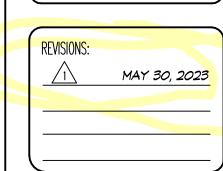
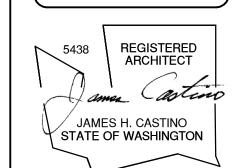
PERMIT SET



DIMENSIONS AND DETAILS AMONG ALL DRAWINGS
PRIOR TO PROCEEDING WITH THE WORK, AND
SHALL NOTIFY THE ARCHITECT OF ANY
DISCREPANCIES OR VARIATIONS FROM CONDITIONS
SHOWN. DO NOT SCALE DRAWINGS. THESE
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James Castino Principal 8911 71st Ave. NW Gig Harbor, WA 98332 PHONE: (253) 973-6680 EMAIL: jimpilot22@gmail.com

MAR 15, 2023 DRAWN BY PROJECT NO.: FILE NAME:

COVER SHEET

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PROPOSED WAREHOUSE CIMCO SALES

2315 INTER AVENUE PUYALLUP, WASHINGTON 98372

CONCEPT IMAGE

City of Puyallup Development & Permitting Services **ISSUED PERMIT**

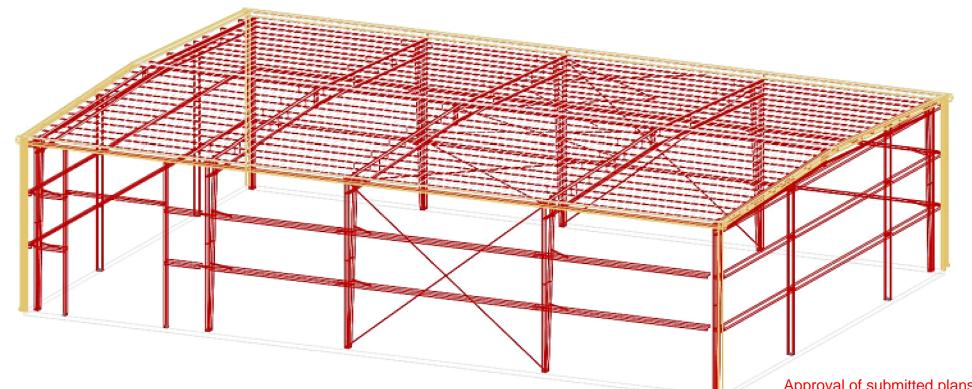
Engineering

Fire

Planning

Public Works

Traffic



REVIEWED FOR COMPLIANCE 06/09/2023 3:01:47 PM

omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for applicable building codes and regulations of the local government.

PROJECT DIRECTORY

OWNER

CIMCO Sales 2315 Inter Avenue Puyallup, WA 98372 Contact: Rick Velasquez Phone: (253) 224-4428

Email: rick@cimcopnw.com

B. LEGAL DESCRIPTION

C. PARCEL NUMBER 2105200140

D. PROPERTY AREA

DURING INSPECTION.

ARCHITECT

Castino Architecture

8911 71st Ave NW Gig Harbor, WA 98332 Contact: James H. Castino, AIA Phone: (253) 973-6680 Email: jimpilot22@gmail.com

STRUCTURAL ENGINEER

12181 C Street South Tacoma, WA 98444 Contact: Chris Fynboe Phone: (253) 537-8128 Email: ccfynboe@cs.com

Chris Fynboe, P.E.

CIVIL ENGINEER

Larson & Associates 9027 Pacific Avenue #4 Tacoma, WA 98444 Phone: (253) 474-3404

Contact: Grant Middleton, P.E. Email: gmiddleton@rrlarson.com

SHEET INDEX

GENERAL

COVER SHEET / CODE SUMMARY

CIVIL

COVER SHEET TESC & PLAN TESC SPECIFICATIONS

DETAILS & SPECIFICATIONS DETAILS & SPECIFICATIONS DETAILS & SPECIFICATIONS

ARCHITECTURAL

SITE PLAN FLOOR & ROOF PLANS, ELEVATIONS SECTIONS

DETAILS A3.2 DETAILS

STRUCTURAL

GENERAL NOTES & DETAILS FOUNDATION PLAN

DETAILS

MECHANICAL/ELECTRICAL

BIDDER DESIGN, SEPARATE PERMITS)

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITTEE ON SITE FOR ALL INSPECTIONS (MIN. PLAN SIZE 24" X 36")

VICINITY MAP

1) Structural Calculations a) for footings b) for steel structure 3) Manufactured Steel Building

> Provide all documents and others as needed on site for inspection.

chapter 17 of the IBC

Special Inspection - See S1.1 for special inspection requirement of

Geo-technical report - see site conditions prior to concrete page 14 of soils report March 1, 2023

) Site erosion inspection required prior to footing inspection. 2) Final inspections by Fire, Engineering and Planning prior to Building Department. 3) See Building Code and the electronic permit record for inspections.

BUILDING CODE DATA

A. APPLICABLE CODE

2018 INTERNATIONAL BUILDING CODE 2018 WA STATE ENERGY CODE AS APPLICABLE TO SEMI-HEATED SPACES.

4,973 SF

17,500 SF

B. USE

TYPE II-B, NON-SEPARATED USES NON-SPRINKLERED

E. AREA OF BUILDING (SF)

ALLOWED AREA:

PROJECT DESCRIPTION

CONSTRUCT 4,937 SF PRE-ENGINEERED METAL BUILDING ON CONCRETE FOUNDATION AND SLAB TOGETHER WITH SITE GRADING, STORM DRAINAGE AND FIRE HYDRANT, PER CIVIL.

PROPOSED

WAREHOUSE

2315 Inter Ave

Inter Ave

EXISTING

BUILDING

SITE DATA

A. STREET ADDRESS

WASHINGTON STATE ENERGY

ENVELOPE INSULATION COMPLIANCE: COMPONENT PERFORMANCE

INSULATION MATERIALS SUCH THAT THE MARK IS READILY OBSERVABLE

ALL REQUIRED PROJECT CLOSEOUT DOCUMENTATION REQUIRED PER

OWNER'S AUTHORIZED REPRESENTATIVE WITHIN 180 DAYS OF THE DATE

ARTICLE C103.6 SHALL BE PROVIDED TO THE BUILDING OWNER OR

IDENTIFICATION MARKS SHALL BE APPLIED TO ALL INSTALLED

CODE COMPLIANCE

OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

PROJECT CLOSEOUT DOCUMENTATION:

2315 INTER AVENUE, PUYALLUP, WA 98372

STORAGE OF PRODUCTS IN METAL RACKS

C. CONSTRUCTION TYPE

D. OCCUPANCY TYPE

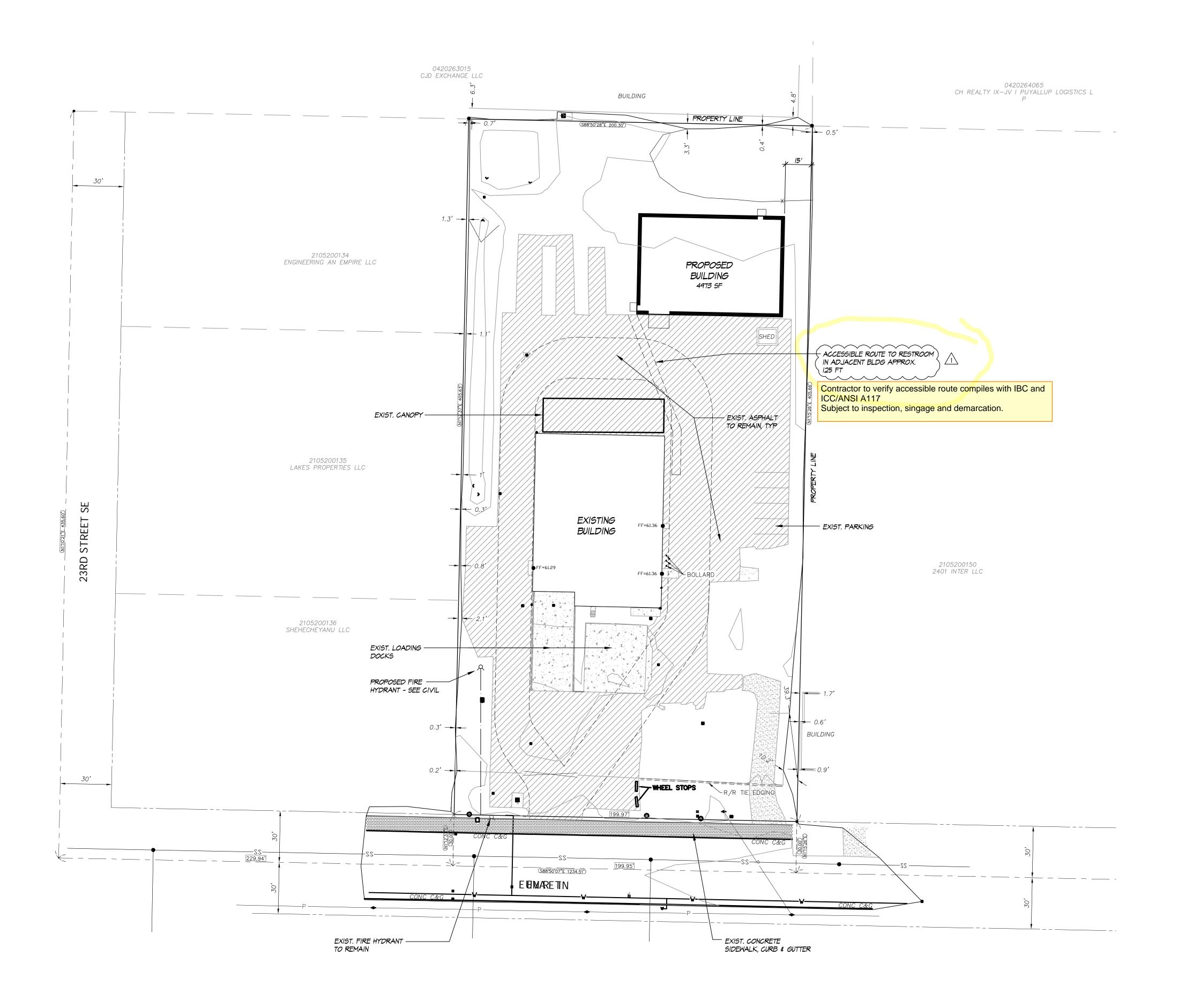
S1 MODERATE HAZARD STORAGE

PROPOSED BUILDING:

(PER TABLE 506.2)

(1) Submit building enclosure air leakage test reports to jurisdiction and owner; (2) If initial test result exceeds 0.25 cfm/ft2 (1.5 L/s*m2), indicate that inspection and all practical corrective actions be completed and documented in the air leakage test report; (3) If initial test result exceeds 0.40 cfm/ft2 (2.0 L/s*m2), indicate that corrective actions shall also include re-testing; (4) Indicate that corrective measures and retesting must be repeated until the test result is 0.40 cfm/ft2 (2.0 L/s*m2) or less; (4) Include air barrier test report in project close out documentation

provided to building owner.



PROPOSED WAREHOUSE
CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372

PERMIT SET

CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS AND DETAILS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS FROM CONDITIONS SHOWN. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF CASTINO ARCHITECTURE. ALL DRAWINGS, DESIGNS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT ONLY, AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION BY JAMES H. CASTINO, AA. ARCHITECT ACCEPTS NO LIABILITY AND SHALL BE HELD HARMLESS FROM ANY RESPONSIBILITY FOR DAMAGES RESULTING FROM REVISIONS, CHANGES OR ADAPTATIONS TO THESE DRAWINGS.

JAMES H. CASTINO
STATE OF WASHINGTON

Castim Architecture

James Castino Principal 8911 71st Ave. NW Gig Harbor, WA 98332 PHONE: (253) 973-6680 EMAIL: jimpilot22@gmail.com

DATE: MAR 15, 2023
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

SITE PLAN

SHEET NO:

A 1.0

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8E SITE PLAN

City of Puyallup

Development & Permitting Services
ISSUED PERMIT

Building

Engineering

Planning

Public Works

Traffic

SCALE: 1' = 30'

CO.O 1 OF 7 COVER SHEET C1.0 2 OF 7 T.E.S.C. & PLAN C1.1 3 OF 7 T.E.S.C. SPECIFICATIONS C2.0 4 OF 7 STORM PLAN C2.1 5 OF 7 DETAILS AND SPECIFICATIONS C2.2 6 OF 7 DETAILS AND SPECIFICATIONS
C2.3 7 OF 7 DETAILS AND SPECIFICATIONS

CIMCO SALES NE 1/4, SW 1/4, SEC.26, TWN.20 N., RNG. 4 E., W.M. COVER SHEET

PARCEL NUMBER

SITE ADDRESS 2315 INTER AVE, PUYALLUP, WA 98372

PROPERTY DESCRIPTION

(PER DEED OF TRUST, AFN 201810030016) LOT 7, ACKERSON'S ADDITION TO PUYALLUP, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 25, RECORDS OF PIERCE COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

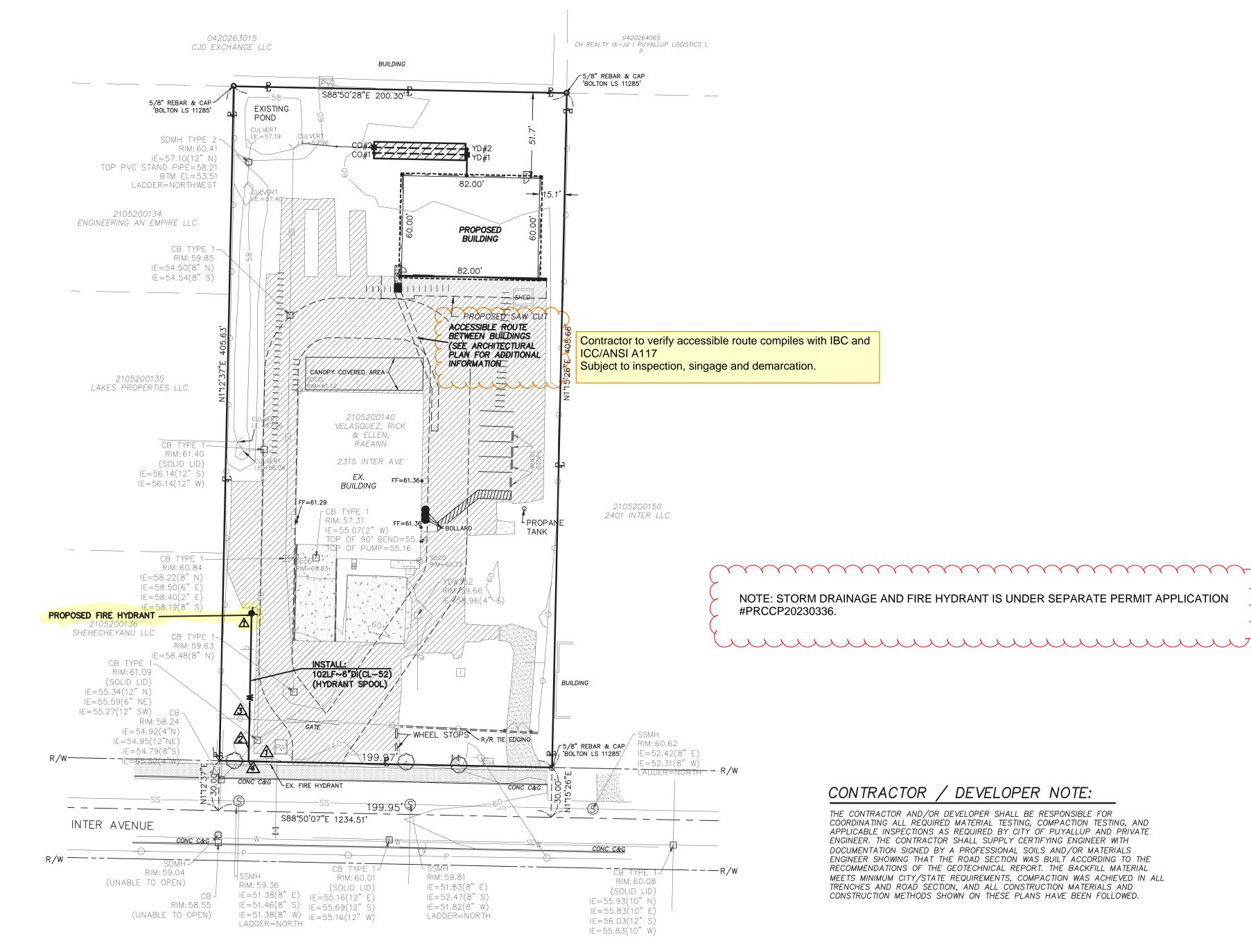
CONSTRUCTION NOTES:

 $oldsymbol{\Lambda}$ CONTRACTOR TO REMOVE AND RELOCATE FIRE HYDRANT ASSEMBLY AS SHOWN. SEE FIRE HYDRANT ASSEMBLY DETAIL ON SHEET C2.2.

CONTRACTOR TO ENSURE 0.5'(MIN) VERTICAL SEPARATION BETWEEN WATER AND STORMWATER LINES.

CONTRACTOR TO REMOVE AND REPLACE EXISTING FENCING (AS NECESSARY) TO FACILITATE HYDRANT SPOOL EXTENSION CONSTRUCTION AS SHOWN.

CONTRACTOR TO INSTALL 90° BEND FITTING IN WATER MAIN WITH THRUST BLOCKING PER CITY OF PUYALLUP REQUIREMENTS.



CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY CITY OF PUYALLUP AND PRIVATE ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM CITY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

	REVISION BLOCK				
NO.	DATE	DESCRIPTION	BY		

APPROVED FIRE HYDRANT/FDC OCATION/ACCESS APPROVED CITY OF PUYALLUP CITY OF PUYALLUP ENGINEERING DEPARTMENT FIRE CODE OFFICIAL NOTE: THIS APPROVAL IS VOID

AFTER 180 DAYS FROM APPROVAL THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE

CHANGES TO THESE PLANS AS

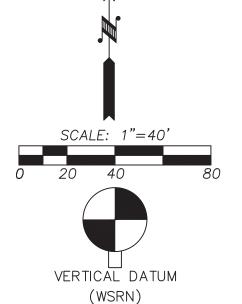
OFFICIAL.

DETERMINED BY THE FIRE CODE

<u>OTE:</u> THIS APPROVAL IS VOID FTER 180 DAYS FROM APPROVAL HE CITY WILL NOT BE OMISSIONS ON THESE PLANS. IELD CONDITIONS MAY DICTATE HANGES TO THESE PLANS AS ETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

9575

ASS



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

CONTOUR INTERVAL=1 TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

SURVEYOR'S REFERENCES

(P) ACKERSON'S 2ND ADDITION TO PUYALLUP, AFN 215387 (R1) RECORD OF SURVEY, 200801255002

LEGEND

	IND
P	PROPERTY LINE
 60	EXISTING CONTOUR
	RIGHT OF WAY
W	EXISTING WATER MAIN (APPROX. LOCATION
SS	EXISTING SEWER MAIN
SD	EXISTING STORM MAIN
OP	- EXISTING POWER LINE
—X——X—	EXISTING WIRE FENCE
————	EXISTING CHAINLINK FENCE
SD	PROPOSED STORM LINE
w	PROPOSED WATER LINE
	PROPOSED CATCH BASIN/YARD DRAIN
	PROPOSED CLEAN OUT
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	EXISTING WATER METER
	EXISTING IRR. BOX
M	EXISTING WATER VALVE
Q	EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN
	EXISTING STORM MANHOLE
©	EXISTING STORM C/O
S	EXISTING SEWER MANHOLE
-	EXISTING UTILITY POLE
PV	EXISTING POWER VAULT
	EXISTING SIDEWALK
	EXISTING PAVEMENT
	EXISTING CONCRETE



EXISTING TREE

PROPOSED PAVEMENT GRIND/OVERLAY AREA

DRAWING N 9575BASE

DATE

3/17/202

UTILITY CONFLICT NOTE: CAUTION:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

City of Puyallup

Development & Permitting Services

ISSUED PERMIT

Planning

Public Works

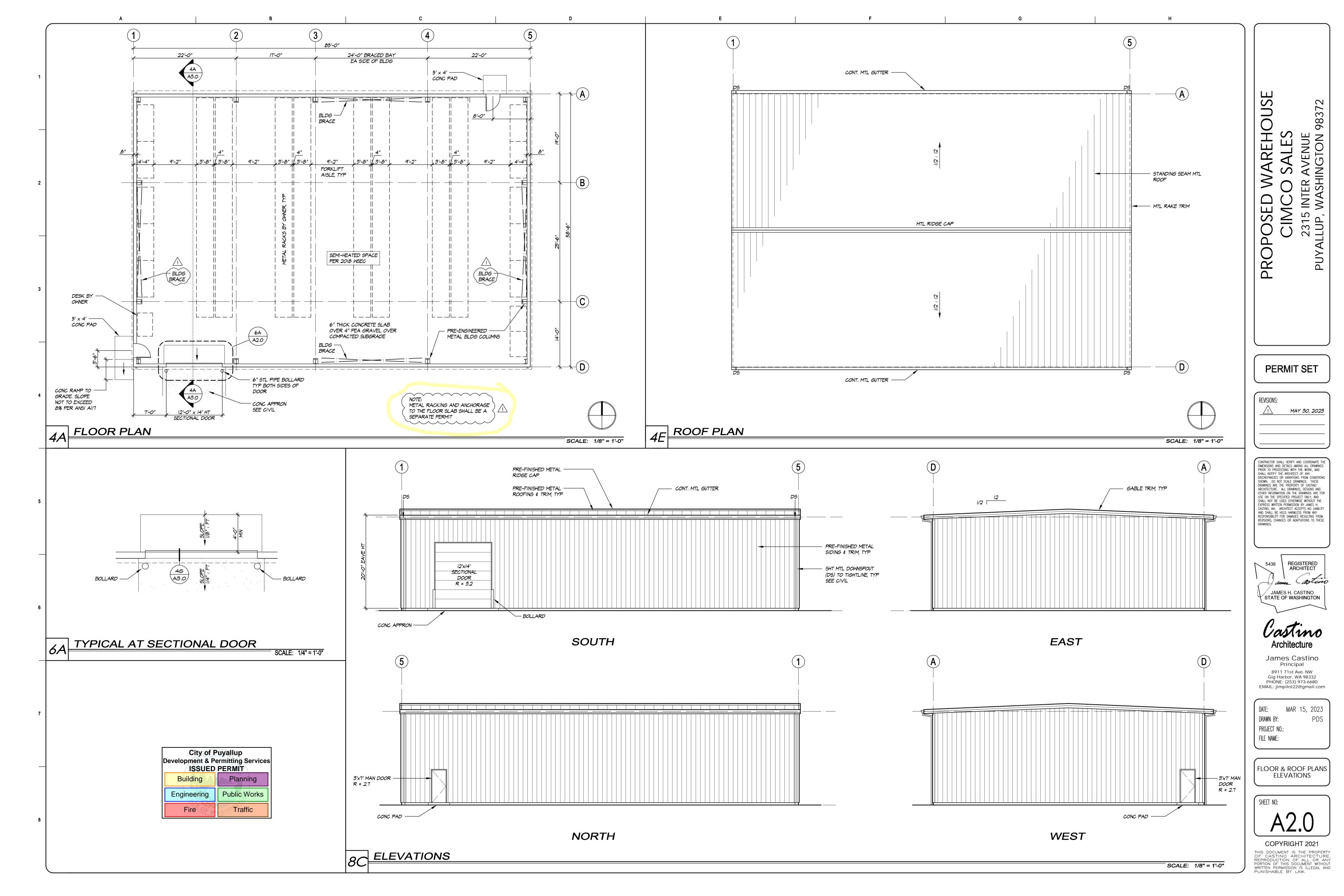
Traffic

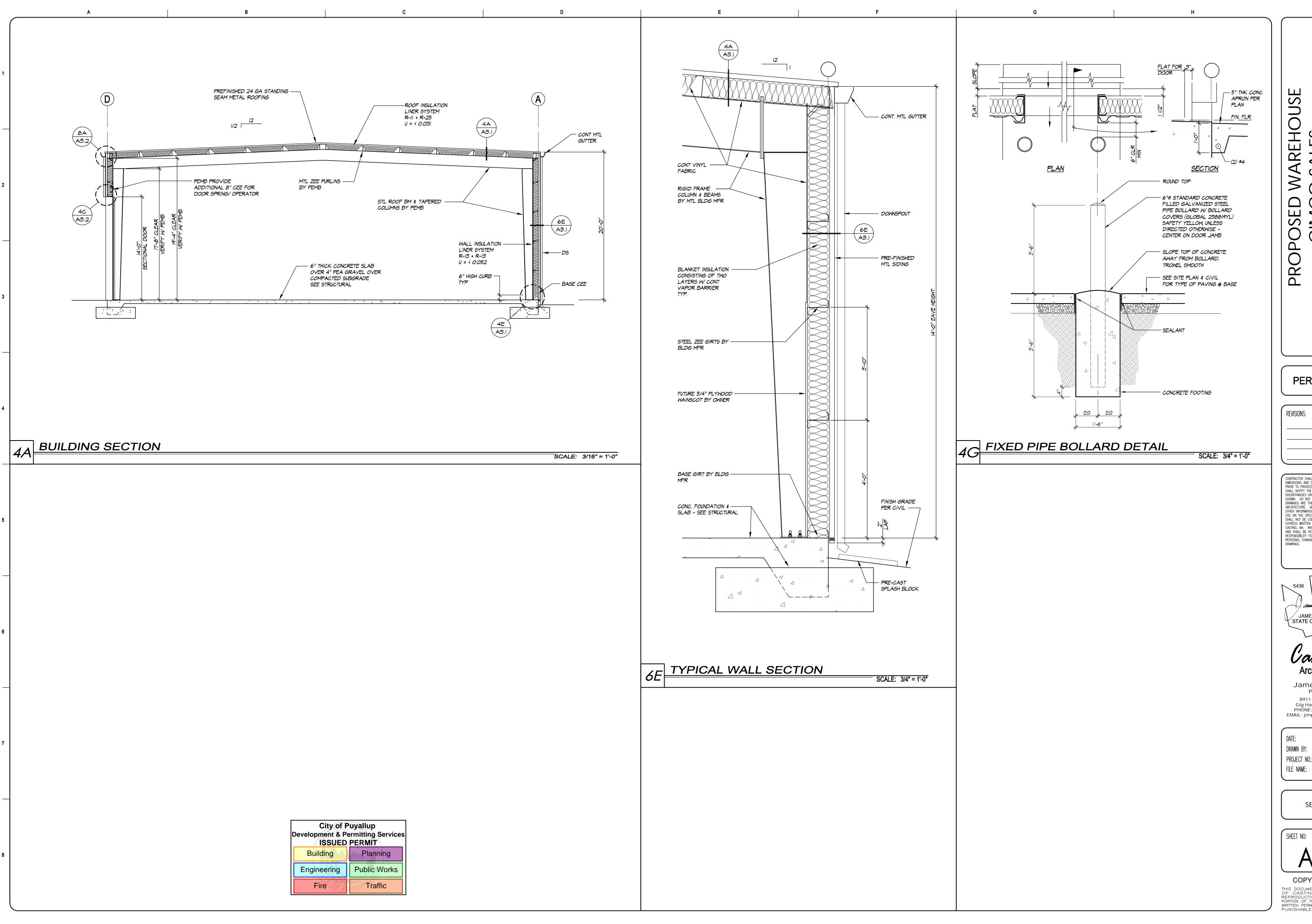
Building

Engineering

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.





PROPOSED WAREHOUSE
CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372

PERMIT SET

VISIONS:

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JAMES H. CASTINO STATE OF WASHINGTON

Castin Architecture

James Castino Principal 8911 71st Ave. NW Gig Harbor, WA 98332 PHONE: (253) 973-6680 EMAIL: jimpilot22@gmail.com

MAR 15, 2023
PRAWN BY: PDS
PROJECT NO.:
ILE NAME:

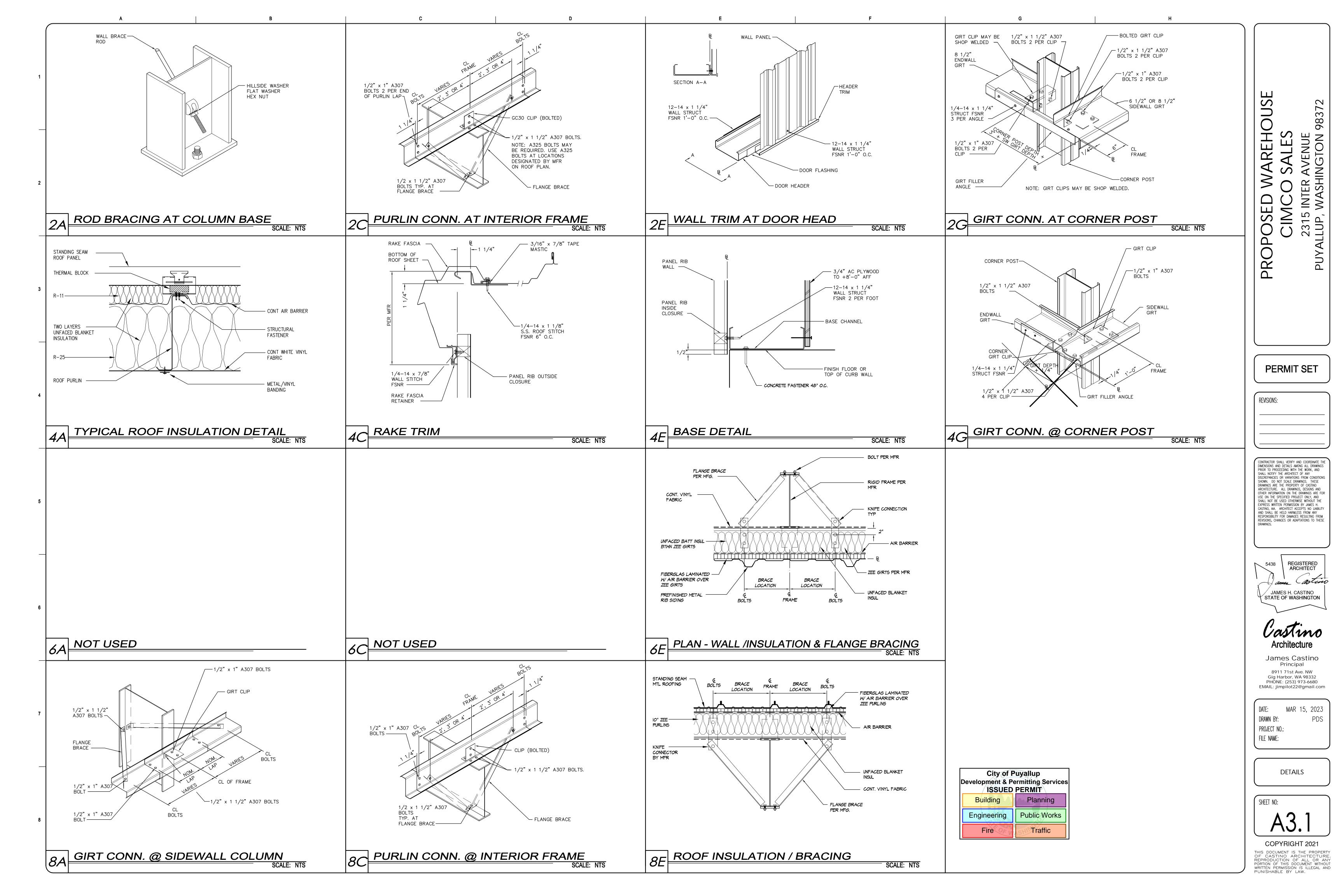
SECTIONS

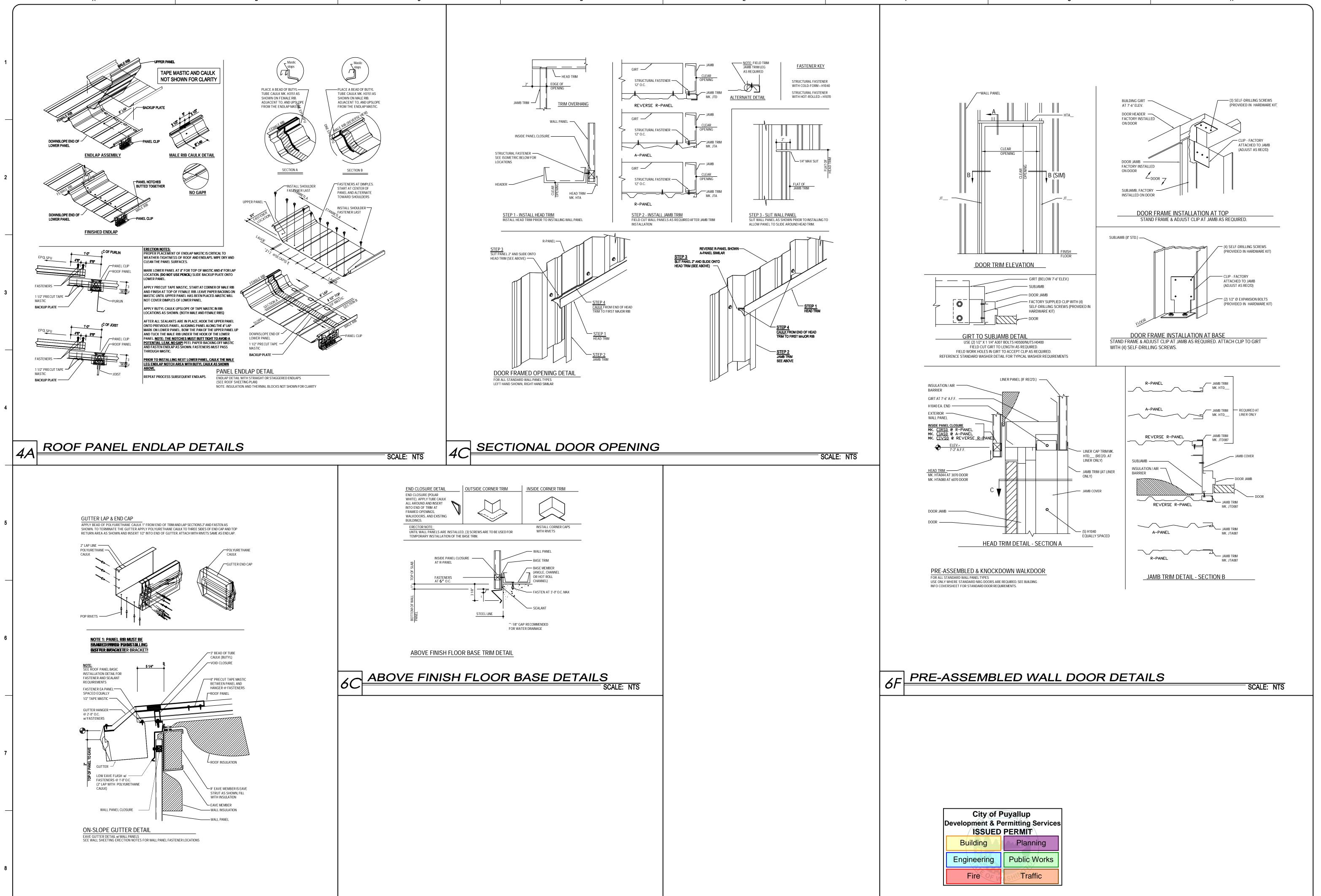
SHEET NO:

A3.0

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GUTTER DETAILS

PROPOSED WAREHOUSE

CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372

PERMIT SET

REVISIONS:

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JAMES H. CASTINO
STATE OF WASHINGTON

Castino Architecture

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DATE: MAR 15, 2023
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

DETAILS

SHET NO:

A3.2

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1.0 Construction Notes.
These notes supplement the specification. Any discrepancy found among the drawings, specifications, these notes, and the site conditions shall be reported to the
                                                                                                                                          3.50 Formwork and shoring.
                                                                                                                                           Follow recommended practice for concrete formwork (ACI-347)
                                                                                                                                          Reshoring for early removal of original supports will not be permitted. While reshoring operations are underway, no construction loads will be permitted on the
Architect/Engineer, who shall correct such discrepancy in writing. Any work done by
the Contractor after discovery of such discrepancy shall be done at the Contractor's risk. The Contractor shall verify and coordinate the dimensions among all drawings prior to
                                                                                                                                          new construction.
proceeding with any work or fabrication. The Contractor is responsible for all erection
                                                                                                                                          All shoring shall be the responsibility of the Contractor. Formwork supports and shoring
                                                                                                                                          shall be designed to provide finished concrete surfaces at all faces 'level, plumb, and true
bracing, formwork and temporary construction shoring.
                                                                                                                                          to the dimensions and elevations shown. Tolerances and variations shall be as specified.
      1.10 Bidder's warranty.
     By the act of submitting a bid for the proposed contract, the Contractor warrants that: The Contractor and all subcontractors he intends to use have carefully and thoroughly reviewed the drawings and structural notes and have found them complete and free
                                                                                                                                         3.60 Reinforcing steel.

Detail, fabricate, and place per ACI-315 and ACI-318. Support reinforcement with
                                                                                                                                          approved chairs, spacers, or ties.
     from ambiguities and sufficient for the purpose intended; further that,
The Contractor has carefully examined the site of the work and that from his own
                                                                                                                                          Deformed bar reinforcement: ASTM A-615 Grade 60
Welded deformed bar reinforcement: ASTM A-615 Grade 60 or 40, weldable grade,
      investigations, he has satisfied himself as to the nature and location of the work, as to
                                                                                                                                          submit weld procedures and mill certificates showing carbon content for all bars to be
      the character, quality, quantities of material and difficulties to be encountered, as to the
      extent of equipment and other facilities needed for the performance of the work and as
                                                                                                                                                                                  Melded wire fabric:
      to the general and local conditions, and other items which may in any way affect the
                                                                                                                                              Deformed bar anchors:
                                                                                                                                                                                  ASTM A-496
      work or its performance, further that,
                                                                                                                                           All reinforcing shall be lap-spliced a minimum lap of 40 bar diameters except as noted
      The Contractor and all workmen he intends to use are skilled and experienced in the
                                                                                                                                          specifically on the structural drawings. No more than 50% of horizontal or vertical bars
     type of construction represented by the drawings and documents bid upon; further that,
Neither the Contractor nor any of his employees, agents, intended suppliers, or
                                                                                                                                           shall be spliced at one location.
                                                                                                                                           Provide e'lbow bars (40 diameter) to lap horizontal steel at corners and intersections in
      subcontractors have relied upon any verbal representations allegedly authorized or
     unauthorized from the owner or his employees or agents, including the Architect or Engineers, in assembling the bid figures; further that,
                                                                                                                                           footings and walls.
                                                                                                                                          Lap welded fabric 12" or one spacing plus 2", whichever is more.
      The bid figure is based solely upon the construction contract documents and properly
                                                                                                                                          3.70 Concrete cover on reinforcing (unless shown otherwise).

Bottom of footings 3"
      issued written addenda and not upon any other written or verbal representations.
                                                                                                                                               Formed earth face $ slab-on-grade
     All methods, materials and workmanship shall conform to the 2018 International Building Code (IBC) as amended and adopted by the local building authority.

All reference to other codes and standards, (ACI, ASTM, etc.), Shall be for the latest or
                                                                                                                                               Walls, weather face
                                                                                                                                               Columns and beams to stirrups
                                                                                                                                              Bottom of interior slab
                                                                                                                                              Walls, inside face
      most current edition available
      1.30 Design criteria.
                                                                                                                                          3.80 Construction joints.
Construction joint spacing in walls shall not exceed 50' on center except as directed by the Architect/Engineer.
          Uniform Toads:
                  Loads
Roof
                                                                                Dead load
                                                                                                                                          Horizontal construction joints in beams and girders are not permitted except where indicated. Vertical construction joints in beams and slabs shall be located between the
                  Slab-on-arade
                                                                                                                                          midpoint and the third point of the span. Unless noted otherwise, location of the
                                                                                                                                          construction or control joints in slab-on-grade shall be on column grids or under permanent partitions and shall not exceed 20'-0" c/c each way.
      *15% increase in stresses for wood framing allowed for snow live load.
                 Concentrated loads:
                                                                                                                                          No joists, beams or girders shall be sleeved for piping or conduit except as noted on the structural drawings or as approved by the Architect/Engineer.

Electrical conduit in slabs, shall be placed at the mid-depth of the slab at a minimum
      Mechanical units or other concentrated loads on roof or floor. All manufacturers of pre-
      engineered systems shall locate, coordinate, verify weights, etc., And design their
                                                                                                                                          spacing of three times the conduit diameter. Conduit outside diameter shall not exceed
      system for these loads.
         Lateral loads:
                                                                                                                                           one-third of the slab thickness
             Wind (iBC 1609)
                                                                                                                                         Provide control joints in exposed hollow core topping at each end of each hollow core plank. Provide additional joints parallel to planks at 16' o/c maximum.
                97 MPH - 3 second gust
                 Exposure C
                                                                                                                                     5.0 Metals.
             Earthquake Design Data (iBC 1613)
                 Seismic Use Group 1
                                                                                                                                          5.10 Welding.
                                                                                                                                          All welding shall be in accordance with the "Structural Welding Code" ANSI/AWS D1.1. In
                                                                                                                                                                                                                                       WABO certified welders required
      2500 psf See GeoResource soild reort dated 3/1/2023.
                                                                                                                                          the case of welding reinforcing bars, all welding shall be in accordance with ANSI/AWS
      1.50 Inspection - see specifications.
                                                                                                                                          D1.4. Welding of reinforcement bars shall not be allowed except where shown.
      1.60 Shop drawings
                                                                                                                                            Materials: use only E60 or E70 electrodes
      Submit shop drawings to Architect/Engineer for the following:
           Pre-Engineered Metal Building
                                                                                                                                          All welding shall be by certified welders. All full penetration welds shall be inspected by
                                                                                                                                          ultrasonic non-destructive testing procedures. Submit test results to Architect/Engineer
      1.70 Miscellaneous.
                                                                                                                                          for review.
      Verify all dimensions and conditions in the field.
      Verify size and location of all openings in the floors, roof and walls with Architectural,
                                                                                                                                          5.20 Structural steel.
    mechanical and electrical drawings.

Construction details not specifically shown on the drawings shall follow similar details of sections of this project as approved by the Architect/Engineer.

See architectural, mechanical and electrical drawings for dimensions and locations of
                                                                                                                                          All detailing, fabrication, and erection shall conform to aisc "manual of steel construction",
                                                                                                                                          latest edition.
      openings not dimensioned or shown on structural plans.
      1.80 Special Inspections
     The owner shall employ one or more special inspectors to perform special inspection and testing in accordance with IBC Section 1701 for the following:
                                                                                                                                              Steel shapes/plates ASTM A-36
                                                                                                                                          Pipe columns ASTM A-53, type E or S (fy=36 ksi.)
                                                                                                                                          Tube columns ASTM A-500, grade B (fy=46 ksi.)
           Welding of reinforcement steel and building (periodic)
                                                                                                                                                               ASTM A-307 unless noted otherwise
           Concrete (continuous)
           High Strength Bolts (periodic)
                                                                                                                                          Metal protection: all steel exposed to weather, moisture, soil, or as noted shall be
           Bracing Rods (periodic)
                                                                                                                                          galvanized per ASTM A-123 (1.25 Oz/sf minimum). All other steel surfaces to be shop
           Rigid Frame Connections (periodic)
                                                                                                                                          primed after fabrication.
                             2.0 Site work.
                                                                                                                                          5.30 Pre-Engineered Buildings
      Excavate to depth shown and to firm undisturbed material. Over-excavations shall be
                                                                                                                                          The metal building manufacturer shall be a member of the metal buildings manufacturer's
     backfilled with structural fill as per geotechnical report.
Exercise extreme care during excavation to avoid damage to buried lines, tanks, and other
                                                                                                                                          association (MBMA).
      concealed items. Upon discovery, do not proceed with work until receiving written
      instructions from Architect. A competent representative of the owner shall inspect all
                                                                                                                                          Steel frame manufacturer shall provide all labor, materials and equipment for the
      footing excavations for suitability of bearing surfaces prior to placement of reinforcing
                                                                                                                                          structural design and fabrication of the complete pre-engineered building package
      steel. Provide drainage as necessary to avoid water-softened subgrade.
                                                                                                                                          including rigid frames, bracing, other secondary framing, roofing, siding, flashing and
     2.20 Fill, backfill and compaction. Backfill against walls shall not be placed until after the removal of all material subject to
     rot or corrosion. All fill placed against retaining walls or basement walls shall be freedraining granular material. Structural fill other than pea gravel shall be granular, placed
                                                                                                                                          Bay spacings, plan dimensions, column locations, eave heights and roof slope shall be
     in 6 inch lifts and compacted to at least 95% of its maximum dry density as determined by ASTM D-1557 (Mod. Proctor) and ASTM D-698 (Standard Proctor). Pea gravel fill shall
      have a maximum particle size of 3/8" diameter.
                                                                                                                                          Design Loads: See Section 1.20
3.0 Structural Concrete.
                                                                                                                                          Documents
      3.10 General.
     All concrete shall be hard rock concrete meeting requirements of ACI-301, "Specifications for Structural Concrete for Buildings." Proportioning of ingredients for each concrete mix shall be by method 2 or the alternate procedure given in ACI-301. Place concrete per ACI-304 and conform to ACI-604(306) for winter concreting and ACI-
                                                                                                                                          The manufacturer shall furnish complete design drawings (can be shop and
                                                                                                                                          erection drawings), sealed by a structural engineer licensed in the state of the
                                                                                                                                          project.
     605(305) for hot weather concreting. Use interior mechanical vibrators with 7000 rpm minimum frequency. Do not over-vibrate. Concrete shall be placed in a single pour
                                                                                                                                          The manufacturer shall (prior to the concrete foundation work) furnish all anchor
      between construction or control joints. Protect all concrete from premature drying,
                                                                                                                                          bolt sizes and placement plans for approval.
      excessive hot or cold temperature for seven days after placing.
                                                                                                                                          The manufacturer shall furnish design calculations sealed by a structural licensed
                                                                                                                                          in the state of the project.
          Twenty-eight day compressive strengths shall be:
                                                                                                                                          It shall be the responsibility of building manufacturer to provide all additional
            Beams, columns, vertically
                                                                                                                                          clips, anchors, light gauge framing, etc. as required to integrate his standard
             Formed walls
                                                                                                                                          building components with work by others. See also shop drawings requirements.
                                                3000
                                                            4" +/- 1
      These slumps may be increased with proper addition of admixtures for workabilit
      without changing the water content of the original aproved mix design. Admixtures
      containing chilorides are not permitted unless approved by the Engineer.
                                                                                                                                          Pre-Engineered Building Materials
                                                                                                                                          All structural steel sections and welded plate menbers shall be designed and
      Cement: ASTM 150, type I or type I-II. Engineer's approval is needed for use of type III
                                                                                                                                          fabricated in accordance with AISC "Specification for the Design, Fabrication and
      Coarse and fine aggregate: ASTM C-33.
                                                                                                                                          Erection of Strucural Steel for Buildings," latest editions.
      Water shall be cleăñ and potabbsi
                                                                                                                                          All light gauge cold—formed, structural members and exterior coverings shall be
     3.40 Water reducing admixtures.
Water reducing admixture: ASTM C-494. Admixtures shall be used in exact accordance
                                                                                                                                          designed and fabricated in accordance with the latest addition of the the AISI
                                                                                                                                           "Specifications for the Design of Cold—Formed Steel Structural Members".
      with manufacturer's instructions.
      Synergized performance systems: Concrete using admixtures to produce flowable
     concrete may be used subject to Engineer's approval.

Air entrainment: ASTM C-260 and ASTM C-494, entrain 4% plus/minus 1% by volume in
                                                                                                                                          Steel rigid frames and other built—up primary framing shall be fabricated from hot
                                                                                                                                          rolled steel plate per ASTM A529—72 (Minimum yield strength 42,000 psi).
      all exposed concrete.
      No other admixtures permitted unless approved by the Engineer
                                                                                                                                          Light gauge I and C purlins, girts and secondary framing shall be cold formed
                                                                                                                                          utilizing hot rolled steel coil meeting ASTM A570-72 (Minimum yield strength
                                                                                                                                          50,000 psi).
```

Steel roof and wall sheeting (See specifications) shall be cold formed from high

strength (50 ksi) steel sheeting to meet the chemical requirements of ASTM

A446—72 grade D and galvanized with a 1.25 oz. commercial grade coating

meeting the bend, coating and tolerance requirements of the ASTM A525—73.

Machine bolts shall be ASTM A307. High strength bolts shall be ASTM A325.

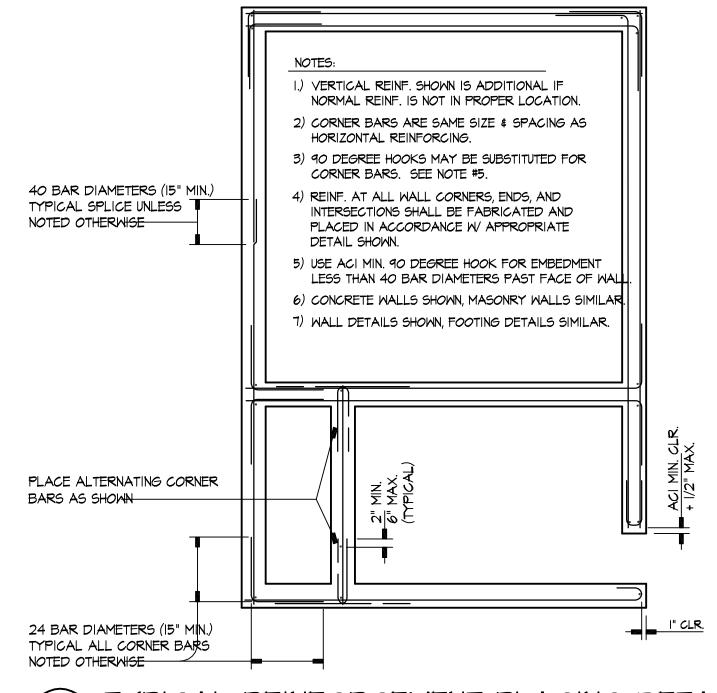
fabricated from A36 material except as noted.

Foundation anchor bolts and tension rods used for wall and roof bracing shall be

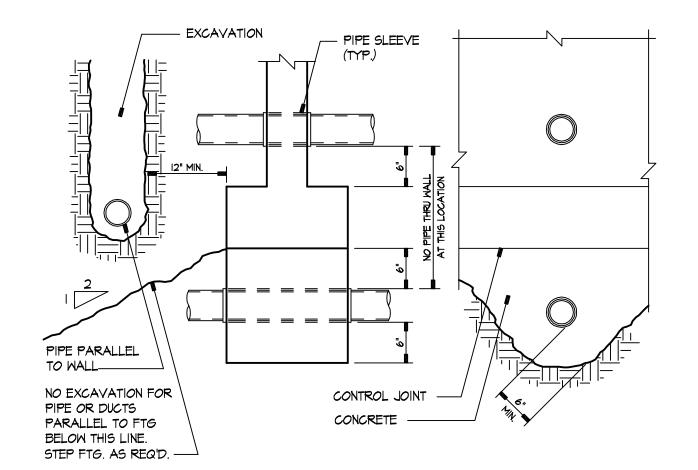
WABO Special

Inspection

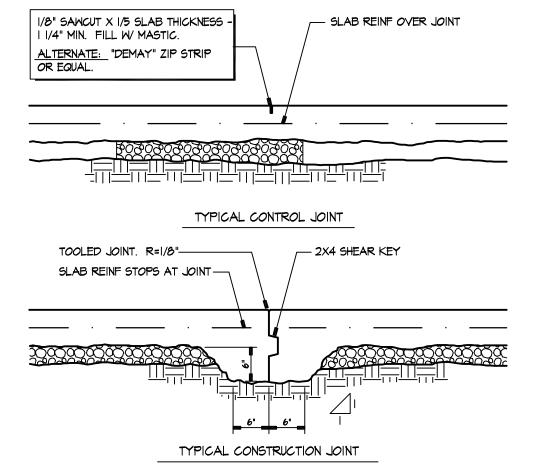
required.



TYPICAL REINFORCEMENT PLACING DETAIL



TYPICAL DETAIL OF PIPE @ CONCRETE FOOTING



City of Puyallup

Development & Permitting Services

ISSUED PERMIT

Planning

Public Works

Traffic

Building

Engineering

Fire





(J

CCF

Issue Date: | MAR. 17, 2023

PDS

Drafter:

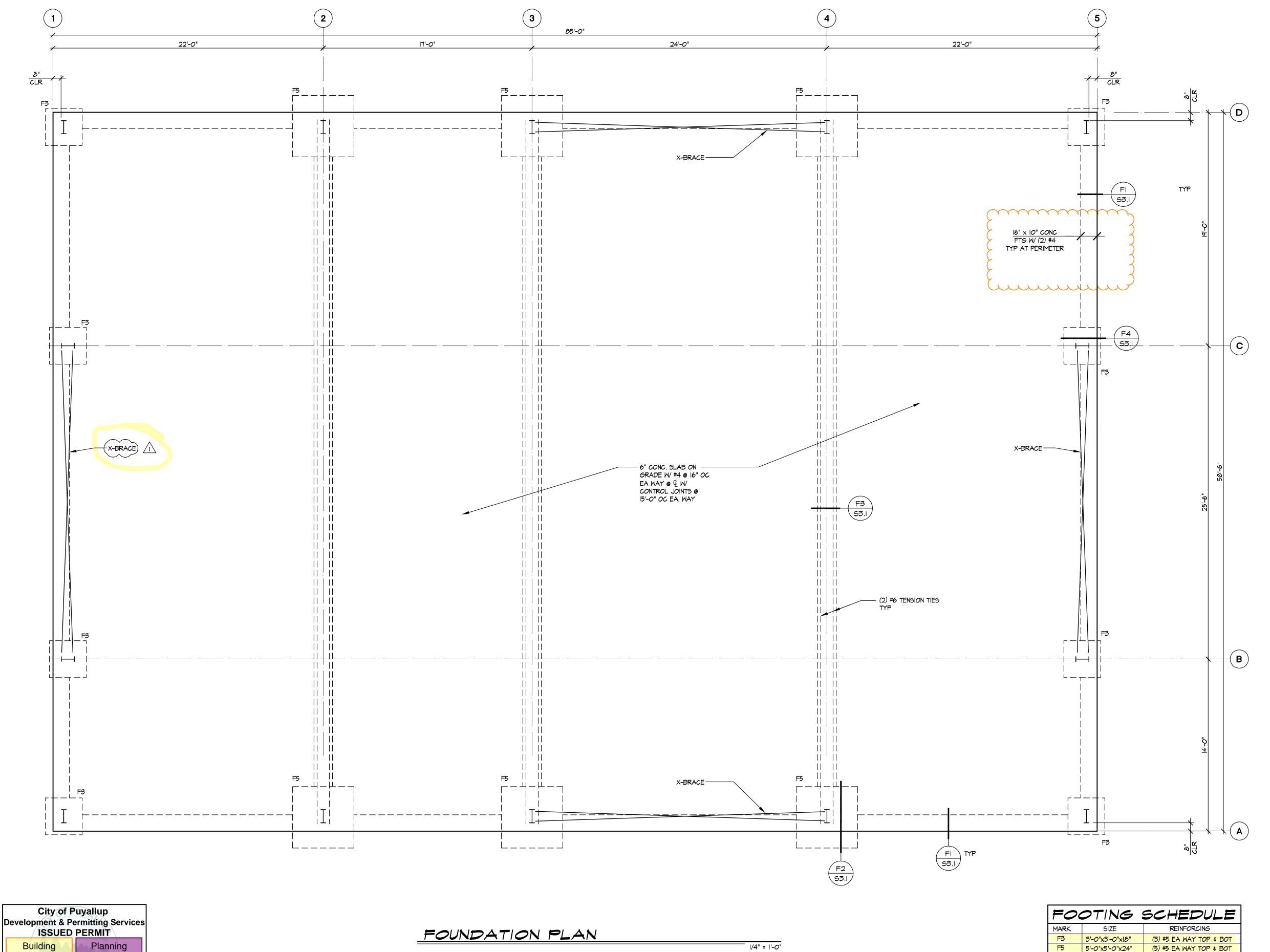
Checker:

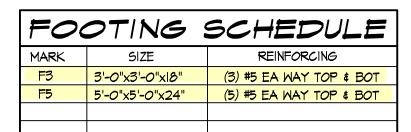
roject Ref

lient Ref.:

SHEET NO.

AD Ref.:





1/4" = 1'-0"

Public Works

Traffic

Engineering

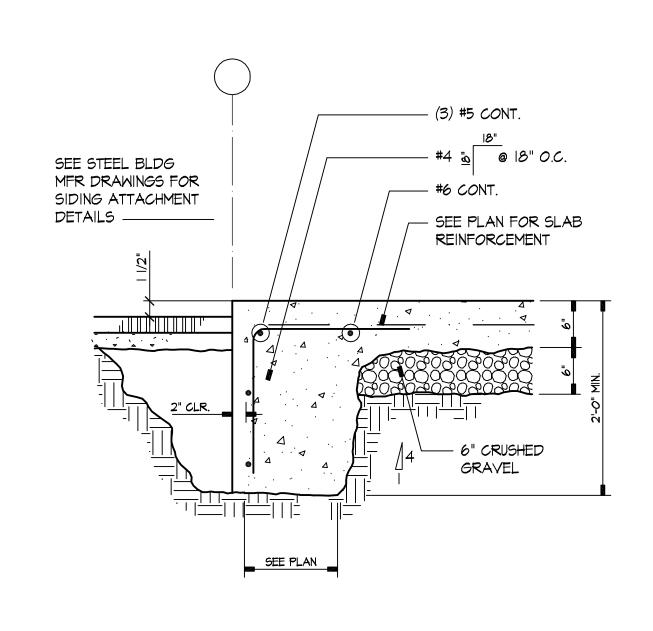
Fire

Designer:	CCF	
Drafter:	PDS	
Checker:		
Issue D <mark>ate</mark> :	MAR.	17, 2023
Revision:	MAY 5	30, 2023
Project Ref.:		
Client Ref.:		
CAD Ref.:		
SHEET N	0.	REV.
S2.	1	

WAREHOUSE

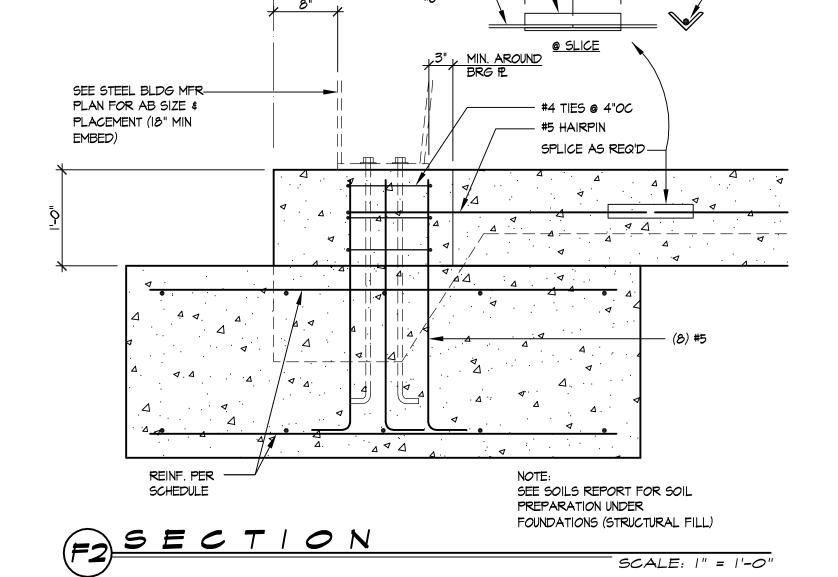
SALES

CIMCO

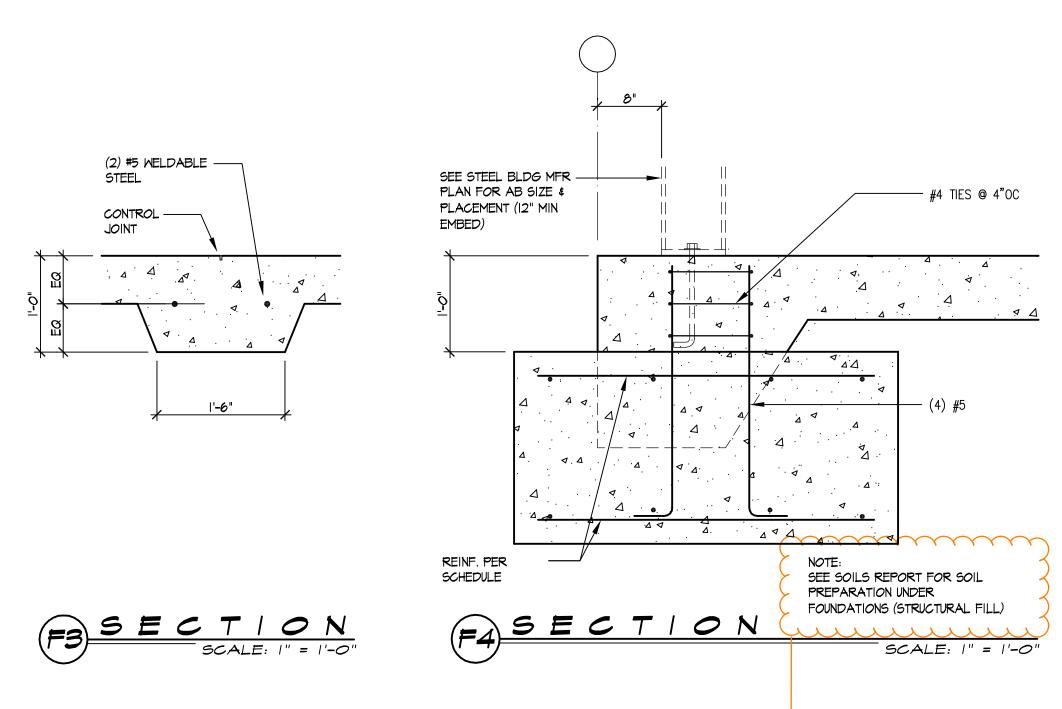


SCALE: |" = |'-0"

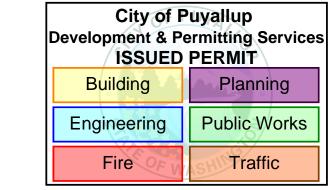
FISECTION



L3x3x3/8x1'-0" -SPLICE



A soils report was not submitted as part of the permit documents for this permit for reference to this comment. Note on page S3.1, at detail F4 of plans.





DETAILS

SALES WAREHOUSE

CIMCO

Designer:	CCF	-
Drafter:	PDS	
Checker:		
Issue Date:	MAR.	17, 2023
Revision:		
Project Ref.:		
Client Ref.:		
CAD Ref.:		
SHEET N	REV.	
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