CITY OF PUYALLUP
Planning Division Approved Site Plan
(253) 864-4165
MINIMUM SETBACK REQUIREMENTS

Front Yard: 20' Rear Yard: 0' Interior Side Yard: Left: 0' Right: 0' Street Side Yard: N/A Zoning District: ML Permit #: PRPF20230347

Additional Conditions/Comments

Building permit cannot be issued until the SEPA determination has been issued (PLSSP20230037) and the civil permit application (PRPF20230347) has been approved

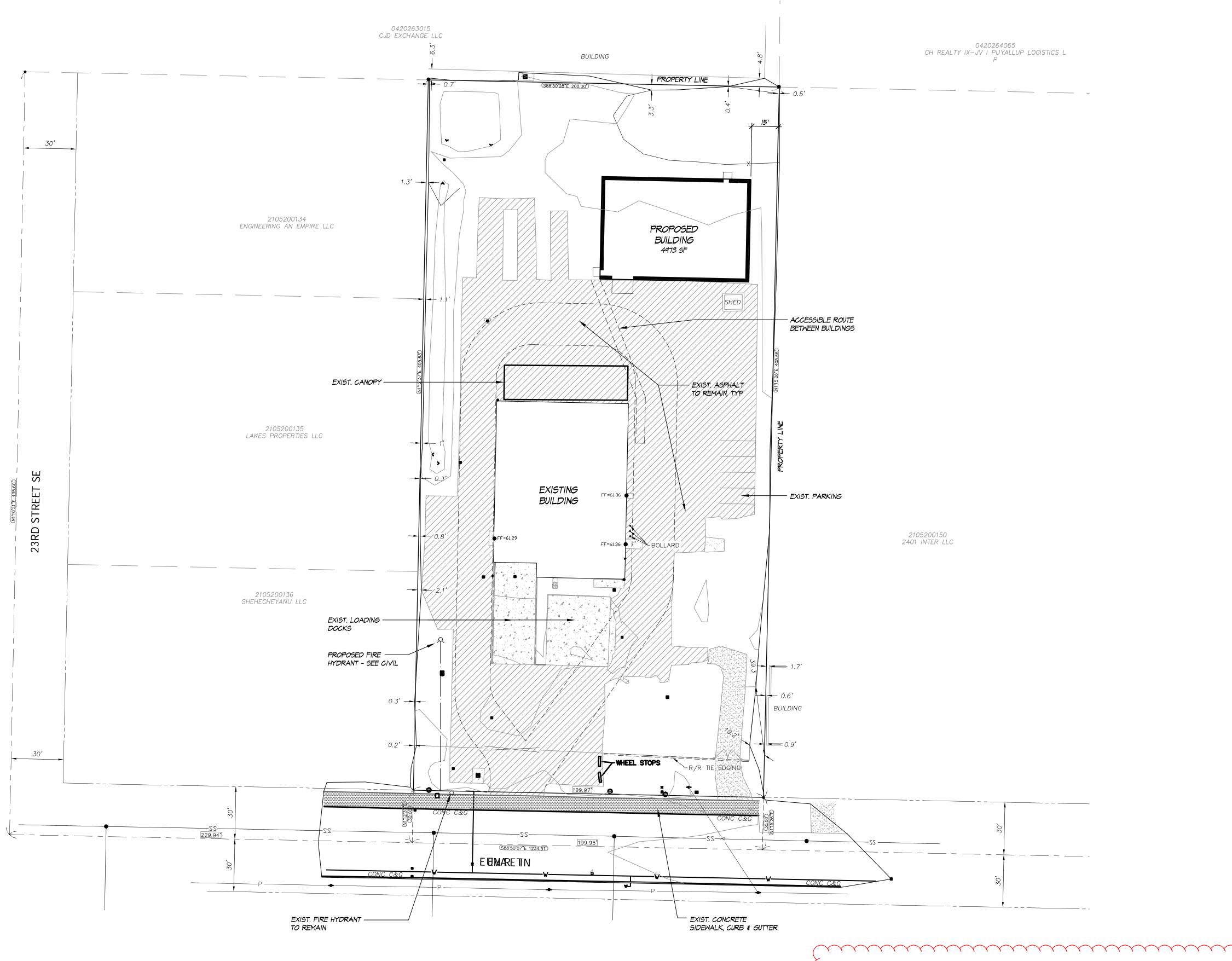
Staff: NComstock
Date: 04/28/2023
Front, rear, and side yard property lines shall be marked with string from surveying pins prior to footing

City of Puyallup Development & Permitting Services ISSUED PERMIT

Building Planning

Engineering Public Works

Fire Traffic



NOTE: STORM DRAINAGE AND FIRE HYDRANT IS UNDER SEPARATE PERMIT APPLICATION #PRCCP20230336.



8E SITE PLAN

CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON

PERMIT SET

REVISIONS:

CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS AND DETAILS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS FROM CONDITIONS SHOWN. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF CASTINO ARCHITECTURE. ALL DRAWINGS, DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT ONLY, AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION BY JAMES H. CASTINO, AIA. ARCHITECT ACCEPTS NO LIABILITY AND SHALL BE HELD HARMLESS FROM ANY RESPONSIBILITY FOR DAMAGES RESULTING FROM REVISIONS, CHANGES OR ADAPTATIONS TO THESE DRAWINGS.

5438 REGISTERED ARCHITECT

JAMES H. CASTINO STATE OF WASHINGTON

Castin Architecture

James Castino Principal 8911 71st Ave. NW Gig Harbor, WA 98332 PHONE: (253) 973-6680 EMAIL: jimpilot22@gmail.com

DATE: MAR 15, 2023
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

SITE PLAN

SHEET NO:
A1.0

COPYRIGHT 2021

THIS DOCUMENT IS THE PROPERTY OF CASTINO ARCHITECTURE. REPRODUCTION OF ALL OR ANY PORTION OF THIS DOCUMENT WITHOUT WRITTEN PERMISSION IS ILLEGAL AND PUNISHABLE BY LAW.