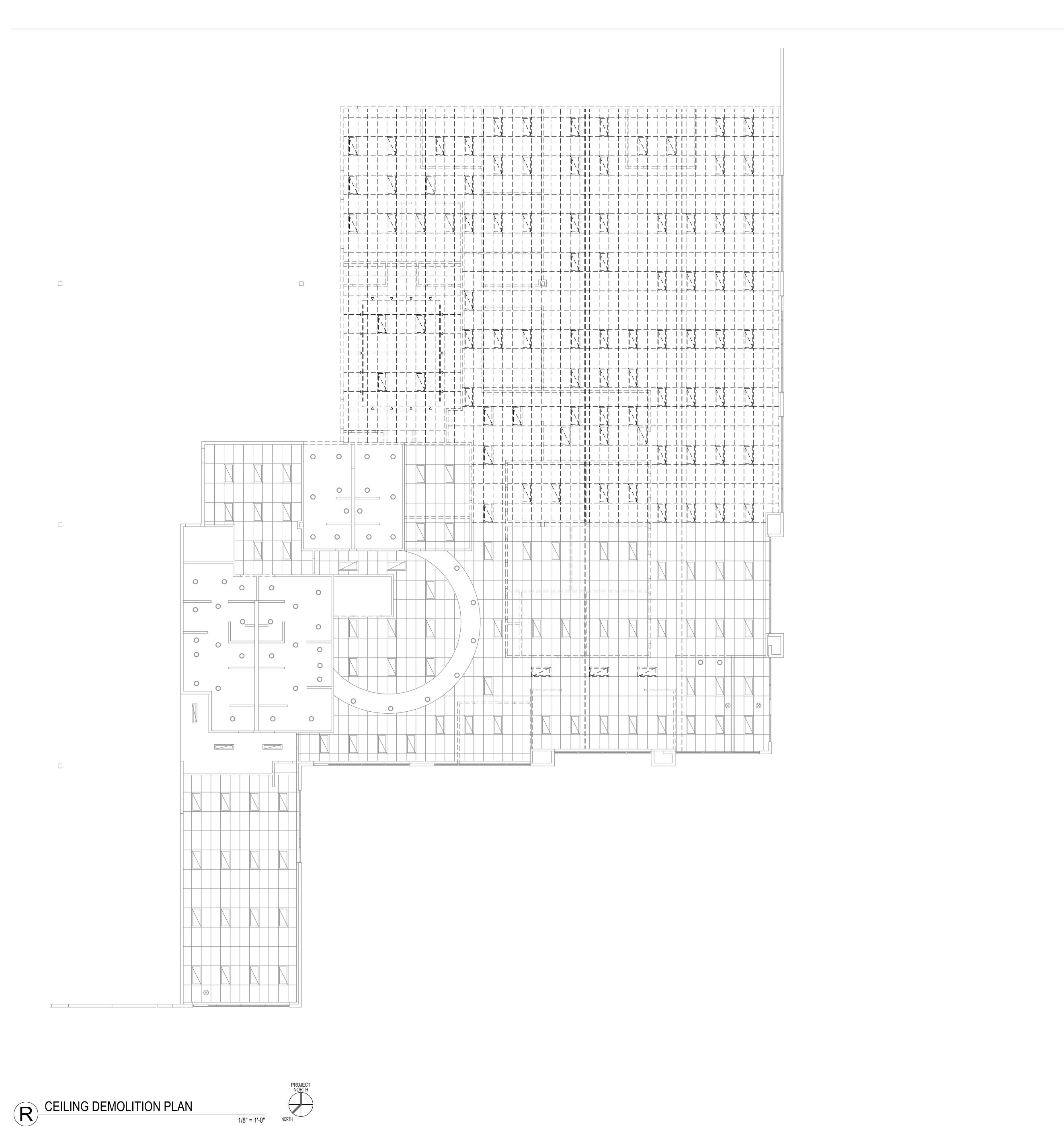
City Electronic Stamp Location

Drawn by: MK Project Manager:

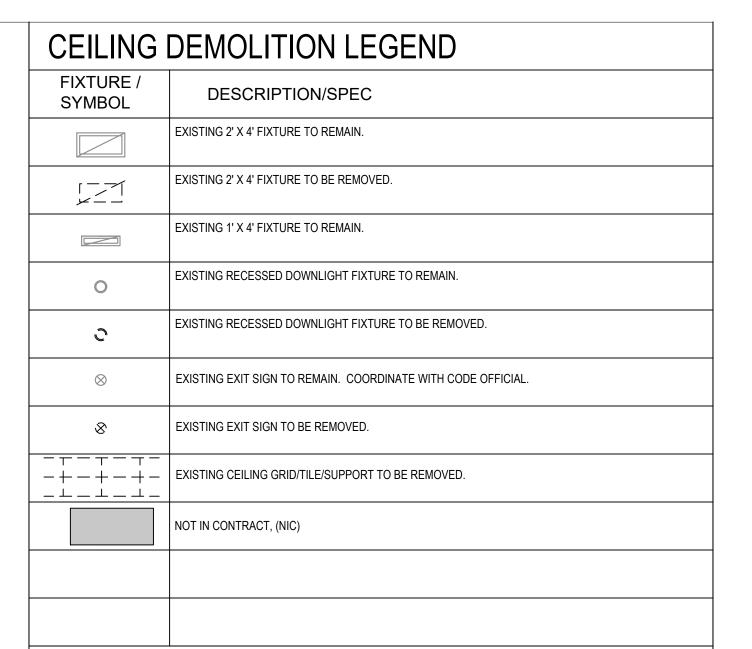
FLOOR DEMOLITION PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

AD101

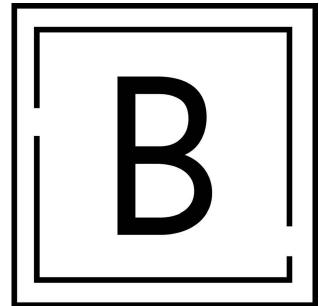


1/8" = 1'-0"



#### **GENERAL CEILING DEMOLITION NOTES**

- REFER TO CONSTRUCTION PLAN AND REFLECTED CEILING PLAN FOR EXTENT OF DEMOLITION.
- 2. SAVE AND STORE ALL LIGHT FIXTURES FOR RE-USE, UON.



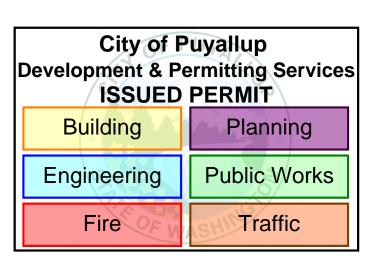
## **BURGESS DESIGN**

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INTERIORS + ARCHITECTURE

PROLOGIS PUYALLUP 1 MAKE READY PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371

## PRCTI20230310



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No.	Issue Description	Date
	REVIEW SET	01.06.2
	REVIEW SET	01.30.2
	REVIEW SET	02.17.2
	REVIEW SET	02.27.2
	PERMIT SET	03.10.2
	CD SET	03.17.2
	CITY CORRECTION	05.19.2

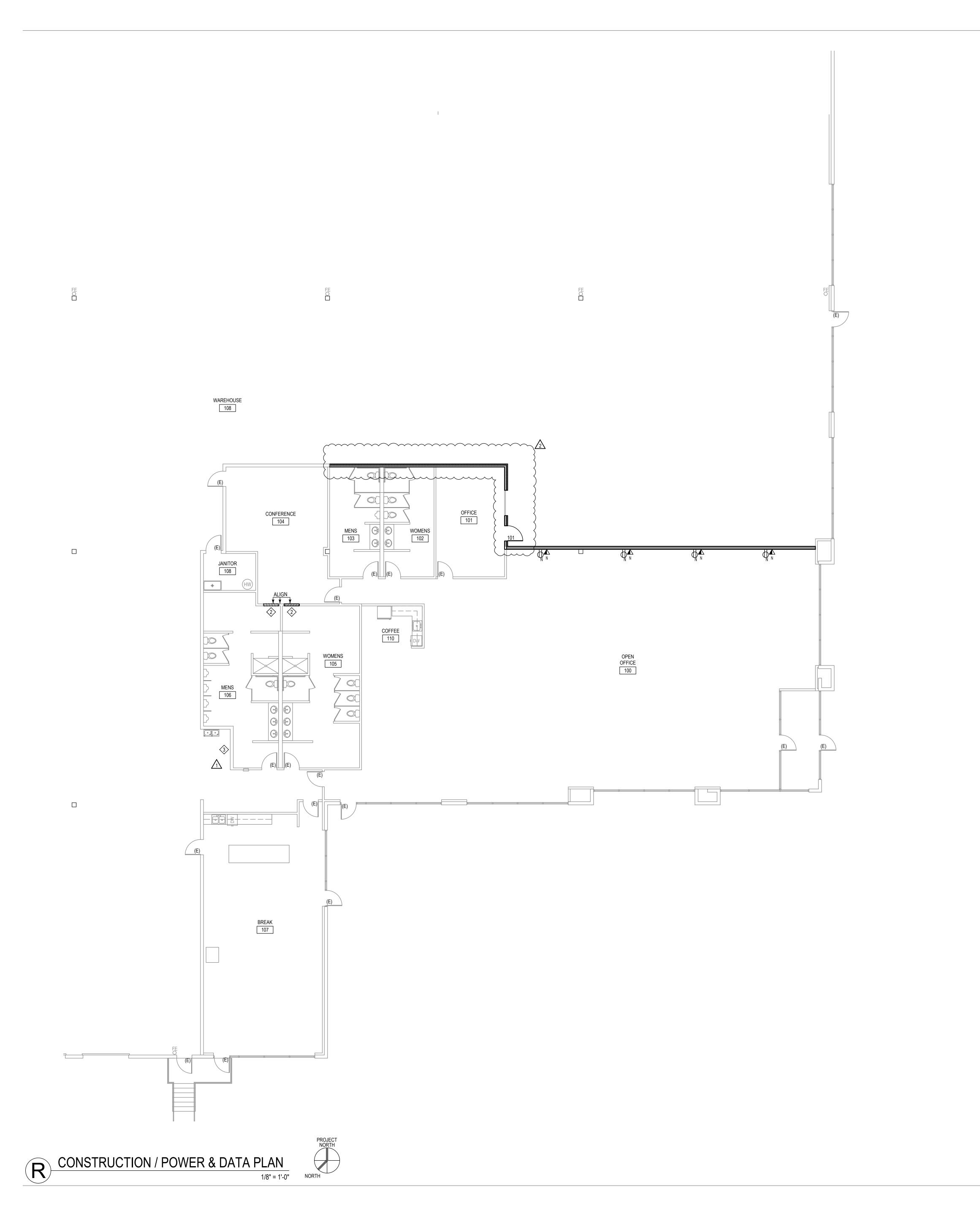
o Location			
	p Location	p Location	p Location

CLIENT APPROVAL City Electronic Stamp Location

CEILING DEMOLITION PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

AD102



## CONSTRUCTION PLAN SYMBOL LEGEND

EXISTING CONSTRUCTION TO REMAIN

NEW INSULATED INTERIOR PARTITION TO STRUCTURE ABOVE (PER DETAIL V/AI300)

NEW INSULATED INTERIOR PARTITION TO STRUCTURE ABOVE, PER DETAIL V/AI300

EXISTING PARTITION EXTENDED TO STRUCTURE ABOVE, PER DETAIL V/AI300

NEW INSULATED INTERIOR INFILL PARTITION CONSTRUCTION.

E.C. NEW OR EXISTING BUILDING STANDARD FIRE EXTINGUISHER CABINET

NEW DOO

NOT IN CONTRACT, (NIC)

## GENERAL CONSTRUCTION PLAN NOTES

- REFER TO PROJECT NOTES FOR CONSTRUCTION REQUIREMENTS.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
   ALL INTERIOR PARTITION, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING SHELL SHALL BE SEALED, GASKETED, OR WEATHER STRIPPED AS REQUIRED TO MEET PARTITION RATINGS.
- 4. WHERE PARTITION LAYOUT INTERSECTS EXISTING SHELL/CORE GYPSUM BOARD, REMOVE EXISTING CORNER BEADS AND OTHER ACCESSORIES, ALIGN FACE OF PARTITIONS, TAPE & SAND SMOOTH FOR NEW FINISH.
- 5. PROVIDE PARTITION ANCHOR BRACKETS FOR ALL CASEWORK, FIXTURES, EQUIPMENT, & DEVICES MOUNTED ON OR ATTACHED TO PARTITIONS.
- 6. PARTITIONS ARE TO BE BUILDING STANDARD FLOOR TO CEILING PARTITIONS, UON. SEE TYPICAL WALL DETAIL SHEET FOR MORE INFORMATION.
- 7. DOORS AND CASED OPENINGS WITHOUT DIMENSIONS OR DETAILS ARE TO BE LOCATED 4" FROM ADJACENT WALL OR MATCH EXISTING SUITE STANDARD.

## WALL MOUNTED DEVICES

SYMBOL	DESCRIPTION
$\bigcirc \bigcirc \blacksquare_{\mathbf{\Lambda}}$	EXISTING TO REMAIN
₩	DUPLEX OUTLET ( # DENOTES MOUNTING HT IN INCHES)
lacktriangle	VOICE & DATA COMBINATION OUTLET

## MISC. NOTATION

DENOTES A NEW DEVICE

## GENERAL ELECTRICAL PLAN NOTES

- REFER TO PROJECT NOTES FOR CONSTRUCTION REQUIREMENTS.
- 2. ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE WORKING CONDITION OF ALL EXISTING OUTLETS NOTED TO REMAIN.
- 3. ALL OUTLETS SHOWN ARE APPROXIMATE. DUE TO HIDDEN CONDITIONS ADDITIONAL P/P/D MAY EXIST, BUT NOT BE REFLECTED ON THE PLANS.
- 4. FURNITURE SHOWN FOR INTENT ONLY. FINAL LOCATION OF FURNITURE AND OUTLETS TO BE COORDINATED WITH TENANT'S FURNITURE VENDOR. VERIFY ELECTRICAL AND VOICE/DATA REQUIREMENTS WITH TENANT.
- 5. UNLESS DIRECTED OTHERWISE, ALL VOICE/DATA CABLING AND EQUIPMENT ASSOCIATED WITH VOICE/DATA SERVICE INCLUDING WORK FROM BUILDING/FLOOR D-MARK TO SERVER ROOM SHALL BE FURNISHED AND INSTALLED BY TENANT.
- 6. REFER TO DETAIL C/Al600 FOR GENERAL DEVICE ALIGNMENT.

## KEYED CONSTRUCTION PLAN SHEET NOTES

- 2> INFILL EXISTING PARTITION TO MATCH EXISTING ADJACENT WALL CONSTRUCTION SO FINISH ALIGNS ON EACH SIDE OF WALL.
- LOWER EXISTING DOMESTIC WATER VALVE DOWN TO 6' 8' IN WALL AND PROVIDE ACCESS PANEL AS REQUIRED.

В

## **BURGESS DESIGN**

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

INTERIORS + ARCHITECTURE

Tenant:
PROLOGIS PUYALLUP 1
MAKE READY
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371

## PRCTI20230310

City of Puyallup
Development & Permitting Services
ISSUED PERMIT
Building Planning
Engineering Public Works
Fire Traffic

Professional seal

6709

REGISTERED

ARCHITECT

PORTER SALIENT

 No.
 Issue Description
 Date

 REVIEW SET
 01.06.23

 REVIEW SET
 01.30.23

 REVIEW SET
 02.17.23

 REVIEW SET
 02.27.23

 PERMIT SET
 03.10.23

 CD SET
 03.17.23

 CITY CORRECTION
 05.19.23

STATE OF WASHINGTON

City Electronic Stamp Location

CLIENT APPROVAL DATE

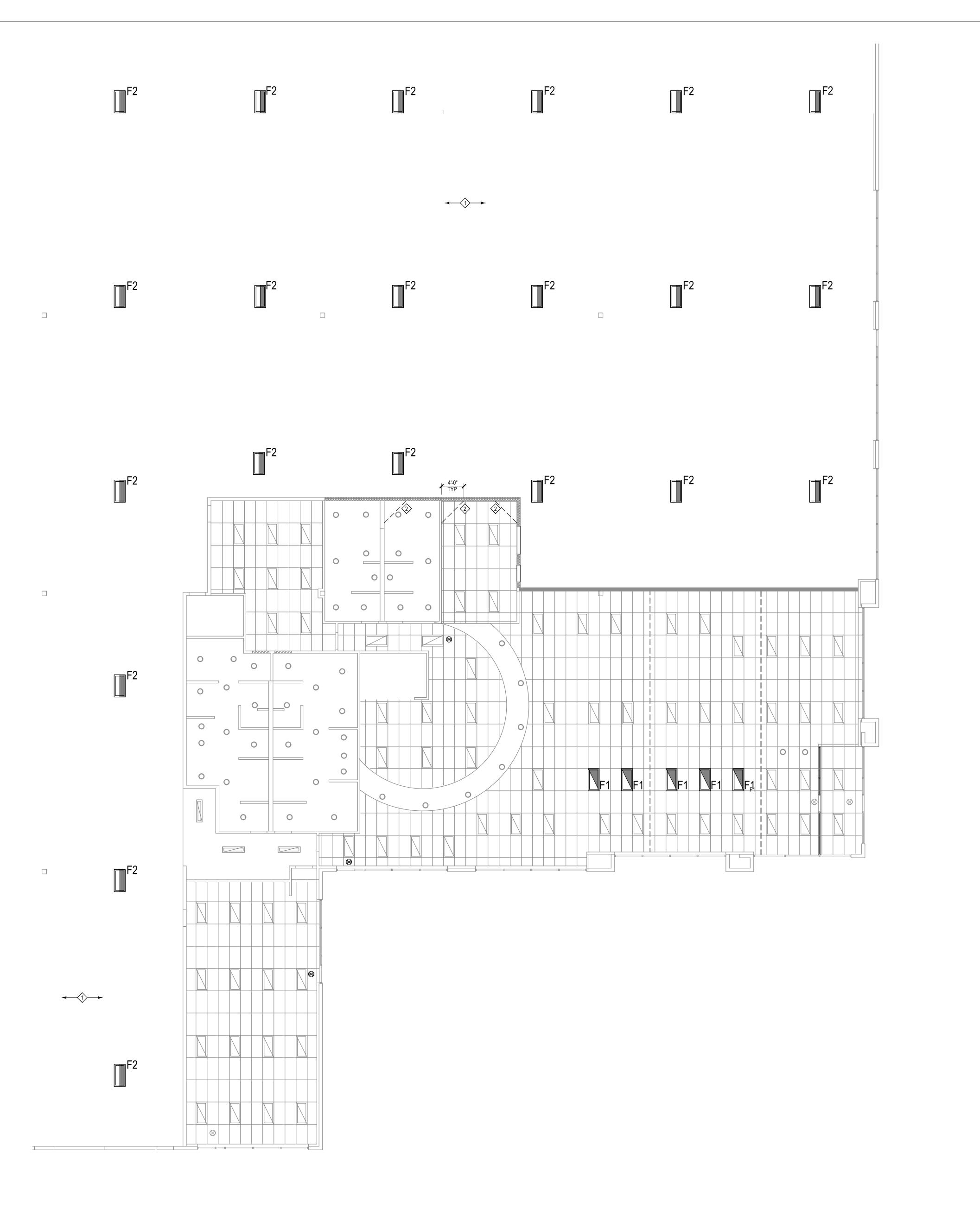
Drawn by: MK Project Manager: SH

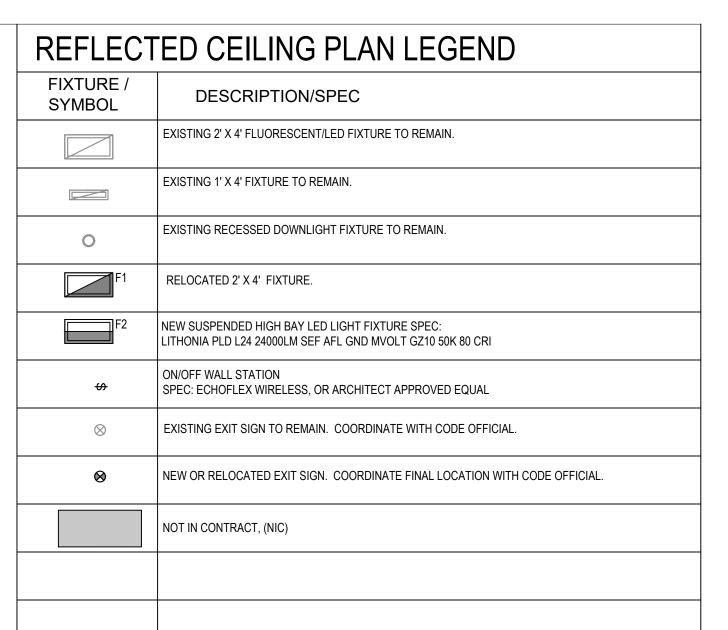
Project No: 22.0243.00

CONSTRUCTION / POWER & DATA PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

AI101





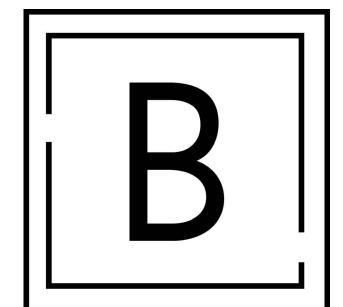
## GENERAL RCP NOTES

- 1. REFER TO PROJECT NOTES FOR CONSTRUCTION REQUIREMENTS.
- 2. ARCHITECTURAL REFLECTED CEILING PLANS INDICATE TYPE AND LOCATION OF LIGHT FIXTURES. REFER TO DESIGN BUILD ELECTRICAL DRAWINGS AND DESIGN BUILD LIFE SAFETY FOR COMPLETE REFLECTED CEILING PLAN DESIGN.
- 3. LIGHT SWITCHES ARE SHOWN FOR LOCATION AND DESIGN INTENT ONLY. REFER TO ELECTRICAL DESIGN BUILD FOR SPECIFIC LOCATION AND SWITCHING DIAGRAMS.
- 4. UNLESS OTHERWISE NOTED, MULTIPLE SWITCHES IN A SINGLE LOCATION SHALL BE GANGED IN A SINGLE BOX AND COVERED WITH A SINGLE COVERPLATE.
- 5. CLEAN, REPAIR OR REPLACE AS REQUIRED ALL EXISTING SUSPENDED CEILING GRID AND TILES EXISTING TO REMAIN.6. HVAC CONTRACTOR TO CLEAN ALL EXISTING SUPPLY/RETURN GRILLS PRIOR TO COMPLETION OF PROJECT.
- 7. ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE COUNTS OF EXISTING FIXTURES TO BE
- 8. ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR PROVIDING CUT SHEETS TO DESIGNER FOR ALL FIXTURES DESIGNATED AS NEW.
- PROVIDE EGRESS ILLUMINATION PER IBC 1008. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THIS SYSTEM UNDER THE DESIGN BUILD CONTRACT. VERIFY WITH BUILDING MANAGEMENT'S EXISTING SYSTEM AND PROVIDE FULL COMPLIANCE
- 10. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE (11 LUX) AT THE WALKING SURFACE.

## KEYED RCP SHEET NOTES

- REFER TO SHEET AI132 FOR WAREHOUSE LIGHTING LAYOUT AND ADDITIONAL INFORMATION.
- (2) HORIZONTAL METAL STUD CROSS BRACE.

TO NEW TENANT SPACE.



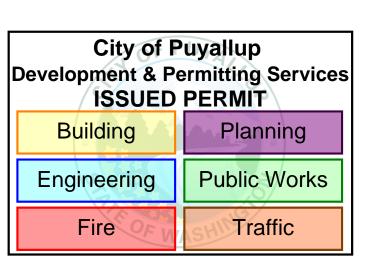
## **BURGESS DESIGN**

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INTERIORS + ARCHITECTURE

Tenant:
PROLOGIS PUYALLUP 1
MAKE READY
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371

## PRCTI20230310



Professional seal

REGISTERED ARCHITECT

BRADLEY ROBERT SMITS
STATE OF WASHINGTON

No.	Issue Description	Date
	REVIEW SET	01.06.2
	REVIEW SET	01.30.2
	REVIEW SET	02.17.2
	REVIEW SET	02.27.2
	PERMIT SET	03.10.2
	CD SET	03.17.2
	CITY CORRECTION	05.19.2

City Electronic Stamp Location

CLIENT APPROVAL DATE

City Electronic Stamp Location

rawn by: MK Project Manager: SH
oject No: 22.0243.00

REFLECTED CEILING
PLAN - OFFICE

Original drawing is 30" x 42". Scale entities accordingly if reduced

AI131



REFLECTED CEILING PLAN - OFFICE

										<b>II</b> <sup>F2</sup>	<b>1</b> F2
										<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>
<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<u>r</u>	F2	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>F2</sup>
□ □F2	<b>∏</b> <sup>F2</sup> □	<b>□</b> <sup>F2</sup>	<b>∏</b> F2 □	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup> □	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup> □	<b>1</b> F2			
<b>□</b> F2	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>F</b> <sup>2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>2</sup>	25'-4 TYF	D"   F2	<b>□</b> <sup>F2</sup>	10'-10" F2
□F <sup>2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	F2	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	□ F2	<b>□</b> <sup>F2</sup>	<b>□</b> F2
□ F <sup>2</sup>	□ F2	<b>□</b> <sup>F2</sup>	F2	<b>□</b> <sup>F2</sup>	□ F2	<b>□</b> <sup>F2</sup>	<b>F</b> <sup>2</sup>	<b>1</b> F2	□ <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>1</b> F2
□F <sup>2</sup>	<b>□</b> <sup>F2</sup>		<b>I</b> F2		<b>1</b> F2		<b>□</b> <sup>F2</sup>		<b>□</b> <sup>F2</sup>		<b>□</b> F2
<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>II</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> F2
□F <sup>2</sup>		<b>□</b> <sup>F2</sup>	F <sup>2</sup>	<b>□</b> <sup>F2</sup>	□ F2	<b>□</b> <sup>F2</sup>	□F2	<b>□</b> F2	□F2	<b>□</b> <sup>F2</sup>	<b>1</b> F2
DF <sup>2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>I</b> F <sup>2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>1</b> F2
□F <sup>2</sup>	<b>■</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>F</b> <sup>2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>		F2 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	F2	<b>□</b> <sup>F2</sup>	F <sup>2</sup>
<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>T</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup>			NF1		
p IIF2	<b>∏</b> F2 □	<b>□</b> <sup>F2</sup>	<b>F</b> <sup>2</sup> •	<b>□</b> <sup>F2</sup>	<b>□</b> <sup>F2</sup> □	<b>□</b> <sup>F2</sup>					
<b>□</b> <sup>F2</sup>	<b>□</b> F2	<b>□</b> F2	<b>□</b> F2	<b>1</b> F2	<b>□</b> F2	<b>□</b> <sup>F2</sup>		R Al131			

REFLECT	TED CEILING PLAN LEGEND
FIXTURE / SYMBOL	DESCRIPTION/SPEC
	EXISTING 2' X 4' FLUORESCENT/LED FIXTURE TO REMAIN.
	EXISTING 1' X 4' FIXTURE TO REMAIN.
0	EXISTING RECESSED DOWNLIGHT FIXTURE TO REMAIN.
F1	RELOCATED 2' X 4' FIXTURE.
F2	NEW SUSPENDED HIGH BAY LED LIGHT FIXTURE SPEC: LITHONIA PLD L24 24000LM SEF AFL GND MVOLT GZ10 50K 80 CRI
₩	ON/OFF WALL STATION SPEC: ECHOFLEX WIRELESS, OR ARCHITECT APPROVED EQUAL
$\otimes$	EXISTING EXIT SIGN TO REMAIN. COORDINATE WITH CODE OFFICIAL.
⊗	NEW OR RELOCATED EXIT SIGN. COORDINATE FINAL LOCATION WITH CODE OFFICIAL.
	NOT IN CONTRACT, (NIC)

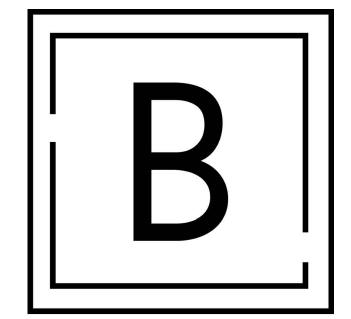
## GENERAL RCP NOTES

TO NEW TENANT SPACE.

SURFACE.

- 1. REFER TO PROJECT NOTES FOR CONSTRUCTION REQUIREMENTS.
- 2. ARCHITECTURAL REFLECTED CEILING PLANS INDICATE TYPE AND LOCATION OF LIGHT FIXTURES. REFER TO DESIGN BUILD ELECTRICAL DRAWINGS AND DESIGN BUILD LIFE SAFETY FOR COMPLETE REFLECTED CEILING PLAN DESIGN.
- 3. LIGHT SWITCHES ARE SHOWN FOR LOCATION AND DESIGN INTENT ONLY. REFER TO ELECTRICAL DESIGN BUILD FOR SPECIFIC LOCATION AND SWITCHING DIAGRAMS.
- 4. UNLESS OTHERWISE NOTED, MULTIPLE SWITCHES IN A SINGLE LOCATION SHALL BE GANGED IN A SINGLE BOX AND COVERED WITH A SINGLE COVERPLATE.
- 5. CLEAN, REPAIR OR REPLACE AS REQUIRED ALL EXISTING SUSPENDED CEILING GRID AND TILES EXISTING TO REMAIN.
- HVAC CONTRACTOR TO CLEAN ALL EXISTING SUPPLY/RETURN GRILLS PRIOR TO COMPLETION OF PROJECT.
   ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE COUNTS OF EXISTING FIXTURES TO BE RELOCATED.
- 8. ELECTRICAL SUB-CONTRACTOR IS RESPONSIBLE FOR PROVIDING CUT SHEETS TO DESIGNER FOR ALL FIXTURES
- DESIGNATED AS NEW.

  9. PROVIDE EGRESS ILLUMINATION PER IBC 1008. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THIS SYSTEM UNDER THE DESIGN BUILD CONTRACT. VERIFY WITH BUILDING MANAGEMENT'S EXISTING SYSTEM AND PROVIDE FULL COMPLIANCE
- 10. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE (11 LUX) AT THE WALKING



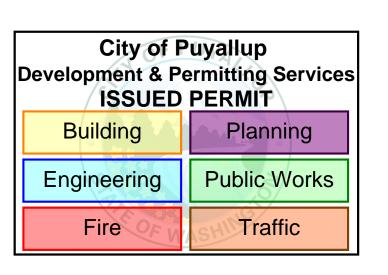
# **BURGESS DESIGN**

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

INTERIORS + ARCHITECTURE

Tenant:
PROLOGIS PUYALLUP 1
MAKE READY
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371

## PRCTI20230310



Professional seal

REGISTERED ARCHITECT

BRADLEY ROBERT SMITH STATE OF WASHINGTON

Issue Description	Date
issue Description	Date
REVIEW SET	01.06.23
REVIEW SET	01.30.23
REVIEW SET	02.17.23
REVIEW SET	02.27.23
PERMIT SET	03.10.23
CD SET	03.17.23
CITY CORRECTION	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL DAT

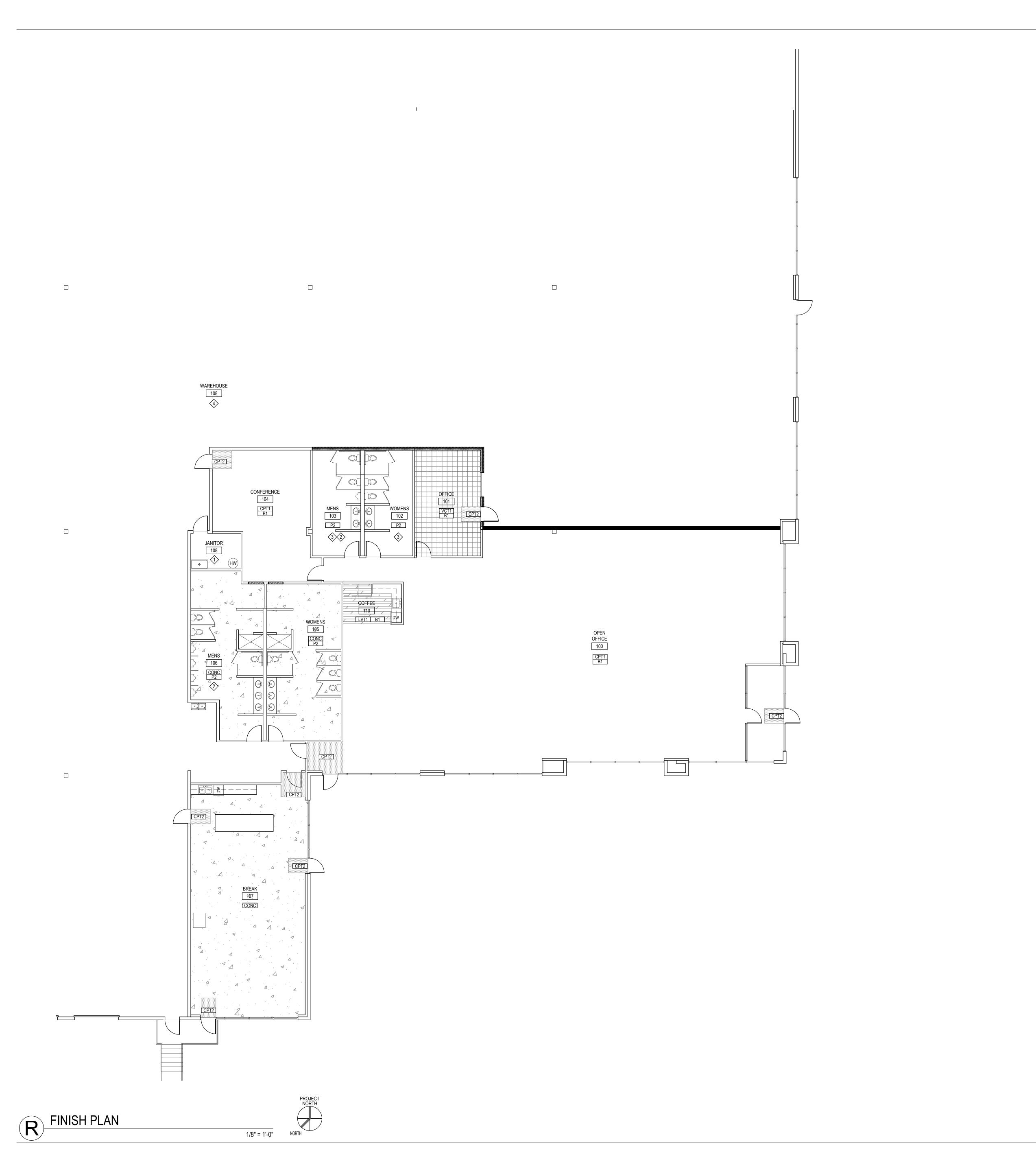
City Electronic Stamp Location

Orawn by: MK Project Manager: SH

REFLECTED CEILING PLAN -WAREHOUSE

Original drawing is 30" x 42". Scale entities accordingly if reduced

AI132







P2	FIELD PAINT - ALL RESTROOMS	SHERWIN WILLIAMS	COLOR: SNOWBOUND, SW 7004 FINISH: EGGSHELL	AT WALLO.
CARPE	T			
CPT1		PATCRAFT	STYLE: MODERN 00550 COLOR: PEWTER SPICE 801G5 INSTALLED: ASHLAR - DIRECT GLUE	
CPT2		TBD	STYLE: WALK OFF MATT COLOR: TBD INSTALLED: DIRECT GLUE	

# RUBBER BASE PATCRAFT COVE BASE: SMOKEY 00760 S042V LVT FLOORING

LVT1		PATCRAFT	STYLE: LVP 1431V COLOR: NICKEL 00550
VCT FI	LOORING		
VCT1		ARMSTRONG	STYLE: IMPERIAL COLOR: SMOKEY BROWN 51868
CONC	RETE		

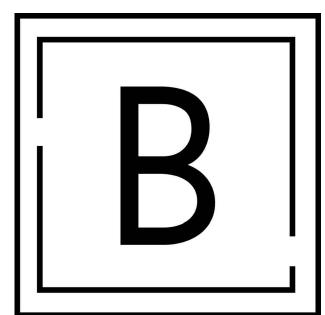
EXISTING CONCRETE FLOORING TO BE CLEANED AND POLISHED

## GENERAL FINISH NOTES

- 1. PROVIDE B1 THROUGHOUT, UON.
- 2. PROVIDE P1 THROUGHOUT, UON.
- 3. PROVIDE CPT1 THROUGHOUT, UON.
- 4. REFER TO ELEVATION AND DETAIL SHEETS.
- 5. CENTER TRANSITION BETWEEN MATERIALS UNDER DOOR, PER DETAILS. REFER TO PROLOGIS CUSTOMER STANDARD FINISH FOR TRANSITION STRIPS SPEC.

## **KEYED SHEET NOTES**

- 1 NO CHANGE TO EXISTING FINISHES.
- 2 EXISTING TOUCHLESS FAUCET TO REMAIN IN MEN'S RESTROOMS.
- 3 EXISTING TILE FLOOR TO REMAIN AS-IS.
- CLEAN AND REPAIR CONCRETE FLOORING AT AREAS OF DEMOLITION TO MATCH EXISTING WASHOUSE FLOORING CONDITION AND FINISH.



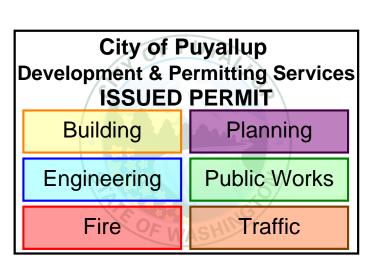
## **BURGESS DESIGN**

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BRADLEY ROBERT SMITH STATE OF WASHINGTON

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1	CD SET	03.17.23
	CITY CORRECTION	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL DATE

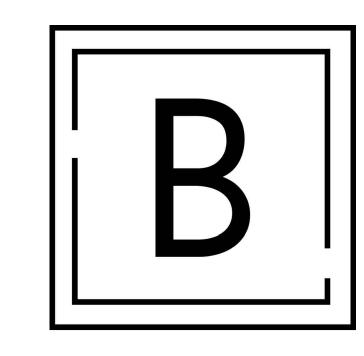
City Electronic Stamp Location

wn by: MK Project Manager: SH

FINISH PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced



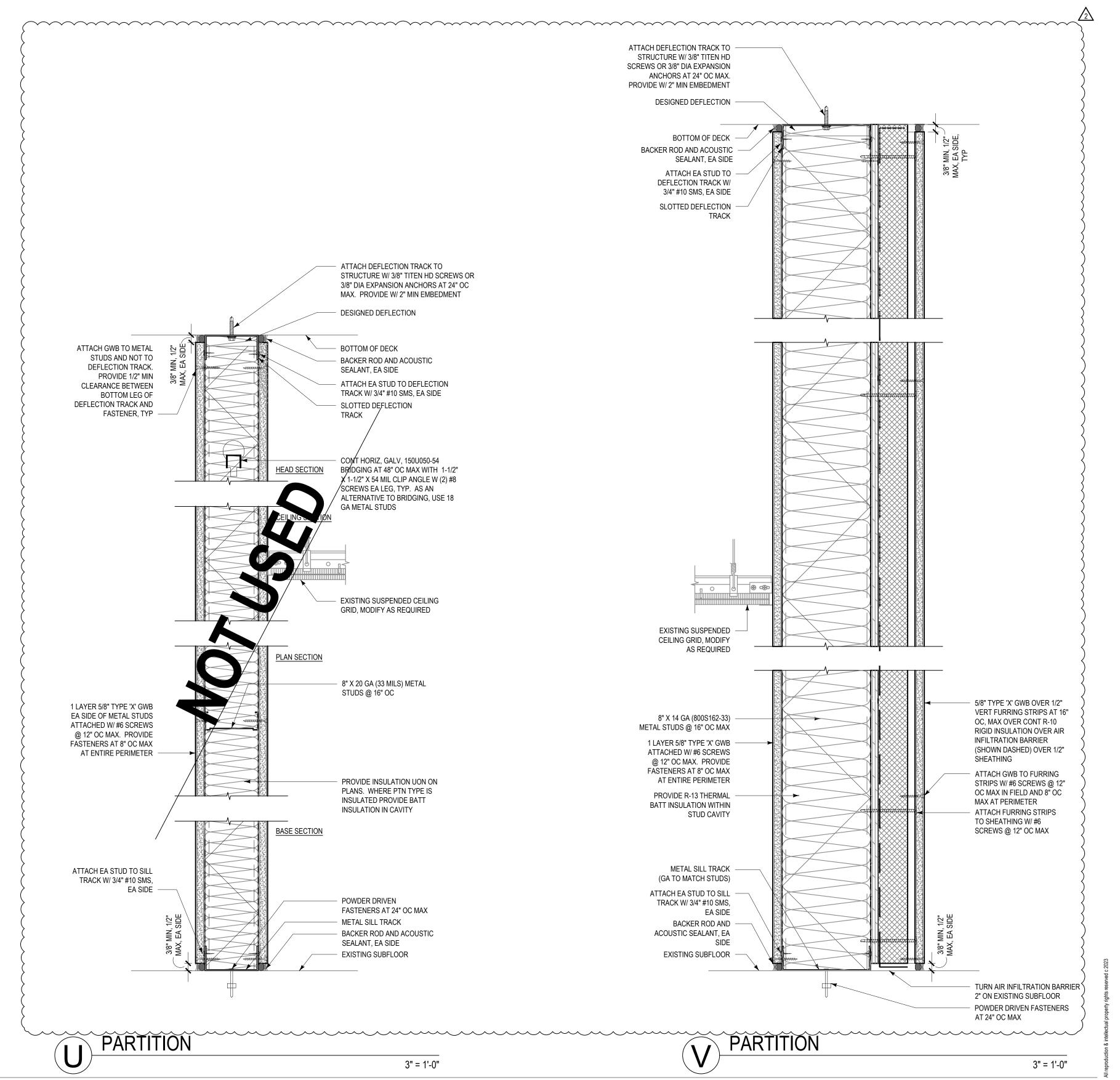


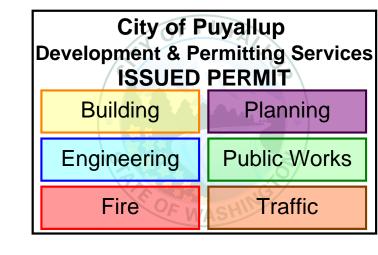
## **BURGESS DESIGN**

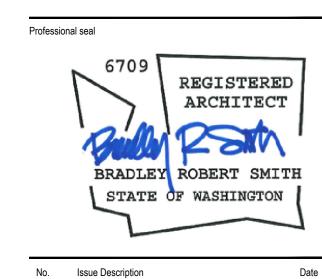
1200 5th Ave Suite 400 Seattle WA | 206.587.7120

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	REVIEW SET REVIEW SET	01.06.23 01.30.23
	REVIEW SET	02.17.23
	REVIEW SET	02.27.23
	PERMIT SET	03.10.23
	CD SET	03.17.23
2	CITY CORRECTION	05.19.23

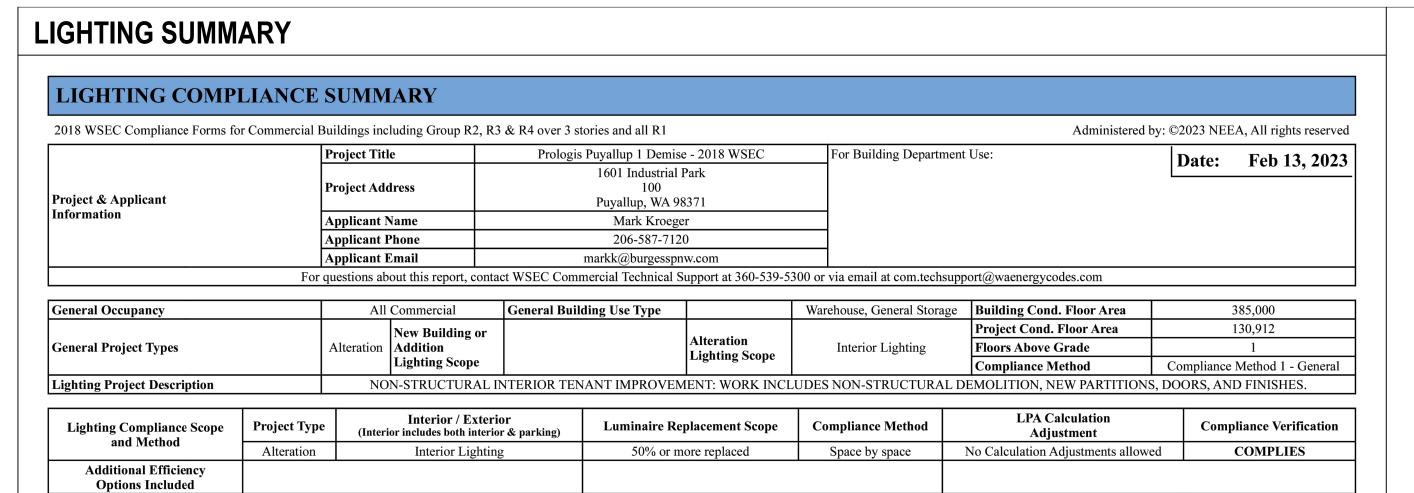
City Electronic Stamp Location	
CLIENT APPROVAL	DATE

awn by:	MK	Project Manager:	SH	
oject No:	22.0243.00			

## SECTIONS

Original drawing is 30" x 42". Scale entities accordingly if reduced

AI300



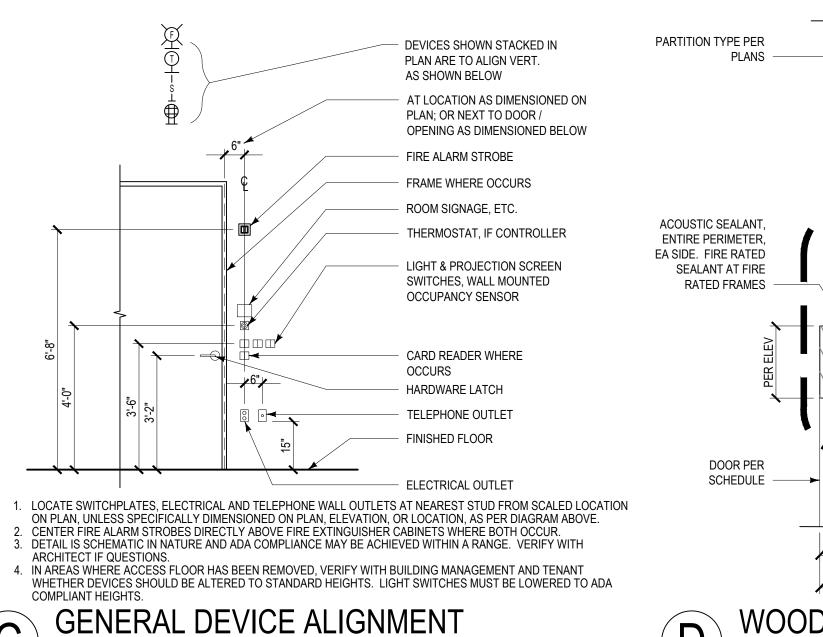
Date | Feb 13, 2023

ighting Power Calculation	on ALTER	ATION - INT	TERIOR LIGH	HTING (50% or more r	eplaced)		Compliance Verification	COMPLIES
ompliance Method		Space	by space		LPA Calculation Adjustme	nt		none
		•						•
			Ir	iterior Lighting Power Allov	wance - Space by Space			
General Space Type	Specific Space T	уре	Ceiling Height (Ft)	Gross Interior Area (SF	LPA (Watts/SF)	Total Watts A (SF x LPA	Total Proposed Watts (LPD + Display LPD)	Compliance Status
Lounge/breakroom	General			1,659	0.59	979		
Office	Enclosed > 250	sf		293	0.66	193		
Office	Open plan			4,158	0.61	2,536		
Restroom	General			1,285	0.63	810		
Storage room	50-100 sf			75	0.38	29		
Warehouse/storage area	Medium to bulky pallet	ized items		123,439	0.33	40,735		
					Proposed Total LPD	)	28566	
		Totals				45,282	28,566	COMPLIES
		•						
				Droposed Lighting I	Power Density			

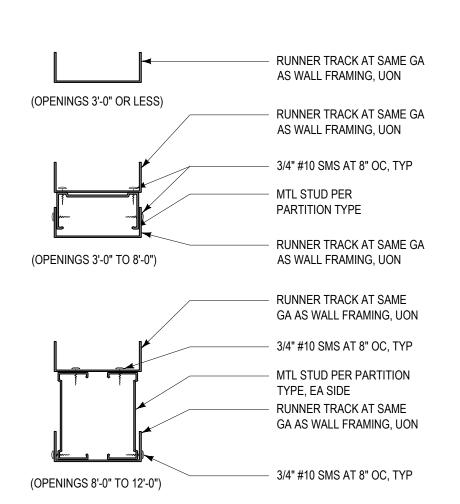
**Project Title** Prologis Puyallup 1 Demise - 2018 WSEC

Fixture ID	Quantity of Fixtures (#F)	Watts or Wattage Limit per Fixture (WpF)	Total Linear Feet (LF)	Watts per Linear Foot (WpLF)	Total Watts Proposed (#F x WpF) or (LF x WpLF)
1x4 Light Fixture	3	64			192
2x4 Light Fixture	79	64			5,056
Recessed Downlight	49	32			1,568
Suspended Highbay LED Fixture	145	150			21,750
				Proposed Total LPD	28566
	1x4 Light Fixture 2x4 Light Fixture Recessed Downlight	Fixture ID         Fixtures (#F)           1x4 Light Fixture         3           2x4 Light Fixture         79           Recessed Downlight         49	Fixture ID  Quantity of Fixtures (#F)  1x4 Light Fixture  3 64  2x4 Light Fixture  79 64  Recessed Downlight  49 32	Fixture ID  Quantity of Fixtures (#F)  Quantity of Fixture (#F)  Per Fixture (WpF)  1x4 Light Fixture  3 64  2x4 Light Fixture  79 64  Recessed Downlight  49 32	Fixture ID  Quantity of Fixtures (#F)  Quantity of Fixture (WpF)  Wattage Limit per Fixture (WpF)  1x4 Light Fixture  3 64  2x4 Light Fixture  79 64  Recessed Downlight  49 32  Suspended Highbay LED Fixture  145 150

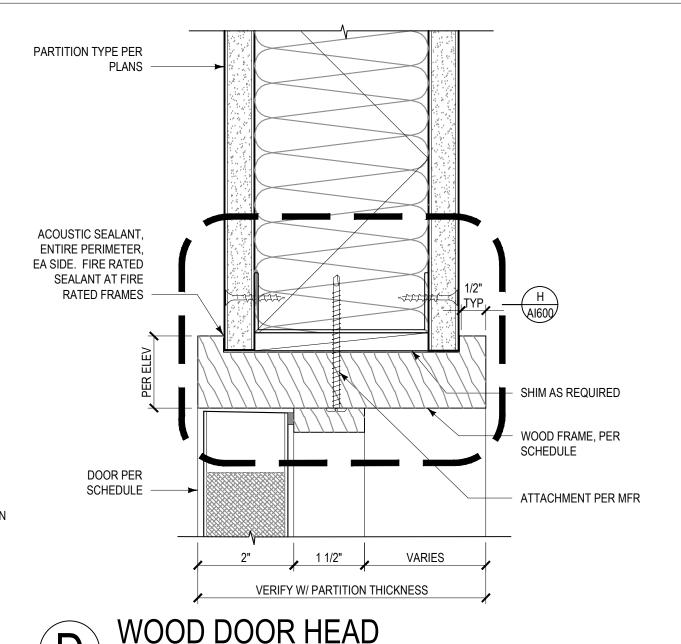
Project Title P	Prologis Pu	ıyallup 1 De	emise - 2018 WSEC					Date	Feb 13, 2023
<b>Proposed Fixtures Deta</b>	ails	ALT	TERATION - INTERIOR LI	GHTING (50% or more repla	aced)				
Fixture Type/Applica	ation		Fixture ID	<b>Location in Documents</b>	Lamp Type			New or Existing-to-Re	main
Individual Fixtures									
Horizontal sur	rface-mount		1x4 Light Fixture	AI131/AI132	T-8 Fluorescent			Existing	
	]	Fixture Descrip	otion: 1x4 Light Fixture			Are th	nese fixtures located	within a daylight zone	?: No
	Do these fixtures require specific application lighting controls?: None required								
	Troffer		2x4 Light Fixture	AI131/AI132	LED			Existing	
	Fixture Description: 2x4 Light Fixture					Are th	nese fixtures located	within a daylight zone	?:
	]	Do these fixture	es require specific application lighti	ng controls?:					
Recessed	d downlight	F	Recessed Downlight	AI131/AI132	Compact Fluorescent			Existing	
	Fixture Description: Recessed Downlight					Are these fixtures located within a daylight zone?: No			
	Do these fixtures require specific application lighting controls?: None required								
	Suspended Suspended Highbay LED Fixture AI131/AI132 LED							New	
	]	Fixture Descrip	otion: Suspended Highbay LED Fix	ture		Are these fixtures located within a daylight zone?: No			
	]	Do these fixture	es require specific application lighti	ng controls?: None required					

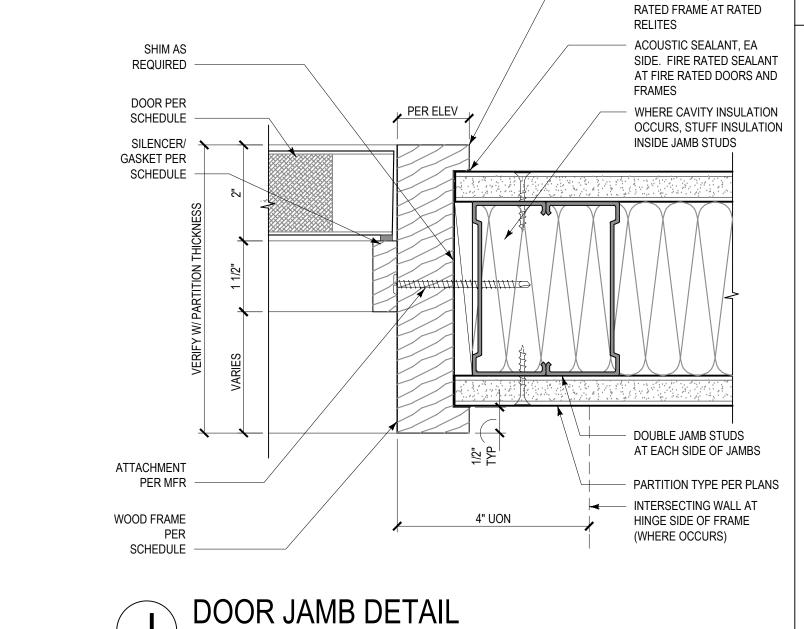


NTS









# DOOR & HARDWARE GENERAL NOTES

DOOR SCHEDULE

101 OFFICE

**DOOR TYPES** 

WIDTH

6" = 1'-0"

3" = 1'-0"

WOOD FRAME; PROVIDE

- SEE BUILDING STANDARD AND HARDWARE SPECIFICATIONS FOR HARDWARE, TYPES AND INSTALLATION.
   DOOR WIDTH & HEIGHT ARE NOMINAL DIMENSIONS FROM JAMB TO JAMB AND FINISH FLOOR TO BOTTOM OF FRAME AT HEAD. REFER TO SPECIFICATIONS FOR CLEARANCES.
- HEAD. REFER TO SPECIFICATIONS FOR CLEARANCES.

  3. DOUBLE DOOR NOMINAL WIDTH INDICATES 2 DOOR LEAVES OF EQUAL WIDTH, UON.
- 4. DOOR CONSTRUCTION SHALL PROVIDE ATTACHMENT OF ALL HARDWARE WITHOUT THROUGH BOLTS.

| EXIST | EXIST | A | EXIST | WD | -

SUITE STANDARD

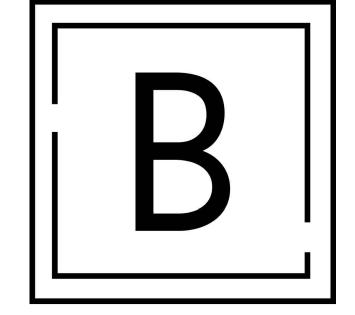
RELOCATED SUITE

WOOD DOOR

STANDARD FLUSH S.C.

- 5. DOOR / HARDWARE SHALL COMPLY WITH ALL APPLICABLE IBC & ACCESSIBILITY REQUIREMENTS.
- 6. FOR OPENINGS LOCATED WITHIN CEILING HEIGHT AND FULL HEIGHT PARTITIONS, PROVIDE DOUBLE JAMB STUDS ON EA SIDE OF OPENING, UON. JAMB STUDS TO MATCH STUD WIDTH AND GAUGE USED AT PARTITION.
- 7. FOR OPENINGS LESS THAN 12'-0" IN LENGTH AND LOCATED WITHIN FULL HEIGHT PARTITIONS, PROVIDE 18 GA, FULL HT DOUBLE JAMB STUDS AND 18 GA HEADER FRAMING IN LIEU OF KICKER BRACING, UNLESS BRACING IS OTHERWISE INDICATED IN OPENING DETAILS. REFER TO DETAIL H/AI600 FOR HEADER FRAMING. REFER TO DOOR/SIDELIGHT TYPE ELEVATIONS FOR ADDITIONAL INFORMATION.

NEW FRAME / RELOCATED DOOR AND HARDWARE



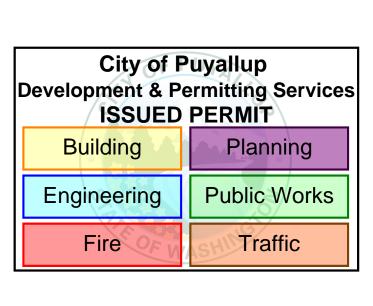
## **BURGESS DESIGN**

INTERIORS + ARCHITECTURE

1200 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant:
PROLOGIS PUYALLUP 1
MAKE READY
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PUYALLUP, WA 98371

## PRCTI20230310



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6709

REGISTERED ARCHITECT

BRADLEY ROBERT SMITH STATE OF WASHINGTON

No.	Issue Description	Date
	REVIEW SET	01.06.23
	REVIEW SET	01.30.23
	REVIEW SET	02.17.23
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	PERMIT SET	03.10.23
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	CITY CORRECTION	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL

DATE

City Electronic Stamp Location

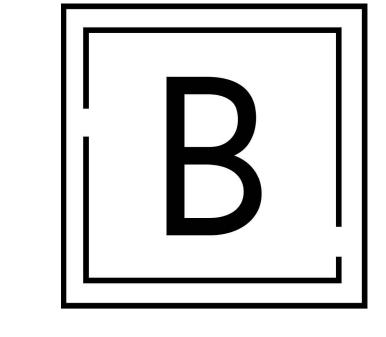
Drawn by: Project Manager: SH

Project No: 22.0243.00

DOOR SCHEDULES & DETAILS / LIGHTING SCHEDULE

Original drawing is 30" x 42". Scale entities accordingly if reduced

AI600

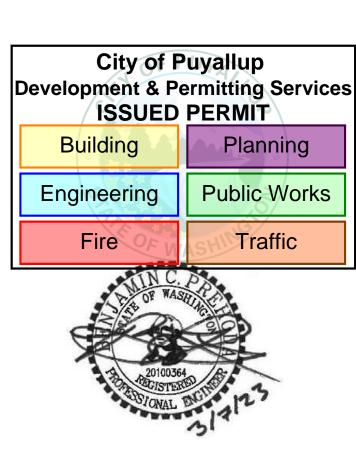


**BURGESS DESIGN** INTERIORS + ARCHITECTURE

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371





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No. Issue Description

03.10.23 PERMIT SET 04.12.23 1 REVISION 1

City Electronic Stamp Location

City Electronic Stamp Location

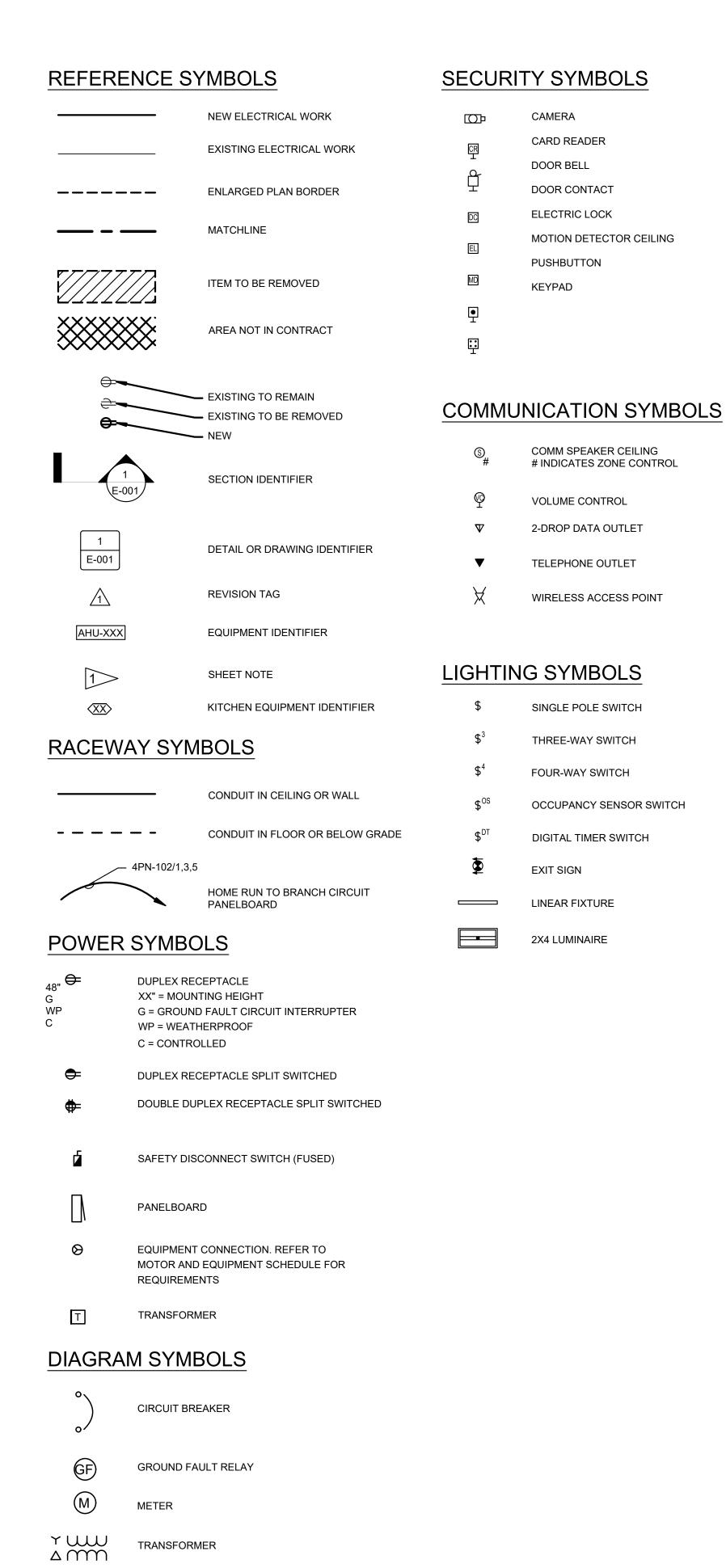
CLIENT APPROVAL

Project No: 22.0243.00

**ELECTRICAL** SYMBOLS & **ABBREVIATIONS** 

Original drawing is 30" x 42". Scale entities accordingly if reduced

E0.1



GROUND

CURRENT TRANSFORMER

#### **SECURITY SYMBOLS ELECTRICAL GENERAL NOTES:**

CAMERA

CARD READER

DOOR CONTACT

ELECTRIC LOCK

PUSHBUTTON

KEYPAD

MOTION DETECTOR CEILING

COMM SPEAKER CEILING

VOLUME CONTROL

2-DROP DATA OUTLET

TELEPHONE OUTLET

SINGLE POLE SWITCH

THREE-WAY SWITCH

FOUR-WAY SWITCH

OCCUPANCY SENSOR SWITCH

DIGITAL TIMER SWITCH

EXIT SIGN

LINEAR FIXTURE

2X4 LUMINAIRE

WIRELESS ACCESS POINT

# INDICATES ZONE CONTROL

DOOR BELL

1.	PROVIDE CONDUCTORS OPERATING AT 50 VOLTS OR GREATER IN RACEWAY. PROVIDE METAL RACEWAY WITHIN THE STRUCTURE ABOVE THE FLOOR SLAB. PROVDIE PVC RACEWAY BELOW THE FLOOR SLAB AND UNDERGROUND RACEWAY OUTSIDE THE STRUCTURE.
2.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE

INSTALLATION OF ELECTRICAL SYSTEMS AND THOSE REQUIRING ELECTRICAL CONNECTIONS TO MAINTAIN NEC REQUIRED CLEARANCES, INCLUDED BY NOT LIMITED TO AREAS ABOVE ACCESSIBLE CEILINGS. 3. COORDINATE WITH OTHER TRADES FOR PROPER INSTALLATION OF EQUIPMENT. CONSULT THE DRAWINGS OF OTHER TRADES OR CRAFTS

TO AVOID CONFLICTS WITH EQUIPMENT, ETC. RESOLVE CONFLICTS

- PRIOR TO ROUGH-IN AND AT NO ADDITIONAL COST TO THE OWNER. 4. LEAVE THE SITE CLEAN AND READY FOR OCCUPANCY. REMOVE DIRT, DEBRIS, EMPTY CARTONS, TOOLS, CONDUIT AND WIRE SCRAPS AND MISCELLANEOUS SPARE EQUIPMENT AND MATERIALS USED IN THIS DIVISION OF THE WORK DURING CONSTRUCTION. COMPONENTS SHALL BE FREE OF DUST, GRIT AND FOREIGN MATERIALS AND LEFT AS NEW BEFORE FINAL ACCEPTANCE OF WORK.
- 5. PERFORM WORK TO COMPLY WITH THE STANDARD PRACTICES FOR GOOD WORKMANSHIP PUBLISHED BY NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA). COMPLY WITH THE LATEST ENFORCED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), LOCAL CODES, AMENDMENTS, AND ORDINANCES.
- 6. FIELD COORDINATE FINAL MECHANICAL AND EQUIPMENT LOCATIONS ALONG WITH CONNECTION REQUIREMENTS AND CONTROL WIRING PRIOR TO ROUGH-IN.

7. PERFORM ELECTRICAL WORK UNDER THE SUPERVISION OF A LICENSED

- MASTER ELECTRICIAN. PROCURE PERMITS AND LICENSES AND PAY FEES ASSOCIATED WITH THIS WORK. 8. PROVIDE NEW, COMMERCIAL GRADE MATERIALS FURNISHED FOR THIS
- PROJECT THAT ARE FREE OF DEFECTS, AND LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY UNO. 9. PROVIDE COMPLETE OPERATION & MAINTENANCE MANUAL INCLUDING APPROVED SUBMITTAL DRAWINGS, WARRANTY INFORMATION FOR

PRODUCT SUPPLIED, AND MANUFACTURES OPERATION AND

MAINTENANCE INSTRUCTIONS.

- 10. CONDUIT AND WIRE IS NOT PERMITTED TO BE INSTALLED BELOW FLOOR SLAB UNLESS INDICATED ON PLAN BY DASHED CONDUIT.
- 11. CONTRACTOR IS RESPONSIBLE FOR WIRING ELECTRICAL ITEMS SHOWN ON DRAWINGS.
- 12. REFER TO APPENDIX "A" CONSTRUCTION SPECIFICATIONS FOR PRODUCTION OFFICES FOR ADDITIONAL REQUIREMENTS.

FLUORESCENT

GAUGE

GALLON

GALVANIZED

GENERATOR

GROUND

GYPSUM BOARD

GENERAL CONTRACTOR

GROUND FAULT PROTECTOR

GA

GAL

GC

GEN

GFP

GND

GYP BD

FUSED SAFETY DISCONNECT SWITCH

GROUND FAULT CIRCUIT INTERRUPTER

GROUND FAULT CIRCUIT INTERRUPTER

GALVANIZED RIGID STEEL (CONDUIT)

A AC ACLG ADO AF AFF AFG AFI AHU AL ALT AMP AMPL ANNUN APPROX AQ-STAT ARCH AS AT ATS AUTO AUX AV AWG BATT BD BLDG BMS C CAB CATV CAB CCTV CKT CLG COMB CMPR CONN	AMPERE ABOVE COUNTER ABOVE CEILING AUTOMATIC DOOR OPENER AMP FRAME ABOVE FINISHED FLOOR ABOVE FINISHED GRADE ARC FAULT CIRCUIT INTERRUPTER AIR HANDLING UNIT ALUMINUM ALTERNATE AMPERE AMPLIFIER ANNUNCIATOR APPROXIMATELY AQUASTAT ARCHITECT, ARCHITECTURAL AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION CIRCUIT	HOA HORIZ HP HPF HT HTG HTR HV HVAC IC IG IMC INCAND IR I/W  J-BOX  KV KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC MCB	HANDS-OFF-AUTOMATIC SWITCH HORIZONTAL HORSEPOWER HIGH POWER FACTOR HEIGHT HEATING HEATER HIGH VOLTAGE HEATING, VENTILATING AND AIR CONDITIONING  INTERRUPTING CAPACITY ISOLATED GROUND INTERMEDIATE METAL CONDUIT INCANDESCENT INFRARED INTERLOCK WITH  JUNCTION BOX  KILOVOLT KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SC SEC SHT SIM S/N SPEC SPKR SP SR SS SSW S/S STA STD SURF SW SWBD SYM SYS  TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	SURFACE CONDUIT SECONDARY SHEET SIMILAR SOLID NEUTRAL SPECIFICATION SPEAKER SPARE SURFACE RACEWAY STAINLESS STEEL SELECTOR SWITCH STOP/START PUSHBUTTONS STATION STANDARD SURFACE MOUNTED SWITCH SWITCHBOARD SYMMETRICAL SYSTEM  TELEPHONE TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TELEPHONE TELEPHONE TELEPHONE TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CABI TYPICAL
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AMPL ANNUN APPROX AQ-STAT ARCH AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AMPLIFIER ANNUNCIATOR APPROXIMATELY AQUASTAT ARCHITECT, ARCHITECTURAL AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	IR I/W  J-BOX  KV KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	INFRARED INTERLOCK WITH  JUNCTION BOX  KILOVOLT KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SURF SW SWBD SYM SYS  TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	SURFACE MOUNTED SWITCH SWITCHBOARD SYMMETRICAL SYSTEM  TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
ANNUN APPROX AQ-STAT ARCH AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	ANNUNCIATOR APPROXIMATELY AQUASTAT ARCHITECT, ARCHITECTURAL AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	J-BOX  KV KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	INTERLOCK WITH  JUNCTION BOX  KILOVOLT KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SW SWBD SYM SYS  TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	SWITCH SWITCHBOARD SYMMETRICAL SYSTEM  TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
APPROX AQ-STAT ARCH AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	APPROXIMATELY AQUASTAT ARCHITECT, ARCHITECTURAL AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	J-BOX  KV  KVA  KVAR  KW  KWH  LOC  LT  LTG  LTNG  LV  MAX  MAG.S  M/C  MC	JUNCTION BOX  KILOVOLT KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SWBD SYM SYS  TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	SWITCHBOARD SYMMETRICAL SYSTEM  TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
AQ-STAT ARCH AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AQUASTAT ARCHITECT, ARCHITECTURAL AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KV KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SYM SYS  TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	SYMMETRICAL SYSTEM  TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
ARCH AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	ARCHITECT, ARCHITECTURAL  AMP SWITCH  AMP TRIP  AUTOMATIC TRANSFER SWITCH  AUXILIARY  AUDIO VISUAL  AMERICAN WIRE GAUGE  BATTERY  BOARD  BUILDING  BUILDING MANAGEMENT SYSTEM  CONDUIT  CABINET  CATALOG  CABLE TELEVISION  CIRCUIT BREAKER  CLOSED CIRCUIT TELEVISION	KV KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	SYS  TEL  TEL/DATA  TERM  TL  TR  T-STAT  TTC  TV  TVTC  TYP  UC  UE	TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
AS AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AMP SWITCH AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TEL TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	TELEPHONE TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
AT ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AMP TRIP AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KVA KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOVOLT-AMPERE KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CABI TYPICAL
ATS AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AUTOMATIC TRANSFER SWITCH AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KVAR KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOVOLT-AMPERE REACTIVE KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TEL/DATA TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	TELEPHONE/DATA TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CABI TYPICAL
AUTO AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AUTOMATIC AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KW KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOWATT KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TERM TL TR T-STAT TTC TV TVTC TYP  UC UE	TERMINAL TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
AUX AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AUXILIARY AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	KWH  LOC LT LTG LTNG LV  MAX MAG.S M/C MC	KILOWATT HOUR  LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TL TR T-STAT TTC TV TVTC TYP  UC UE	TWIST LOCK TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CABI TYPICAL
AV AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AUDIO VISUAL AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LOC LT LTG LTNG LV MAX MAG.S M/C MC	LOCATE OR LOCATION LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TR T-STAT TTC TV TVTC TYP  UC UE	TAMPER RESISTANT THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CABI TYPICAL
AWG  BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	AMERICAN WIRE GAUGE  BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LT LTG LTNG LV  MAX MAG.S M/C MC	LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	T-STAT TTC TV TVTC TYP  UC UE	THERMOSTAT TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
BATT BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	BATTERY BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LT LTG LTNG LV  MAX MAG.S M/C MC	LIGHT LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TTC TV TVTC TYP UC UE	TELEPHONE TERMINAL CAB TELEVISION TELEVISION TERMINAL CAB TYPICAL
BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LTG LTNG LV MAX MAG.S M/C MC	LIGHTING LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TV TVTC TYP UC UE	TELEVISION TELEVISION TERMINAL CAB TYPICAL
BD BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	BOARD BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LTNG LV MAX MAG.S M/C MC	LIGHTNING LOW VOLTAGE  MAXIMUM MAGNETIC STARTER	TVTC TYP UC UE	TELEVISION TERMINAL CAB TYPICAL
BLDG BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	BUILDING BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	LV  MAX  MAG.S  M/C  MC	LOW VOLTAGE  MAXIMUM  MAGNETIC STARTER	TYP UC UE	TYPICAL
BMS  C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	BUILDING MANAGEMENT SYSTEM  CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	MAX MAG.S M/C MC	MAXIMUM MAGNETIC STARTER	UC UE	
C CAB CAT CATV CB CCTV CKT CLG COMB CMPR	CONDUIT CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	MAG.S M/C MC	MAGNETIC STARTER	UE	UNDER COUNTER
CAB CAT CATV CB CCTV CKT CLG COMB CMPR	CABINET CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	MAG.S M/C MC	MAGNETIC STARTER	UE	
CAT CATV CB CCTV CKT CLG COMB CMPR	CATALOG CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	M/C MC			UNDERGROUND ELECTRICA
CATV CB CCTV CKT CLG COMB CMPR	CABLE TELEVISION CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION	MC		UG	UNDERGROUND
CB CCTV CKT CLG COMB CMPR	CIRCUIT BREAKER CLOSED CIRCUIT TELEVISION		MOMENTARY CONTACT MECHANICAL CONTRACTOR	UH	UNIT HEATER
CCTV CKT CLG COMB CMPR	CLOSED CIRCUIT TELEVISION	IVICD	MAIN CIRCUIT BREAKER	UNO	UNLESS NOTED OTHERWISH
CKT CLG COMB CMPR		MCC	MOTOR CONTROL CENTER	UT	UNDERGROUND TELEPHON
CLG COMB CMPR	CIRCUIT	MDC	MAIN DISTRIBUTION CENTER	UTIL	UTILITY
COMB CMPR		MDP	MAIN DISTRIBUTION CENTER  MAIN DISTRIBUTION PANEL	UV	ULTRAVIOLET
CMPR	CEILING	MFR	MANUFACTURER		
	COMBINATION	MFS	MAIN FUSED DISCONNECT SW	V	VOLT
CONN	COMPRESSOR	MH	MANHOLE	VA	VOLT-AMPERES
	CONNECTION	MIC	MICROPHONE	VDT	VIDEO DISPLAY TERMINAL
CONST	CONSTRUCTION	MIN	MINIMUM	VERT	VERTICAL
CONT	CONTINUATION OR CONTINUOUS	MISC	MISCELLANEOUS	VFD	VARIABLE FREQUENCY DRI
CONTR	CONTRACTOR	MLO	MAIN LUGS ONLY	VOL	VOLUME
CONV	CONVECTOR	MMS	MANUAL MOTOR STARTER		
CP	CIRCULATING PUMP	MOA	MULTIOUTLET ASSEMBLY	W	WATT
CRT	CATHODE-RAY TUBE	MSP	MOTOR STARTER PANELBOARD	W/	WITH
СТ	CURRENT TRANSFORMER	MSBD	MAIN SWITCHBOARD	WG	WIRE GUARD
CTR	CENTER	MT	MOUNT	WH	WATER HEATER
CU	COPPER	MT.C	EMPTY CONDUIT	W/O	WITHOUT
		MTS	MANUAL TRANSFER SWITCH	WP	WEATHERPROOF
DCP	DOMESTIC WATER CIRCULATING PUMP	MTR	MOTOR, MOTORIZED		
DEPT	DEPARTMENT			XFMR	TRANSFORMER
DET	DETAIL	N.C.	NORMALLY CLOSED	XFR	TRANSFER
DIA	DIAMETER	NEC	NATIONAL ELECTRICAL CODE		
DISC	DISCONNECT	NEMA	NATIONAL ELECTRICAL MANUFACTURER'S	۷	ANGLE
DIST	DISTRIBUTION		ASSOCIATION	@	AT
DN DPR	DOWN DAMPER	NFDS	NON-FUSED SAFETY DISCONNECT SWITCH	<b>A</b>	DELTA
DPR DS	SAFETY DISCONNECT SWITCH	NIC	NOT IN CONTRACT	•	FEET
DT	DOUBLE THROW	NL	NIGHT LIGHT	II .	INCHES
DWG	DRAWING	N.O.	NORMALLY OPEN	#	NUMBER
DWG	DIAWING	NPF	NORMAL POWER FACTOR	Ø	PHASE
EC	ELECTRICAL CONTRACTOR	NTS	NOT TO SCALE	С	CENTER LINE
ELEC	ELECTRIC, ELECTRICAL			Р	PLATE
ELEV	ELEVATOR	OH	OVERHEAD OVERHEAD		
ELU	EMERGENCY LIGHTING UNIT	OL	OVERLOADS		
EM	EMERGENCY	DA	DUDUC ADDESS		
EMS	ENERGY MANAGEMENT SYSTEM	PA DR	PUBLIC ADDRESS		
EMT	ELECTRICAL METALLIC TUBING	PB PE	PULL BOX OR PUSHBUTTON  PNEUMATIC ELECTRIC		
EP	ELECTRIC PNEUMATIC	PE PED			
EQUIP	EQUIPMENT		PEDESTAL POWER FACTOR		
EWC	ELECTRIC WATER COOLER	PF DH	POWER FACTOR		
EXIST	EXISTING	PH DIV	PHASE POST INDICATING VALVE		
EXH	EXHAUST	PIV	POST INDICATING VALVE PANEL		
EXP	EXPLOSION PROOF	PNL PP			
		PP PR	POWER POLE PAIR		
FA	FIRE ALARM				
	FIRE ALARM BOOSTER POWER	PRI	PRIMARY		
FABP	FIRE ALARM CONTROL PANEL	PROJ	PROJECTION  POWER BOOF VENTUATOR		
FABP FACP	FAN COIL UNIT	PRV	POWER ROOF VENTILATOR		
		PT PVC	POTENTIAL TRANSFORMER		
FACP	FIXTURE		POLYVINYL CHLORIDE (CONDUIT)		

REQD

QUANTITY

RECEPTACLE

RIGID STEEL CONDUIT

**ROOF TOP UNIT** 

REQUIRED

ROOM

A. SCOPE OF WORK

260500 COMMON WORK RESULTS FOR ELECTRICAL

- 1. COMPLY WITH THE GENERAL CONDITIONS OF THIS CONTRACT. THE REQUIREMENTS OF THIS SPECIFICATION ARE IN ADDITION TO THE REQUIREMENTS OF THE GENERAL CONDITIONS.
- 2. UNLESS OTHERWISE NOTED, PROVIDE DEMOLITION OF EXISTING POWER RECEPTACLES, LIGHT FIXTURES, RACEWAYS, WIRING, VOICE/DATA OUTLETS AND VOICE/DATA CABLING. DEMOLISH FIRE
- 3. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACCOMPLISH THE WORK SPECIFIED HEREIN AND AS SHOW ON THE DRAWINGS.
- 4. COORDINATE WORK WITH ALL OTHER TRADES.
- 5. VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BID.

ALARM DEVICES AND WIRING WHERE IN CONFLICT WITH NEW WORK.

- 6. REMOVE ALL WASTE AND RUBBISH FROM THE SITE ON A DAILY BASIS.
- B. WARRANTY: WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BUY THE OWNER. PROVIDE ADDITIONAL WARRANTY FOR VOICE/DATA SYSTEM AS NOTED ELSEWHERE.

#### C. REGULATIONS

- 1. ELECTRICAL WORK SHALL COMPLY WITH THE FOLLOWING CODES AS PRESENTLY APPLICABLE:
- a. 2020 NATIONAL ELECTRIC CODE (NEC)
- b. LOCAL AND STATE CODES AND REGULATIONS
- 2. PERMITS: OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- D. SUBMITTAL AND SHOP DRAWINGS: PRIOR TO INSTALLATION, SUBMIT CATALOG DATA FOR ALL EQUIPMENT AND MATERIALS FOR REVIEW. SUBMIT SHOP DRAWINGS SHOWING COMPLETE TERMINAL-TO-TERMINAL WIRING FOR EACH SIGNAL AND COMMUNICATION SYSTEM.
- E. OPERATIONS AND MAINTENANCE MANUALS: PROVIDE MAINTENANCE AND OPERATIONS DATA FOR ALL ELECTRICAL EQUIPMENT AND SIGNAL AND COMMUNICATIONS SYSTEMS.
- F. RECORD DRAWINGS: CORRECTIONS AND CHANGES MADE DURING THE PROGRESS OF THE WORK SHALL BE NEATLY RECORDED AS ACTUALLY INSTALLED FOR AS-BUILT RECORDS. SUBMIT TO THE ARCHITECT UPON PROJECT COMPLETION.
- G. CERTIFICATES OF INSPECTION: SUBMIT SIGNED-OFF PERMITS FROM THE CODE ENFORCING AGENCIES TO THE OWNER UPON PROJECT COMPLETION.
- H. PRODUCT LISTING OR LABELING: ALL ELECTRICAL EQUIPMENT SHALL BE LISTED AND LABELED BY UNDERWRITERS LABORATORIES INC.
- I. MATERIAL AND EQUIPMENT: ALL MATERIALS AND EQUIPMENT SHALL BE NEW UNLESS NOTED OTHERWISE. PROTECT ALL MATERIALS AND EQUIPMENT FROM DAMAGE OF CORROSION.
- J. CUTTING AND PATCHING: PROVIDE ALL REQUIRED CUTTING AND PATCHING FOR THE ELECTRICAL WORK.
- K. EXISTING CONDITIONS:
- 1. GENERAL: SPECIFIC SCOPE OF DEMOLITION WORK AND OPERATING CONDITIONS TO BE ENCOUNTERED SHALL BE VERIFIED BY ON-SITE REVIEW PRIOR TO SUBMITTING BIG. DEMOLITION WORK IN GENERAL IS NOTED OR SHOWN ON THE DOCUMENTS BASED UPON AVAILABLE DRAWINGS OF RECORD AND MAY NOT SHOW THE ACTUAL CONDITIONS AS THEY PRESENTLY EXIST.
- 2. OWNER-RETAINED EQUIPMENT: THE OWNER MAY WISH TO RETAIN CERTAIN SPECIFIC ITEMS SCHEDULED FOR DEMOLITION. THE CONTRACTOR SHALL CAREFULLY REMOVE THESE ITEMS, PROVIDE PROTECTION AND PACKAGING AS MAY BE REQUIRED TO PROTECT THE EQUIPMENT AND TURN OVER SOLD EQUIPMENT TO THE OWNER AT A PLACE DESIGNATED ON THE JOBSITE. ANY EQUIPMENT THAT THE OWNER DOES NOT DESIRE TO RETAIN SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE.
- 3. UNUSED CONDUIT AND WIRING: ALL UNUSED CONDUCTORS RESULTING FROM THIS PROJECT SHALL BE REMOVED. ALL UNUSED CONDUIT SHALL BE REMOVED EXCEPT WHERE LOCATED IN OR ABOVE EXISTING CONSTRUCTION WHICH IS NOT BEING ALTERED AND WOULD REQUIRE REMOVAL AND REPLACEMENT OF THE EXISTING CONSTRUCTION.
- 4. EXISTING RACEWAYS: PROPERLY SUPPORT ALL EXISTING RACEWAYS ABOVE SUSPENDED CEILINGS WHERE WORK IS TAKING PLACE. VERIFY EXTENT OF WORK PRIOR TO SUBMITTING BID.
- L. CONTINUITY OF SERVICE: PERMANENTLY REROUTE OR RELOCATE EXISTING WIRING AND\OR EQUIPMENT WHICH IS IN CONFLICT WITH EXISTING BUILDING ALTERATIONS AND WHICH IS REQUIRED TO BE MAINTAINED IN USE.
- M. REMOVAL AND REPLACEMENT OF EXISTING ACCESSIBLE CEILING PANELS, LIGHTING FIXTURES AND SPEAKERS: REMOVE AND REINSTALL ALL NECESSARY CEILING PANELS, LIGHTING FIXTURES, SPEAKERS AND OTHER EXISTING EQUIPMENT AND EXISTING ACCESSIBLE CEILINGS AS REQUIRED TO INSTALL THE ELECTRICAL WORK.
- N. ANCHORAGE AND BRACING: PROVIDE COMPLETE SEISMIC ANCHORAGE AND BRACING FOR THE LATERAL AND VERTICAL SUPPORT OF CONDUIT AND ELECTRICAL EQUIPMENT AS REQUIRED BY THE INTERNATIONAL BUILDING CODE.
- O. FIRE STOPPING: PROVIDE FIRE STOPPING FOR ALL PENETRATION AND RATED WALLS, CEILING AND
- P. INSTRUCTION: CONTRACTOR SHALL INSTRUCT THE OWNER AND THE USE AND OPERATION OF ALL SYSTEMS INSTALLED UNDER THE SCOPE OF THIS CONTRACT.
- Q. OWNER FURNISHED EQUIPMENT: PROVIDE COMPLETE ELECTRICAL SERVICE AND CONNECTION TO ALL OWNER-FURNISHED EQUIPMENT.

### 260519 CONDUCTORS AND CABLES

- A. WIRE AND CABLE:
- 1. BRANCH CIRCUITS: TYPE THHN OR THWN, 600-VOLT INSULATION, STRANDED COPPER CONDUCTOR. MINIMUM CONDUCTOR SIZE:
- a. NEUTRAL: #12 AWG
- b. GROUND: #12 AWG
- c. PHASE CONDUCTORS (MORE THAN SIX IN A RACEWAY): #10 AWG
- d. PHASE CONDUCTORS (SIX OR LESS IN A RACEWAY): #12
- 2. FEEDERS: FEEDERS SHALL BE SIZED AS SHOWN ON THE DRAWINGS AND COLOR-CODED IN ACCORDANCE WITH LIST BELOW.
- 3. COLOR CODE WIRE IN ACCORDANCE WITH THE CODING SHOWN BELOW. POWER SYSTEMS CONDUCTORS ARE IDENTIFIED AS FOLLOWS.
- e. 208Y/120V: PHASE A BLACK, PHASE B RED, PHASE C BLUE, NEUTRAL WHITE
- f. 480Y/277V: PHASE A BROWN, PHASE B ORANGE, PHASE C YELLOW, NEUTRAL GRAY
- g. GROUND GREEN
- h. TRAVELERS: YELLOW (FOR 3- AND 4-WAY SWITCHING)
- i. CONTROLS: BLACK WITH WIRE NUMBERS ON EACH CONDUCTOR.
- 4. SPLICES AND TERMINATIONS: LIGHTING AND RECEPTACLE BRANCH CIRCUIT CONDUCTORS UP TO NO 10 AWG SHALL BE SPLICED WITH WING NUT TYPE CONNECTORS.

### 260526 GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS

A. GENERAL: PROVIDE THROUGH THE ENTIRE ELECTRICAL SYSTEM. A SPERATE GREEN EQUIPMENT GROUNDING CONDUCTOR SHALL BE PROVIDED IN ALL LIGHTING AND POWER RACEWAYS.

- B. BONDING: INSULATED GROUNDING BUSHINGS SHALL BE INSTALLED TO BOND ALL FEEDER CONDUITS TO THE SWITCHBOARD GROUND BUS OR PANEL GROUND BUS AT BOTH ENDS OF FEEDER RACEWAYS. INSULATED GROUNDING BUSHINGS SHALL BE INSTALLED TO BOND ALL FEEDER CONDUITS TO THE GROUND BUS OR PANEL ENCLOSURES AT BOTH ENDS OF THE RUNS.
- C. NEUTRAL GROUNDING: THE NEUTRAL POINT OF ALL TRANSFORMERS SHALL BE SOLIDLY GROUNDED TO THE GROUNDING SYSTEM AND TRANSFORMER ENCLOSURE WITH CODE SIZE GROUND CONDUCTORS. THE NEUTRAL BUS IN EACH PANELBOARD SHALL BE ISOLATED FROM THE GROUND. THE NEUTRAL SHALL BE GROUNDED ONLY AT A SINGLE POINT AT THE MAIN SWITCHBOARD OR AT SEPARATELY DERIVED SYSTEM
- D. RECEPTACLE GROUNDING: CONNECT THE GROUND TERMINAL OF ALL RECEPTACLES BY UTILIZING A SEPARATE GROUNDING CONDUCTOR BETWEEN THE RECEPTACLE GROUNDING SCREW AND THE GROUNDING CONDUCTOR PROVIDED IN THE BRANCH CIRCUIT. INTEGRAL MOUNTING STRAPS WITHIN THE RECEPTACLE CONNECTED TO THE DEVICE MOUNTING STRAPS ARE NOT APPROVED AS A GROUNDING
- E. FLEXIBLE CONDUIT GROUNDING: PROVIDE A SEPARATE GROUNDING CONDUCTOR IN ALL FLEXIBLE CONDUIT RUNS INCLUDING WATERTIGHT FLEXIBLE CONDUIT WITH INTEGRAL GROUNDING STRAPS. INSTALL GROUND CONDUCTOR INSIDE CONDUIT WITH UNGROUNDED CONDUCTORS.
- F. GROUND CONNECTIONS: GROUND CONNECTIONS TO BUILDING STEEL, GROUND RODS AND CABLE TOPS SHALL UTILIZE AN EXOTHERMIC WELDING PROCESS. CADWELD, ERICO PRODUCTS, INC. OR APPROVED

#### 260533 RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS

#### A. RACEWAYS

- 1. ELECTRICAL METALLIC TUBING (EMT): STEEL-SCREW TYPE.
- 2. RIGID METAL CONDUIT (RMC): GALVANIZED STEEL.
- 3. FLEXIBLE METALLIC CONDUIT (FMC): GALVANIZED STEEL, SECURELY INTERLOCKED.

#### B. FITTINGS

- 1. ELECTRICAL METALLIC TUBING (EMT) AND RIGID METAL CONDUIT (RMC): STEEL-SCREW TYPE. FITTINGS TWO INCHES AND LARGER SHALL CONTAIN DUAL SET-SCREWS ON EACH SIDE OF THE COUPLING.
- 2. FLEXIBLE METALLIC CONDUIT (FMC): STEEL, ONE- OR TWO-SCREW CLAMP TYPE.
- 3. CONDUIT STRAPS: HEAVY DUTY, TWO-HOLE PRESSED STEEL

#### 4. OUTLET AND DEVICE BOXES:

- a. INTERIOR SURFACE-MOUNTED IN UNFINISHED AREAS: ONE-PIECE PRESSED STEEL, ELECTRO-GALVANIZED, SIZE AND DEPTH REQUIRED BY CODE, EXCEPT 4-INCH SQUARE OR 4-INCH OCTAGONAL MINIMUM.
- b. INTERIOR FLUSH-MOUNTED: SAME AS ABOVE EXCEPT PROVED PLASTER RING EXTENSION TO FINISHED SURFACE.
- 5. JUNCTION AND PULL BOXES FOR INTERIOR AREAS: STEEL, SCREW COVER, CODE GAUGE AND SIZE. LARGE JUNCTION AND PULL BOXES SHALL BE FABRICATED SHEET STEEL WITH BAKED ENAMEL FINISH AND RETURN FLANGE WITH SCREW RETAINED COVER.

#### C. EXECUTION

#### GENERAL

- a. COORDINATION: THE CONTRACTOR SHALL REVIEW ALL DRAWINGS, DETAILS, AND ELEVATIONS PRIOR TO ROUGH-IN. WHERE EQUIPMENT IS FURNISHED BY OTHERS, THE CONTRACTOR SHALL REVIEW ALL DRAWINGS, DETAILS AND ELEVATIONS PRIOR TO ROUGH-IN. WHERE EQUIPMENT IS FURNISHED BY OTHERS. THE CONTRACTOR SHALL ASCERTAIN THE PROPER VOLTAGE, LOAD AND CONNECTION REQUIREMENTS PRIOR TO ROUGH-IN.
- b. MATERIALS: ALL MATERIALS OF A SPECIFIC TYPE SHALL BE PROVIDED BY THE SAME MANUFACTURER THROUGHOUT THE PROJECT.
- 2. RACEWAYS: INSTALL RACEWAY TYPES AND SIZES AS LISTED BELOW:
- a. ELECTRICAL METALLIC TUBING (EMT) AND RIGID METAL CONDUIT (RMC): ALL INTERIOR AREAS. MAY BE USED FOR FEEDERS WITH INTEGRAL GREEN GROUND CONDUCTOR.
- b. FLEXIBLE METALLIC CONDUIT: RECESSED FIXTURE CONNECTIONS, INTERIOR CONCEALED EQUIPMENT CONNECTIONS, EXPANSION JOINTS AND SOUND CONTROL. NOT TO BE USED FOR EXPOSED INSTALLATIONS WITHIN THE FINISHED AREAS OF THE BUILDING.
- c. MINIMUM RACEWAY SHALL BE INCH, EXCEPT FOR RACEWAYS WITH NO MORE THAN THREE #12 AWG CONDUCTORS WHICH MAY BE 1/2 INCH.

### D. INSTALLATION:

- 1. CONCEALMENT: ALL RACEWAYS SHALL BE CONCEALED IN FINISHED AREAS. WHERE EXISTING WALL SURFACES ARE INACCESSIBLE, SURFACE METAL RACEWAYS FOR THESE EXCEPTIONS MAY BE PROVIDED WHEN APPROVED.
- 2. EXPOSED RACEWAYS. INSTALL EXPOSED RACEWAYS AS HIGH AS POSSIBLE, ABOVE DUCTWORK, PARALLEL OR AT RIGHT ANGLES TO BUILDING LINES.
- 3. EXPANSION AND EARTHQUAKE JOINTS. RACEWAYS SHALL NOT BE INSTALLED IN CONCRETE SLAB OR WALL CONSTRUCTION WHEN PASSING THROUGH ON EXPANSION OR EARTHQUAKE JOINT.
- 4. ROUTING: ALL RACEWAYS SHALL BE INSTALLED PARALLEL OR AT RIGHT ANGLES TO THE BUILDING
- CONSTRUCTION UNLESS PROHIBITED BY A PHYSICAL OBSTRUCTION.
- 5. RACEWAY SUPPORTS: RACEWAYS SHALL BE SUPPORTED WITH HEAVY-DUTY, ONE-HOLE, PRESSED STEEL STRAPS ON INTERIOR SURFACES. SUPPORT PENDANT-MOUNTED RACEWAYS ON 3/8-INCH ROD WITH PEAR-SHAPED HANGER OR TRAPEZE-TYPE HANGER WITH 3/8-INCH ROD (MINIMUM) AND 1-5/8-INCH SQUARE PREFORMED CHANNEL AND PIPE CLAMPS. PARALLEL, SURFACE-MOUNTED RACEWAYS SHALL BE SUPPORTED FROM 1-5/8-INCH SQUARE PREFORMED CHANNEL AND PIPE CLAMPS. ALL FITTINGS AND SUPPORTS SHALL BE HOT-DIP GALVANIZED IN EXTERIOR AREAS.
- 6. INDEPENDENT SUPPORT: CONDUITS SHALL NOT BE SUPPORTED FROM THE CEILING SUSPENSION SYSTEM, DUCTS, PIPES OR OTHER SYSTEMS FOREIGN TO THE ELECTRICAL INSTALLATION. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE KEPT INDEPENDENT FROM ANY OTHER TRADE.
- 7. PULL BOXES WITH COVERS: SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS OR AS REQUIRED BY CODE. ALL PULL BOXES SHALL BE LOCATED SO AS TO BE ACCESSIBLE.
- 8. FLEXIBLE CONDUIT: SHALL BE USED ONLY FOR LIGHTING FIXTURE PIGTAILS IN ACCESSIBLE CEILINGS, FLUSH-MOUNTED SPEAKER PIGTAILS IN ACCESSIBLE CEILINGS, SOUND CONTROL, MOTOR CONNECTIONS AND AT BUILDING EXPANSION JOINTS AS SPECIFIED. ANY OTHER PROPOSED USE OF FLEXIBLE CONDUIT MUST BE APPROVED PRIOR TO INSTALLATION.
- 9. EMPTY RACEWAYS: PROVIDE A NYLON PULL STRING IN ALL EMPTY RACEWAYS.

### 10. BOXES AND FITTINGS:

- a. GENERAL: BOXES SHALL BE SUPPORTED SECURELY AND INDEPENDENTLY. MOUNT BOXES ON BUILDING SURFACES OR SUPPORT WITH TRAPEZE HANGER AS DESCRIBED IN RACEWAY INSTALLATION. JUNCTION BOXES SHALL NOT BE USED UNLESS THE NUMBER OF BENDS, PULLING LENGTH, OR CIRCUIT REQUIREMENTS NECESSITATES THEIR INSTALLATION. JUNCTION OR PULL BOX OPENINGS MUST BE ACCESSIBLE.
- b. SOUND CONTROL: WHERE BOXES ARE MOUNTED IN A COMMON WALL, THEY SHALL WHEREVER POSSIBLE, BE OFFSET HORIZONTALLY SO THAT THEY ARE NOT MOUNTED BACK-TO-BACK. CONNECT OFFSET BOXES WITH FLEXIBLE CONDUIT NOT TO EXCEED 18 INCHES IN LENGTH.

### 260553 IDENTIFICATION FOR ELECTRICAL SYSTEMS

- A. GENERAL: LABEL ALL JUNCTION BOXES, TERMINAL CABINETS, ETC. WITH THE CIRCUIT NUMBER OR LOW-VOLTAGE SYSTEM CONTAINED WITHIN.
- B. EQUIPMENT NAMEPLATES: SHALL BE ENGRAVED IN 1/16 INCH THICK PHENOLIC LETTERS A MINIMUM OF 3/16 INCH HIGH. COLORING SHALL BE WHITE LETTERS ON A BLACK BACKGROUND.

#### 262726 WIRING DEVICES

## PRCTI20230310

#### A. WIRING DEVICES

- 1. COLOR OF SWITCH HANDLES: WHITE IN COLOR.
- 2. RECEPTACLE FACES: WHITE IN COLOR.

#### B. RECEPTACLES

- 1. DUPLEX RECEPTACLES: COMMERCIAL-GRADE, 20 AMPERE, 125-VOLT, GROUND TYPE.
- 2. DOUBLE DUPLEX RECEPTACLES: COMMERCIAL-GRADE, 20-AMPERE, 125-VOLT, GROUNDED TYPE.
- 3. GROUND FAULT INTERRUPTION RECEPTACLE: COMMERCIAL-GRADE 20-AMPERE, 120-VOLT, CLASS A, 5-MILLIAMPERE SENSITIVITY. PROVIDE LOCKABLE WEATHERPROOF METAL COVER FOR ALL EXTERIOR MOUNTED RECEPTACLES.

#### B. SWITCHES

- 1. SINGLE-POLE SWITCHES: COMMERCIAL-GRADE, 20 AMPERE, 125-VOLT.
- 2. DEVICE PLATES: STAINLESS STEEL.

#### C. EXECUTION

- 1. GENERAL: INSTALL DEVICES LEVEL, PLUMB AND SQUARE WITH BUILDING LINES.
- 2. RECEPTACLE MOUNTING HEIGHT: +18 TO THE CENTERLINE OF THE BOX UNLESS OTHERWISE NOTED.
- 3. SWITCHES: +48 TO THE CENTERLINE OF THE BOX.

#### 262416 PANELBOARDS

- A. EXISTING MANUFACTURERS: SQUARE D, EATON.
- B. BOLT-ON MOLDED CASE THERMAL MAGNETIC TYPE CIRCUIT BREAKERS HAVING A MINIMUM INTERRUPTING RATING MATCHING THE EXISTING PANELBOARD INTERRUPTING RATING..
- C. PROVIDE UPDATED TYPED PANEL SCHEDULE FOR EACH REVISED PANELBOARD.

262816 ENCLOSED SWITCHES AND CIRCUIT BREAKERS

- A. APPROVED MANUFACTURERS: SQUARE D, GENERAL ELECTRIC, EATON, OR SIEMENS.
- B. SINGLE-PHASE MOTOR: MOTORS 1/3 HP OR LESS PROVIDE WITH TOGGLE-TYPE, 20-AMP, 120-VOLT RATING, SPECIFICATION-GRADE DISCONNECT SWITCHES.
- C. THREE-PHASE MOTOR: MOTORS 1/2 HP AND LARGER PROVIDE WITH AMP AND VOLTAGE RATING AS REQUIRED, SPECIFICATION-GRADE DISCONNECT SWITCHES. NEMA RATED PER ENVIRONMENT.
- D. EQUIPMENT DISCONNECTS: SHALL BE FUSED OR NONFUSED AS REQUIRED BY THE EQUIPMENT MANUFACTURER, RATED AT 125 PERCENT OF FULL LOAD NAMEPLATE AMPERAGE OR RATED
- E. DISCONNECTS: PROVIDE DISCONNECTS AT ALL MOTORS AND OTHER EQUIPMENT ITEMS UNLESS THE EQUIPMENT HAS A SELF-CONTAINED, CODE APPROVED DISCONNECTING METHOD. EQUIPMENT DISCONNECTS SHALL BE FUSED OR NON-FUSED AS REQUIRED BY THE EQUIPMENT MANUFACTURER.

#### 262813 FUSES

A. MANUFACTURERS: BUSSMAN, FERREZ SHAWMUT.

HORSEPOWER, HEAVY-DUTY TYPE.

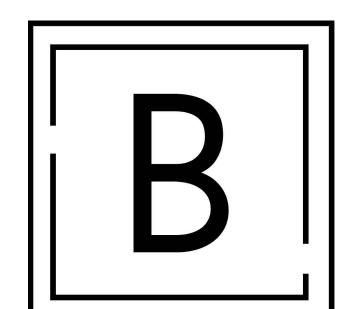
- B. FUSES: PROVIDE 200,000 AIC, CURRENT LIMITING, UL TIME DELAY FUSES AS FOLLOWS:
- 1. FEEDERS 600 AMPS AND LESS: CLASS RK-1, LPN-RK FOR 250-VOLT, DUAL ELEMENT, CLASS RK-1, LPS-RK FOR 600 VOLTS, DUAL ELEMENT.
- 2. MOTOR CIRCUIT 600 VOLTS AND BELOW: CLASS RK-1 OR CLASS J SIZED AT 125 PERCENT FLA OF

## C. MOTOR CONTROLS

- 1. APPROVED MANUFACTURERS: SQUARE D, GENERAL ELECTRIC, EATON, OR SIEMENS.
- 2. MANUAL STARTERS: TOGGLE TYPE, LOCKABLE IN THE OFF POSITION, OVERLOAD PROTECTION, PILOT LIGHT AND NEMA 1 ENCLOSURE.
- D. MOTOR CONTROLS AND EQUIPMENT CONNECTIONS:
- 1. GENERAL: PROVIDE ALL LINE VOLTAGE WIRING AND CONNECTIONS TO EQUIPMENT AND MOTORS AS SHOWN ON THE PLANS, DIAGRAMS OR SPECIFIED HEREIN. OBTAIN ALL NECESSARY ELECTRICAL AND PHYSICAL INFORMATION FROM THE TRADE PROVIDING THE EQUIPMENT, PRIOR TO ROUGH IN AND ADJUST INSTALLATION REQUIREMENTS AS NECESSARY FOR A COMPETE AND OPERABLE SYSTEM.
- 2. MOTOR CONTROLS, SEPARATELY MOUNTED: PROVIDE SEPARATELY MOUNTED MOTOR STARTING EQUIPMENT AS SHOWN OR NOTED. COORDINATE LOCATION AND INTERLOCKING WITH TEMPERATURE CONTROLS CONTRACTOR. VERIFY MOTOR HORSEPOWER SIZE OR FULL-LOAD AMPERAGE PRIOR TO ORDERING OVERLOAD HEATERS AND SIZE UNITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC

## END OF ELECTRICAL SPECIFICATIONS

CODE.



INTERIORS + ARCHITECTURE

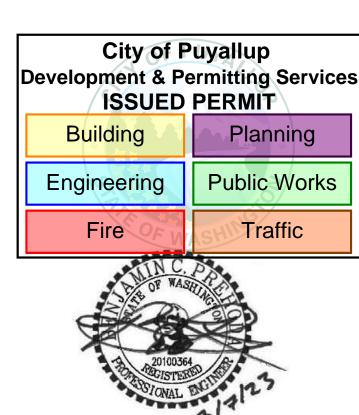
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**PROLOGIS** PUYALLUP 1

1601 INDUSTRIAL PARK #100

PUYALLUP, WA 98371





Professional seal

No. Issue Description PERMIT SET 03.10.23 REVISION 1 04.12.23

City Electronic Stamp Location

Drawn by: NS

Project No: 22.0243.00

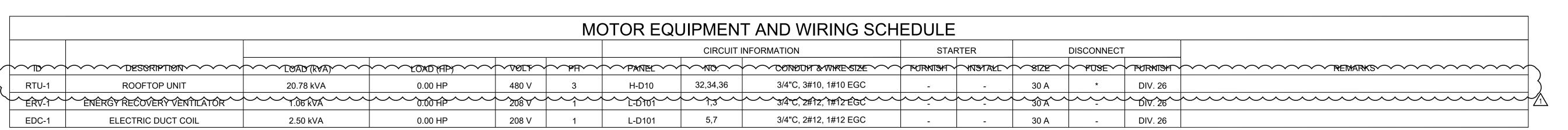
City Electronic Stamp Location CLIENT APPROVAL

Project Manager: BP

**ELECTRICAL** 

**SPECIFICATIONS** 

Original drawing is 30" x 42". Scale entities accordingly if reduced



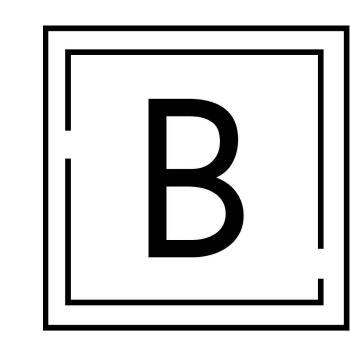
\* SIZE FUSES PER MANUFACTURER'S RECOMMENDATIONS.

	PANEL: H-D10  LOCATION: BREAK RM 122 MANUE SUPPLY FROM: MDP MOUNTING: SURFACE NEMA RATING: TYPE 1	FROM: MDP CAT. # PRL2A PHASES: 3 ITING: SURFACE WIRES: 4				1	AIC RATING: 14K  MAINS TYPE: MAIN LUGS ONLY  MAINS RATING: 400A  NEUTRAL RATING: 100%  BUSSING: CU						
ССТ	CIRCUIT DESCRIPTION	RATING	POLES	Α (	(VA)	B (I	(VA)	C (k	VA)	POLES	RATING	CIRCUIT DESCRIPTION	ССТ
1	TRANSFORMER L-D101/L-D102	90 A	3	0.00	0.00	\		- (-	,	1		OFFICE LIGHTS	2
3	-	-	-			0.00	0.00			1		OFFICE LIGHTS	4
5	-	-	-					0.00	0.00	1		OFFICE LIGHTS	6
	IDX RTU-3	30 A	3	0.00	0.00					1		OFFICE LIGHTS	8
9	-	-	-			0.00	0.00			1		OFFICE LIGHTS	10
11	-	-	-					0.00	0.00	1		OFFICE LIGHTS	12
	IDX RTU-4	30 A	3	0.00	0.00	0.00	0.00			3	30 A	UNLABELED	14
15	<u> </u>	-	-			0.00	0.00	0.00	0.00	-	-		16
17 19	SHOP LIGHTS	20 A	1	0.00	0.00			0.00	0.00	3	- 50 A	UNLABELED	18 20
	SHOP LIGHTS SHOP LIGHTS	20 A	1	0.00	0.00	0.00	0.00			-	- 50 A	ONLABELED	22
	SHOP LIGHTS	20 A	1			0.00	0.00	0.00	0.00	1		<u>-</u>	24
	SHOP LIGHTS	20 A	1	0.00	0.00			0.00	0.00	3	50 A	UNLABELED	26
	SHOP LIGHTS	20 A	1			0.00	0.00			-	-	-	28
29	SHOP LIGHTS	20 A	1					0.00	0.00	-	-	-	30
	SHOP LIGHTS	20 A	1	0.00	17.74					3	80 A	IDX RTU-2	32
	SHOP LIGHTS	20 A	1			0.00	17.74			-	-		34
	SHOP LIGHTS	20 A	1					0.00	17.74	-	-	<u>-</u>	36
	SPACE	-	-	0.00	0.00	0.00	0.00			-	-	SPACE	38
	SPACE	-	-			0.00	0.00	0.00	0.00	-	-	SPACE	40
41	SPACE	-	-	47.7	1.1.7.6	47.7	4.1374	0.00	0.00	-	-	SPACE	42
			L LOAD:		1 kVA	-	4 kVA	17.74		4			
			L AMPS:		00 A		00 A	64.0					
LOAD	CLASSIFICATION	COI	NECTED		DEI	MAND FAC	TOR		ATED DEN	MAND		PANEL TOTALS	
LIGHT	'ING (125%)		0.00 kVA			125%			0.00 kVA				
RECE	PTACLES (<10kVA @ 100%)		0.00 kV	4		100%			0.00 kVA			TOTAL CONN. (kVA): 53.21 kVA	
	PTACLES (>10KVA @ 50%)		0.00 kV	A		50%			0.00 kVA			FOTAL EST. DEMAND (kVA): 66.51 kVA	
	EST MOTOR		53.21 kV	A		125%		(	66.51 kVA			TOTAL CONN. (A): 64.03 A	
мото			0.00 kV			100%			0.00 kVA			TOTAL EST. DEMAND (A): 80.04 A	
	IEN EQUIPMENT		0.00 kVA			100%			0.00 kVA		1	TOTAL LOT: DEMAND (A).	
	ELLANEOUS		0.00 kV/			100%			0.00 kVA				
	LLANLUUU		U.UU KV	1	<u> </u>	100 /0			0.00 KVA		<u> </u>		

		LOCATION: BREAK RM 122  SUPPLY FROM: MDP  MOUNTING: SURFACE  NEMA RATING: TYPE 1	MANUFACTURER: CAT.#	EATON PRL2A			,	VOLTAGE: PHASES: WIRES:					AIC RATING: MAINS TYPE: MAINS RATING: NEUTRAL RATING: BUSSING:	MAIN LUGS ONLY 400A 100%	
	ССТ	CIRCUIT DESCRIPTION	RATING	POLES	A (	kVA)	B (F	·VA)	C (k	VA)	POLES	RATING	CIRCUIT DE	SCRIPTION	ССТ
		TRANSFORMER L-D101/L-D102 (NOTE 1)	90 A	3	1.16	0.00					1	20 A	OFFICE LIGHTS		2
	3	<u></u>	-	-			0.89	0.00			11		OFFICE LIGHTS		4
	5	- IDV DTU 0	-	-	0.00	0.00			1.52	0.00	1	20 A	OFFICE LIGHTS		6
		IDX RTU-3	30 A	3	0.00	0.00	0.00	0.00			1	20 A	OFFICE LIGHTS		8
	9	-	-	-			0.00	0.00	0.00	0.00	1	20 A 20 A	OFFICE LIGHTS OFFICE LIGHTS		10
		IDX RTU-4	30 A	3	0.00	0.00			0.00	0.00	3		UNLABELED		12 14
	15	-		-	0.00	0.00	0.00	0.00				-	-		16
1	17	-	-	-			0.00	3.00	0.00	0.00	-	-	-		18
1		SHOP LIGHTS	20 A	1	0.00	0.00			0.00	0.00	3	50 A	UNLABELED		20
1		SHOP LIGHTS	20 A	1			0.00	0.00			-	-	-		22
]		SHOP LIGHTS	20 A	1					0.00	0.00	-	-	-		24
		SHOP LIGHTS	20 A	1	0.00	0.00					3	50 A	UNLABELED		26
ļ		SHOP LIGHTS	20 A	1			0.00	0.00				-			28
1		SHOP LIGHTS	20 A	1			~ ~		0.00	<b>10.00</b>	<u> </u>		·	<u> </u>	30
1		SHOP LIGHTS	20 A	1 (	0.00	6.93	0.00	0.00			3	30 A	RTU-1 (NOTE 3)		32
4		SHOP LIGHTS SHOP LIGHTS	20 A 20 A	1 1	$\overline{}$		0.00	6.93		6.93	<del>\</del>				34 36
1			20 A	1	1.80	0.00			0.00	0.93			SPACE		38
1		WAREHOUSE LIGHTS (NOTE 2) SPACE	20 A	-	1.00	0.00	0.00	0.00			-	-	SPACE		40
		SPACE	-	_			0.00	0.00	0.00	0.00	_	_	SPACE		42
			TOTA	L LOAD:	9.88	3 kVA	7.82	kVA	8.44						
				L AMPS:		.66 A	_	21 A	30.4						
1	LOAD	CLASSIFICATION		NECTED			MAND FAC			ATED DEM	AND		PANEL T	OTALS	
		TING (125%)		1.80 kV		<u> </u>	125%			2.25 kVA					
1		EPTACLES (<10kVA @ 100%)		0.00 kV			100%			0.00 kVA			TOTAL CONN. (kVA):	26.14 kVA	
1		EPTACLES (>10KVA @ 50%)		0.00 kV			50%		_	0.00 kVA		-	TOTAL EST. DEMAND (kVA):	31.79 kVA	
1		GEST MOTOR		20.78 kV			125%			25.98 kVA			TOTAL CONN. (A):	31.46 A	
1	MOTO			0.00 kV			100%			0.00 kVA			TOTAL EST. DEMAND (A):	l	
$\frac{1}{2}$		HEN EQUIPMENT		0.00 kV		+	100%			0.00 kVA			TOTAL EST. DEMIAND (A):	00.2071	
$\dashv$						1									
	MISC	ELLANEOUS		3.56 kV	А		100%			3.56 kVA					

	LOCATION: BREAK RM 122	ANUFACTURER:				,	VOLTAGE:	208Y/120V	1			AIC RATING:	10K	
	SUPPLY FROM: H-D10	CAT. #					PHASES:						MAIN CIRCUIT BREAKE	R
	MOUNTING: SURFACE	• • • • • • • • • • • • • • • • • • • •					WIRES:					MAINS RATING:		
	NEMA RATING: TYPE 1						WIILE.	7				NEUTRAL RATING:		
	NEWA RATING: TIPE I													
1		1				1	1			1	1	BUSSING:	CU	
ССТ	CIRCUIT DESCRIPTION	RATING	POLES	A (I	κVA)	B (F	(VA)	C (k	(VA)	POLES	RATING	CIRCUIT DE	SCRIPTION	С
	REC'S RM 127	20 A	1	0.00	0.00					1		30A REC RM 126		
	REC'S RM 134	20 A	1			0.00	0.00			1	30A	30A REC RM 126		
	REC'S RM 133,134	20 A	1	0.00	0.00			0.00	0.00	1	30A	30A REC RM 126		
	REC'S RM 134-136	20 A	1	0.00	0.00	0.00	0.00			3	20 A	PARTITION RM 137 S (SPAR	Ξ)	
	REC'S RM 131,132	20 A	1			0.00	0.00	0.00	0.00	-	-	-		
	REC'S RM 126 REC PHONE BOARD	20 A 20 A	1	0.00	0.00			0.00	0.00	3	20 A	- 	DE.	
	REC'S 126.124	20 A	1	0.00	0.00	0.00	0.00			-	- 20 A	PARTITION RM 137 SW (SPA	RE)	
	REC'S 124,125 110	20 A	1			0.00	0.00	0.00	0.00	-	_			
	PARTITION RM 137 NW (SPARE)	20 A	3	0.00	0.00			0.00	0.00	3	20 A	PARTITION RM 138 S (SPAR	=1	
21	-	-	-	0.00	0.00	0.00	0.00			-	-	-	<del>-)</del>	
23	-	-	-					0.00	0.00	-	-	-		
-	PARTITION RM 137 N (SPARE)	20 A	3	0.00	0.00					1	20 A	REC'S RM 102,106		
27	-	-	-			0.00	0.00			1	20 A	REC'S RM 104,110		
29	<u>-</u>	-	-					0.00	0.00	1	20 A	REC'S RM 103,109		
31	PARTITION RM 137 NE (SPARE)	20 A	3	0.00	0.00					1	20 A	REC'S RM 105		
33		-	-			0.00	0.00	2.22	2.22	1		REC'S RM 107,138		
35	<u>-</u>	-	-	0.00	0.00			0.00	0.00	3	20 A	PARTITION RM 138 W (SPAR	<u>E)</u>	
37 39	PARTITION RM 137 SE (SPARE)	20 A	3	0.00	0.00	0.00	0.00			-	-	-		
41						0.00	0.00	0.00	0.00	1		REC RM 124 COPIER		
71		TOTAL	LOAD:	0.00	kVA	0.00	kVA	0.00		'	20 /	NEO NW 124 COI IEN		
			AMPS:		0 A		0 A	0.0	_	1				
LOAD	CLASSIFICATION		NECTED			MAND FAC			ATED DEM	AND		PANEL TO	TALS	
LIGH	TING (125%)		0.00 kV	4		125%			0.00 kVA					
RECE	PTACLES (<10kVA @ 100%)		0.00 kV	١		100%			0.00 kVA			TOTAL CONN. (kVA):	0.00 kVA	
	PTACLES (>10KVA @ 50%)		0.00 kV	١		50%			0.00 kVA		-	TOTAL EST. DEMAND (kVA):	0.00 kVA	
	EEST MOTOR		0.00 kV			125%			0.00 kVA		'	TOTAL CONN. (A):	0.00 A	
MOTO			0.00 kV			100%			0.00 kVA			TOTAL CONN. (A):	0.00 A	
_	HEN EQUIPMENT		0.00 kV/		<u> </u>	100%			0.00 kVA			TOTAL EST. DEMIAND (A):		
	ELLANEOUS		0.00 kV		1	100%			0.00 kVA					
NOTE			U.UU KV	1	L	100%			U.UU KVA					

	LOCATION: BREAK RM 122  SUPPLY FROM: H-D10  MOUNTING: SURFACE  NEMA RATING: TYPE 1	NUFACTURER: CAT.#		VOLTAGE: 208Y/120V PHASES: 3 WIRES: 4						AIC RATING: 10K  MAINS TYPE: MAIN CIRCUIT BREAKI  MAINS RATING: 200A  NEUTRAL RATING: 100%  BUSSING: CU				
ССТ	CIRCUIT DESCRIPTION	RATING POLE	S A	(kVA)	B (	kVA)	C (k)	/A)	POLES	RATING	CIRCUIT DE	SCRIPTION	сст	
1	ERV-1 (NOTE 2,3)	15 A 2	0.53	0.00	_ (.		J (	··· <del>·</del>	1	30A	30A REC RM 126		2	
3	- (NOTE 2,3)				0.53	0.00			1	30A	30A REC RM 126		4	
	EDC-1 (NOTE 2,3)	20 A 2					1.25	0.00	1	30A	30A REC RM 126		6	
7	-		1.25	0.00					3	20 A	PARTITION RM 137 S (SPAR	E)	8	
9	SPARE (NOTE 2)	20 A 1			0.00	0.00			-	-	-	•	10	
	REC'S RM 126	20 A 1					0.00	0.00	-	-	-		12	
	REC PHONE BOARD	20 A 1	0.00	0.00	0.00	0.00			3	20 A	PARTITION RM 137 SW (SPA	RE)	14	
	SPARE (NOTE 2)	20 A 1			0.00	0.00	0.00	0.00	-	-	-		16	
	SPARE (NOTE 2)	20 A 1	0.00	0.00			0.00	0.00	-	- 20 A	-		18	
19 21	SPARE (NOTE 2)	20 A 3	0.00	0.00	0.00	0.00			3	20 A	PARTITION RM 138 S (SPAR	Ε)	20 22	
23	<u>-</u>				0.00	0.00	0.00	0.00	<u> </u>	_	-		24	
	SPARE (NOTE 2)	20 A 3	0.00	0.00			0.00	0.00	1	20 A	REC: OPEN OFFICE (NOTE 2	<u> </u>	26	
27	- SPARE (NOTE 2)		0.00	0.00	0.00	0.00			1	20 A	SPARE (NOTE 2)	(-)	28	
29	-				0.00	0.00	0.00	0.00	1	20 A	SPARE (NOTE 2)		30	
31	SPARE (NOTE 2)	20 A 3	0.00	0.00			0.00		1	20 A	SPARE (NOTE 2)		32	
33	-				0.00	0.00			1	20 A	REC'S RM 107,138		34	
35	-						0.00	0.00	3	20 A	PARTITION RM 138 W (SPAR	E)	36	
37	PARTITION RM 137 SE (SPARE)	20 A 3	0.00	0.00					-	-	-	,	38	
39	-				0.00	0.00			-	-	-		40	
41	-						0.00	0.00	1	20 A	SPARF (NOTF 2)		42	
		TOTAL LOAI		78 kVA		3 kVA	1.25 k							
		TOTAL AMP	S: 1	1.82 A	4.4	11 A	10.4	1 A						
LOAD	CLASSIFICATION	CONNECT	ED LOAD	DE	MAND FAC	TOR	ESTIM/	ATED DEM	IAND		PANEL TO	OTALS		
IGH.	ΓING (125%)	0.001	:VA		125%		(	0.00 kVA						
	PTACLES (<10kVA @ 100%)	0.001	:VA		100%		(	).00 kVA			TOTAL CONN. (kVA):	3.56 kVA	_	
	PTACLES (>10KVA @ 100%)	0.001		1	50%			0.00 kVA			TOTAL CONN. (kVA).	3.56 kVA		
	EST MOTOR	0.001		+	125%			).00 kVA			TOTAL EST. DEMAND (KVA): TOTAL CONN. (A):	9 89 Δ		
MOTO		0.001		+	100%			).00 kVA						
				+							TOTAL EST. DEMAND (A):	3.03 A		
NIIC	HEN EQUIPMENT	0.001			100%			0.00 kVA					_	
	ELLANEOUS	3.56 ا	ΚVA		100%		1 3	3.56 kVA		1				



BURGESS DESIGN

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant:
PROLOGIS
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371



City of Postering City of City of Postering City of City o	ermitting Serv
Building	Planning
Engineering	Public Worl
Fire OF W	Traffic
2010036 ARCGISTER	23

Professional seal

No.	Issue Description	Date
	PERMIT SET	03.10.2
1	REVISION 1	04.12.2
ity Eloo	tronic Stamp Location	

Drawn by:	NS	Project Manager:

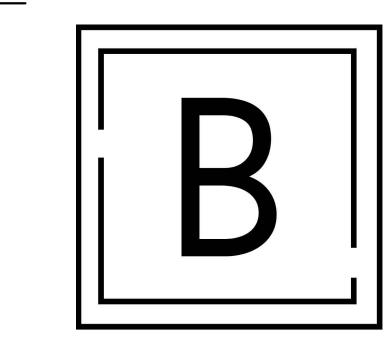
Project No: 22.0243.00

City Electronic Stamp Location

# ELECTRICAL SCHEDULES

Original drawing is 30" x 42". Scale entities accordingly if reduced

E0.3

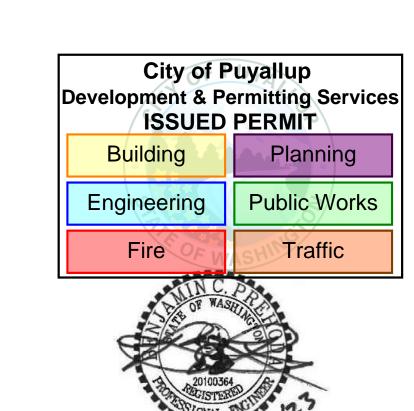


BURGESS DESIGN
INTERIORS + ARCHITECTURE

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

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PROLOGIS
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1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371





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No.	Issue Description	Date
	PERMIT SET	03.10.2
1	REVISION 1	04.12.2
City Elec	tronic Stamp Location	
- 01	IENT ADDDOVAL	DATE

Drawn by: NS Project Manager: E
Project No: 22.0243.00

City Electronic Stamp Location

ELECTRICAL SCHEDULES

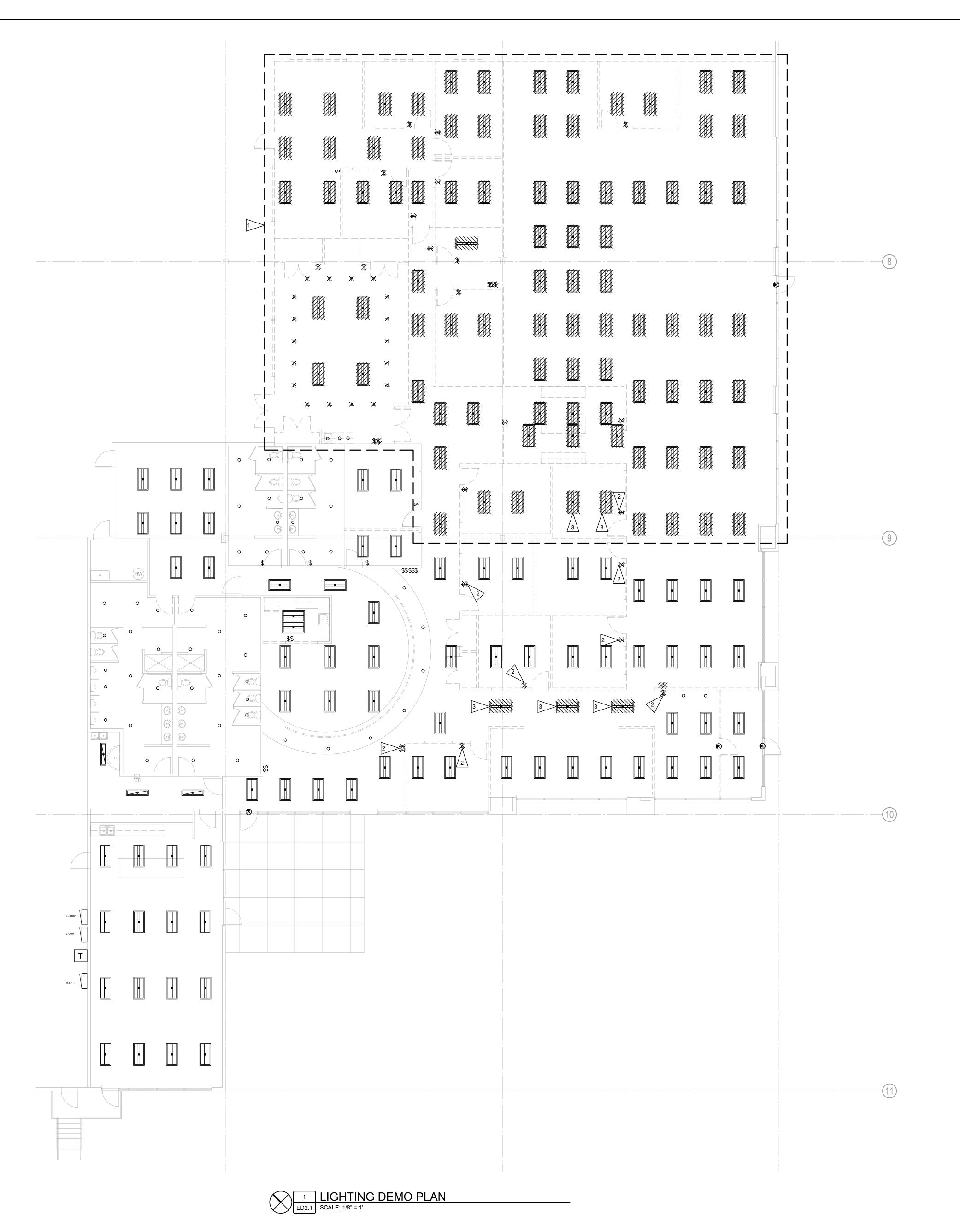
Original drawing is 30" x 42". Scale entities accordingly if reduced

E0.4

	PANEL: L-D102												EXISTING	
	LOCATION: BREAK RM 122	MANUFACTURER:	FATON			,	VOLTAGE:	208Y/120\	/			AIC RATING:	10K	
						,			•					
	SUPPLY FROM: L-D101	CAT.#	PRL1A				PHASES:					MAINS TYPE:	MAIN LUGS ONLY	
	MOUNTING: SURFACE						WIRES:	4				MAINS RATING:	225A	
	NEMA RATING: TYPE 1											NEUTRAL RATING:	100%	
												BUSSING:	CU	
ССТ	CIRCUIT DESCRIPTION	RATING	DOI ES	A (1	۸/۸۱	D (la	A/A)	C (I	۸/۸۱	POLES	RATING	CIRCUIT DE	SCDIDTION	CC
	REC'S R, 122, DIST DETECTORS		7 OLLS		( <b>VA</b> )	D (K	(VA)	C (I	(VA)			SPLIT SYSTEM SERVER RM		
	REFRIGERATOR RM 122	20 A 20 A	1	0.00	0.00	0.00	0.00			2	30 A	SPLIT SYSTEM SERVER RIM	RIU	4
	VENDING RM 121	20 A	1			0.00	0.00	0.00	0.00	1	15 A	SPLIT SYSTEM INDOOR SEF	DVED DM	6
7	VENDING RM 121	20 A	1	0.00	0.00			0.00	0.00	1	20 A	DUCT DETECTORS/ ZONE X		8
•	VENDING RM 121	20 A	1	0.00	0.00	0.00	0.00			1	20 A	EXH. FAN	I ORIVI	10
	VENDING RM 121	20 A	1			0.00	0.00	0.00	0.00	1	20 A	EXH. FAN		12
	DSPOSA/ DISHWASHER RM 122	20 A	1	0.00	0.00			0.00	0.00	1	20 A	CIR PUMP JAN. CLOSET		14
	MICRO RM 122	20 A	1	0.00	0.00	0.00	0.00			1	20 A	DED. REC RM 126		16
	MICRO RM 122	20 A	1			0.00	0.00	0.00	0.00	1	20 A	DED. REC RM 126		18
	REC'S RM 122	20 A	1	0.00	0.00					1	20 A	DED. REC RM 126		20
21	REC'S RM 115, 118, 120	20 A	1			0.00	0.00			2	30 A	W/H		22
	REC'S RM 115	20 A	1					0.00	0.00	-	-	-		24
	REFRIGERATOR RM 123	20 A	1	0.00	0.00					1	20 A	EXH FAN CF11-CF19		26
	MICRO RM 123	20 A	1			0.00	0.00			-	-	SPACE		28
	DISP/ DISH RM 123	20 A	1					0.00	0.00	1	20 A	RTU REC		30
	REC'S RM 123	20 A	1	0.00	0.00					1	20 A	WEST DOCK REC'S		32
	REC'S RM 108	20 A	1			0.00	0.00			1 1	20 A	WEST DOCK REC'S		34
	REC'S RM 111,112	20 A	1	0.00	0.00			0.00	0.00	1 1	20 A	EXH. FAN PAINT STORAGE		36
	SPARE	90 A	3	0.00	0.00	0.00	0.00			1 1	20 A	EXH FANS H2 & H3		38
39	-	-	-			0.00	0.00	0.00	0.00	1 1	20 A	SPARE 15 ATERO 40 0 44		40
41	-		-	0.00	13/4	0.00	13/4	0.00	0.00	1 1	20 A	UNIT HEATERS 12 & 14		42
			L LOAD: L AMPS:	0.00	kVA 0 A	0.00			kVA 0 A	+				
LOAD	CLASSIFICATION		INECTE			MAND FACT			IATED DEN	IAND		PANEL TO	OTALS	
LIGH	TING (125%)		0.00 kV	A		125%			0.00 kVA					
	PTACLES (<10kVA @ 100%)		0.00 kV	A		100%			0.00 kVA			TOTAL CONN. (kVA):	0.00 kVA	
	EPTACLES (>10KVA @ 50%)		0.00 kV	A		50%			0.00 kVA				0.00 kVA	
	GEST MOTOR		0.00 kV			125%		-	0.00 kVA			TOTAL LOTE DEMINATE (KTA).	0.00 A	
MOTO											-	101712 0011111 (71)1		
			0.00 kV			100%			0.00 kVA		-	TOTAL EST. DEMAND (A):	0.00 A	
	HEN EQUIPMENT		0.00 kV			100%			0.00 kVA		1			
MISC	ELLANEOUS		0.00 kV	A		100%			0.00 kVA					

	<b>PANEL:</b> L-D102											F	REVISED	
	LOCATION: BREAK RM 122	MANUFACTURER:	EATON			•	VOLTAGE:	208Y/120\	/			AIC RATING: 1	10K	
	SUPPLY FROM: L-D101	CAT.#	PRL1A				PHASES:	3				MAINS TYPE:	MAIN LUGS ONLY	
	MOUNTING: SURFACE	2					WIRES:					MAINS RATING: 2		
							WINLS.	4						
	NEMA RATING: TYPE 1											NEUTRAL RATING: 1		
-				<del></del>				<del> </del>		ı		BUSSING: (	<u>U</u>	_
ССТ	CIRCUIT DESCRIPTION	RATING	POLES	A (k	(VA)	B (k	(VA)	C (k	(VA)	POLES	RATING	CIRCUIT DES	CRIPTION	ССТ
1	REC'S R, 122, DIST DETECTORS	20 A	1	0.00	0.00	,		- (		2	30 A	SPARE (NOTE 1)		2
	REFRIGERATOR RM 122	20 A	1			0.00	0.00				-	-		4
5	VENDING RM 121	20 A	1					0.00	0.00	1	15 A	SPARE (NOTE 1)	<u> </u>	6
	VENDING RM 121	20 A	1	0.00	0.00					1	20 A	DUCT DÈTECTÓRS/ ZONE X-1	FORM	8
	VENDING RM 121	20 A	1			0.00	0.00			1	20 A	EXH. FAN		10
	VENDING RM 121	20 A	1					0.00	0.00	1	20 A	EXH. FAN		12
	DSPOSA/ DISHWASHER RM 122	20 A	1	0.00	0.00					1	20 A	CIR PUMP JAN. CLOSET		14
	MICRO RM 122	20 A	1			0.00	0.00	0.00	0.00	1	20 A	DED. REC RM 126		16
	MICRO RM 122	20 A	1	0.00	0.00			0.00	0.00	1	20 A	DED. REC RM 126		18
	REC'S RM 122 REC'S RM 115, 118, 120	20 A	1	0.00	0.00	0.00	0.00			1	20 A	DED. REC RM 126 W/H		20
	REC'S RM 115	20 A 20 A	1			0.00	0.00	0.00	0.00	2	30 A	VV/II		24
	REFRIGERATOR RM 123	20 A	1	0.00	0.00			0.00	0.00	1	20 A	EXH FAN CF11-CF19		26
	MICRO RM 123	20 A	1	0.00	0.00	0.00	0.00			-	-	SPACE		28
	DISP/ DISH RM 123	20 A	1			0.00	0.00	0.00	0.00	1	20 A	RTU REC		30
	REC'S RM 123	20 A	1	0.00	0.00				3.55	1	20 A	WEST DOCK REC'S		32
	SPARE (NOTE 1)	20 A	1			0.00	0.00			1	20 A	WEST DOCK REC'S		34
	REC'S RM 111,112	20 A	1					0.00	0.00	1	20 A	EXH. FAN PAINT STORAGE		36
37	SPARE	90 A	3	0.00	0.00					1	20 A	EXH FANS H2 & H3		38
39	-	-	-			0.00	0.00			1	20 A	SPARE		40
41	-	-	-					0.00	0.00	1	20 A	UNIT HEATERS 12 & 14		42
		TOTAI	LOAD:	0.00	kVA	0.00	kVA	0.00	kVA					
		TOTAL	AMPS:	0.0	0 A	0.0	0 A	0.0	0 A					
LOAD	CLASSIFICATION		NECTED		DEI	MAND FAC	TOR	ESTIM	ATED DEM	AND		PANEL TO	ALS	
LIGH <sup>*</sup>	FING (125%)		0.00 kV			125%			0.00 kVA					
RECE	PTACLES (<10kVA @ 100%)		0.00 kV	4		100%			0.00 kVA			TOTAL CONN. (kVA):	).00 kVA	
RECE	PTACLES (>10KVA @ 50%)		0.00 kV	٩		50%			0.00 kVA			TOTAL EST. DEMAND (kVA):	).00 kVA	
	EST MOTOR		0.00 kV	4		125%			0.00 kVA			TOTAL CONN. (A):		
мото	DRS		0.00 kV	4		100%			0.00 kVA			TOTAL EST. DEMAND (A):		
	HEN EQUIPMENT		0.00 kV			100%			0.00 kVA			TO TAL LOT. DEMAND (A).		
MISCELLANEOUS			0.00 kV			100%		1	0.00 kVA					

	LOCATION: BREAK RM 122 MAN SUPPLY FROM: - MOUNTING: SURFACE NEMA RATING: TYPE 1	NUFACTURER: CAT.#		E D		,	VOLTAGE: PHASES: WIRES:	3	/			AIC RATING: MAINS TYPE: MAINS RATING: NEUTRAL RATING: BUSSING:	MAIN CIRCUIT BREAKER 200A 100%	
ССТ	CIRCUIT DESCRIPTION	RATING	POLES	A (k	VA)	В (І	kVA)	C (I	(VA)	POLES	RATING	CIRCUIT DE	SCRIPTION	C
1	208 OUTLET	30 A	2	0.00	0.00	,	,	,		2	30 A	208 OUTLET		
3	-	-	ı			0.00	0.00			-	-	-		
	OUTLET	30 A	1					0.00	0.00	1	30 A	OUTLET		(
	OUTLET	30 A	1	0.00	0.00	0.00	0.00			1	30 A	OUTLET		
	OUTLET	30 A	1			0.00	0.00	0.00	0.00	1	20 A	UNMARKED		1
	COLOR PRINTER SPACE	30 A	1	0.00	0.00			0.00	0.00	2		HVAC 2		,
	SPACE		-	0.00	0.00	0.00	0.00			-	-	SPACE	•	-
	SPACE	<del></del>				0.00	0.00	0.00	0.00	-	-	SPACE		+
	SPACE	<del>-   -</del>		0.00	0.00			0.00	0.00	<del></del>	_	SPACE		
	SPACE	_	_	0.00	0.00	0.00	0.00			-	_	SPACE		7
	SPACE	-	-			0.00	0.00	0.00	0.00	-	-	SPACE		2
	SPACE	-	-	0.00	0.00					-	-	SPACE		2
27	SPACE	-	-			0.00	0.00			-	-	SPACE		2
	SPACE	-	-					0.00	0.00	-	-	SPACE		3
	SPACE	-	-	0.00	0.00					-	-	SPACE		3
	SPACE	-	-			0.00	0.00			-	-	SPACE		3
	SPACE	-	-	2.22	2.22			0.00	0.00	-	-	SPACE		3
	SPACE	-	-	0.00	0.00	0.00	0.00			-	-	SPACE		3
	SPACE	-	-			0.00	0.00	0.00	0.00	-	-	SPACE SPACE		4
41	SPACE	- TOTAL		0.00	1.1 / A	0.00	\ 1.\ / A	0.00	0.00	-	-	SPACE		4
			L LOAD:	0.00			) kVA		kVA	-				
	01.400(5)04.5(0)1		_ AMPS:	0.0	DEMAND FACTOR		0.00 A  ESTIMATED DEMAND		J.		DANEL T	2711.0		
	CLASSIFICATION	CON	INECTED		DEI		IUR			IAND		PANEL TO	JIALS	
	TING (125%)		0.00 kV/			125%			0.00 kVA					
RECE	PTACLES (<10kVA @ 100%)		0.00 kV			100%		0.00 kVA			TOTAL CONN. (kVA)		0.00 kVA	
	PTACLES (>10KVA @ 50%)		0.00 kV		50%		0.00 kVA				TOTAL EST. DEMAND (kVA):	0.00 kVA		
LARGEST MOTOR			0.00 kV	A	125%		0.00 kVA			TOTAL CONN. (A)		0.00 A		
MOTO	DRS		0.00 kV	Α		100%			0.00 kVA			TOTAL EST. DEMAND (A):		
KITCHEN EQUIPMENT			0.00 kV	A		100%		0.00 kVA						
MISCELLANEOUS			0.00 kV/	A		100%			0.00 kVA					



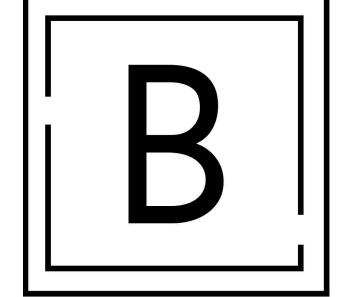
- GENERAL NOTES:
- ALL EQUIPMENT SHOWN IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
   BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTIN
- 2. BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- PROVIDE NECESSARY DEMOLITION TO FACILITATE NEW CONSTRUCTION WORK
  ASSOCIATED WITH THIS PROJECT. COORDINATE OUTAGES WITH OWNER MINIMUM 72
  HOURS IN ADVANCE. PROVIDE DISPOSAL OF REMOVED MATERIAL. MAINTAIN CIRCUIT
  CONTINUITY AS REQUIRED.
- 4. REMOVE ABANDONED EQUIPMENT, WIRING AND RACEWAY.

#### FLAG NOTES:

NOT ALL EXISTING DEVICES ARE SHOWN. CONTRACTOR TO VERIFY ALL DEVICES IN AREA OF WORK TO BE DEMOLISHED. DEMOLISH ALL EXISTING LUMINAIRES, SWITCHES, CEILING MOUNTED DEVICES, ASSOCIATED CONDUITS, CONDUCTORS AND APPURTENANCES BACK TO PANEL UNLESS NOTED OTHERWISE. EXIT SIGNS AT EGRESS DOORS TO REMAIN.

DEMOLISH EXISTING SWITCH. RECIRCUIT ASSOCIATED EXISTING LUMINAIRE TO NEAREST SWITCHED CIRCUIT TO REMAIN.

3 RELOCATE FIXTURE AS SHOWN IN SHEET E2.1.



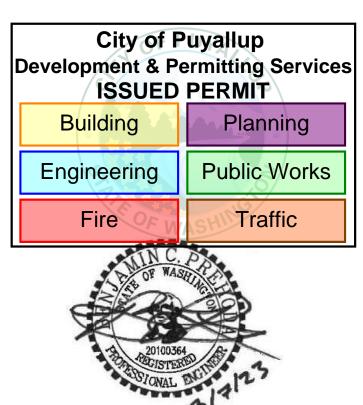
**BURGESS DESIGN** 

1 N T E R I O R S + A R C H I T E C T U R E 1326 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant:
PROLOGIS
PUYALLUP 1
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No.	Issue Description	Date
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1	REVISION 1	04.12.23

Drawn by: NS Project Manager:

City Electronic Stamp Location

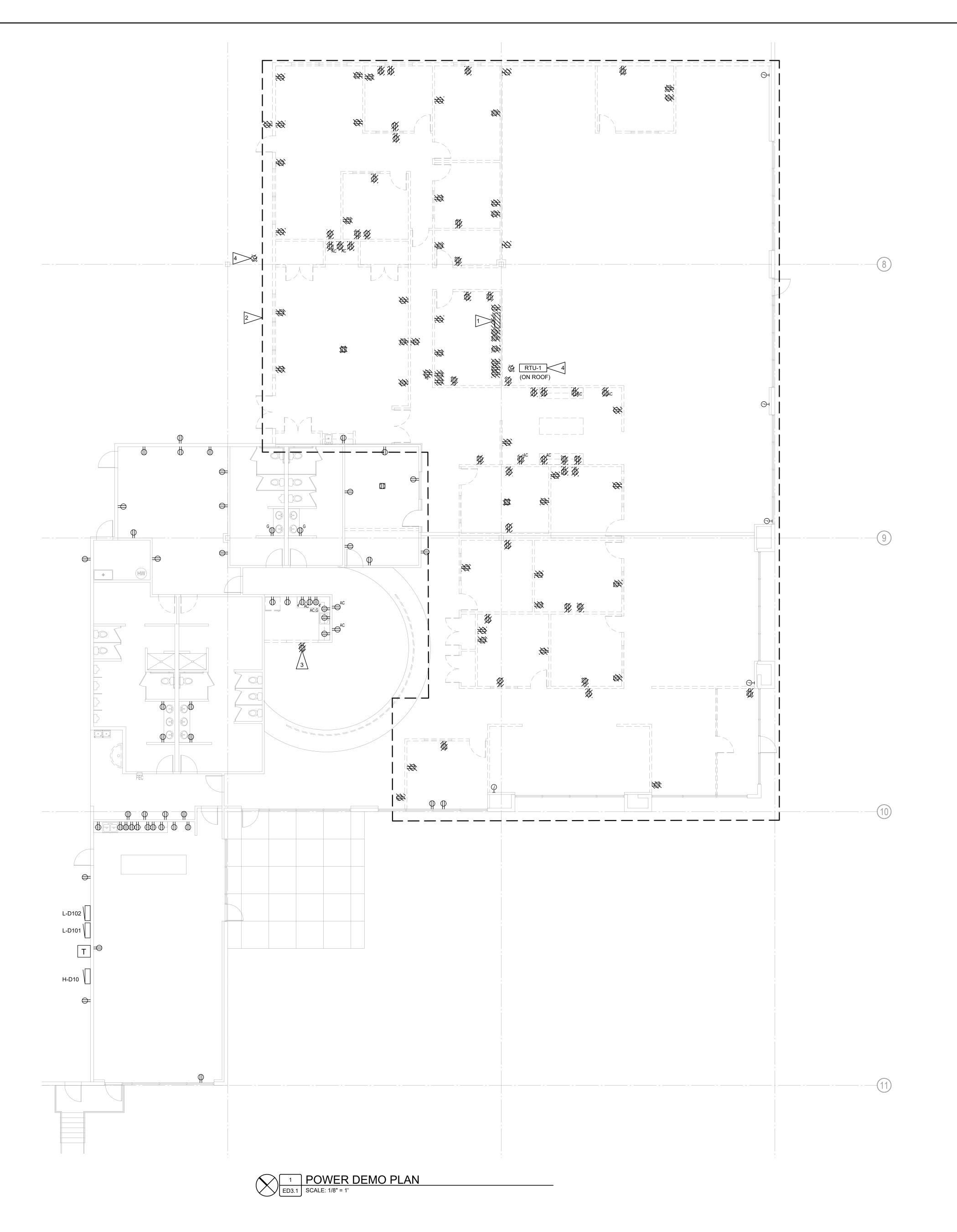
City Electronic Stamp Location

Project No:

LIGHTING DEMO PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

ED2.1



- ALL EQUIPMENT SHOWN IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

   BRANCH CIRCUITING INDICATED ON BLANS AND SCHEDULES IS BASED LIBON EXIST.
- BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- 3. PROVIDE NECESSARY DEMOLITION TO FACILITATE NEW CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT. COORDINATE OUTAGES WITH OWNER MINIMUM 72 HOURS IN ADVANCE. PROVIDE DISPOSAL OF REMOVED MATERIAL. MAINTAIN CIRCUIT CONTINUITY AS REQUIRED.
- 4. REMOVE ABANDONED EQUIPMENT, WIRING AND RACEWAY.

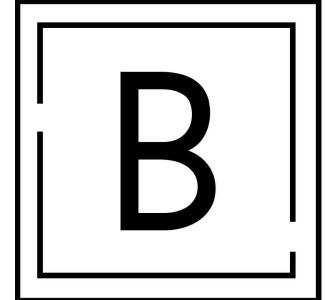
#### FLAG NOTES:

DEMOLISH EXISTING ELECTRICAL PANEL. REMOVE EXISTING CONDUIT AND CONDUCTORS BACK TO SOURCE.

NOT ALL EXISTING DEVICES ARE SHOWN. CONTRACTOR TO VERIFY ALL DEVICES IN AREA OF WORK TO BE DEMOLISHED. DEMOLISH ALL ELECTRICAL DEVICES, ASSOCIATED CONDUITS, CONDUCTORS AND APPURTENANCES BACK TO PANEL SOURCE PANEL.

DEMOLISH EXISTING RECEPTACLE. REMOVE EXISTING BACK BOX, CONDUIT, AND CONDUCTORS BACK TO NEAREST JUNCTION BOX.

DISCONNECT EXISTING ROOFTOP UNIT. REMOVE EXISTING CONDUCTORS. EXISTING CONDUIT TO REMAIN.



## **BURGESS DESIGN**

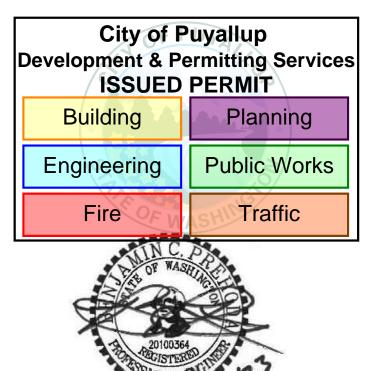
INTERIORS + ARCHITECTURE

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# PRCTI20230310

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No.	Issue Description	Date
	PERMIT SET	03.10.23
1	REVISION 1	04.12.23
ty Elec	stronic Stamp Location	
CL	IENT APPROVAL	DATE

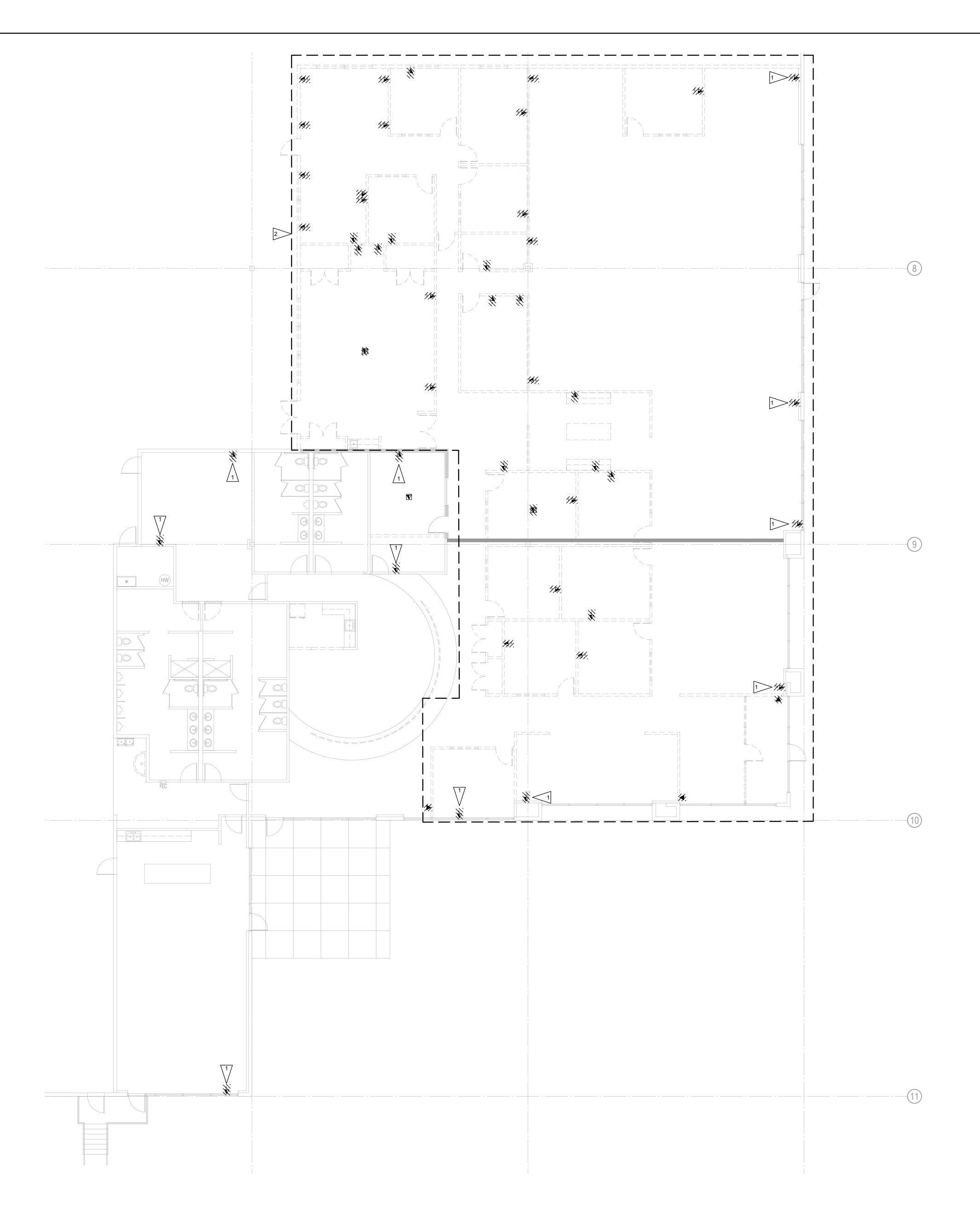
Drawn by: NS Project Manager:

City Electronic Stamp Location

POWER DEMO PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

ED3.1

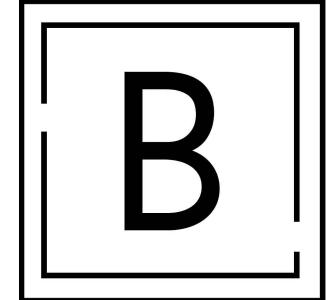


- ALL EQUIPMENT SHOWN IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
   BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING
- PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- 3. PROVIDE NECESSARY DEMOLITION TO FACILITATE NEW CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT. COORDINATE OUTAGES WITH OWNER MINIMUM 72 HOURS IN ADVANCE. PROVIDE DISPOSAL OF REMOVED MATERIAL. MAINTAIN CIRCUIT CONTINUITY AS REQUIRED.
- 4. REMOVE ABANDONED EQUIPMENT, WIRING AND RACEWAY.

#### FLAG NOTES:

DEMOLISH EXISTING DATA OUTLET AND FACE PLATE. EXISTING BACK BOX TO REMAIN. PROVIDE NEW BLANK COVER PLATE.

NOT ALL EXISTING DEVICES ARE SHOWN. CONTRACTOR TO VERIFY ALL DEVICES IN AREA OF WORK TO BE DEMOLISHED. DEMOLISH ALL EXISTING LOW VOLTAGE DEVICES, ASSOCIATED CONDUITS, CONDUCTORS AND APPURTENANCES BACK TO SOURCE



## **BURGESS DESIGN**

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PRCTI20230310

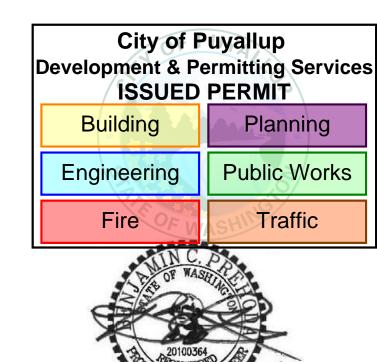
Tenant:
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1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371

ENGINEERS

227 WILLIAMS AVE S
RENTON, WA 98057

425-336-2822
www.metrixeng.com



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No.	Issue Description	Date
	PERMIT SET	03.10
1	REVISION 1	04.12

Drawn by: NS Project Manager:

Project No: 22.0243

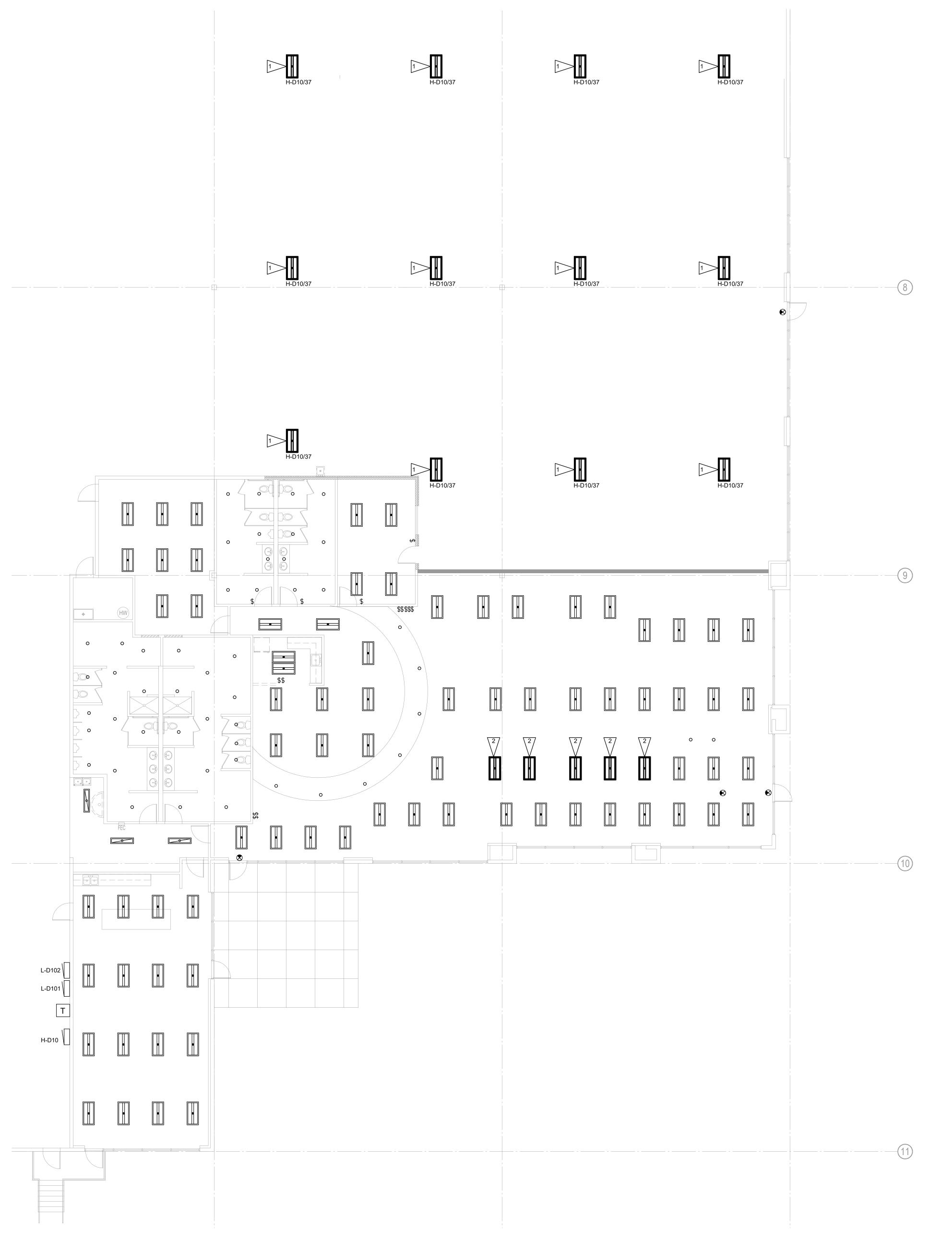
City Electronic Stamp Location

LOW VOLTAGE DEMO

Original drawing is 30" x 42". Scale entities accordingly if reduced

ED4.1

1 ELECTRICAL DEMO LOW VOLTAGE PLAN
ED4.1 SCALE: 1/8" = 1'

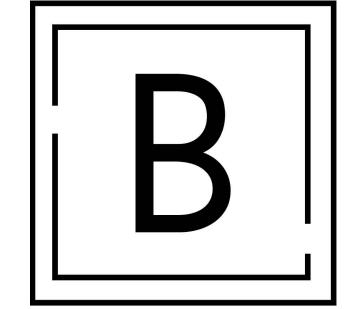


- BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- EQUIPMENT SHOWN IS DIAGRAMMATIC. COORDINATE EQUIPMENT LOCATION WITH OWNER AND ARCHITECTURAL PRIOR TO INSTALLATION.
- 3. COORDINATE EXPOSED CONDUIT ROUTING WITH ARCHITECTURAL PRIOR TO INSTALLATION IN ALL SPACES EXCEPT FOR MECHANICAL, ELECTRICAL, MDF/IDF, AND STORAGE ROOMS.
- 4. REFER TO SHEETS E0.3 AND E0.4 FOR PANEL SCHEDULES.

#### FLAG NOTES:

PROVIDE NEW HIGH-BAY LUMINAIRE, LITHONIA PLD L24 24000LM SEF AFL GND MVOLT GZ10 50K 80 CRI.

2 RELOCATED LIGHT FIXTURE.



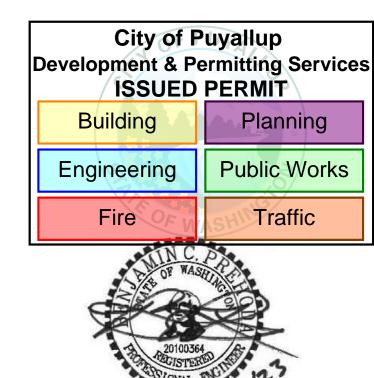
BURGESS DESIGN

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City Elec	tronic Stamp Location	

rawn by: NS Project Manager:

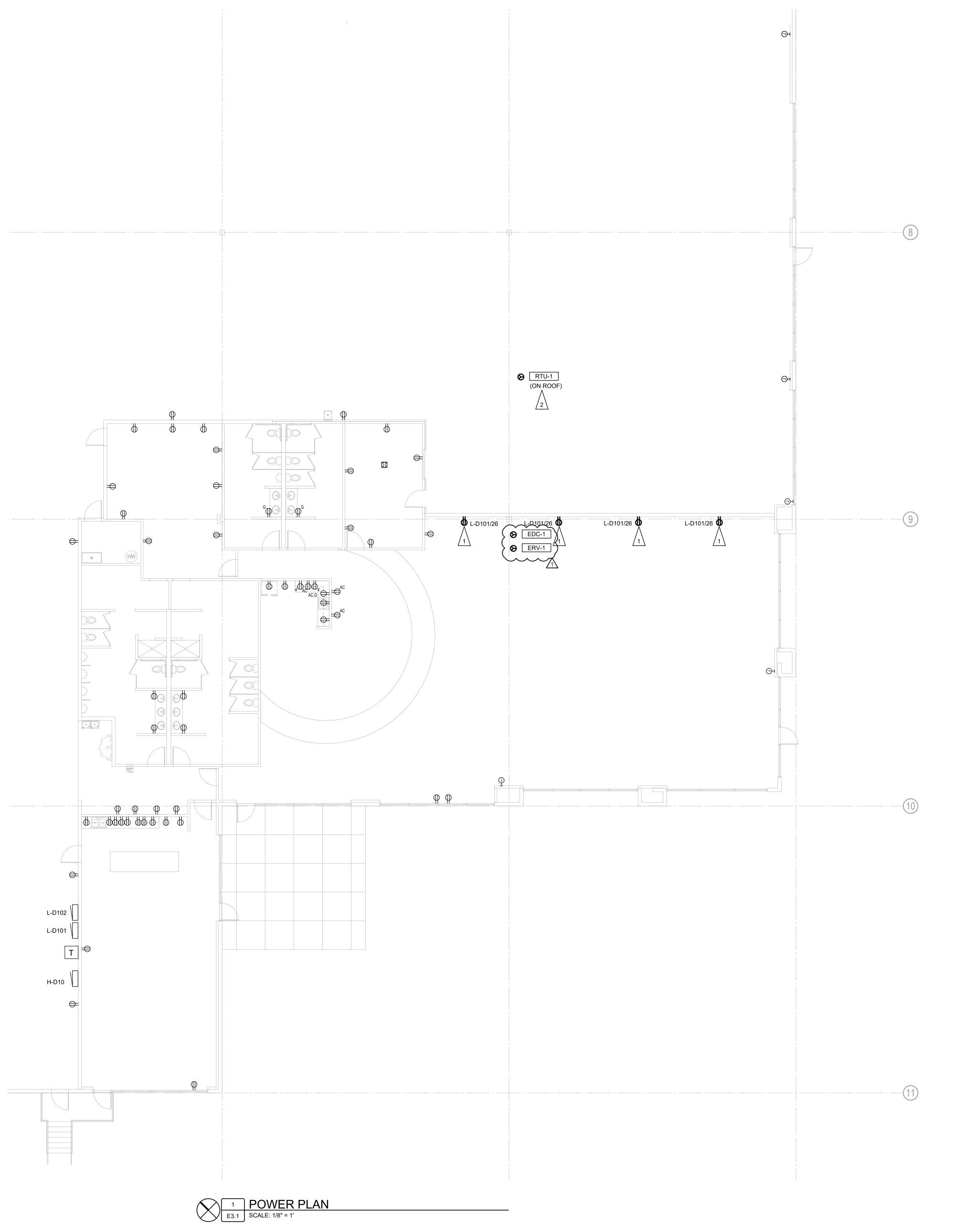
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City Electronic Stamp Location

**LIGHTING PLAN** 

Original drawing is 30" x 42". Scale entities accordingly if reduced

E2.1

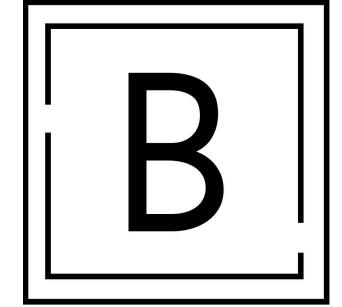


- BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- 2. EQUIPMENT SHOWN IS DIAGRAMMATIC. COORDINATE EQUIPMENT LOCATION WITH
- OWNER AND ARCHITECTURAL PRIOR TO INSTALLATION.
- COORDINATE EXPOSED CONDUIT ROUTING WITH ARCHITECTURAL PRIOR TO INSTALLATION IN ALL SPACES EXCEPT FOR MECHANICAL, ELECTRICAL, MDF/IDF, AND STORAGE ROOMS.
- 4. REFER TO SHEETS E0.3 AND E0.4 FOR PANEL SCHEDULES.

#### **FLAG NOTES:**

1 PROVIDE NEW RECEPTACLE.

PROVIDE CONDUCTORS FOR NEW ROOFTOP UNIT CONNECTION. EXTEND CONDUIT AS NEEDED.



## **BURGESS DESIGN**

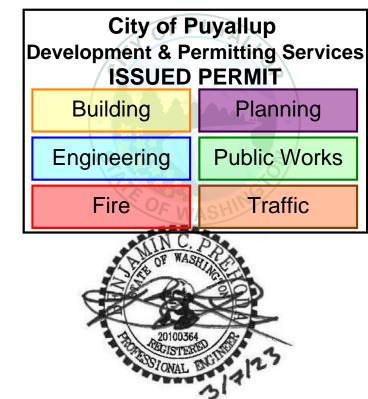
INTERIORS + ARCHITECTURE

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

## PRCTI20230310

Tenant:
PROLOGIS
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371





rofessional seal

No.	Issue Description	Date
	PERMIT SET	03.10.23
1	REVISION 1	04.12.23
City Elec	tronic Stamp Location	

Drawn by: NS Project Manager:

22.0243.00

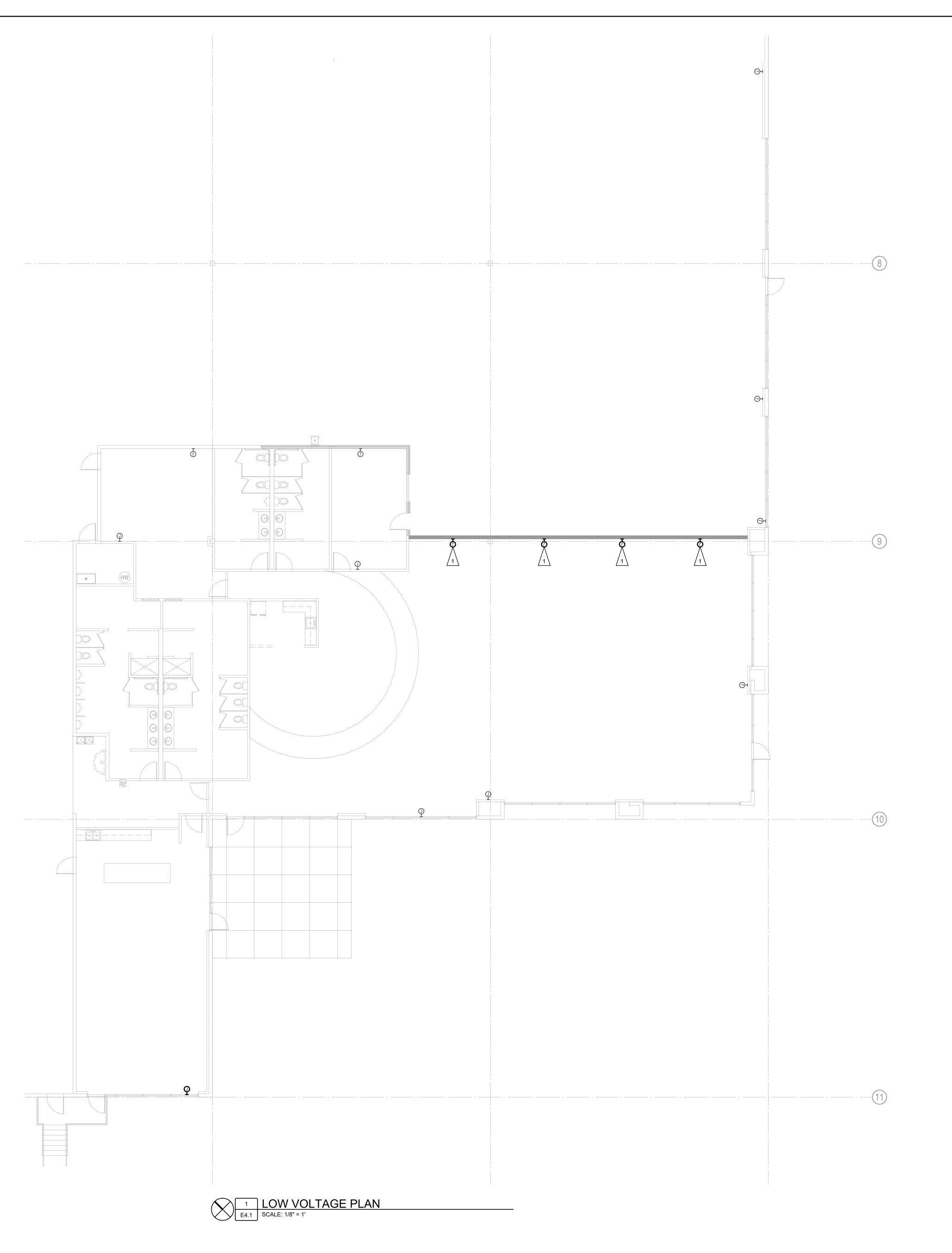
CLIENT APPROVAL

City Electronic Stamp Location

POWER PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

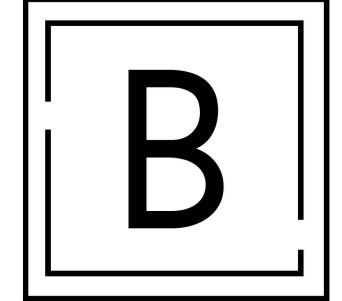
E3.1



- 1. ALL EQUIPMENT IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- BRANCH CIRCUITING INDICATED ON PLANS AND SCHEDULES IS BASED UPON EXISTING PLANS AND SITE OBSERVATION, CONTRACTOR TO FIELD VERIFY.
- EQUIPMENT SHOWN IS DIAGRAMMATIC. COORDINATE EQUIPMENT LOCATION WITH ARCHITECTURAL AND OWNER PRIOR TO INSTALLATION.
- 4. CEILING DEVICES AND CONDUIT ROUTING SHOWN IS DIAGRAMMATIC. COORDINATE ALL DEVICES AND CONDUIT ROUTING WITH EXISTING ELEMENTS PRIOR TO INSTALLATION.
- 5. PROVIDE MINIMUM 1" CONDUIT FOR ALL NEW DATA DROP LOCATIONS TO ACCESSIBLE CEILING.
- 6. REFER TO ARCHITECTURAL FOR ALL MOUNTING HEIGHTS.

#### **FLAG NOTES:**

1 PROVIDE RING AND STRING AND BLANK FACEPLATE FOR FUTURE DATA.



## **BURGESS DESIGN**

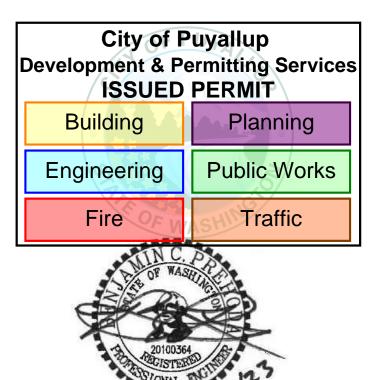
INTERIORS + ARCHITECTURE

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

## PRCTI20230310

Tenant:
PROLOGIS
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371





rofessional seal

No. Issue Description

	PERMIT SET	03.10.2
1	REVISION 1	04.12.2
City Elec	ctronic Stamp Location	

Drawn by: NS Project Manager:

Project No: 22.02

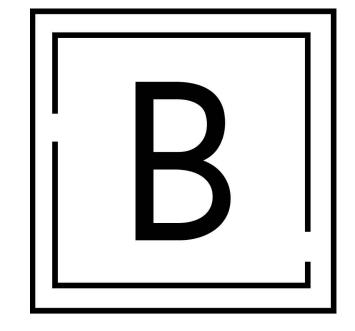
City Electronic Stamp Location

LOW VOLTAGE PLAN

Original drawing is 30" x 42". Scale entities accordingly if reduced

E4.1

- 1. ALL EQUIPMENT IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- 2. PROVIDE NECESSARY DEMOLITION TO FACILITATE NEW CONSTRUCTION WORK ASSOCIATED WITH THIS PROJECT. COORDINATE OUTAGES WITH OWNER MINIMUM 72 HOURS IN ADVANCE. PROVIDE DISPOSAL OF REMOVED MATERIAL. MAINTAIN CIRCUIT CONTINUITY AS REQUIRED.
- 3. REMOVE ABANDONED EQUIPMENT, WIRING AND RACEWAY UNLESS NOTED OTHERWISE.
- 4. REFER TO SCHEDULES ON SHEETS E0.03 AND E0.04 FOR ADDITIONAL INFORMATION.



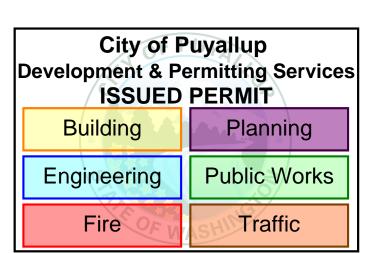
#### **BURGESS DESIGN** INTERIORS + ARCHITECTURE

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

## PRCTI20230310

Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371







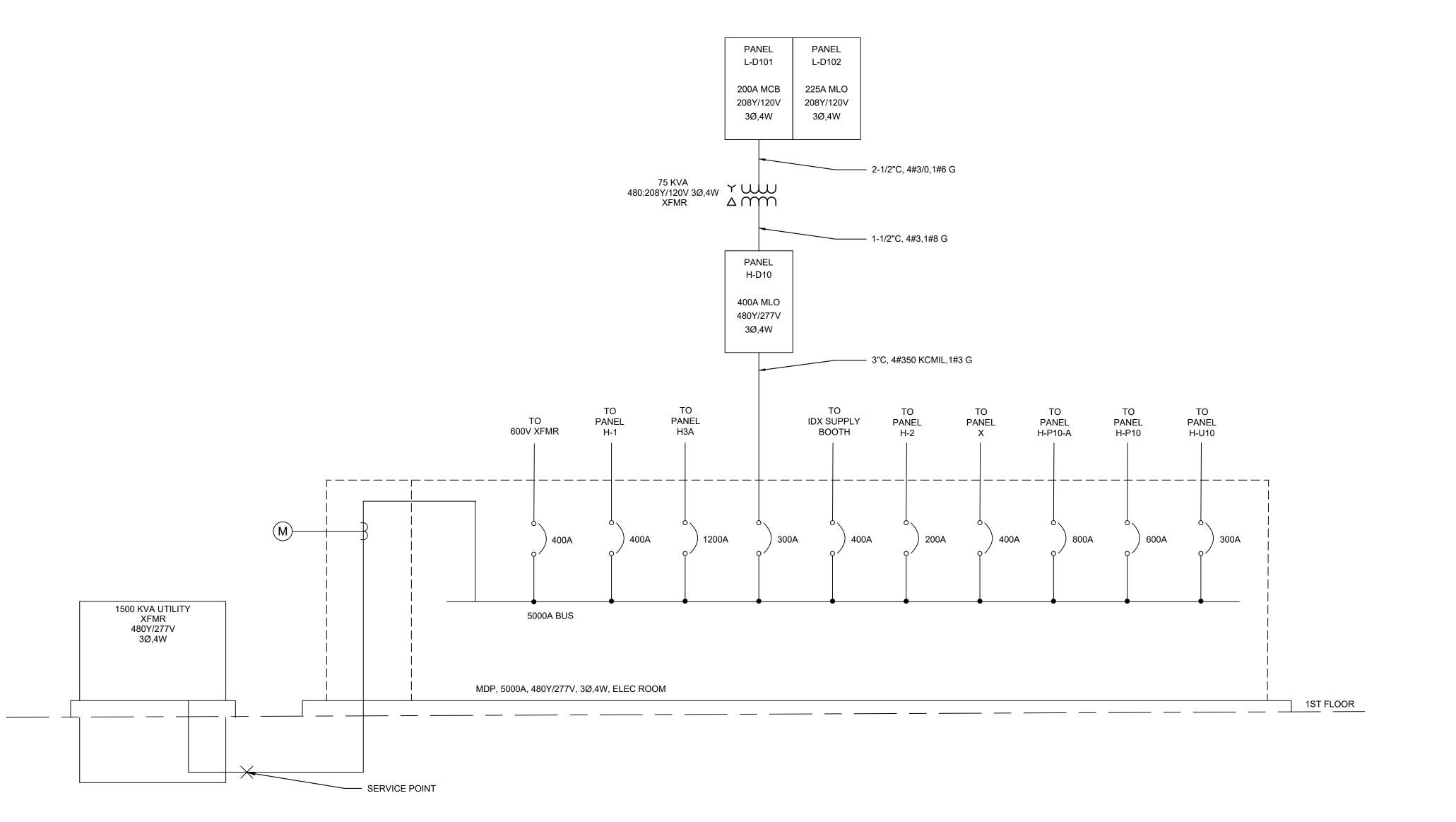
	PERMIT SET	03.10.23
1	REVISION 1	04.12.23
City Elec	tronic Stamp Location	
CL	ENT APPROVAL	DATE

City Electronic Stamp Location

#### **ELECTRIC ONE-LINE DIAGRAM**

Original drawing is 30" x 42". Scale entities accordingly if reduced

E8.1



1 ELECTRICAL ONE-LINE DIAGRAM
E8.1 SCALE: NONE

**EMCS** 

**EQUIP** 

ESP

ETC

EUH

EW

EWC

EWH

EX

EXT

FCO

FCU

FD

F/D

FDC

FFD

FLA

FLR

FLEX

FPS

FS

FT

F/S/D

**EQUIPMENT** 

EYE WASH

**EXHAUST** 

EXPANSION TANK

ELECTRIC UNIT HEATER

AND SO FORTH

ENERGY MANAGEMENT CONTROL SYSTEM

EXTERNAL STATIC PRESSURE

EVAPORATOR, EVAPORATIVE

ELECTRIC WATER COOLER

ELECTRIC WATER HEATER

EXTERIOR, EXTERNAL

DEGREES FAHRENHEIT

FUNNEL FLOOR DRAIN

FIRE DEPARTMENT CONNECTION

COMBINATION FIRE SMOKE DAMPER

FIRE SPRINKLER

FLOOR CLEANOUT

FAN COIL UNIT FLOOR DRAIN

FIRE DAMPER

FULL LOAD AMPS

FEET PER MINUTE

FEET PER SECOND

FEET, FINNED TUBE

FLOOR

FLEXIBLE

FLOOR SINK

**ABBREVIATIONS:** DIAMETER, PHASE GAS GAL GALLON GALV GALVANIZED AIR CONDITIONING UNIT GENERAL CONTRACTOR AREA DRAIN, ACCESS DOOR GPD GALLONS PER DAY AMERICANS WITH DISABILITIES ACT GALLONS PER HOUR ADA GPH ABOVE FINISHED FLOOR GPM GALLONS PER MINUTE AFUE ANNUAL FUEL UTILIZATION EFFICIENCY GAS PRESSURE REGULATOR AUTHORITY HAVING JURISDICTION GRILLE GRILLES, REGISTERS, AND DIFFUSERS AHU GRD AIR HANDLING UNIT **GREASE WASTE** ALTERNATE GYPSUM WALLBOARD ALUM ALUMINUM APPROX APPROXIMATE ARCHITECT HEAD AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR-CONDITIONING ENGINEERS, INC. HEAT PUMP, HORSEPOWER ATMOSPHERE ACID RESISTANT (CHEMICAL) VENT HEIGHT ACID RESISTANT (CHEMICAL) WASTE HEATING, VENTILATION & AIR CONDITIONING DOMESTIC HOT WATER DOMESTIC HOT WATER CIRCULATING BELOW FLOOR BELOW FINISHED FLOOR BHP INDOOR AIR QUALITY BRAKE HORSEPOWER INVERT ELEVATION BLDG BLW BELOW INCH BOP BOTTOM OF PIPE INCL BOT BTU BRITISH THERMAL UNIT BRITISH THERMAL UNIT PER HOUR KILOWATT CONDENSATE DRAIN PIPING LENGTH LEAVING AIR TEMPERATURE CAP CAPACITY LAV LAVATORY CBV CIRCUIT BALANCING VALVE POUND COOLING COIL **CEILING DIFFUSER** LINEAR DIFFUSER LINEAR FEET CI CAST IRON LOUVER CENTER LINE LVR CLG LEAVING WATER TEMPERATURE CEILING CMU CONCRETE MASONRY UNIT CLEANOUT MAXIMUM THOUSANDS OF BTUH COMB COMBUSTION, COMBINATION COND CONDENSATE MCA MINIMUM CIRCUIT AMPACITY CONN CONNECTION **MECHANICAL** CONT CONTINUE, CONTROL MED MEDIUM MANUFACTURER CONTRACTOR MINIMUM COP COEFFICIENT OF PERFORMANCE CONDENSATE PUMP MISCELLANEOUS MAXIMUM OVERCURRENT PROTECTION CT COOLING TOWER CHECK VALVE, CONSTANT VOLUME MEDIUM PRESSURE GAS MTD MOUNTED MAKEUP AIR UNIT DB DRY BULB DEPT DEPARTMENT NEW DEG DEGREE NA, N/A NOT APPLICABLE DRINKING FOUNTAIN DF NOISE CRITERIA, NORMALLY CLOSED DFU DRAINAGE FIXTURE UNIT **DUCTILE IRON** NEG NEGATIVE DI NORMALLY OPEN DIA DIAMETER NUMBER DIAG DIAGRAM NO. DIFF DIFFERENTIAL NON-POTABLE NON-POTABLE WATER DIM DIMENSION NTS NOT TO SCALE DN DOWN DWG DRAWING DWP DOMESTIC WATER PUMP ON CENTER OVERFLOW RAIN WATER LEADER EXISTING OUTSIDE AIR EACH, EXHAUST AIR EΑ PRESSURE, PUMP EAT ENTERING AIR TEMPERATURE ECG EGGCRATE GRILLE PHASE EDH ELECTRIC DUCT HEATER POINT OF CONNECTION PRESS **ENERGY EFFICIENCY RATIO** PRESSURE PRV PRESSURE REDUCING VALVE EXHAUST FAN EFF POUNDS PER SQUARE INCH **EFFICIENCY** PRESSURE/TEMPERATURE RELIEF VALVE EG EXHAUST GRILLE **EXPANSION JOINT** PUMP POLYVINYL CHLORIDE ELEC ELECTRIC PVC ELEV ELEVATION

QTY

RCP

REQD

RPBP

RPM

RTU

SCH

SRV

STD

STM

STR

SUCT

SUP

SCHEM

REFLECTED CEILING PLAN

ROOF OVERFLOW DRAIN

REVOLUTIONS PER MINUTE

REDUCED PRESSURE BACKFLOW ASSEMBLY

REDUCED PRESSURE BACKFLOW PREVENTER

**ROOF DRAIN** 

REFERENCE

REGISTER

REQUIRED

ROOFTOP UNIT

RELIEF VALVE

SCHEDULE

SCHEMATIC

SQUARE

SPECIFICATION

STAINLESS STEEL

STANDARD

STEAM

SUCTION

SAFETY RELIEF VALVE

STARTER, STRUCTURAL

STORAGE TANK, SOUND TRAP

RAIN WATER LEADER

RELIEF

#### TEMP TEMPERATURE TOF TOP OF FOOTING TOP TOP OF PIPE TEMPERATURE/PRESSURE RELIEF VALVE TSP TOTAL STATIC PRESSURE T'STAT THERMOSTAT TYPICAL

UNIT HEATER UNOCC UNOCCUPIED URN URINAL VENT, VOLTS VACUUM BREAKER

**VELOCITY** VEL VARIABLE FREQUENCY DRIVE VFD VTR VENT THRU ROOF WASTE, WATT. WIDTH W/ WITH WATER CLOSET WALL CLEANOUT WATER HEATER WH WATER METER

W/O WITHOUT WATER PRESSURE DROP WASHINGTON STATE ENERGY CODE WATER SUPPLY FIXTURE UNIT WSFU WT WEIGHT

### REFERENCE SYMBOLS

NEW MECHANICAL WORK EXISTING MECHANICAL WORK EXISTING MECHANICAL WORK TO BE DEMOLISHED **————** ENLARGED PLAN BORDER MATCHLINE **SECTION IDENTIFIER** 

DETAIL OR DRAWING IDENTIFIER REVISION CLOUD INDICATES WHERE

INDICATES REVISION & NUMBER

FLAG NOTE EQUIPMENT IDENTIFIER POINT OF CONNECTION

NORTH ARROW

MECHANICAL ACCESS

## **HVAC PIPING LINE DESIGNATION SYMBOLS**

----- MU ------ MAKEUP WATER **CONDENSATE DRAIN PIPING** PUMPED CONDENSATE REFRIGERANT LIQUID LINE LOW PRESSURE NATURAL GAS 

RISE OR DROP OF AIR FLOW RISE OR DROP DIRECTION INTERNALLY LINED DUCT MANUAL VOLUME DAMPER

NEW DUCTWORK

BACKDRAFT DAMPER MOTOR OPERATED DAMPER

**DUCTWORK SYMBOLS** 

DUCT SMOKE DETECTOR SMOKE DAMPER

COMBINATION FIRE/SMOKE DAMPER HORIZONTAL FIRE DAMPER

HORIZONTAL SMOKE DAMPER HORIZONTAL COMBINATION FIRE/SMOKE DAMPER

FLEXIBLE CONNECTION UNDERCUT DOOR <u>UC</u> SUPPLY AIR DUCT SECTION

ROUND DUCT UP

RETURN OR OUTSIDE AIR DUCT SECTION EXHAUST AIR DUCT SECTION

RECTANGULAR DUCT UP RECTANGULAR DUCT DOWN

**ROUND DUCT DOWN** 

#### DIFFUSER, REGISTER AND GRILLE SYMBOLS

AIR DEVICE TAG

SUPPLY DIFFUSER

RETURN OR RELIEF GRILLE EXHAUST GRILLE

ROUND DIFFUSER

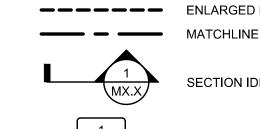
SIDEWALL GRILLE (SUPPLY), LOUVER (EXHAUST OR RETURN) SIDEWALL GRILLE (RETURN OR EXHAUST),

LOUVER (OUTSIDE) LINEAR GRILLE

### REFERENCE SYMBOLS

NEW MECHANICAL WORK ----- EXISTING MECHANICAL WORK EXISTING MECHANICAL WORK *-/////////* TO BE DEMOLISHED **————** ENLARGED PLAN BORDER

SECTION IDENTIFIER



DETAIL OR DRAWING IDENTIFIER

REVISION CLOUD INDICATES WHERE

SECTION APPEARS INDICATES REVISION & NUMBER

**FLAG NOTE** 

**EQUIPMENT IDENTIFIER** POINT OF CONNECTION

**NORTH ARROW** 

**MECHANICAL ACCESS** 

## **BUILDING CODES:**

2018 INTERNATIONAL BUILDING CODE

2018 UNIFORM PLUMBING CODE

2018 WASHINGTON STATE ENERGY CODE AND WASHINGTON STATE AMENDMENTS AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7-16

#### GENERAL NOTES:

- 1. COORDINATE MECHANICAL WORK WITH ELECTRICAL, ARCHITECTURAL, STRUCTURAL, CIVIL AND LANDSCAPE WORK SHOWN ON OTHER CONTRACT DOCUMENTS. PROVIDE ADDITIONAL OFFSETS FOR COORDINATED INSTALLATION WHERE REQUIRED.
- 2. COORDINATE HVAC, PLUMBING AND FIRE PROTECTION WORK PRIOR TO INSTALLATION. DUCTWORK AND EQUIPMENT ACCESS TAKES PRECEDENCE OVER PIPING FOR AVAILABLE
- 3. WHERE USED, THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL".

4. COORDINATE EQUIPMENT CONNECTIONS WITH

- MANUFACTURERS' CERTIFIED DRAWINGS. COORDINATE AND PROVIDE DUCT AND PIPING TRANSITIONS REQUIRED FOR FINAL EQUIPMENT CONNECTIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE DUCT AND PIPING DIMENSIONS BEFORE FABRICATION.
- 5. PROVIDE MISCELLANEOUS STEEL REQUIRED TO ENSURE PROPER INSTALLATION OF MECHANICAL SYSTEMS.
- 6. LOCATE VALVES, WATER HAMMER ARRESTERS, CLEANOUTS, DAMPERS, CONTROLS AND SIMILAR COMPONENTS SO THAT THEY ARE ACCESSIBLE. PROVIDE ACCESS DOORS FOR MECHANICAL EQUIPMENT INSTALLED BEHIND WALLS, ABOVE INACCESSIBLE CEILINGS AND BELOW FLOORS. COORDINATE ACCESS DOOR LOCATIONS WITH ARCHITECT/ENGINEER. INSTALL TAG ON CEILING GRID FRAME TO INDICATE LOCATION AND TYPE OF EQUIPMENT THAT REQUIRES
- MAINTENANCE. PROVIDE 16 GA. STEEL. FLUSH TYPE ACCESS DOOR WITH CONCEALED HINGE AND SLOT SCREWDRIVER TYPE CAM LATCH. PROVIDE FACTORY PRIMED IN PAINTED SURFACE AREAS FOR FIELD PAINTING. PROVIDE STAINLESS STEEL FOR ALL OTHER AREAS. PROVIDE UL LISTED AND LABELED DOOR WHERE FIRE-RESISTANCE RATING IS INDICATED ON DRAWINGS. ACCESS DOOR SHALL BE SIZED SO THAT ADJACENT EQUIPMENT IS ACCESSIBLE. PROVIDE
- ACUDOR, ELMDOR, MILCOR, OR APPROVED. 7. COORDINATE ATTACHMENTS TO STRUCTURE TO VERIFY THAT ATTACHMENT POINTS ON EQUIPMENT AND STRUCTURE
- CAN ACCEPT SEISMIC, WEIGHT, AND OTHER LOADS IMPOSED. 8. REFER TO TYPICAL DETAILS PROVIDED IN THIS DWG SET FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR CONFORMANCE WITH
- LOCATIONS AND SIZES OF FLOOR, WALL, AND ROOF OPENINGS SHALL BE COORDINATED WITH OTHER TRADES INVOLVED, INCLUDE IN THE COST OF MECHANICAL WORK, CUTTING, CORING, PATCHING AND PAINTING OF EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS REQUIRED TO ACCOMMODATE WORK AS INDICATED IN THE MECHANICAL CONTRACT DOCUMENTS, UNLESS SPECIFICALLY SHOWN ON
- ARCHITECTURAL DRAWINGS. 10. PROVIDE ELASTOMERIC FOAM MATERIAL ON MECHANICAL EQUIPMENT THAT PRESENT A SAFETY HAZARD.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES AGAINST FIRE, THEFT AND ENVIRONMENTAL CONDITIONS.
- 12. CLEAN THE JOB SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSE BY THE PERFORMANCE OF THE WORK INCLUDED IN THIS CONTRACT. BEFORE SUBSTANTIAL COMPLETION, CLEAN EQUIPMENT,
- FIXTURES, EXPOSED DUCTS, PIPING AND SIMILAR ITEMS. 13. PROVIDE EQUIPMENT THAT FITS INTO THE SPACE ALLOTTED AND ALLOWS ADEQUATE ACCEPTABLE CLEARANCE FOR INSTALLATION, REPLACEMENT, ENTRY, SERVICING AND MAINTENANCE, COORDINATE WITH OTHER TRADES TO ENSURE NO CONFLICT WITH REQUIRED CLEARANCES.
- 14. PROVIDE OFFSETS IN PIPING WHERE PLUMBING/PIPING WALL IS LOCATED DIRECTLY ABOVE STRUCTURE. OFFSET PIPING INTO CASEWORK OR SHAFT TIGHT TO WALL AND BACK INTO WALL ONCE BELOW STRUCTURE. REFER TO STRUCTURAL
- 15. BUILDING SPACE IS LIMITED. STRONG ATTENTION TO DETAIL AND CARE MUST BE TAKEN WHEN DEVELOPING SHOP DRAWING SO ROUTING IS COORDINATED WITH OTHER DISCIPLINES. 16. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE
- OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723. 17. MECHANICAL EQUIPMENT, PACKAGED UNITS, CONTROL
- PANELS, MOTOR STARTER, MOTOR CONTROLLERS, VARIABLE FREQUENCY DRIVES AND SIMILAR EQUIPMENT SHALL CARRY A SHORT CIRCUIT CURRENT RATING (SCCR) EQUAL TO OR GREATER THAN AVAILABLE FAULT CURRENT DELIVERED FROM ELECTRICAL SYSTEM. INCLUDE VISIBLE FACTORY NAMEPLATE FOR SUCH EQUIPMENT INDICATING SCCR OF EQUIPMENT IN ACCORDANCE WITH UL 1995 AND UL 508A.
- 1. PROVIDE AN AUTOMATIC AIR VENT AT THE HIGH POINT OF EACH DROP IN THE HEATING WATER, CHILLED WATER, AND OTHER CLOSED WATER PIPING SYSTEMS. PIPE VENT TO

- NEAREST DRAIN. PIPING SHALL GRADE TO LOW POINTS. PROVIDE HOSE END DRAIN VALVES AT THE BOTTOM OF RISERS AND LOW POINTS
- 2. VALVES SHALL BE INSTALLED SO THAT VALVE REMAINS IN SERVICE WHEN EQUIPMENT OR PIPING ON EQUIPMENT SIDE OF VALVE IS REMOVED.
- 3. VALVES (EXCEPT CONTROL VALVES) AND STRAINERS SHALL BE FULL SIZE OF PIPE BEFORE REDUCING SIZE TO MAKE CONNECTIONS TO EQUIPMENT AND CONTROLS.
- 4. PROVIDE UNIONS AND/OR FLANGES AT EACH PIECE OF EQUIPMENT, AT EACH CONTROL VALVE, IN BYPASSES, AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS.
- CONNECTED TO AIR HANDLING EQUIPMENT, PUMPS, CHILLERS, COOLING TOWERS, AND OTHER EQUIPMENT WHICH REQUIRE VIBRATION ISOLATION.

PROVIDE FLEXIBLE CONNECTORS IN PIPING SYSTEMS

- 6. PROVIDE LINE SIZE STRAINER UPSTREAM OF EACH BACKFLOW PREVENTER, WATER PRESSURE REDUCING VALVE, AUTOMATIC FLOW CONTROL VALVE, CONTROL VALVE, SOLENOID VALVE, GAS PRESSURE REGULATOR, AND PUMP.
- PROVIDE SHUTOFF VALVE ON EACH SIDE OF STRAINER. 7. VALVES, EXPANSION FITTINGS/LOOPS, AND PIPING SPECIALTIES SHALL BE FULL SIZE OF PIPE UNLESS NOTED OTHERWISE.
- HVAC/SHEET METAL: 1. DUCTWORK DIMENSIONS, AS SHOWN ON THE DRAWINGS, ARE INTERNAL CLEAR DIMENSIONS AND DUCT SIZE SHALL BE INCREASED TO COMPENSATE FOR DUCT LINING THICKNESS.
- . PROVIDE TEMPORARY COVERS OVER OPEN ENDS OF EQUIPMENT AND DUCTWORK DURING CONSTRUCTION.
- 3. PROVIDE MANUAL VOLUME DAMPER FOR EACH DIFFUSER, REGISTER, AND GRILLE.

. PROVIDE THE FOLLOWING MINIMUM BRANCH DUCT SIZE TO

- 4. PROVIDE DUCT ACCESS DOORS AT DUCT SMOKE DETECTORS, BACKDRAFT DAMPERS, MOTORIZED CONTROL DAMPERS, FIRE DAMPERS, SMOKE DAMPERS, COMBINATION FIRE/SMOKE DAMPERS, DUCT MOUNTED COILS, DUCT
- AIRFLOW STATIONS AND LOUVER PLENUMS. 5. ALL DUCTWORK SHALL BE CONSTRUCTED AND SEALED PER
- 6. ALL DUCTWORK IS LOW PRESSURE.
- DIFFUSERS, REGISTERS, AND GRILLES, UNLESS NOTED TO DEMOLITION: USE LARGER SIZE ON DRAWINGS:
- 7.1. 6"Ø: 100 CFM 7.2. 8"Ø": 200 CFM
- 7.3. 10"Ø: 300 CFM 7.4. 12"Ø: 450 CFM
- 7.5. 14"Ø: 600 CFM 7.6. 16"Ø: 750 CFM ENERGY CODE: (STATE ENERGY CODE)
- . MOTORS: COMPLY WITH MINIMUM FULL LOAD EFFICIENCIES LISTED IN THE STATE ENERGY CODE.
- 2. PIPING AND DUCT INSULATION: COMPLY WITH THICKNESS AND TYPES LISTED IN THE STATE ENERGY CODE.
- 3. DUCT SEALING: SEAL DUCT TRANSVERSE JOINTS AND LONGITUDINAL SEAMS PER THE STATE ENERGY CODE.
- 4. RECORD DRAWINGS: PROVIDE PER THE STATE ENERGY 5. OPERATION AND MAINTENANCE MANUALS: PROVIDE PER
- THE STATE ENERGY CODE.
- 6. SYSTEM BALANCING: PROVIDE PER THE STATE ENERGY
- 7. MECHANICAL SYSTEMS COMMISSIONING: PROVIDE PER THE STATE ENERGY CODE.
- B. THIS BUILDING AND ITS ENERGY SYSTEMS HAVE BEEN DESIGNED TO COMPLY WITH THE STATE ENERGY CODE. CONTRACTOR IS RESPONSIBLE FOR CORRECT INSTALLATION OF ENERGY CONSERVATION MEASURES.
- 9. BUILDING PRESSURE TESTING: COORDINATE PHASING OF BUILDING ENVELOPE LEAKAGE TESTING WITH MECHANICAL SYSTEM SCOPES OF WORK, TEMPORARILY CAP SYSTEMS AS REQUIRED TO FACILITATE LEAKAGE TESTING SCOPE OF
- 10. DAMPER ACTUATION: CONFIGURE AUTOMATIC CONTROLS TO CLOSE OUTDOOR AIR INTAKE AND RELIEF DAMPERS DURING UNOCCUPIED EQUIPMENT OPERATION.
- 11. AUTOMATIC SETBACK AND SHUT-DOWN: PROVIDE AUTOMATIC SETBACK AND SHUTDOWN WITH MANUAL OVERRIDE FUNCTIONS CONTROLLED BY EITHER AN AUTOMATIC TIME CLOCK OR 7 DAY PROGRAMMABLE CONTROLS.
- 12. AUTOMATIC START / STOP: PROVIDE AUTOMATIC START AND STOP CONTROLS PER SECTION C403.4.2.3 OF THE WSEC. START CONTROLS SHALL BE CONFIGURED IN A WAY TO BRING THE SPACE'S TEMPERATURE UP TO THE DESIGN TEMPERATURE PRIOR TO SCHEDULED OCCUPANCY. STOP CONTROLS SHALL BE CONFIGURED IN A WAY TO REDUCE THE HEATING SETPOINT AND INCREASE THE COOLING

- MECHANICAL SHEET INDEX MECHANICAL LEGEND & GENERAL NOTES MECHANICAL SCHEDULES MECHANICAL DEMOLITION FLOOR PLAN GAS PIPING DEMOLITION FLOOR PLAN MECHANICAL FLOOR PLAN MMY2YY MBCHANYCALROOFPLANYYYYYYY GAS PIPING FLOOR PLAN
  - SETPOINT BY 2F PRIOR TO SCHEDULED UNOCCUPANCY. NON-STRUCTURAL MECHANICAL COMPONENTS:
  - 1. THE FOLLOWING ITEMS ARE TAKEN DIRECTLY FROM THE INTERNATIONAL BUILDING CODE AND FROM THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-10. THE CONTRACTOR SHALL REFER TO THE ABOVE FOR ADDITIONAL INFORMATION, EXCEPTIONS, AND FURTHER DESCRIPTIONS, THE CONTRACTOR SHALL ADHERE TO REQUIREMENTS AND AS SUCH, SHALL BE INCLUDED WITHIN BID.
  - 2. IBC 1613.1 SCOPE: ARCHITECTURAL, MECHANICAL ELECTRICAL, AND NON-STRUCTURAL COMPONENTS THAT ARE PERMANENTLY ATTACHED TO STRUCTURES AND THEIR SUPPORTS AND ATTACHMENTS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF EARTHQUAKE MOTIONS IN ACCORDANCE WITH ASCE 7-10, EXCLUDING
  - CHAPTER 14 AND APPENDIX 11A. 3. IBC 1705.11 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A SEISMIC-FORCE-RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM, OR SEISMIC-RESISTING
  - COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS. **EXISTING MECHANICAL:** 1. WORK SHALL BE PERFORMED IN A CLEAN AND
  - WORKMANLIKE MANNER. CARE SHALL BE EXERCISED TO MINIMIZE ANY INCONVENIENCE OR DISTURBANCE TO OTHER AREAS OF THE BUILDING WHICH ARE TO REMAIN IN OPERATION. ISOLATE WORK AREAS BY MEANS OF TEMPORARY PARTITIONS AND/OR TARPS TO KEEP DUST AND DIRT WITHIN THE CONSTRUCTION AREA.
  - 2. EXISTING MATERIALS THAT ARE REMOVED SHALL NOT BE REUSED IN NEW SYSTEMS, EXCEPT WHERE INDICATED AS
  - BEING RELOCATED. 3. WHERE INDICATED, DUCTWORK AND PIPING OR PORTIONS OF DUCTWORK AND PIPING SHALL BE REUSED. REFER TO DRAWING PLANS FOR POINTS OF CONNECTIONS.

4. PROVIDE TEMPORARY SUPPORT OF EXISTING MECHANICAL

SYSTEMS WHERE REQUIRED BY DEMOLITION OR ALTERATION OF EXISTING STRUCTURE DURING CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR AND PROVIDE ALL NECESSARY PIPE, DUCT AND EQUIPMENT SUPPORTS AND HANGERS TO MAINTAIN INTEGRITY, SAFETY AND PROPER OPERATION OF EXISTING MECHANICAL SYSTEMS FOR THE DURATION OF THE WORK.

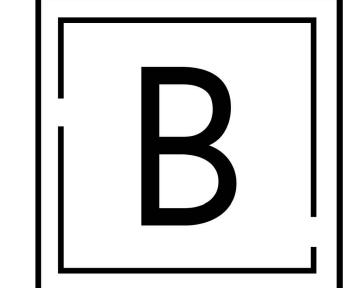
## 1. TAKE CAUTION IN DEMOLITION OF MECHANICAL EQUIPMENT.

- 2. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL PIPING, DUCTWORK, AND EQUIPMENT INDICATED ON DRAWINGS INCLUDING ALL ASSOCIATED INSULATION, HANGERS, VALVES, PLENUM WALLS, DAMPERS, WIREMOLD, WIRING, CONTROLS, AND APPURTENANCES ASSOCIATED WITH EACH PIECE OF EQUIPMENT.
- 3. EXISTING CONTROL PATHWAYS MAY BE RE-USED. COORDINATE CONTROLS DEMO WORK PRIOR TO DEMOLITION. REMOVE ALL EXISTING THERMOSTATS SHOWN ON THE DRAWINGS ALONG WITH ASSOCIATED WIRING AND
- RACEWAYS. 4. WHERE EXISTING ITEMS PENETRATE A WALL OR ROOF, CONTRACTOR SHALL PROVIDE INFILL AT (E) PENETRATIONS THROUGH WALL/ROOF WITH LIKE MATERIALS. PATCH &
- REPAIR TO MATCH SURROUNDING SURFACES INCLUDING 5. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF EXISTING MECHANICAL FOUIPMENT WHERE REQUIRED BY DEMOLITION OR ALTERATION OF EXISTING STRUCTURE DURING CONSTRUCTION. COORDINATE WITH GC AND PROVIDE NECESSARY SUPPORTS AND HANGERS TO
- EXISTING MECHANICAL SYSTEMS. 6. THE OWNER HAS THE RIGHT TO RETAIN OWNERSHIP OF ANY MATERIALS BEING REMOVED. DELIVER ITEMS TO THE OWNER'S REPRESENTATIVE AS INDICATED IN THE CONTRACT DOCUMENTS. NOTIFY OWNER IN WRITING AT LEAST 7 DAYS IN ADVANCE OF DEMOLITION.

MAINTAIN INTEGRITY, SAFETY AND PROPER OPERATION OF

## **CLOSEOUT DOCUMENTATION:**

PROVIDE PROJECT CLOSE OUT DOCUMENTATION AND TRAINING OF BUILDING OPERATIONS PERSONNEL IS REQUIRED FOR ALL MECHANICAL COMPONENTS, EQUIPMENT AND SYSTEMS GOVERNED BY THIS CODE; CLOSE OUT DOCUMENTATION SHALL INCLUDE: RECORD DOCUMENTS, O&M MANUALS, APPLICABLE WSEC MECHANICAL EQUIPMENT COMPLIANCE REPORTS AND CALCULATIONS.



BURGESS DESIGN NTERIORS + ARCHITECTU

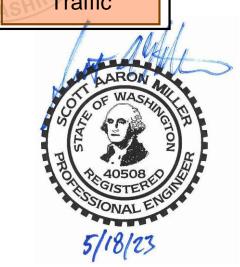
326 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant: PUYALLUP 1

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			WA 983			
	1601	INDUS	TRIAL P	ARK #1	00	
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	M						
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Pe	rmitt	ina S	Serv	vices	s		

|Development & **ISSUED PERMIT** Planning **Public Works** Engineering Traffic



Professional seal

No.	Issue Description	Date
	PERMIT SET	03.10.23
1	PERMIT REV 1	04.12.23
2	PERMIT RESPONSE	05.19.23

City Electronic Stamp Location

CLIENT APPROVAL City Electronic Stamp Location

**MECHANICAL LEGEND & GENERAL NOTES** 

Original drawing is 30" x 42". Scale entities accordingly if reduced

M0.1

TAG	LOCATION	MANUFACTURER/MODEL	FLOW	ESP	GAS H	EATING	COC	DLING		ELECTRIC	AL	WEIGHT	NOTES
					INPUT	OUTPUT	TOTAL	EER	MCA	MOCP	VOLTAGE/		1
					CAPACITY	CAPACITY	CAPACITY				PHASE		1
			(CFM)	(IN WC)	(MBH)	(MBH)	(MBH)		(AMPS)	(AMPS)	V/Ø	(LBS)	1
RTU-3	ROOF	CARRIER / 48TMD006	2000	0.5	74	59.2	57.8	10	13.2	20	460/3	775	1
RTU-4	ROOF	CARRIER / 48TMD009	3400	0.5	125	72 / 100	1000	10.1	21	25	460/3	1098	1

TAG	MANUFACTURER / MODEL	F.	AN		MOTOR	NOTES
		FLOW	ESP	POWER	VOLTAGE/PHASE	
		(CFM)	(IN WC)	(HP)	(V/Ø)	
EF-1	FANTECH / FX-6	197	0.375	0.74	115/1	1
EF-2	NUTONE / QTRN100	90	0.25	0.9	115/1	1
EF-3	FANTECH / FX-6	197	0.375	0.74	115/1	1
EF-4	ILG / CRBA12-1/4	1200	0.5	0.25	115/1	1
EF-5	ILG / CRBA10-1/4	550	-	-	115/1	1, 2

1) UNIT IS EXISTING TO REMAIN. 2) FAN SHALL BE REBALANCED TO THE SPECIFIED FLOW.

4CK/	AGED GA	S ROOFTOP UN	IT SC	HEDL	JLE															
TAG	LOCATION	MANUFACTURER/MODEL		F	AN				HEATIN	NG			COOLING			ELECTRIC	AL	DIMENSIONS	WEIGHT	NOTES
			FLOW	ESP	SPEED	MOTOR	INPUT	OUTPUT	DELTA	GAS	GAS	TOTAL	SENSIBLE	EER	MCA	MOP	VOLTAGE/	(LxWxHT)		
							CAPACITY	CAPACITY	Т	PRESSURE	CONNECTION	CAPACITY	CAPACITY				PHASE	, ,		
			(CFM)	(IN WC)	(RPM)	(HP)	(MBH)	(MBH)	(°F)	(IN W.C.)	(IN)	(MBH)	(MBH)		(AMPS)	(AMPS)	V/Ø	(INxINxIN)	(LBS)	
RTU-1	ROOF	TRANE / YHJ102A4SO	3000	0.947	1169	3.1	150	121.5	37.5	6	3/4	102	80	12.1	25	30	460/3	88x53x52	1087	1,2,3,4

1) EXISTING UNIT: CARRIER 48TMD028. OBTAIN SERIAL NUMBER TO VERIFY ACTUAL DIMENSIONS PRIOR TO ORDERING CURB ADAPTER.

2) INSTALL DUCT SMOKE DETECTOR IN RETURN DUCT OF UNIT. 3) PROVIDE WITH OPTION FOR DF LOW LEAK ECON DIFFERENTIAL DB WITH BR

4) PROVIDE WITH INTERMITTENT IGNITION OR IID, FLUE OR DRAFT DAMPER, AND RATED JACKET LOSS.

COOLING	TAG	MANUFACTURER / MODEL	AIRFLOW	ESP	ENTHALPY	ENTHALPY		ELECTRI	CAL		DIMENSIONS	WEIGHT	NOTES
(CFM) (IN. WG) (%) (KW) V/Ø (AMPS) (INxINxIN) (LBS)					COOLING	HEATINGING	POWER	VOLTAGE/	MCA	MOCP			
					EFFICIENCY	EFFICIENCY					(LxWxHT)		
ERV-1   MITSUBISHI / TLGHF0470RVX02A   470   1   73   83   0.425   208/1   5.1   15   41x51x15   110   1				(IN. WG)	(%)	(%)			(AMPS)	(AMPS)			
	ERV-1	MITSUBISHI / TLGHF0470RVX02A	470	1	73	83	0.425	208/1	5.1	15	41x51x15	110	1

ELECTRIC DUCT COIL SCHEDULE SPECIAL FEATURE CODE TAG MANUFACTURER / MODEL MIN VELOCITY CONTROL CAPACITY STAGES VOLTAGE/PHASE SETPOINT CURRENT CODE OPTION E36, E23, L6, M6, Q1, Q4, T2, U8, Z3 INDEECO / QUA 1) PROVIDE WITH PECO ELECTRONIC DUCT T'STAT, 1031404 & 1031407 (SENSOR).

IFFUS	SER, REGISTER, A	ND GRILLE SCHEDUL	E									
TAG	MANUFACTURER / MODEL	TYPE	MATERIAL (NOTE 8)	FINISH	FACE STYLE	FACE SIZE	DUCT INLET	MOUNTING	PATTERN	DAMPERS	ACCESSORIES	NOTES
Α	PRICE / SMCD	MODULAR CORE SUPPLY DIFFUSER	ST	WHITE	-	NOTE 2	NOTE 3	NOTE 4	-	NONE	-	1, 5, 7
E	PRICE / 80F	EGGCRATE GRILLE	AL	WHITE	-	NOTE 2	NOTE 3	NOTE 4	-	NONE	-	-
R	PRICE / 530RL	RETURN / EXHAUST GRILLE	ST	NOTE 7	-	NOTE 2	NOTE 3	NOTE 4	_	NONE	-	-

1) SEE DRAWINGS FOR FACE SIZE (24x24 OR 12x12). PROVIDE 24x24 FOR LAY IN CEILINGS.

2) FACE SIZE DETERMINED FROM DUCT INLET SIZE.

3) SEE AIR DEVICE TAG FOR DUCT INLET SIZE.

4) COORDINATE BORDER TYPE (SURFACE MOUNT, SNAP IN, LAY-IN, SPLINE, DROPPED FACE, AND BEVELED DROP FACE) WITH ARCHITECTURAL CEILING PLANS. 5) COORDINATE BORDER TYPE WITH ARCHITECTURAL CEILING DETAILS.

7) PROVIDE CUSTOM COLOR PER ARCHITECT. 8) PROVIDE ALUMINUM DIFFUSERS, REGISTERS AND GRILLES IN KITCHENS, LOCKER ROOMS, ROOMS CONTAINING SHOWERS AND OTHER AREAS SUBJECT TO MOISTURE.

ST = STEEL, AL = ALUMINUM, BE = BAKED ENAMEL, AA = ANODIZED ALUMINUM, FA = FULLY ADJUSTABLE, TP = TWO POSITION, OPD = OPPOSED BLADE DAMPERS, ADJ = ADJUSTABLE, BA = BAKED ACRYLIC, BO = BLANK OFF, DB = DIRECTIONAL BLADES, AND P = PLENUM.

DUCT CO	NSTRUCT	ION SCHI	EDULE				
DUCT SYSTEM	PRESSURE CLASS (IN WG)	MIN SMACNA SEAL CLASS	DUCT MATERIAL	DUCT DIMENSION (IN)	FLEX DUCT CONNECTION	INSULATION	NOTES
SUPPLY AIR	2	С	GA	NOTE 6	8 FOOT MAX	NOTE 7	1, 2, 3, 4, 5, 8
RETURN AIR	2	С	GA	NOTE 6	-	NOTE 7	1, 2, 3, 4, 5, 8
EXHAUST AIR	2	В	GA	NOTE 6	-	NOTE 7, NOTE 9	1, 2, 3, 4, 5, 8
OUTDOOR AIR	2	С	GA	NOTE 6	-	NOTE 7, NOTE 9	1, 2, 3, 4, 5, 8

1) DUCT CONSTRUCTION, INCLUDING SHEET METAL THICKNESSESS, SEAM AND JOINT CONSTRUCTION, REINFORCEMENTS, AND HANGERS AND

SUPPORTS, SHALL COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE. 2) DUCTWORK WILL BE SEALED TO MEET SMACNA SEAL CLASS A AS A MINIMUM AND TO LIMIT DUCTWORK LEAKAGE NOT EXCEEDING 1% OF THE

DESIGN FLOW RATE FOR HIGH PRESSURE DUCTWORK AND 2% FOR LOW PRESSURE DUCTWORK. 3) ALL DUCTWORK SHALL COMPLY WITH ASTM A 653/A 653M AND SHALL BE CONSTRUCTED AND SEALED PER THE INTERNATIONAL MECHANICAL CODE.

4) GALVANIZED COATING DESIGNATION: G90. 5) SEISMIC SUPPORT SHALL WITHSTAND THE EFFECT OF GRAVITY AND SEISMIC LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS

DESCRIBED IN SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE" AND AS REQUIRED BY LOCAL JURISDICATIONS. 6) OUTSIDE AIR DUCTWORK SHALL MEET AIR LEAKAGE REQUIREMENTS PER WSEC SECTION C402.5 AND VAPOR RETARDER REQUIREMENTS PER IBC.

7) SUPPLY AND RETURN DUCTWORK IN UNCONDITIONED SPACES SHALL BE MINIMUM R-6. OUTSIDE AIR DUCTWORK INSULATION SHALL BE MINIMUM R-8.

8) INSULATION MATERIAL SHALL BE FIBERGLASS.

9) INSULATE OUTSIDE / EXHAUST AIR PLENUMS WITH R-VALUE EQUAL OR GREATER THAN THE BUILDING ENVELOPE UP TO THE BACKDRAFT/ MOTORIZED DAMPER.

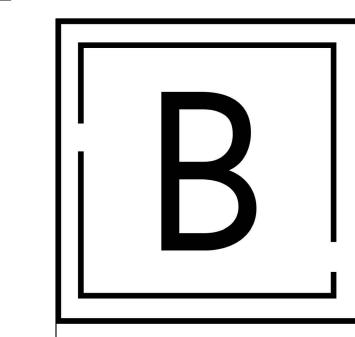
CODE	SERVICE	MATERIAL	R-VALUE	NOTES
	SUPPLY & RETURN IN UNCONDITIONED SPACE	MINERAL - WOOL BLANKET	6.0	1,2,4,5,6
	SUPPLY & RETURN IN OUTSIDE OF BUILDING	MINERAL - WOOL BLANKET	8.0	1,2,4,5,6
	SUPPLY WITH TEMP <55F OR 105F IN CONDITION SPACE	MINERAL - WOOL BLANKET	3.3	1,2,4,5,6
WSEC	EXPOSED SUPPLY DUCTS IN CONDITIONED SPACE	MINERAL - WOOL BLANKET	0.0	1,2,4,5,6
WOLC	OUTSIDE AIR FROM EXTERIOR OF BUILDING TO AUTOMATIC SHUT OFF DAMPER OR HEATING / COOLING EQUIPMENT AND > 2800 CFM	MINERAL - WOOL BLANKET	NOTE 2	1,2,4,5,6
	OUTSIDE AIR FROM EXTERIOR OF BUILDING TO AUTOMATIC SHUT OFF DAMPER OR HEATING / COOLING EQUIPMENT AND < 2800 CFM	MINERAL - WOOL BLANKET	7.0	1,2,4,5,6
	OUTSIDE AIR IN CONDITIONED SPACE	MINERAL - WOOL BLANKET	4.0	1,2,4,5,6
WSMC	FOR HEAT OR ERV SYSTEM, UPSTREAM OF HEAT EXCHANGER	MINERAL - WOOL BLANKET	4.0	1,2,4,5,6
	EXHAUST IN UNCONDITIONED SPACE	MINERAL - WOOL BLANKET	4.0	1,2,4,5,6

1) INSULATION SHALL COMPLY WITH WSMC AND WSEC 2) DUCTS SHALL MEET THE REQUIREMENT OF THE METAL FRAMED WALLS PER WSEC TABLE C402.1.4

3) VAPOR RETARDER S INSTALLED ON SUPPLY DUCT THAT DOES COOLING AND OUTSIDE AIR PER WSMC 604.11

4) EXTERNAL DUCKWORK INSULATION IS IDENTIFIABLE PER WSMC 604.7 5) ALL DUCTWORK IS CONSTRUCTED AND SEALED PER WSMC

6) INSULATION SHALL HAVE MAXIMUM FLAME SPREAD INDEX OF 25 AND MAXIMUM SMOKE DEVELOPED INDEX OF 50 PER WSMC 604.3



**BURGESS DESIGN** 

1326 5th Ave Suite 400 Seattle WA | 206.587.7120

**PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371

227 WILLIAMS AVE S RENTON, WA 98057 City of Puyallup **Development & Permitting Services ISSUED PERMIT** Building Planning Engineering Fire



Professional seal

1 PERMIT REV 1 0	
	PERMIT RESPONSE 05.
2 PERMIT RESPONSE 0	

City Electronic Stamp Location

City Electronic Stamp Location

CLIENT APPROVAL

Project Manager: SM Project No: 23023

**MECHANICAL SCHEDULES** 

Original drawing is 30" x 42". Scale entities accordingly if reduced

M0.2

City of Puyallup **Development & Permitting Services** 

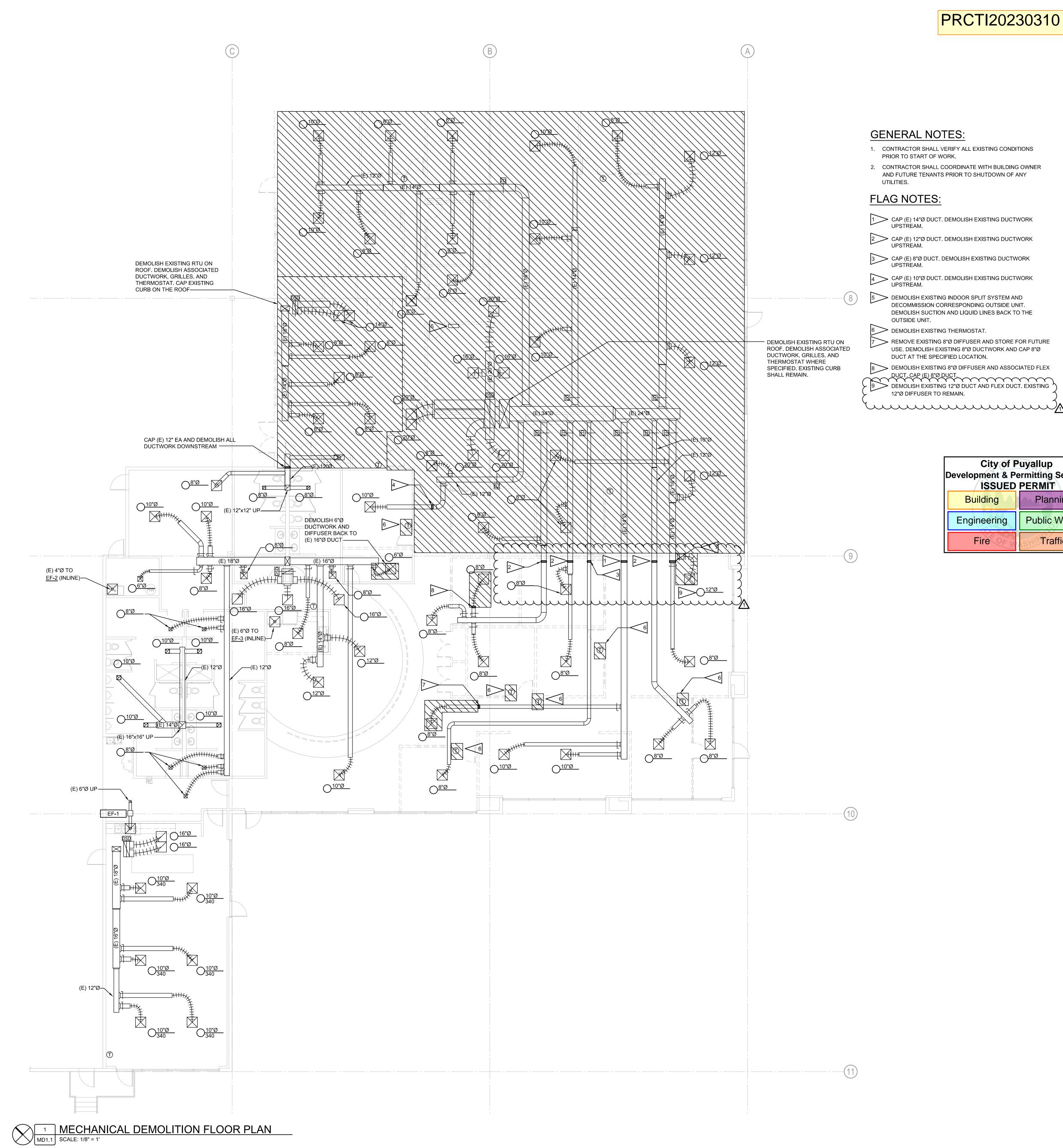
**ISSUED PERMIT** 

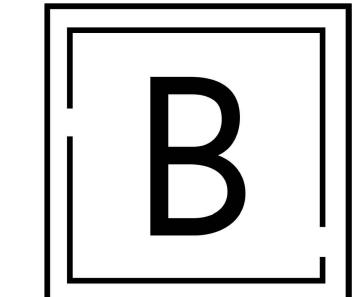
Engineering

Planning

Public Works

Traffic





**BURGESS DESIGN** NTERIORS + ARCHITECTUR

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Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371





03.10.23

No. Issue Description

PERMIT SET

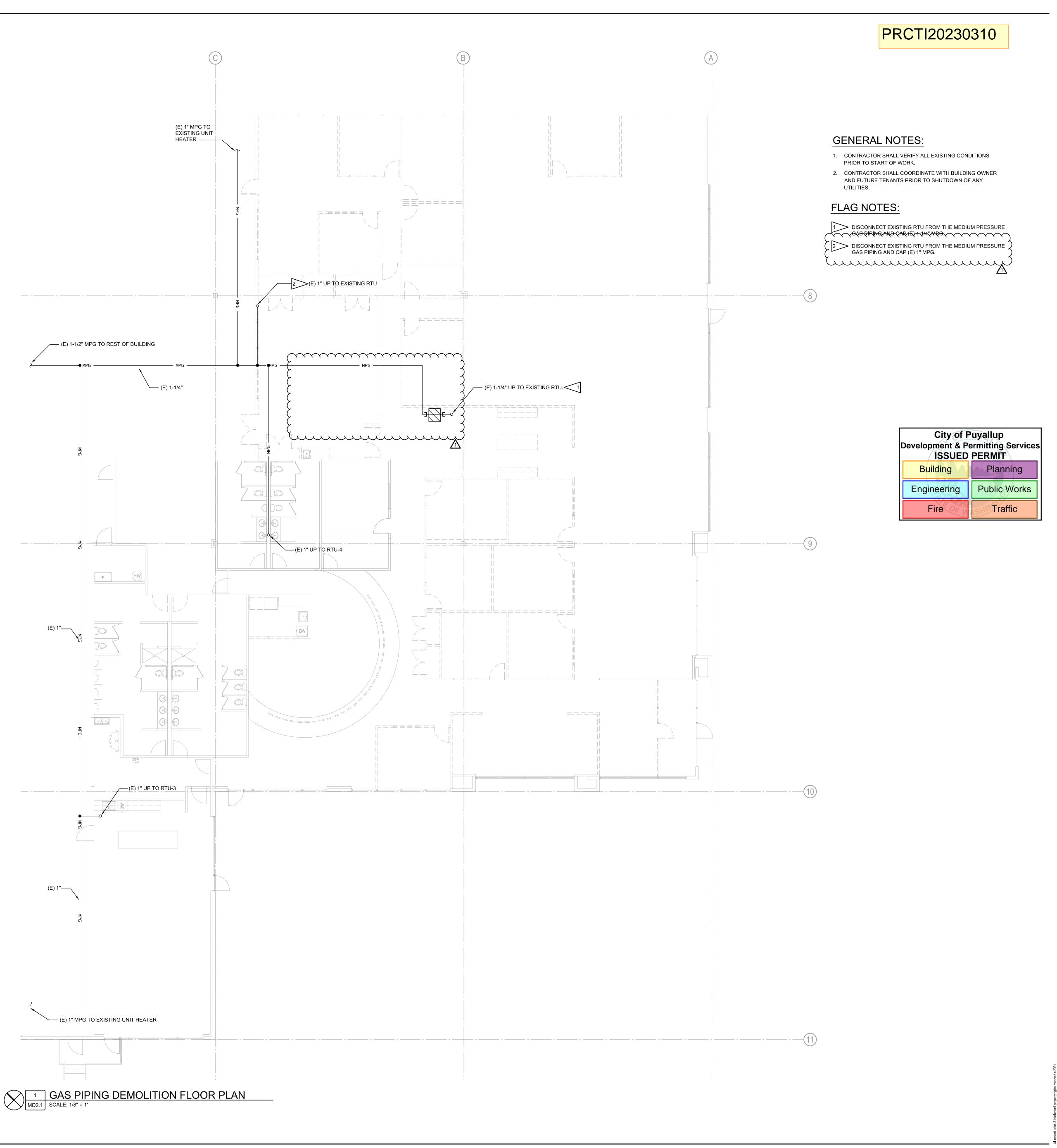
04.12.23 PERMIT REV 1 PERMIT RESPONSE City Electronic Stamp Location

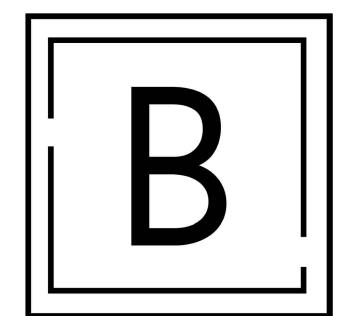
**MECHANICAL DEMOLITION FLOOR PLAN** 

City Electronic Stamp Location

Original drawing is 30" x 42". Scale entities accordingly if reduced

MD1.1





BURGESS DESIGN

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Tenant:
PROLOGIS
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371





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PERMIT SET	03.10.23
PERMIT REV 1	04.12.23
PERMIT RESPONSE	05.19.23

wn by: TO Project Manager: SM

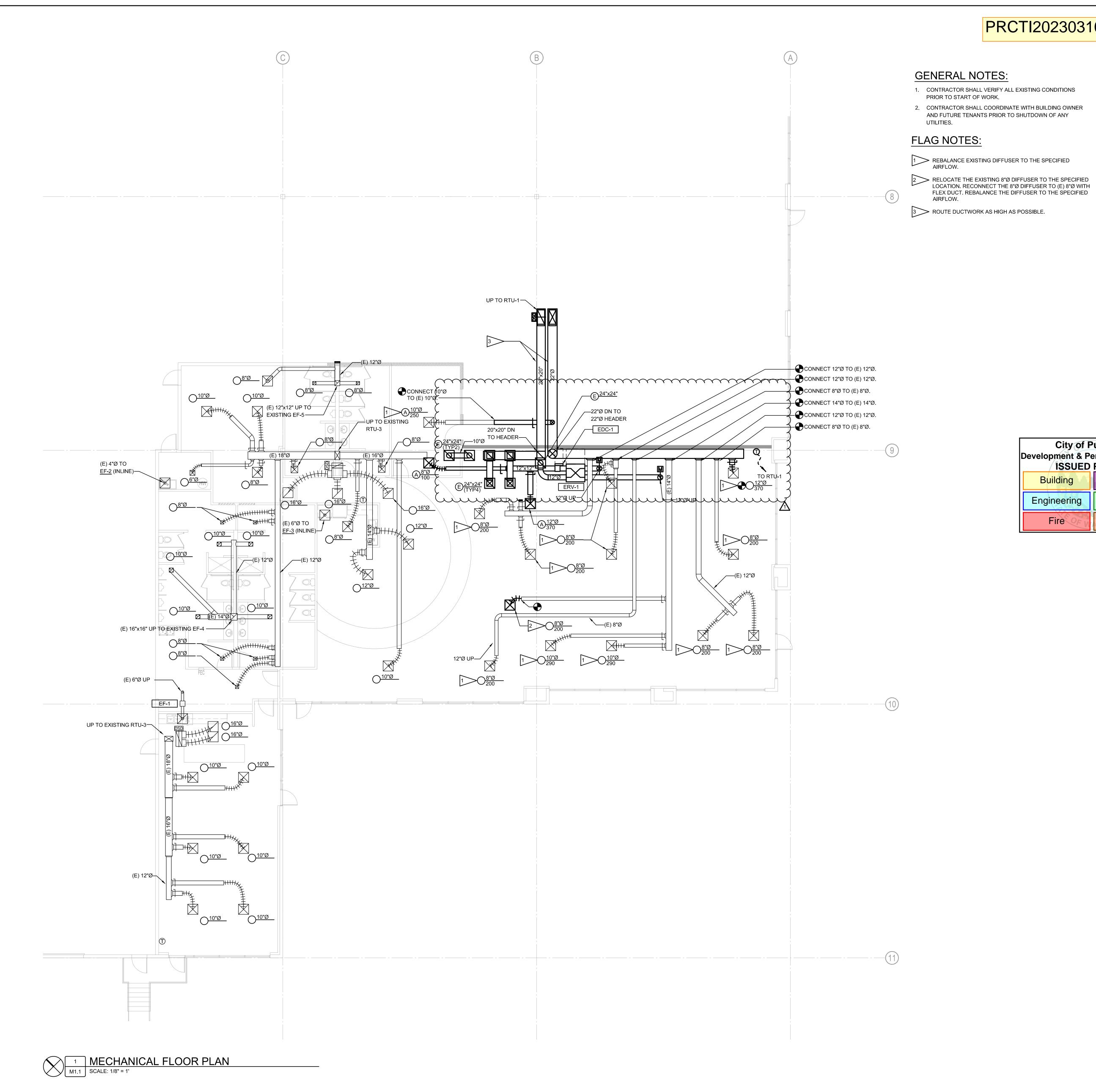
GAS PIPING DEMOLITION FLOOR PLAN

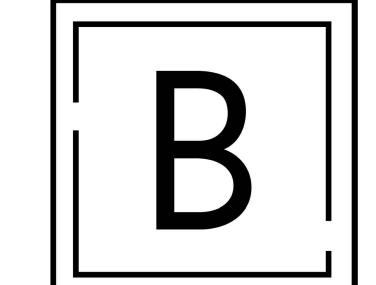
City Electronic Stamp Location

City Electronic Stamp Location

Original drawing is 30" x 42". Scale entities accordingly if reduced

MD2.1





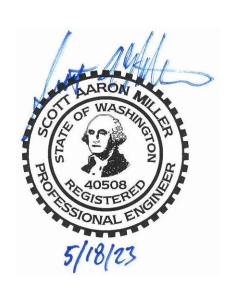
**BURGESS DESIGN** 

NTERIORS + ARCHITECTUR 1326 5th Ave Suite 400 Seattle WA | 206.587.7120

Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371



City of F Development & P ISSUED	
Building	Planning
Engineering	Public Works
Fire OF V	Traffic

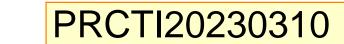


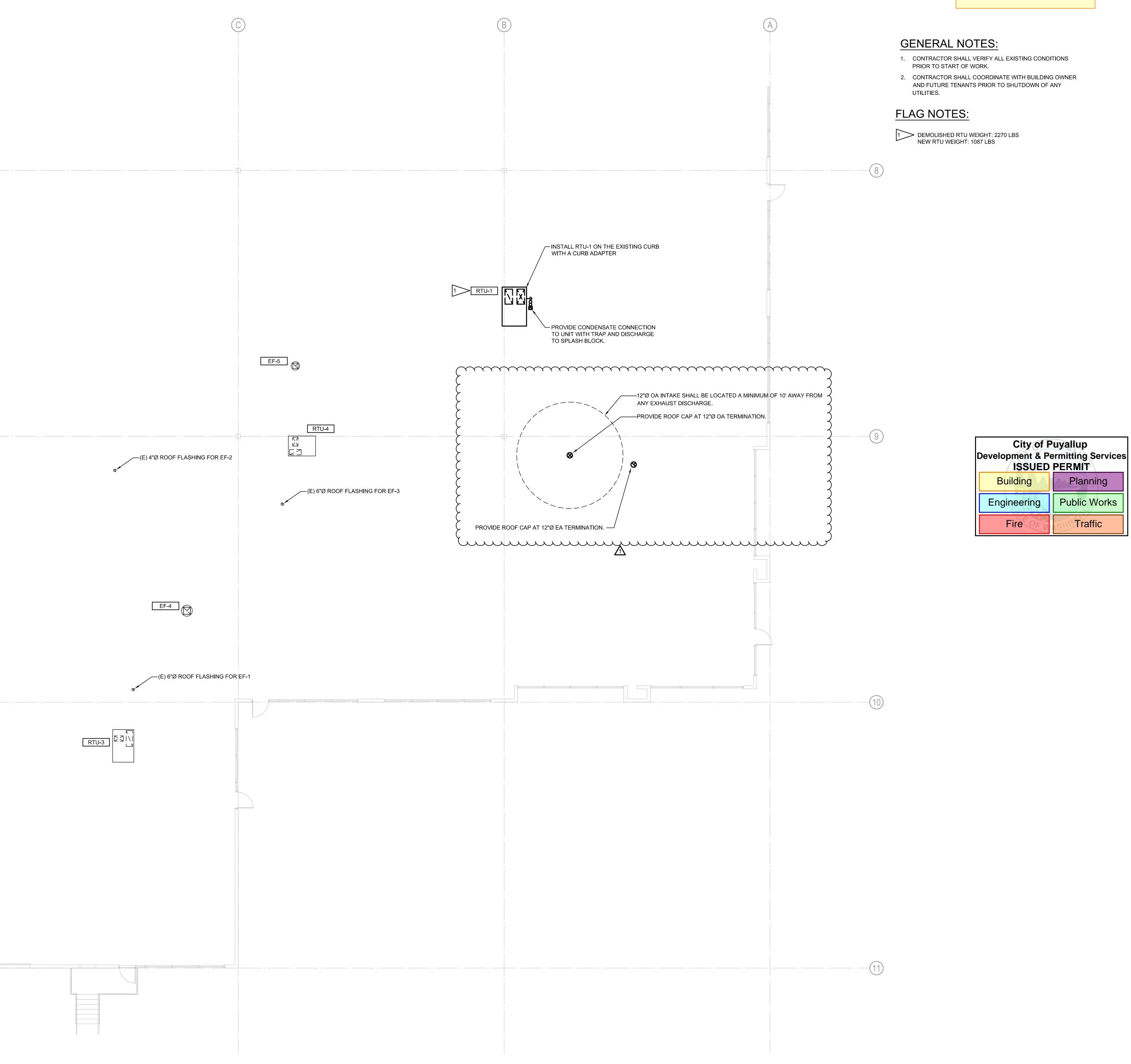
140.	issue Description	Date
	PERMIT SET	03.10.
1	PERMIT REV 1	04.12.
2	PERMIT RESPONSE	05.19.
City Elec	tronic Stamp Location	

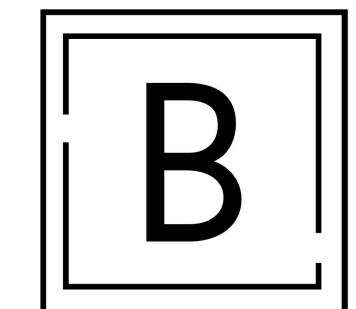
MECHANICAL FLOOR PLAN

City Electronic Stamp Location

M1.1







BURGESS DESIGN

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Tenant:
PROLOGIS
PUYALLUP 1
1601 INDUSTRIAL PARK #100
PUYALLUP, WA 98371





	PERMIT SET	03.10.2
1	PERMIT REV 1	04.12.2
2	PERMIT RESPONSE	05.19.2

City Electronic Stamp Location

CLIENT APPROVAL

City Electronic Stamp Location

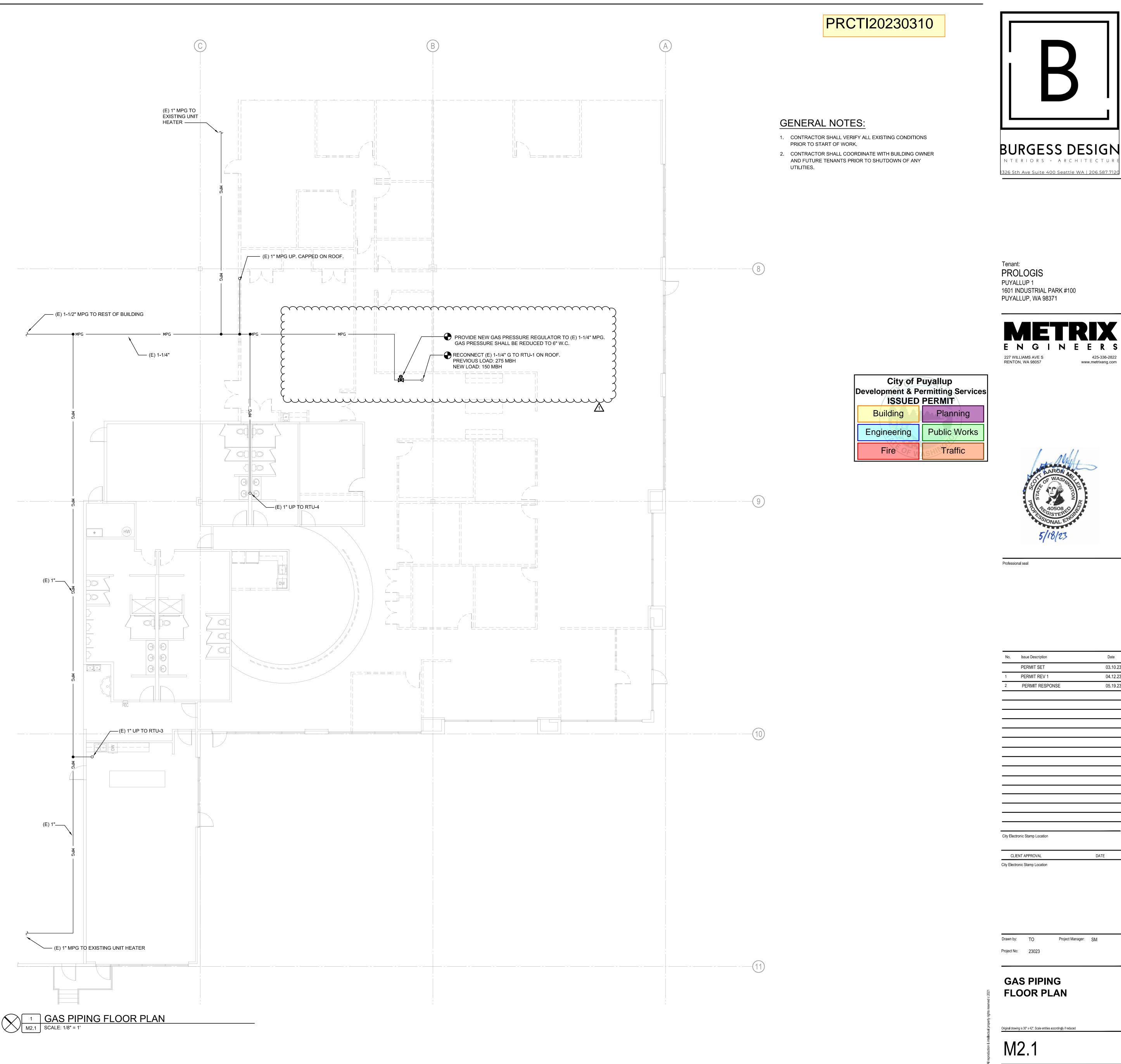
Drawn by: TO Project Manager: SM

Project No: 23023

MECHANICAL ROOF PLAN

Original drawing is 30" x 42". Scale entitles accordingly if reduced

M1.2



**BURGESS DESIGN** NTERIORS + ARCHITECTURE

Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100





10.	10000 Decomption	Dato
	PERMIT SET	03.10.23
	PERMIT REV 1	04.12.23
	PERMIT RESPONSE	05.19.23

City Electronic Stamp Location

City Electronic Stamp Location

**GAS PIPING FLOOR PLAN** 

Original drawing is 30" x 42". Scale entities accordingly if reduced

M2.1

FLR FLOOR

FLEXIBLE

FLOOR SINK

FEET PER MINUTE

FEET PER SECOND

FEET, FINNED TUBE

COMBINATION FIRE SMOKE DAMPER

FLEX

FPS

FS

FT

F/S/D

Ø	REVIATIONS:  DIAMETER, PHASE	G	GAS
D	DIAMETER, ITIAGE	GAL	GALLON
ABV	ABOVE	GALV	GALVANIZED
AC	AIR CONDITIONING UNIT	GC	GENERAL CONTRACTOR
AD	AREA DRAIN, ACCESS DOOR	GPD	GALLONS PER DAY
ADA	AMERICANS WITH DISABILITIES ACT	GPH	GALLONS PER MUNITE
AFF AFUE	ABOVE FINISHED FLOOR  ANNUAL FUEL UTILIZATION EFFICIENCY	GPM GPR	GALLONS PER MINUTE GAS PRESSURE REGULATOR
AFUE AHJ	AUTHORITY HAVING JURISDICTION	GPR GR	GRILLE
AHU	AIR HANDLING UNIT	GRD	GRILLES, REGISTERS, AND DIFFUSERS
ALT	ALTERNATE	GW	GREASE WASTE
ALUM	ALUMINUM	GWB	GYPSUM WALLBOARD
APPROX	APPROXIMATE		
ARCH	ARCHITECT	HB	HOSE BIBB
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION	HD	HEAD
	AND AIR-CONDITIONING ENGINEERS, INC.	HP	HEAT PUMP, HORSEPOWER
ATM AV	ATMOSPHERE ACID RESISTANT (CHEMICAL) VENT	HR HT	HOUR HEIGHT
AW	ACID RESISTANT (CHEMICAL) WASTE	HVAC	HEATING, VENTILATION & AIR CONDITIONING
/\\\	7.6.B 7.26.677.117 (6172.11167.12) 1.77 6.72	HW	DOMESTIC HOT WATER
BF	BELOW FLOOR	HWC	DOMESTIC HOT WATER CIRCULATING
BFF	BELOW FINISHED FLOOR		
BHP	BRAKE HORSEPOWER	IAQ	INDOOR AIR QUALITY
BLDG	BUILDING	I.E.	INVERT ELEVATION
BLW	BELOW	IN	INCH
BOP	BOTTOM OF PIPE	INCL	INCLUDING
BOT	BOTTOM  BRITISH THERMAL LIMIT	INV	INVERT
BTU BTUH	BRITISH THERMAL UNIT BRITISH THERMAL UNIT PER HOUR	KW	KILOWATT
- · UII	L. W. S. C. F. L. C.		
С	CONDENSATE DRAIN PIPING	L	LENGTH
CAP	CAPACITY	LAT	LEAVING AIR TEMPERATURE
CBV	CIRCUIT BALANCING VALVE	LAV	LAVATORY
CC	COOLING COIL	LB	POUND
CD	CEILING DIFFUSER	LD	LINEAR DIFFUSER
CI	CAST IRON	LF	LINEAR FEET
CL	CENTER LINE	LVR LWT	LOUVER LEAVING WATER TEMPERATURE
CLG CMU	CEILING CONCRETE MASONRY UNIT	LVVI	LEAVING WATER TEMPERATURE
CO	CLEANOUT	MAX	MAXIMUM
COMB	COMBUSTION, COMBINATION	MBH	THOUSANDS OF BTUH
COND	CONDENSATE	MCA	MINIMUM CIRCUIT AMPACITY
CONN	CONNECTION	MECH	MECHANICAL
CONT	CONTINUE, CONTROL	MED	MEDIUM
CONTR	CONTRACTOR	MFR	MANUFACTURER
COP	COEFFICIENT OF PERFORMANCE	MIN	MINIMUM
CP	CONDENSATE PUMP	MISC	MISCELLANEOUS
CY	COOLING TOWER	MOCP	MAXIMUM OVERCURRENT PROTECTION MEDIUM PRESSURE GAS
CV	CHECK VALVE, CONSTANT VOLUME  DOMESTIC COLD WATER	MPG MS	MOP SINK
CVV	DOMESTIC COLD WATER	MTD	MOUNTED
DB	DRY BULB	MUA	MAKEUP AIR UNIT
DEPT	DEPARTMENT		
DEG	DEGREE	(N)	NEW
DF	DRINKING FOUNTAIN	NA, N/A	NOT APPLICABLE
DFU	DRAINAGE FIXTURE UNIT	NC	NOISE CRITERIA, NORMALLY CLOSED
DI	DUCTILE IRON	NEG	NEGATIVE
DIAC	DIAMETER	NO NO.	NORMALLY OPEN NUMBER
DIAG DIFF	DIAGRAM DIFFERENTIAL	NO. NP	NON-POTABLE
DIM	DIMENSION	NPW	NON-POTABLE WATER
DN	DOWN	NTS	NOT TO SCALE
DWG	DRAWING		
DWP	DOMESTIC WATER PUMP	OC	ON CENTER
		ORWL	OVERFLOW RAIN WATER LEADER
(E)	EXISTING	OSA	OUTSIDE AIR
EA	EACH, EXHAUST AIR	Б.	DDECCURE DUMP
EAT ECG	ENTERING AIR TEMPERATURE EGGCRATE GRILLE	P PH	PRESSURE, PUMP PHASE
EDH	ELECTRIC DUCT HEATER	POC	POINT OF CONNECTION
EER	ENERGY EFFICIENCY RATIO	PRESS	PRESSURE
EF	EXHAUST FAN	PRV	PRESSURE REDUCING VALVE
EFF	EFFICIENCY	PSI	POUNDS PER SQUARE INCH
EG	EXHAUST GRILLE	PTRV	PRESSURE/TEMPERATURE RELIEF VALVE
EJ	EXPANSION JOINT	PU	PUMP
ELEC	ELECTRIC	PVC	POLYVINYL CHLORIDE
ELEV	ELEVATION  ENERGY MANAGEMENT CONTROL SYSTEM	OT\/	OHANTITY
EMCS	ENERGY MANAGEMENT CONTROL SYSTEM	QTY	QUANTITY
EQUIP ESP	EQUIPMENT EXTERNAL STATIC PRESSURE	RCP	REFLECTED CEILING PLAN
ESP	EXPANSION TANK	RD	ROOF DRAIN
ETC	AND SO FORTH	REF	REFERENCE
EUH	ELECTRIC UNIT HEATER	REG	REGISTER
EVAP	EVAPORATOR, EVAPORATIVE	REL	RELIEF
EW	EYE WASH	REQD	REQUIRED
EWC	ELECTRIC WATER COOLER	ROD	ROOF OVERFLOW DRAIN
EWH	ELECTRIC WATER HEATER	RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
EX	EXHAUST	RPBP	REDUCED PRESSURE BACKFLOW PREVENTER
EXT	EXTERIOR, EXTERNAL	RPM RTU	REVOLUTIONS PER MINUTE
F	FIRE SORINIVI ED	RTU RV	ROOFTOP UNIT RELIEF VALVE
F °F	FIRE SPRINKLER DEGREES FAHRENHEIT	RV RWL	RELIEF VALVE RAIN WATER LEADER
FCO	FLOOR CLEANOUT	INVVL	IVAIIN WATEN LEADEN
FCU	FAN COIL UNIT	SCH	SCHEDULE
FD	FLOOR DRAIN	SCHEM	SCHEMATIC
	FIRE DAMPER	SPEC	SPECIFICATION
	I INC DAMI CIX		
F/D	FIRE DEPARTMENT CONNECTION	SQ	SQUARE
F/D FDC		SQ SRV	SQUARE SAFETY RELIEF VALVE
F/D FDC FFD FLA	FIRE DEPARTMENT CONNECTION		

STARTER, STRUCTURAL

STANDARD

STEAM

SUCT SUCTION

STD

STM

STR

SUP

#### TEMP TEMPERATURE TOF TOP OF FOOTING TOP OF PIPE TEMPERATURE/PRESSURE RELIEF VALVE TSP TOTAL STATIC PRESSURE T'STAT THERMOSTAT TYPICAL UNIT HEATER UNOCC UNOCCUPIED URN URINAL VENT, VOLTS VACUUM BREAKER VEL VELOCITY VFD VARIABLE FREQUENCY DRIVE VENT THRU ROOF WASTE, WATT, WIDTH WITH WATER CLOSET WALL CLEANOUT WATER HEATER WATER METER WITHOUT WATER PRESSURE DROP

## REFERENCE SYMBOLS

WATER SUPPLY FIXTURE UNIT

WSFU

WEIGHT

WT

WASHINGTON STATE ENERGY CODE

	NEW MECHANICAL WORK
	EXISTING MECHANICAL WORK
	EXISTING MECHANICAL WORK TO BE DEMOLISHED
	ENLARGED PLAN BORDER
	MATCHLINE
1 MX.X	SECTION IDENTIFIER
1 MX.X	DETAIL OR DRAWING IDENTIFIER
	REVISION CLOUD INDICATES WHER SECTION APPEARS
$\triangle$	INDICATES REVISION & NUMBER
1	FLAG NOTE
AHU-XXX	EQUIPMENT IDENTIFIER
lacktriangle	POINT OF CONNECTION
	NORTH ARROW

# PI LIMBING LINE

MECHANICAL ACCESS

PLUME	SING LINE
<b>DESIGNATI</b>	ON SYMBOLS
	DOMESTIC COLD WATER (POTABLE)
	DOMESTIC HOT WATER (POTABLE )
	DOMESTIC HOT WATER CIRCULATING (POTABLE)
NPCV	NON-POTABLE COLD WATER
	NON-POTABLE HOT WATER
	NON-POTABLE HOT WATER CIRCULATING
IRR	IRRIGATION WATER
	SANITARY SEWER ABOVEGROUND
	SANITARY SEWER UNDERGROUND
	VENT PIPING
ev	GREASE WASTE ABOVEGROUND
	GREASE WASTE UNDERGROUND
AV	ACID RESISTANT (CHEMICAL) WASTE ABOVEGROUND
	ACID RESISTANT (CHEMICAL) WASTE UNDERGROUND
AV	ACID RESISTANT (CHEMICAL) VENT PIPING
A	COMPRESSED AIR
VAC	VACUUM
	RAIN WATER LEADER

OVERFLOW RAIN WATER LEADER

<b>──</b> ₩	VALVE
<del></del>	CHECK VALVE
<del></del>	BALANCING VALVE
<b>──\$</b> ──	THREE WAY CONTROL VALVE
<b>—</b> \$——	TWO WAY CONTROL VALVE
	SOLENOID VALVE
—₩—	PRESSURE REDUCING VALVE (PRV)
<u>*</u>	TEMPERATURE/PRESSURE RELIEF VALV
<u>k</u>	RELIEF/SAFETY VALVE
K-	MANUAL AIR VENT
AAV <b>p</b>	AUTOMATIC AIR VENT
FM	(EXTEND DISCHARGE TO DRAIN)
— <del>×</del> —	FLOW METER
<del></del>	AUTOMATIC FLOW CONTROL VALVE
	DIRECTION OF FLOW
	DIRECTION OF PITCH-RISE OR DROP
<del></del>	STRAINER
124	STRAINER WITH BLOW OFF VALVE
—  <b>-</b>	UNION
<del>×</del>	ANCHOR
_=	GUIDE
<b>P</b> FS	FLOW SWITCH
<b>—</b> ₽ <sup>™</sup>	TEMPERATURE TRANSMITTER
₽ <sup>PT/PS</sup>	PRESSURE TRANSMITTER OR PRESSURE SWITCH
<u> </u>	PRESSURE GAUGE
	THERMOMETER
<u> </u>	AQUASTAT
<u> </u>	GAUGE WITH GAUGE COCK & SIPHON (STEAM)
&	GAS PRESSURE REGULATOR
	TEMPERATURE/PRESSURE TEST PORT
<b>─</b> ─ <del>↑</del>	BASKET STRAINER
	STEAM TRAP
₩VB	VACUUM BREAKER
<b>=</b>	FLEXIBLE CONNECTOR
	WATER METER
	<del></del> -

BACKFLOW PREVENTION DEVICE

BACKFLOW PREVENTION DEVICE

(DOUBLE CHECK VALVE ASSEMBLY)

(REDUCED ZONE)

→ PIPE CONTINUES

→ PIPE RISING UP

PIPE CONNECTION

PIPE CONNECTION DOWN

VENT THRU ROOF

→ PIPE DROPPING DOWN

WATER HAMMER ARRESTER

G ELE	EMENTS/VALVING	G	ENERAL NOTE
<del></del>	VALVE	GEN	NERAL:
<b>─</b>	CHECK VALVE	1.	<ul> <li>COORDINATE MECHANICAL ARCHITECTURAL, STRUCT</li> </ul>
<del></del>	BALANCING VALVE		WORK SHOWN ON OTHER ADDITIONAL OFFSETS FOR
<b></b>	THREE WAY CONTROL VALVE		WHERE REQUIRED.
<b>\</b>	TWO WAY CONTROL VALVE	2	. COORDINATE HVAC, PLUM
<b></b>	SOLENOID VALVE		PRIOR TO INSTALLATION. ACCESS TAKES PRECEDEN
<b>—</b>	PRESSURE REDUCING VALVE (PRV)		SPACE.
1		3	. WHERE USED, THE TERM " AND INSTALL".
	TEMPERATURE/PRESSURE RELIEF VALVE	4	
1	RELIEF/SAFETY VALVE	4	<ul> <li>COORDINATE EQUIPMENT MANUFACTURERS' CERTIF PROVIDE DUCT AND PIPING</li> </ul>
	MANUAL AIR VENT		FINAL EQUIPMENT CONNEC
]	AUTOMATIC AIR VENT		PIPING DIMENSIONS BEFORE
	(EXTEND DISCHARGE TO DRAIN)	5	<ul> <li>PROVIDE MISCELLANEOUS PROPER INSTALLATION OF</li> </ul>
<b>4</b>	FLOW METER	6	LOCATE VALVES, WATER F
<b>)</b>	AUTOMATIC FLOW CONTROL VALVE	Ü	DAMPERS, CONTROLS AND
	DIRECTION OF FLOW		THEY ARE ACCESSIBLE. P MECHANICAL EQUIPMENT
<u>D</u>	DIRECTION OF PITCH-RISE OR DROP		INACCESSIBLE CEILINGS A ACCESS DOOR LOCATIONS
<del> </del>	STRAINER		INSTALL TAG ON CEILING OLOCATION AND TYPE OF E
<del></del>	STRAINER WITH BLOW OFF VALVE		MAINTENANCE. PROVIDE
<u> </u>	UNION		DOOR WITH CONCEALED H TYPE CAM LATCH. PROVID
<del></del>	ANCHOR		SURFACE AREAS FOR FIEL STEEL FOR ALL OTHER AR
<b></b>	GUIDE		LABELED DOOR WHERE FI
<sub>]</sub> FS			INDICATED ON DRAWINGS. SO THAT ADJACENT EQUIP

THAT ATTACHMENT POINTS ON EQUIPMENT AND STRUCTURE CAN ACCEPT SEISMIC, WEIGHT, AND OTHER LOADS IMPOSED. 8. REFER TO TYPICAL DETAILS PROVIDED IN THIS DWG SET FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR CONFORMANCE WITH

OPENINGS SHALL BE COORDINATED WITH OTHER TRADES INVOLVED. INCLUDE IN THE COST OF MECHANICAL WORK, CUTTING, CORING, PATCHING AND PAINTING OF EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS REQUIRED TO ACCOMMODATE WORK AS INDICATED IN THE MECHANICAL ARCHITECTURAL DRAWINGS.

EQUIPMENT THAT PRESENT A SAFETY HAZARD. 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS OWN PROPERTY ON THE JOB SITE. OWNER ASSUMES NO RESPONSIBILITY FOR PROTECTION OF PROPERTIES AGAINST FIRE, THEFT AND ENVIRONMENTAL

12. CLEAN THE JOB SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSE BY THE

13. PROVIDE EQUIPMENT THAT FITS INTO THE SPACE ALLOTTED AND ALLOWS ADEQUATE ACCEPTABLE CLEARANCE FOR INSTALLATION, REPLACEMENT, ENTRY, SERVICING AND MAINTENANCE. COORDINATE WITH OTHER TRADES TO ENSURE NO CONFLICT WITH REQUIRED CLEARANCES.

DRAWINGS. 15. BUILDING SPACE IS LIMITED. STRONG ATTENTION TO DETAIL

DISCIPLINES.

3. VALVES (EXCEPT CONTROL VALVES) AND STRAINERS SHALL BE FULL SIZE OF PIPE BEFORE REDUCING SIZE TO MAKE

CONNECTIONS TO EQUIPMENT AND CONTROLS.

CONNECTED TO AIR HANDLING EQUIPMENT, PUMPS,

WHICH REQUIRE VIBRATION ISOLATION. BACKFLOW PREVENTER, WATER PRESSURE REDUCING

PROVIDE SHUTOFF VALVE ON EACH SIDE OF STRAINER. 7. VALVES, EXPANSION FITTINGS/LOOPS, AND PIPING SPECIALTIES SHALL BE FULL SIZE OF PIPE UNLESS NOTED

2. PIPING AND DUCT INSULATION: COMPLY WITH THICKNESS AND TYPES LISTED IN THE STATE ENERGY CODE.

CAL WORK WITH ELECTRICAL, CTURAL, CIVIL AND LANDSCAPE R CONTRACT DOCUMENTS. PROVIDE OR COORDINATED INSTALLATION

MBING AND FIRE PROTECTION WORK . DUCTWORK AND EQUIPMENT ENCE OVER PIPING FOR AVAILABLE

II "PROVIDE" SHALL MEAN "FURNISH

IT CONNECTIONS WITH IFIED DRAWINGS. COORDINATE AND NG TRANSITIONS REQUIRED FOR ECTIONS TO FURNISHED FY AND COORDINATE DUCT AND ORE FABRICATION.

US STEEL REQUIRED TO ENSURE OF MECHANICAL SYSTEMS.

R HAMMER ARRESTERS, CLEANOUTS, ND SIMILAR COMPONENTS SO THAT PROVIDE ACCESS DOORS FOR T INSTALLED BEHIND WALLS, ABOVE AND BELOW FLOORS. COORDINATE NS WITH ARCHITECT/ENGINEER. GRID FRAME TO INDICATE **EQUIPMENT THAT REQUIRES** E 16 GA, STEEL, FLUSH TYPE ACCESS HINGE AND SLOT SCREWDRIVER IDE FACTORY PRIMED IN PAINTED ELD PAINTING. PROVIDE STAINLESS REAS. PROVIDE UL LISTED AND FIRE-RESISTANCE RATING IS S. ACCESS DOOR SHALL BE SIZED SO THAT ADJACENT EQUIPMENT IS ACCESSIBLE. PROVIDE ACUDOR, ELMDOR, MILCOR, OR APPROVED.

7. COORDINATE ATTACHMENTS TO STRUCTURE TO VERIFY

9. LOCATIONS AND SIZES OF FLOOR, WALL, AND ROOF CONTRACT DOCUMENTS, UNLESS SPECIFICALLY SHOWN ON

10. PROVIDE ELASTOMERIC FOAM MATERIAL ON MECHANICAL

CONDITIONS. PERFORMANCE OF THE WORK INCLUDED IN THIS CONTRACT.

BEFORE SUBSTANTIAL COMPLETION, CLEAN EQUIPMENT, FIXTURES, EXPOSED DUCTS, PIPING AND SIMILAR ITEMS.

14. PROVIDE OFFSETS IN PIPING WHERE PLUMBING/PIPING WALL IS LOCATED DIRECTLY ABOVE STRUCTURE. OFFSET PIPING INTO CASEWORK OR SHAFT TIGHT TO WALL AND BACK INTO WALL ONCE BELOW STRUCTURE. REFER TO STRUCTURAL

AND CARE MUST BE TAKEN WHEN DEVELOPING SHOP DRAWING SO ROUTING IS COORDINATED WITH OTHER

16. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

17. MECHANICAL EQUIPMENT, PACKAGED UNITS, CONTROL PANELS, MOTOR STARTER, MOTOR CONTROLLERS, VARIABLE FREQUENCY DRIVES AND SIMILAR EQUIPMENT SHALL CARRY A SHORT CIRCUIT CURRENT RATING (SCCR) EQUAL TO OR GREATER THAN AVAILABLE FAULT CURRENT DELIVERED FROM ELECTRICAL SYSTEM. INCLUDE VISIBLE FACTORY NAMEPLATE FOR SUCH EQUIPMENT INDICATING SCCR OF EQUIPMENT IN ACCORDANCE WITH UL 1995 AND UL 508A.

1. PROVIDE AN AUTOMATIC AIR VENT AT THE HIGH POINT OF EACH DROP IN THE HEATING WATER, CHILLED WATER, AND OTHER CLOSED WATER PIPING SYSTEMS. PIPE VENT TO NEAREST DRAIN. PIPING SHALL GRADE TO LOW POINTS. PROVIDE HOSE END DRAIN VALVES AT THE BOTTOM OF

RISERS AND LOW POINTS. 2. VALVES SHALL BE INSTALLED SO THAT VALVE REMAINS IN SERVICE WHEN EQUIPMENT OR PIPING ON EQUIPMENT SIDE

OF VALVE IS REMOVED.

4. PROVIDE UNIONS AND/OR FLANGES AT EACH PIECE OF EQUIPMENT, AT EACH CONTROL VALVE, IN BYPASSES, AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS.

5. PROVIDE FLEXIBLE CONNECTORS IN PIPING SYSTEMS CHILLERS, COOLING TOWERS, AND OTHER EQUIPMENT

6. PROVIDE LINE SIZE STRAINER UPSTREAM OF EACH VALVE, AUTOMATIC FLOW CONTROL VALVE, CONTROL VALVE, SOLENOID VALVE, GAS PRESSURE REGULATOR, AND PUMP.

OTHERWISE.

ENERGY CODE: (STATE ENERGY CODE) 1. MOTORS: COMPLY WITH MINIMUM FULL LOAD EFFICIENCIES LISTED IN THE STATE ENERGY CODE.

3. DUCT SEALING: SEAL DUCT TRANSVERSE JOINTS AND

LONGITUDINAL SEAMS PER THE STATE ENERGY CODE. 4. RECORD DRAWINGS: PROVIDE PER THE STATE ENERGY

5. OPERATION AND MAINTENANCE MANUALS: PROVIDE PER

THE STATE ENERGY CODE. 6. SYSTEM BALANCING: PROVIDE PER THE STATE ENERGY 7. MECHANICAL SYSTEMS COMMISSIONING: PROVIDE PER THE

STATE ENERGY CODE. 8. THIS BUILDING AND ITS ENERGY SYSTEMS HAVE BEEN DESIGNED TO COMPLY WITH THE STATE ENERGY CODE. CONTRACTOR IS RESPONSIBLE FOR CORRECT INSTALLATION

OF ENERGY CONSERVATION MEASURES. 9. BUILDING PRESSURE TESTING: COORDINATE PHASING OF BUILDING ENVELOPE LEAKAGE TESTING WITH MECHANICAL SYSTEM SCOPES OF WORK. TEMPORARILY CAP SYSTEMS AS REQUIRED TO FACILITATE LEAKAGE TESTING SCOPE OF

NON-STRUCTURAL MECHANICAL COMPONENTS:

1. THE FOLLOWING ITEMS ARE TAKEN DIRECTLY FROM THE INTERNATIONAL BUILDING CODE AND FROM THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-10. THE CONTRACTOR SHALL REFER TO THE ABOVE FOR ADDITIONAL INFORMATION, EXCEPTIONS, AND FURTHER DESCRIPTIONS. THE CONTRACTOR SHALL ADHERE TO REQUIREMENTS AND AS SUCH, SHALL BE INCLUDED WITHIN BID.

2. IBC 1613.1 SCOPE: ARCHITECTURAL, MECHANICAL ELECTRICAL, AND NON-STRUCTURAL COMPONENTS THAT ARE PERMANENTLY ATTACHED TO STRUCTURES AND THEIR SUPPORTS AND ATTACHMENTS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF EARTHQUAKE MOTIONS IN ACCORDANCE WITH ASCE 7-10, EXCLUDING CHAPTER 14 AND APPENDIX 11A.

3. IBC 1705.11 CONTRACTOR RESPONSIBILITY: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF A SEISMIC-FORCE-RESISTING SYSTEM, DESIGNATED SEISMIC SYSTEM, OR SEISMIC-RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS.

1. TAKE CAUTION IN DEMOLITION OF MECHANICAL EQUIPMENT. 2. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL PIPING, DUCTWORK, AND EQUIPMENT INDICATED ON

DRAWINGS INCLUDING ALL ASSOCIATED INSULATION,

HANGERS, VALVES, PLENUM WALLS, DAMPERS, WIREMOLD, WIRING, CONTROLS, AND APPURTENANCES ASSOCIATED WITH EACH PIECE OF EQUIPMENT. 3. EXISTING CONTROL PATHWAYS MAY BE RE-USED. COORDINATE CONTROLS DEMO WORK PRIOR TO DEMOLITION. REMOVE ALL EXISTING THERMOSTATS SHOWN

ON THE DRAWINGS ALONG WITH ASSOCIATED WIRING AND RACEWAYS. 4. WHERE EXISTING ITEMS PENETRATE A WALL OR ROOF, CONTRACTOR SHALL PROVIDE INFILL AT (E) PENETRATIONS THROUGH WALL/ROOF WITH LIKE MATERIALS. PATCH &

REPAIR TO MATCH SURROUNDING SURFACES INCLUDING

5. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF EXISTING MECHANICAL EQUIPMENT WHERE REQUIRED BY DEMOLITION OR ALTERATION OF EXISTING STRUCTURE DURING CONSTRUCTION. COORDINATE WITH GC AND PROVIDE NECESSARY SUPPORTS AND HANGERS TO MAINTAIN INTEGRITY, SAFETY AND PROPER OPERATION OF

EXISTING MECHANICAL SYSTEMS.

6. THE OWNER HAS THE RIGHT TO RETAIN OWNERSHIP OF ANY MATERIALS BEING REMOVED. DELIVER ITEMS TO THE OWNER'S REPRESENTATIVE AS INDICATED IN THE CONTRACT DOCUMENTS. NOTIFY OWNER IN WRITING AT LEAST 7 DAYS IN ADVANCE OF DEMOLITION.

PLUMBING SHEET INDEX

PLUMBING LEGEND & GENERAL NOTES PLUMBING DEMOLITION FLOOR PLAN

# **BUILDING CODES**

2018 INTERNATIONAL BUILDING CODE 2018 UNIFORM PLUMBING CODE

2018 WASHINGTON STATE ENERGY CODE AND WASHINGTON STATE AMENDMENTS AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7-16

City of Puyallup

**Development & Permitting Services** 

**ISSUED PERMIT** 

Engineering

Planning

**Public Works** 

Traffic

## **BURGESS DESIGN**

NTERIORS + ARCHITECTUR 1326 5th Ave Suite 400 Seattle WA | 206.587.7120

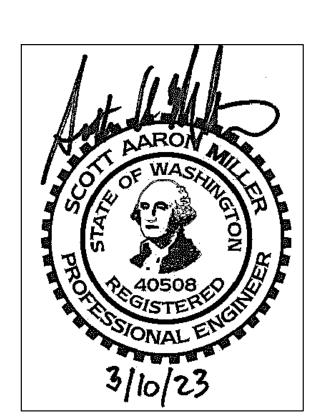
Tenant: PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371

227 WILLIAMS AVE S

RENTON, WA 98057



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No.	Issue Description	Date
	PERMIT SET	03.10.23
ity Elec	tronic Stamp Location	

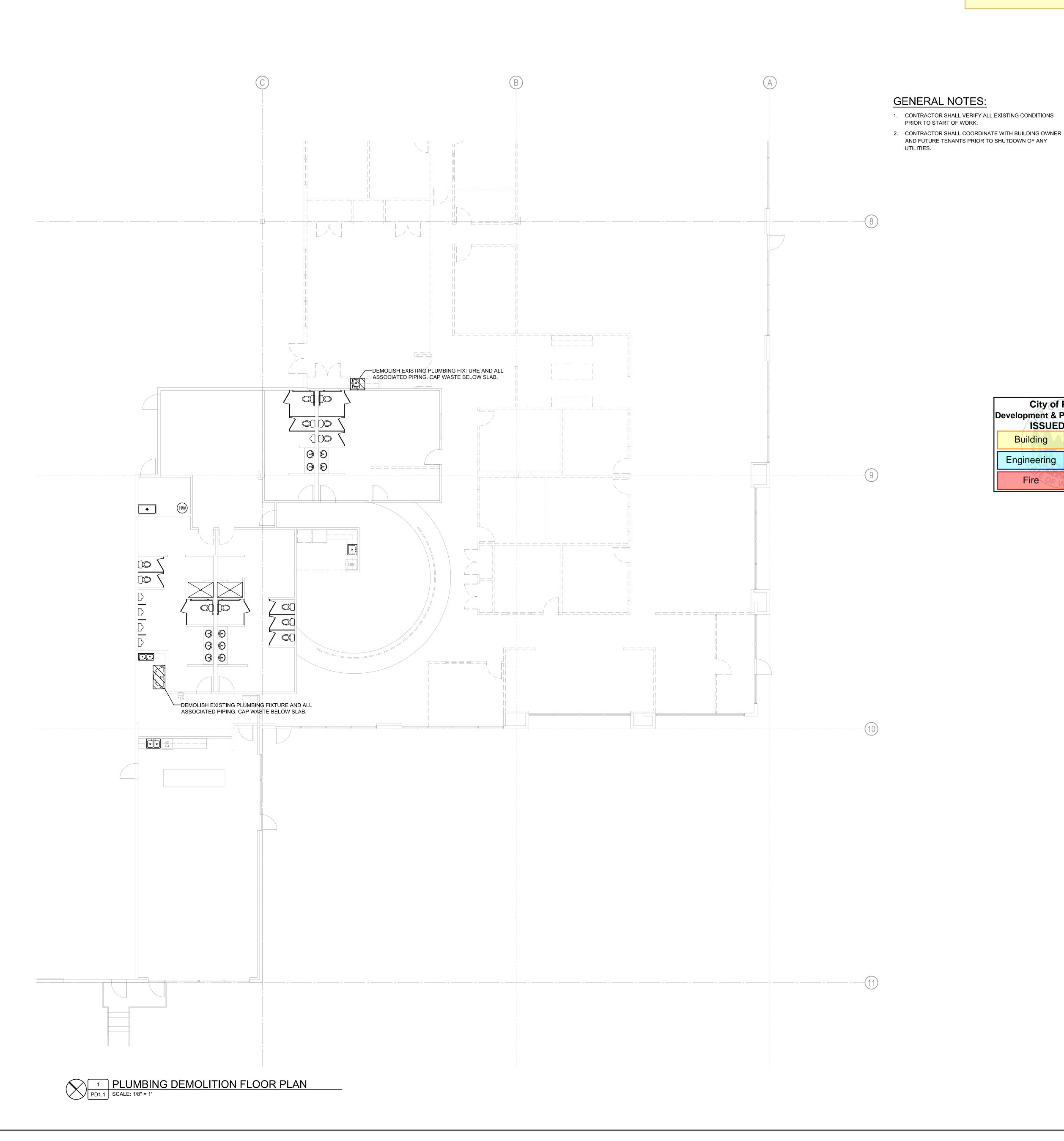
**PLUMBING LEGEND & GENERAL NOTES** 

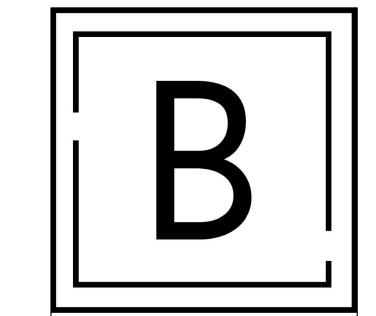
Original drawing is 30" x 42". Scale entities accordingly if reduced

CLIENT APPROVAL

City Electronic Stamp Location

P0.1





# **BURGESS DESIGN**

NTERIORS + ARCHITECTURE 1326 5th Ave Suite 400 Seattle WA | 206.587.7120

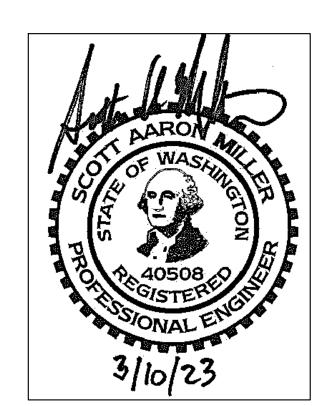
Tenant: **PROLOGIS** PUYALLUP 1 1601 INDUSTRIAL PARK #100 PUYALLUP, WA 98371



City of Puyallup **Development & Permitting Services ISSUED PERMIT** Planning Engineering Public Works

Traffic

Fire



No.	Issue Description	Date
	PERMIT SET	03.10

**PLUMBING DEMOLITION FLOOR PLAN** 

CLIENT APPROVAL City Electronic Stamp Location

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PD1.1