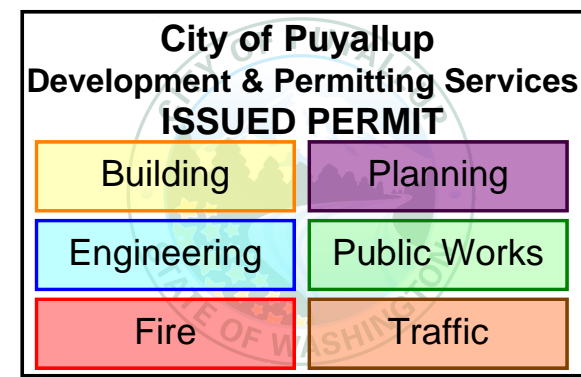


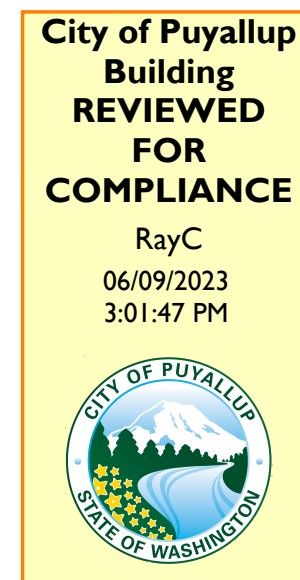
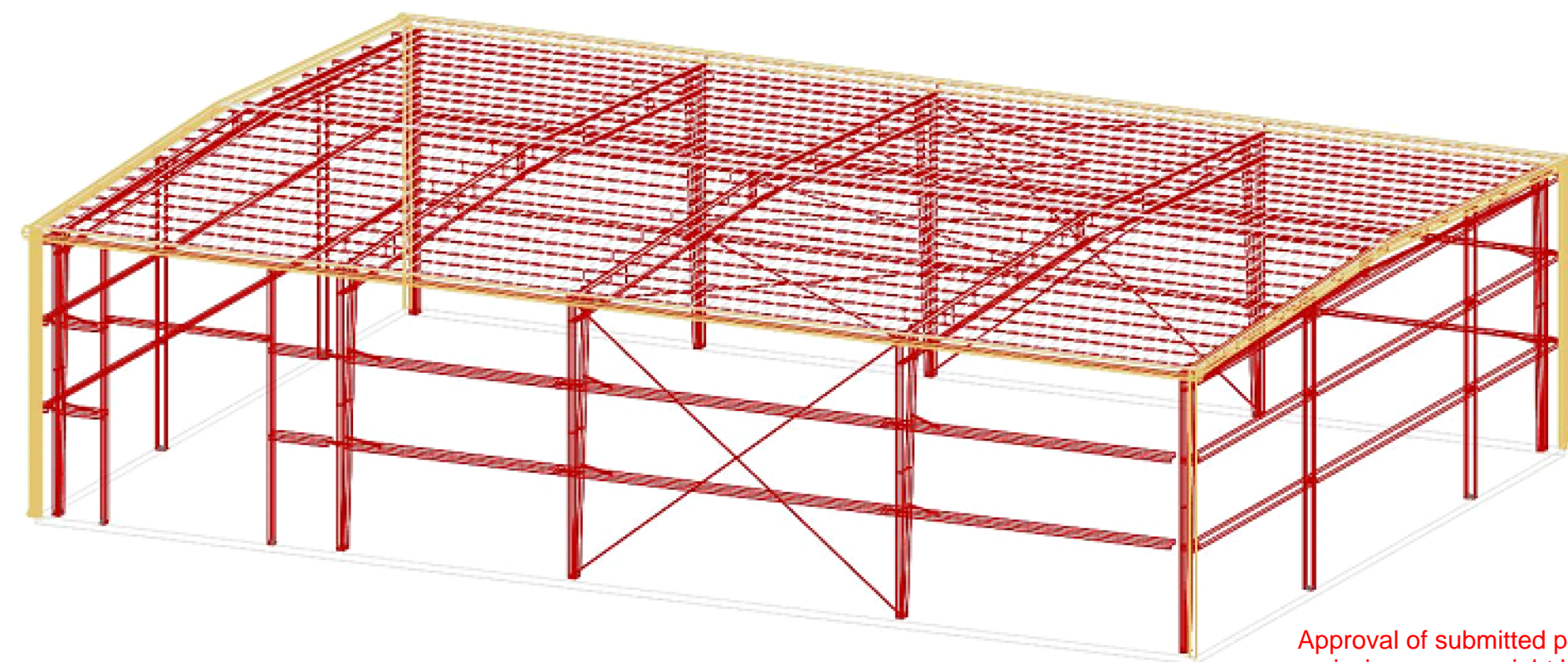
PROPOSED WAREHOUSE

CIMCO SALES

2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372



CONCEPT IMAGE



Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

SHEET INDEX

- GENERAL**
G1.1 COVER SHEET / CODE SUMMARY
- CIVIL**
C0.1 COVER SHEET
C1.0 TESC & PLAN
C1.1 TESC SPECIFICATIONS
C2.0 STORM PLAN
C2.1 DETAILS & SPECIFICATIONS
C2.2 DETAILS & SPECIFICATIONS
C2.3 DETAILS & SPECIFICATIONS

- ARCHITECTURAL**
A1.0 SITE PLAN
A2.0 FLOOR & ROOF PLANS, ELEVATIONS
A3.0 SECTIONS
A3.1 DETAILS
A3.2 DETAILS

- STRUCTURAL**
S1.1 GENERAL NOTES & DETAILS
S2.1 FOUNDATION PLAN
S3.1 DETAILS

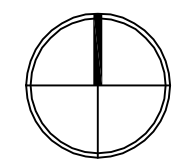
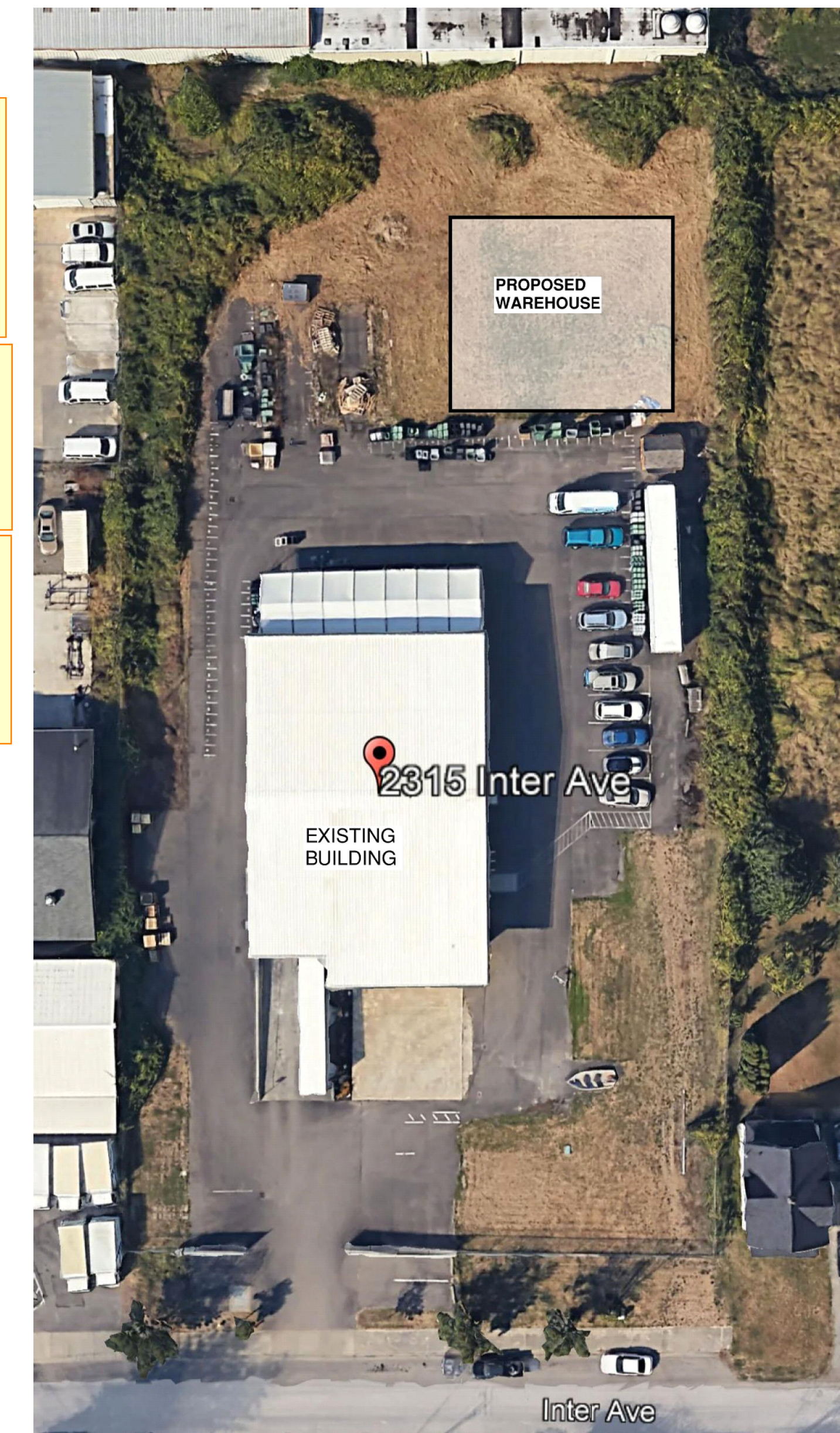
MECHANICAL/ELECTRICAL
BIDDER DESIGN, SEPARATE PERMITS

Issued with this plan
1) Structural Calculations
a) for footings
b) for steel structure
2) Soils report
3) Manufactured Steel Building plans
Provide all documents and others as needed on site for inspection.

Special Inspection - See S1.1 for special inspection requirement of chapter 17 of the IBC
Geo-technical report - see recommendations for inspection of site conditions prior to concrete page 14 of soils report March 1, 2023

Inspection notes:
1) Site erosion inspection required prior to footing inspection.
2) Final inspections by Fire, Engineering and Planning prior to Building Department.
3) See Building Code and the electronic permit record for inspections.

VICINITY MAP



PROJECT DIRECTORY

OWNER CIMCO Sales 2315 Inter Avenue Puyallup, WA 98372 Contact: Rick Velasquez Phone: (253) 224-4428 Email: rick@cimcopnw.com	ARCHITECT Castino Architecture 8911 71st Ave NW Gig Harbor, WA 98332 Contact: James H. Castino, AIA Phone: (253) 973-6680 Email: jimplot22@gmail.com	STRUCTURAL ENGINEER Chris Fynboe, P.E. 12181 C Street South Tacoma, WA 98444 Contact: Chris Fynboe Phone: (253) 537-8128 Email: ccfnboe@cs.com	CIVIL ENGINEER Larson & Associates 9027 Pacific Avenue #4 Tacoma, WA 98444 Contact: Grant Middleton, P.E. Phone: (253) 474-3404 Email: gmiddleton@rltaron.com
--	---	---	--

SITE DATA

- A. STREET ADDRESS
2315 INTER AVENUE, PUYALLUP, WA 98372
- B. LEGAL DESCRIPTION
- C. PARCEL NUMBER
2105200140
- D. PROPERTY AREA

BUILDING CODE DATA

- A. APPLICABLE CODE
2018 INTERNATIONAL BUILDING CODE
2018 WA STATE ENERGY CODE AS APPLICABLE TO SEMI-HEATED SPACES.
- B. USE
STORAGE OF PRODUCTS IN METAL RACKS
- C. CONSTRUCTION TYPE
TYPE II-B, NON-SEPARATED USES
NON-SPRINKLERED
- D. OCCUPANCY TYPE
S1 MODERATE HAZARD STORAGE
- E. AREA OF BUILDING (SF)
PROPOSED BUILDING: 4,937 SF
ALLOWED AREA: 17,500 SF
(PER TABLE 506.2)

(1) Submit building enclosure air leakage test reports to jurisdiction and owner; (2) If initial test result exceeds 0.25 cfm/ft2 (1.5 L/s*m2), indicate that inspection and all practical corrective actions be completed and documented in the air leakage test report; (3) If initial test result exceeds 0.40 cfm/ft2 (2.0 L/s*m2), indicate that corrective actions shall also include re-testing; (4) Indicate that corrective measures and retesting must be repeated until the test result is 0.40 cfm/ft2 (2.0 L/s*m2) or less; (4) Include air barrier test report in project close out documentation provided to building owner.

WASHINGTON STATE ENERGY CODE COMPLIANCE

ENVELOPE INSULATION COMPLIANCE: COMPONENT PERFORMANCE IDENTIFICATION MARKS SHALL BE APPLIED TO ALL INSTALLED INSULATION MATERIALS SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION.
PROJECT CLOSEOUT DOCUMENTATION:
ALL REQUIRED PROJECT CLOSEOUT DOCUMENTATION REQUIRED PER ARTICLE C103.6 SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE WITHIN 180 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

PROJECT DESCRIPTION

CONSTRUCT 4,937 SF PRE-ENGINEERED METAL BUILDING ON CONCRETE FOUNDATION AND SLAB TOGETHER WITH SITE GRADING, STORM DRAINAGE AND FIRE HYDRANT, PER CIVIL.

PROPOSED WAREHOUSE
CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372

PERMIT SET

REVISIONS:
MAY 30, 2023

CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS AND DETAILS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS FROM CONDITIONS SHOWN. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF CASTINO ARCHITECTURE. ALL DRAWINGS, RECORDS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF JAMES H. CASTINO, AIA. ARCHITECT ACCEPTS NO LIABILITY AND SHALL BE HELD HARMLESS FROM ANY RESPONSIBILITY FOR DAMAGES RESULTING FROM REVISIONS, CHANGES OR ADAPTATIONS TO THESE DRAWINGS.

5438 REGISTERED ARCHITECT
James H. Castino
JAMES H. CASTINO
STATE OF WASHINGTON

Castino
Architecture
James Castino
Principal
8911 71st Ave. NW
Gig Harbor, WA 98332
PHONE: (253) 973-6680
EMAIL: jimplot22@gmail.com

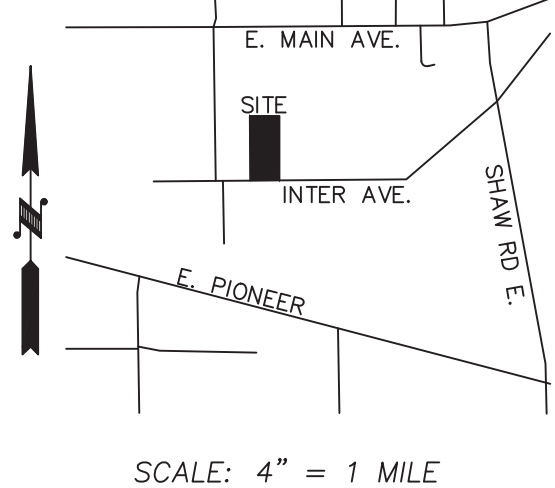
DATE: MAR 15, 2023
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

COVER SHEET

SHEET NO:
G1.1

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VICINITY MAP



SHEET INDEX

C0.0	1 OF 7	COVER SHEET
C1.0	2 OF 7	T.E.S.C. & PLAN
C1.1	3 OF 7	T.E.S.C. SPECIFICATIONS
C2.0	4 OF 7	STORM PLAN
C2.1	5 OF 7	DETAILS AND SPECIFICATIONS
C2.2	6 OF 7	DETAILS AND SPECIFICATIONS
C2.3	7 OF 7	DETAILS AND SPECIFICATIONS

PARCEL NUMBER

2105200140

SITE ADDRESS

2315 INTER AVE, PUYALLUP, WA 98372

CIMCO SALES
NE 1/4, SW 1/4, SEC.26, TWN.20 N., RNG. 4 E., W.M.
COVER SHEET

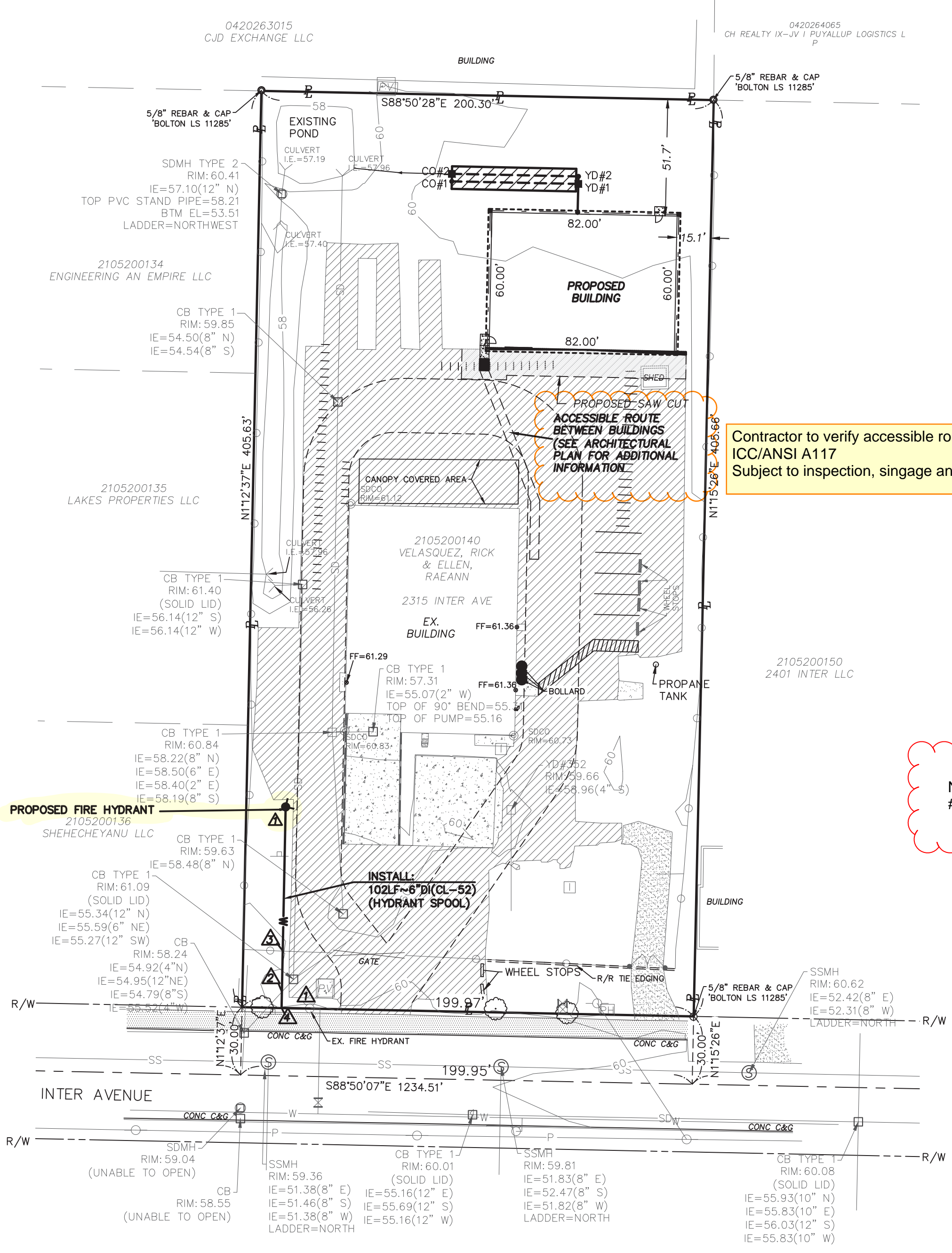
FIRE HYDRANT/FDC LOCATION/ACCESS APPROVED	APPROVED	JOB NUMBER 9575
BY: CITY OF PUYALLUP FIRE CODE OFFICIAL	BY: CITY OF PUYALLUP ENGINEERING DEPARTMENT	SCALE: 1"=40'
DATE: _____	DATE: _____	HOR: 1"=40'
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE FIRE CODE OFFICIAL.	NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.	VERT: N/A
DESIGNED JLC	DRAWN DWN	CHECKED GJM

PROPERTY DESCRIPTION

(PER DEED OF TRUST, AFN 201810030016)
LOT 7, ACKERSON'S ADDITION TO PUYALLUP, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 25, RECORDS OF PIERCE COUNTY, WASHINGTON.
SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

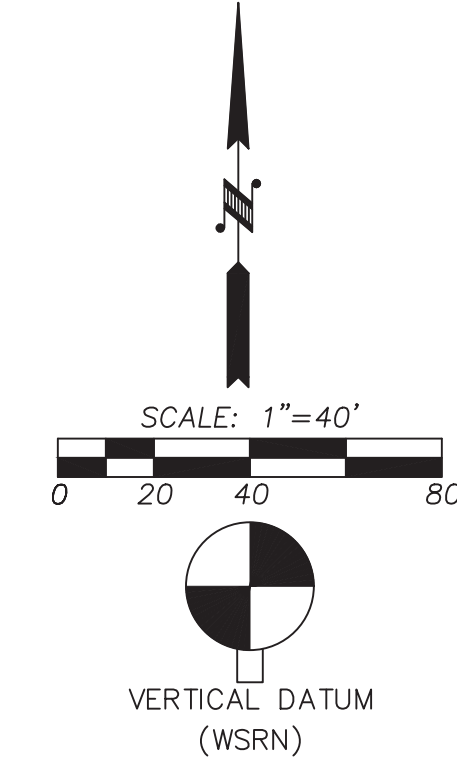
CONSTRUCTION NOTES:

- CONTRACTOR TO REMOVE AND RELOCATE FIRE HYDRANT ASSEMBLY AS SHOWN. SEE FIRE HYDRANT ASSEMBLY DETAIL ON SHEET C2.2.
- CONTRACTOR TO ENSURE 0.5'(MIN) VERTICAL SEPARATION BETWEEN WATER AND STORMWATER LINES.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING FENCING (AS NECESSARY) TO FACILITATE HYDRANT SPOOL EXTENSION CONSTRUCTION AS SHOWN.
- CONTRACTOR TO INSTALL 90° BEND FITTING IN WATER MAIN WITH THRUST BLOCKING PER CITY OF PUYALLUP REQUIREMENTS.



Contractor to verify accessible route complies with IBC and ICC/ANSI A117
Subject to inspection, singage and demarcation.

NOTE: STORM DRAINAGE AND FIRE HYDRANT IS UNDER SEPARATE PERMIT APPLICATION #PRCCP20230336.



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES
HORIZONTAL DATUM
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS
SURVEYOR'S REFERENCES
(P) ACKERSON'S 2ND ADDITION TO PUYALLUP, AFN 215387
(R1) RECORD OF SURVEY, 200801255002

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY
- EXISTING WATER MAIN (APPROX. LOCATION)
- EXISTING SEWER MAIN
- EXISTING STORM MAIN
- EXISTING POWER LINE
- EXISTING WIRE FENCE
- EXISTING CHAINLINK FENCE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED CATCH BASIN/YARD DRAIN
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING IRR. BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM C/O
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING POWER VAULT
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING CONCRETE
- PROPOSED PAVEMENT GRIND/OVERLAY AREA
- EXISTING TREE

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY CITY OF PUYALLUP AND PRIVATE ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM CITY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY

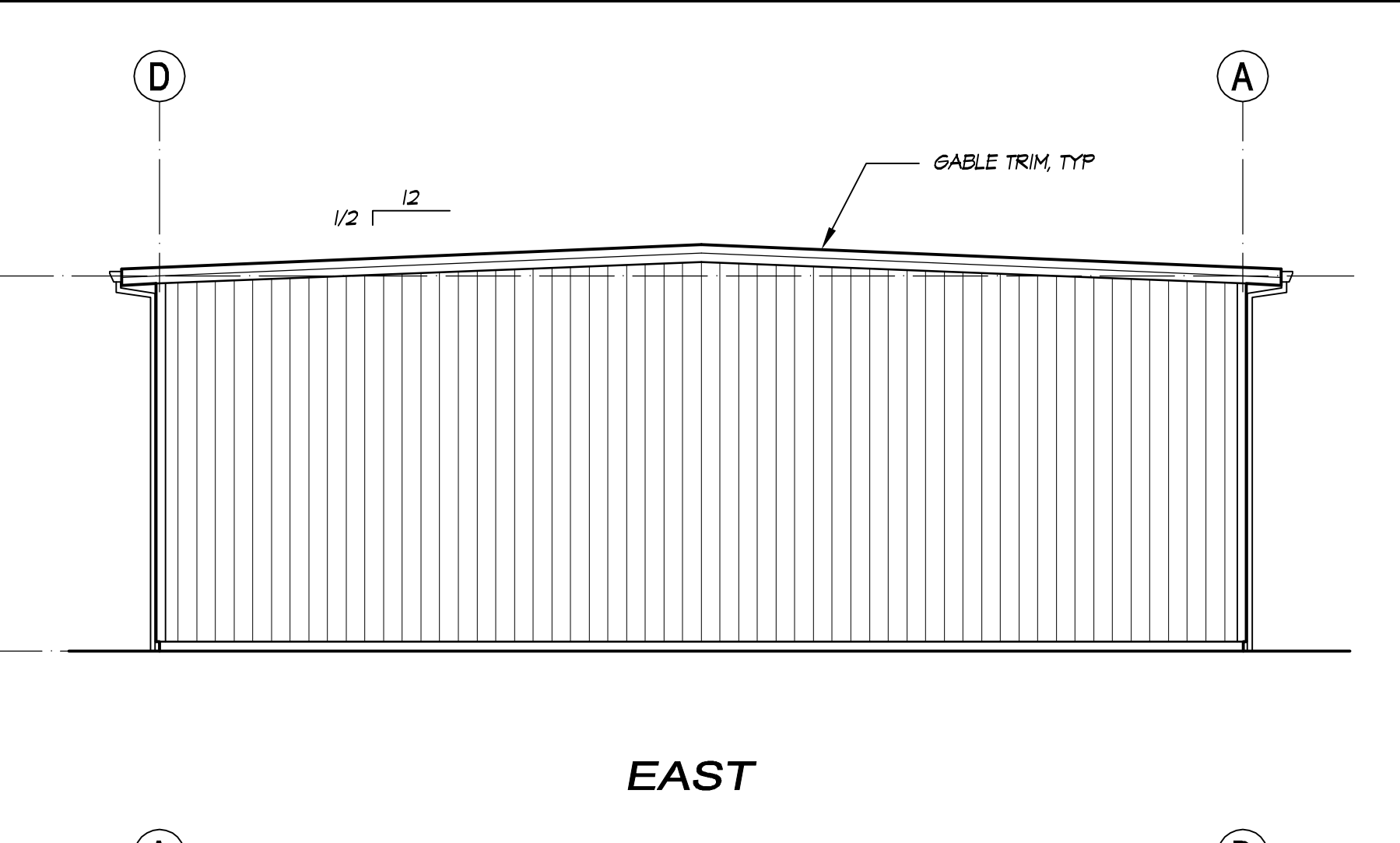
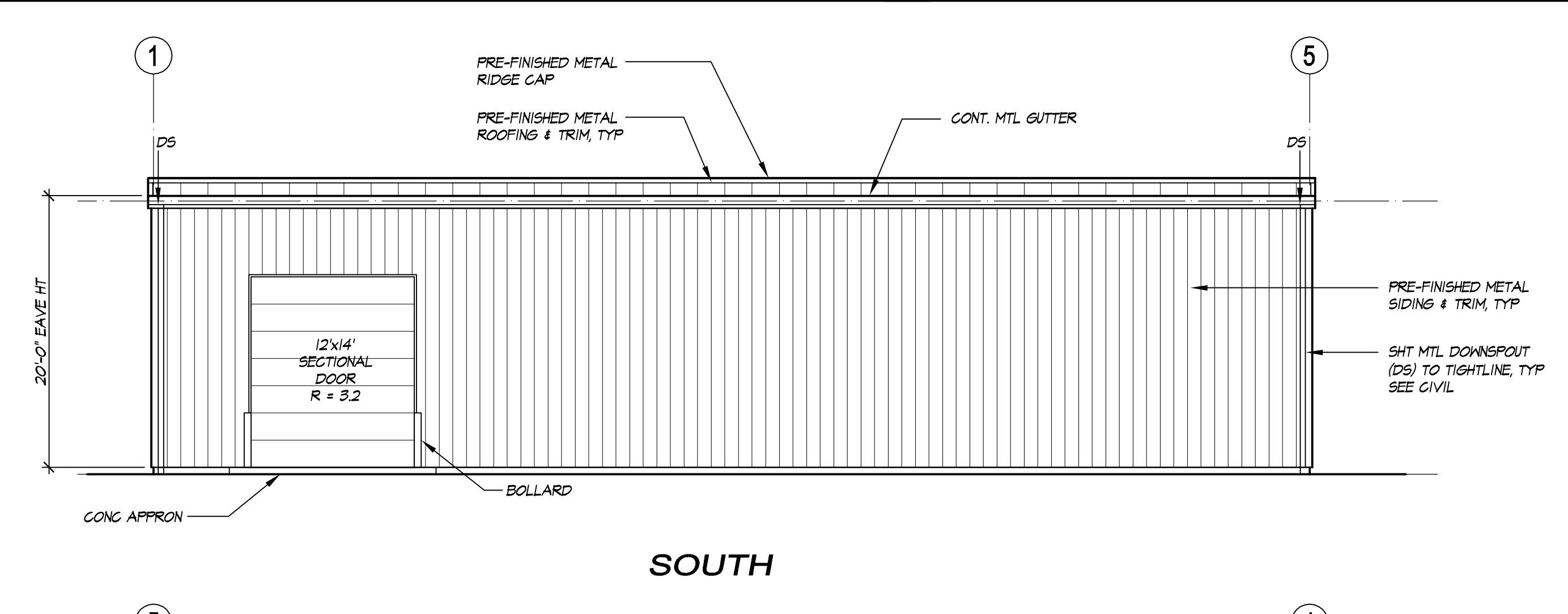
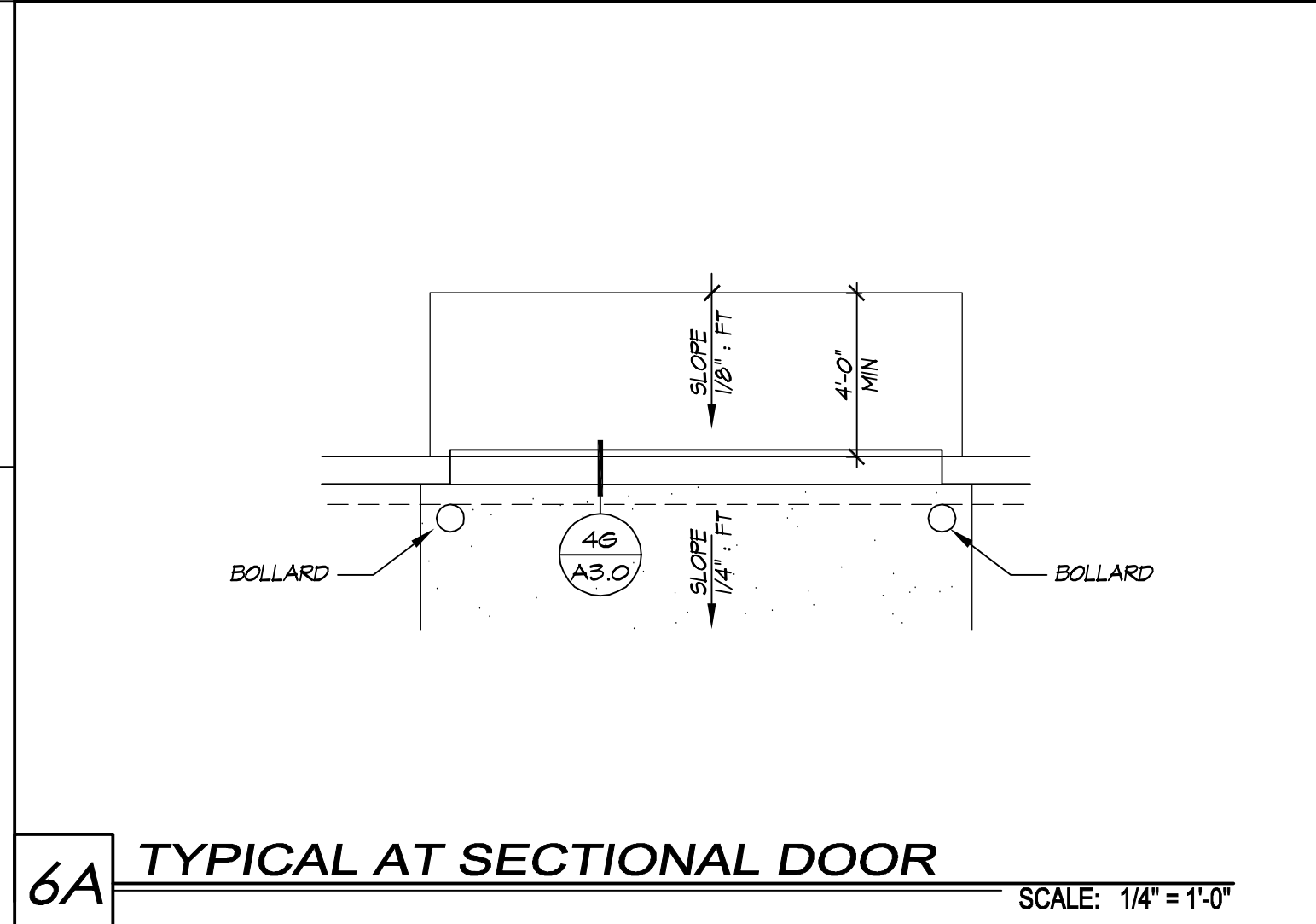
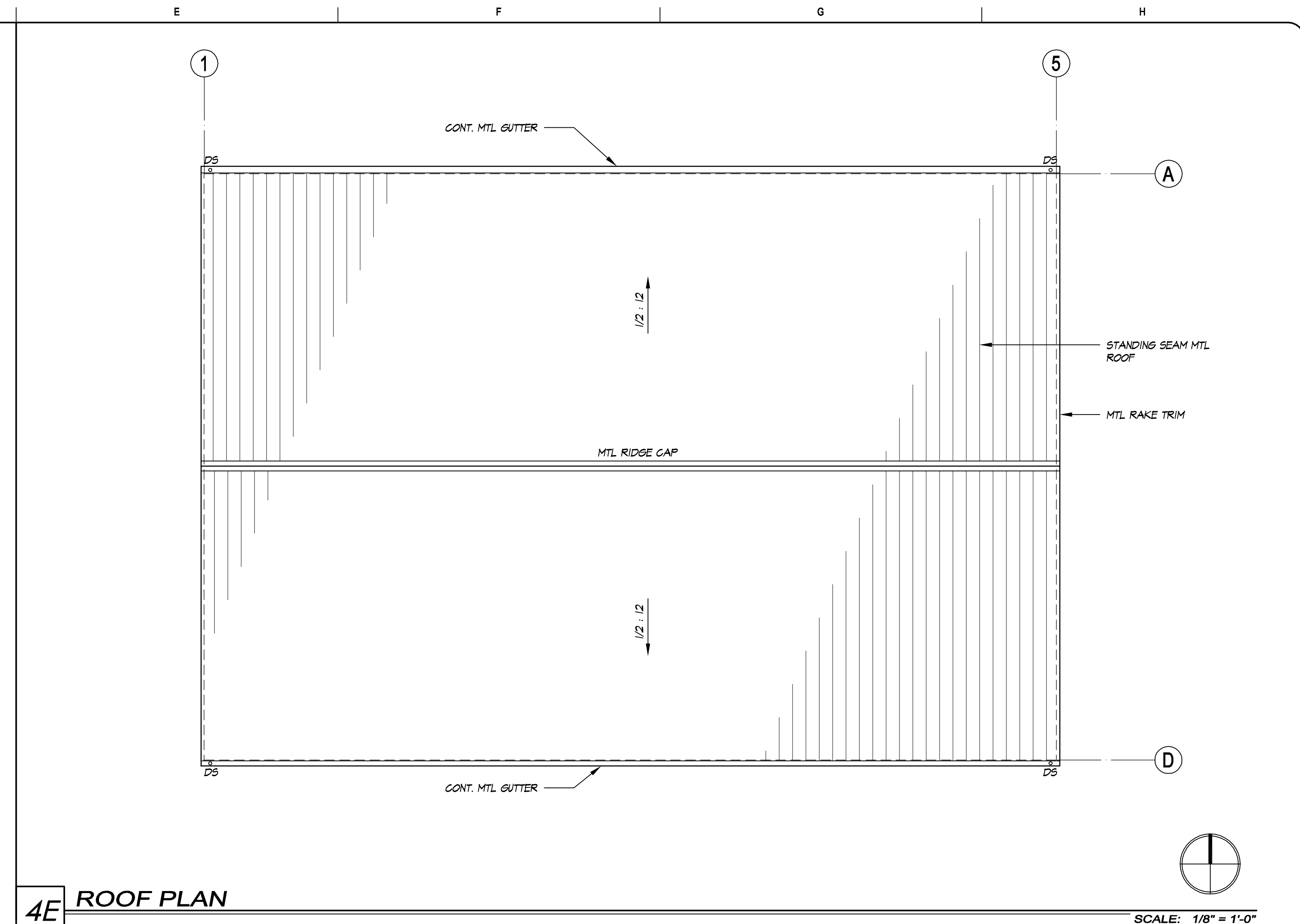
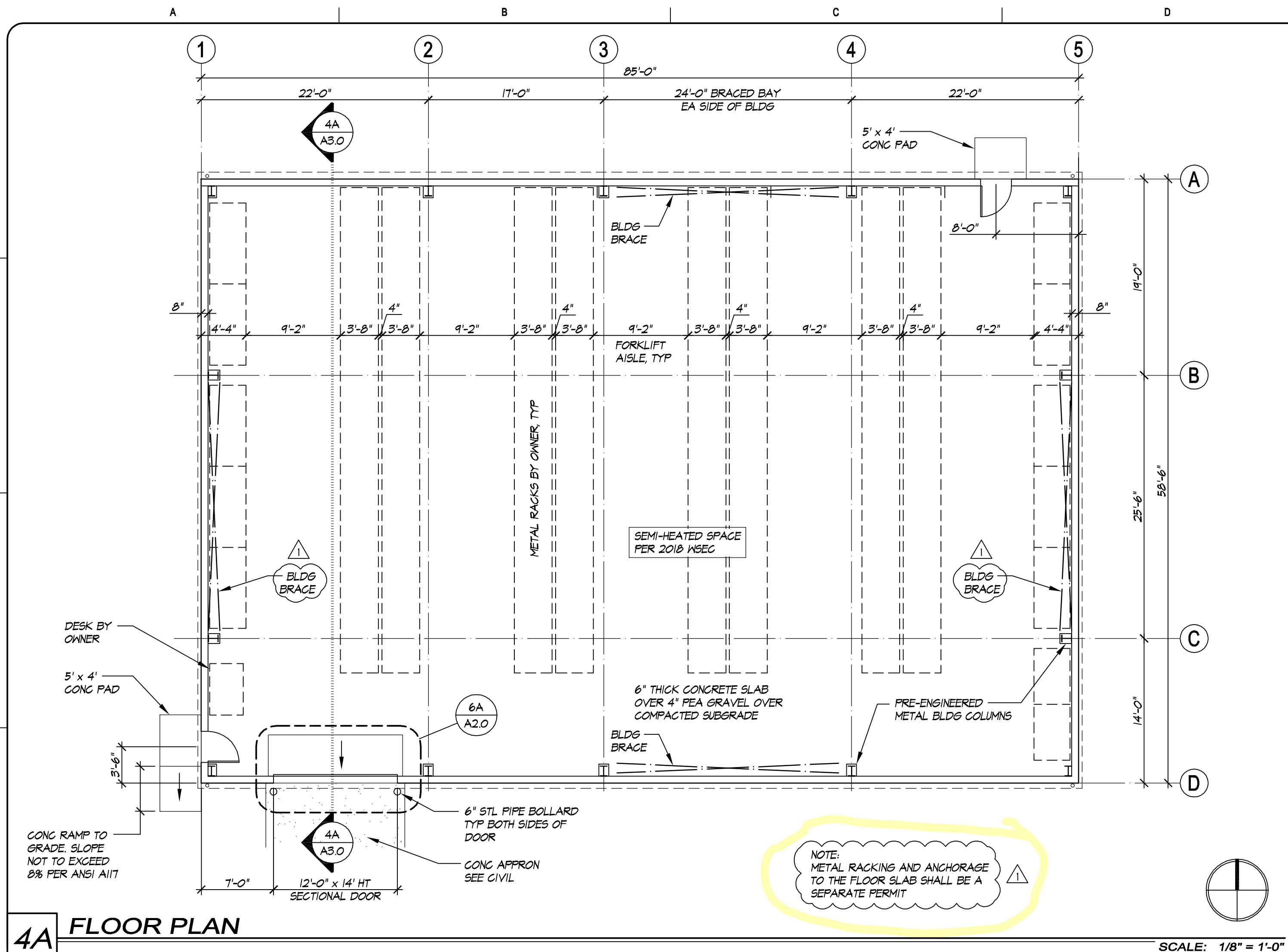


UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ B11 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT B11 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

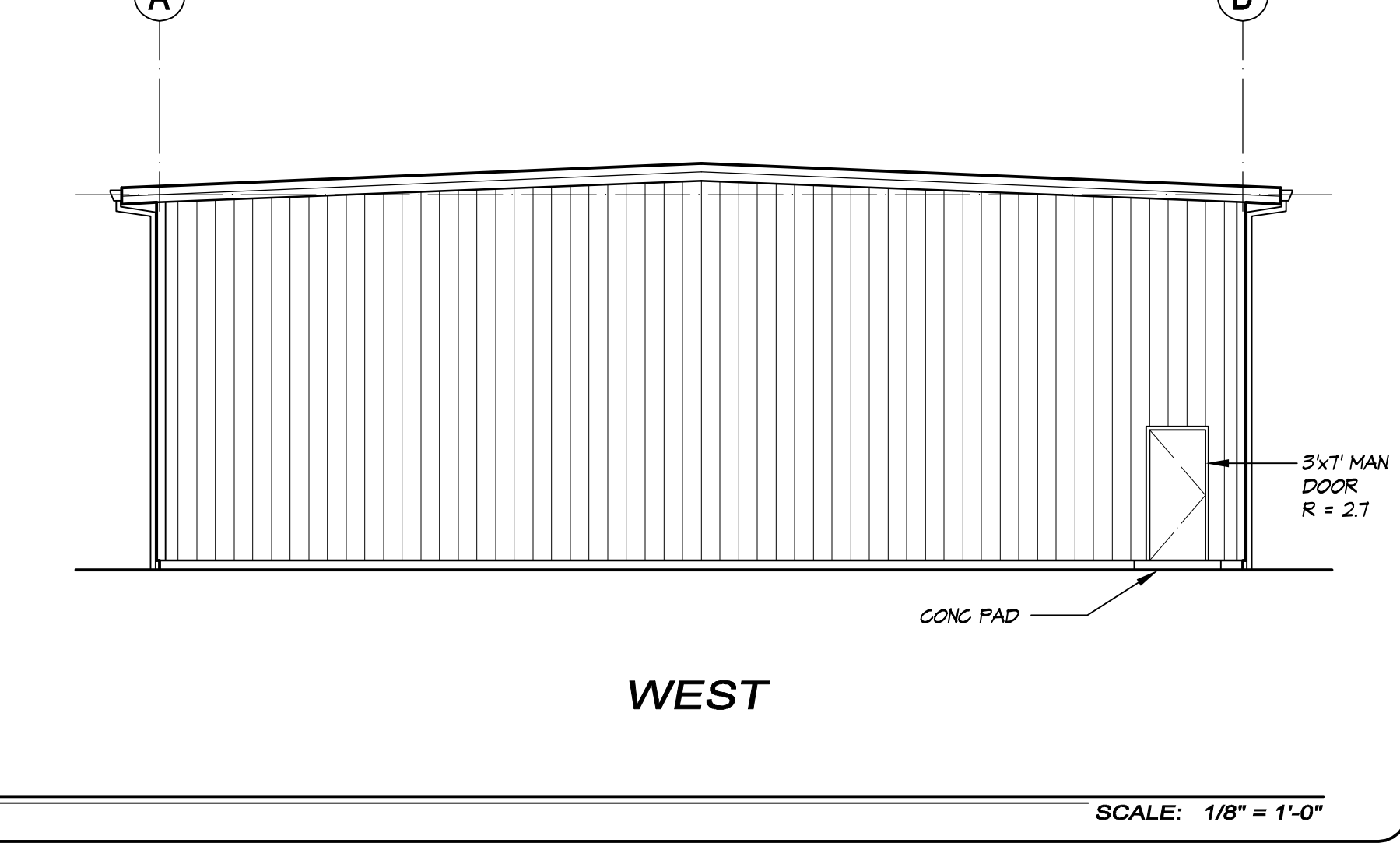
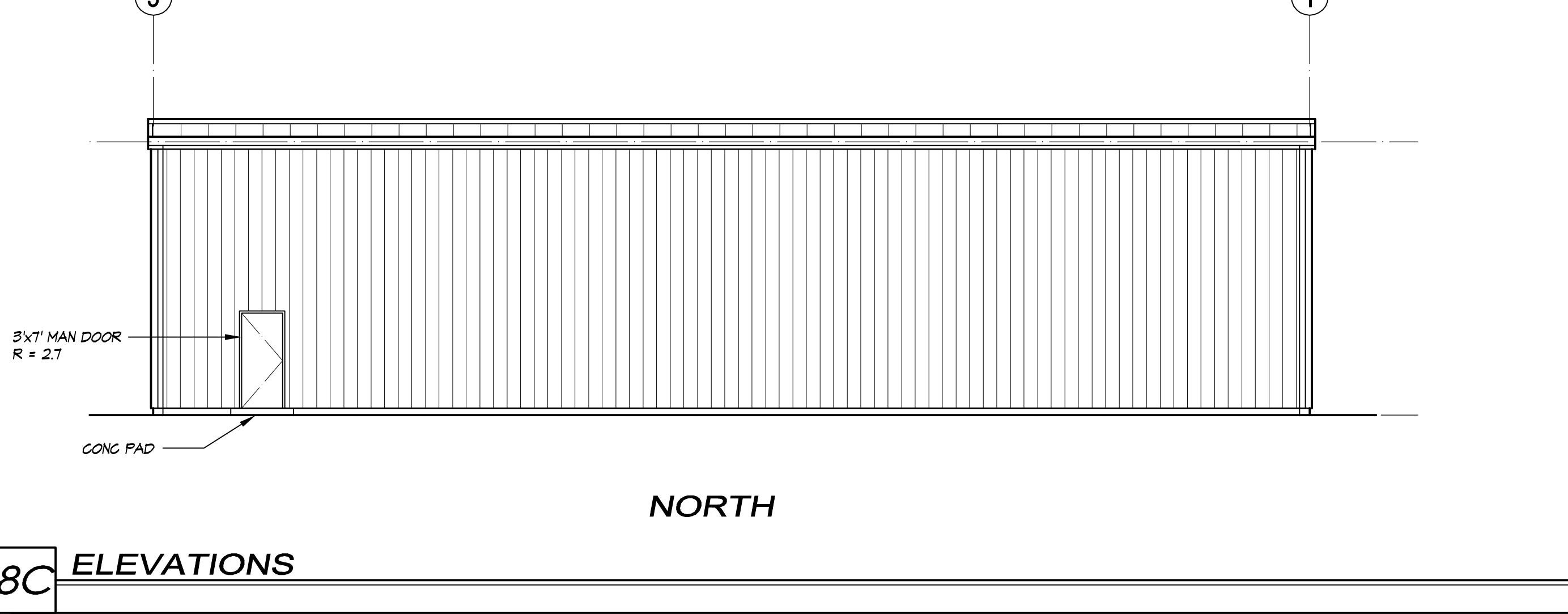
PROPOSED BY: RICK VELASQUEZ
 13615 122ND ST E
 PUYALLUP, WA 98374
 PH: (253) 224-4428
LARSON and ASSOCIATES
 surveyors, engineers & planners
 9027 PACIFIC AVENUE, SUITE 4
 TACOMA, WA 98444 (253) 474-3404
COVER SHEET
 DATE: 3/17/2023
 DRAWING NO.: 9575BASE
 SHEET 1 OF 7

C0.0



**City of Puyallup
Development & Permitting Services
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic



8C ELEVATIONS

PROPOSED WAREHOUSE
CIMCO SALES
 2315 INTER AVENUE
 PUYALLUP, WASHINGTON 98372

PERMIT SET

REVISIONS:
 1 MAY 30, 2023

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5438 REGISTERED ARCHITECT
 James Castino
 JAMES H. CASTINO
 STATE OF WASHINGTON

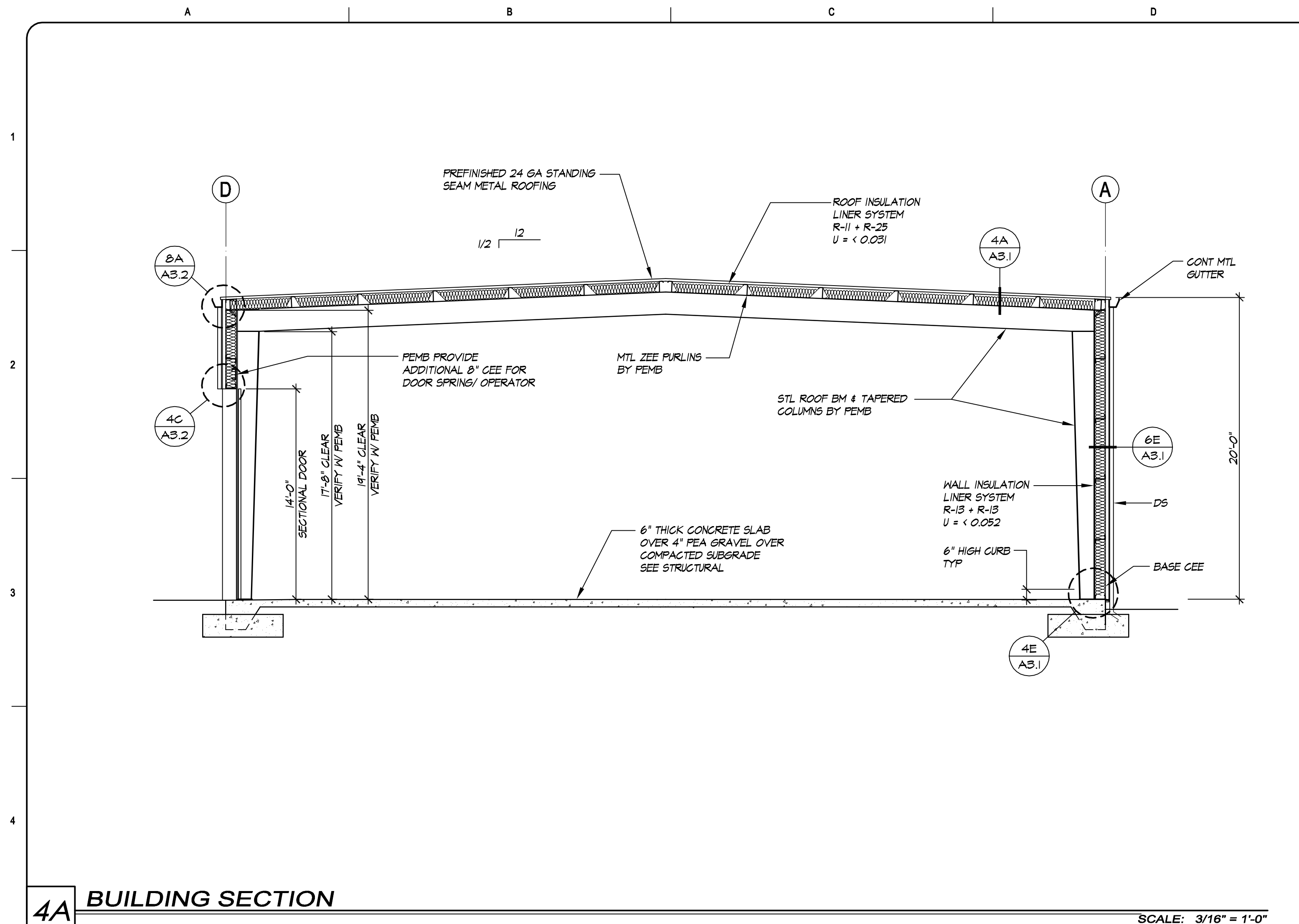
Castino
 Architecture
 James Castino
 Principal
 8911 71st Ave. NW
 Gig Harbor, WA 98332
 PHONE: (253) 973-6680
 EMAIL: jimplot22@gmail.com

DATE: MAR 15, 2023
 DRAWN BY: PDS
 PROJECT NO.:
 FILE NAME:

FLOOR & ROOF PLANS ELEVATIONS

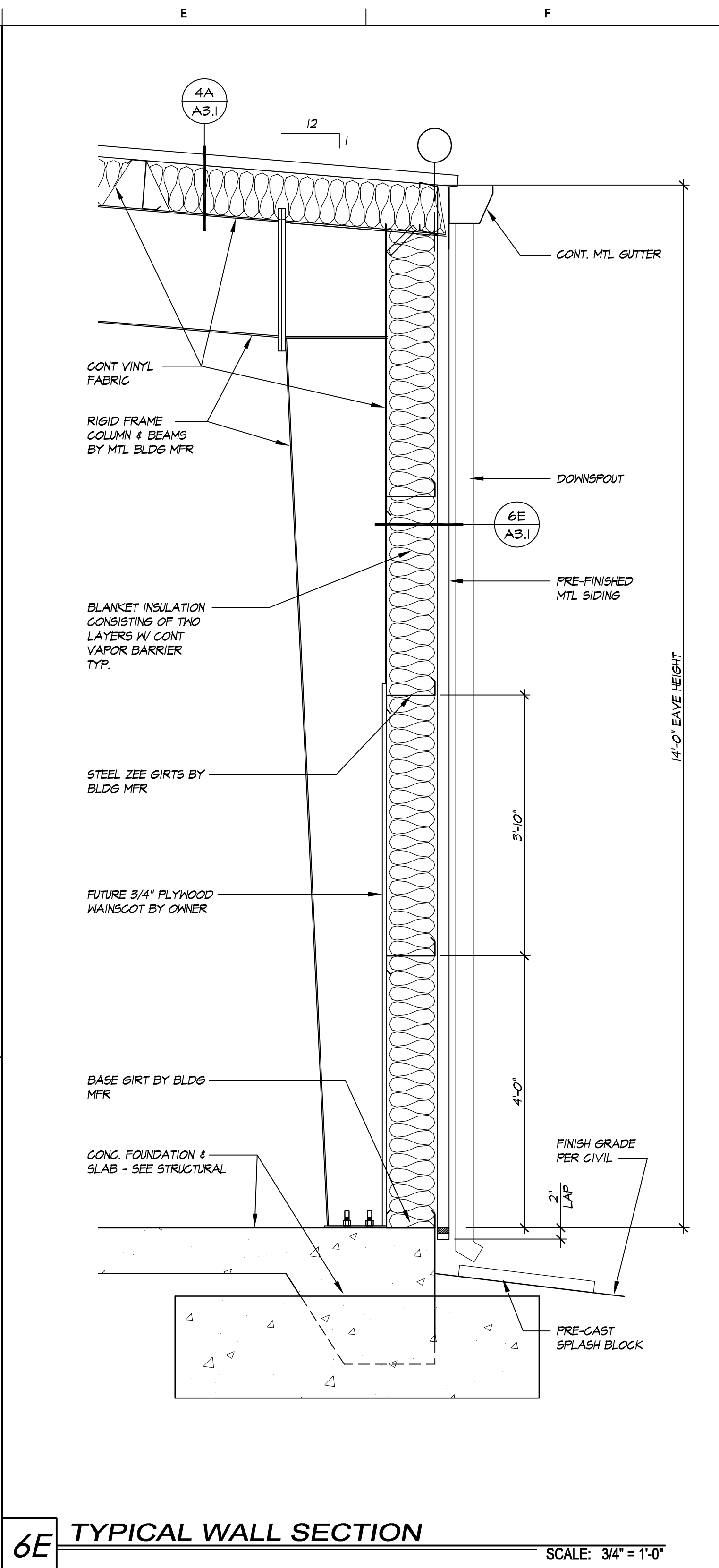
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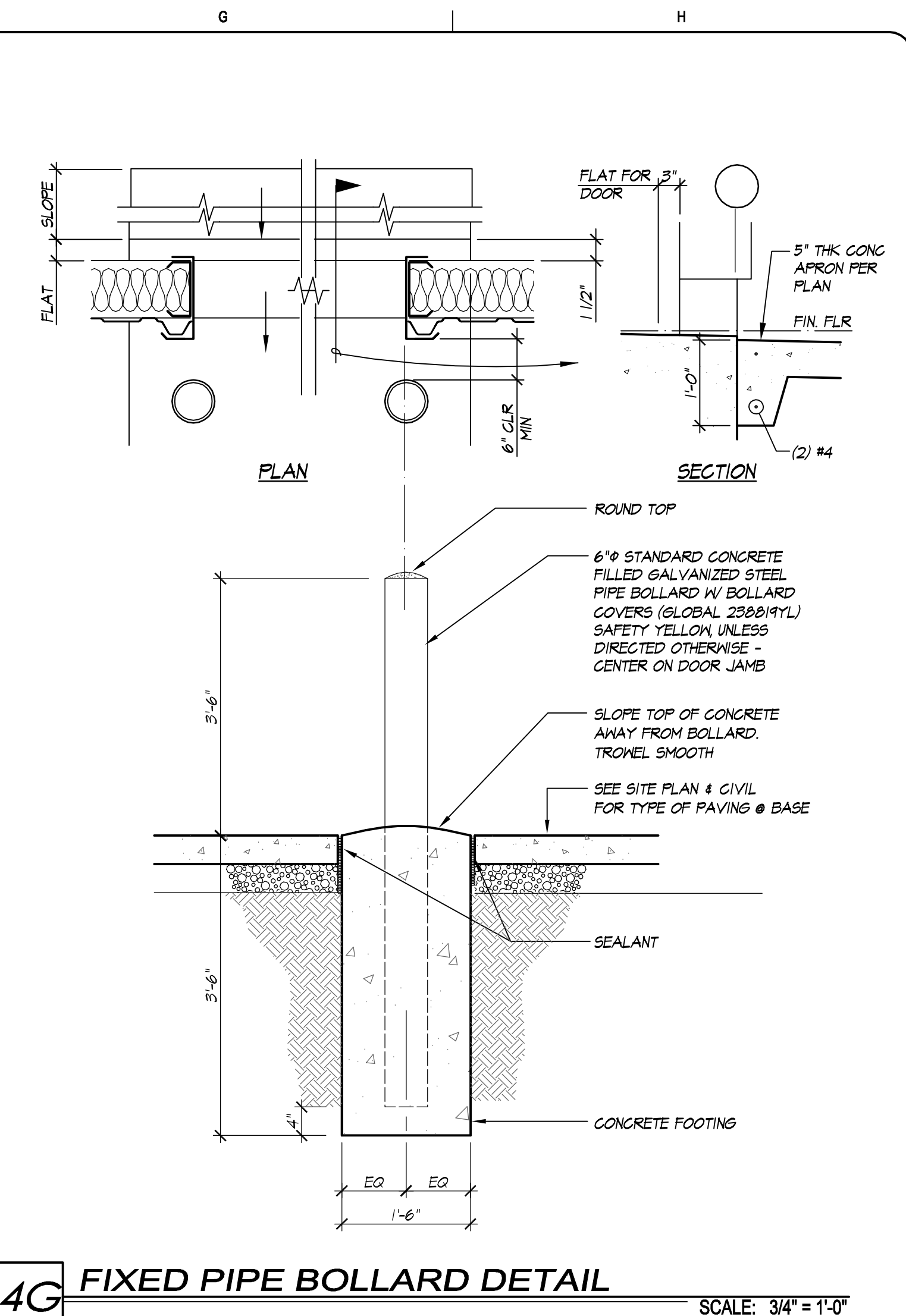
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SCALE: 3/16" = 1'-0"



6E TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



4G FIXED PIPE BOLLARD DETAIL

SCALE: 3/4" = 1'-0"

**City of Puyallup
Development & Permitting Services
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

PROPOSED WAREHOUSE
CIMCO SALES
2315 INTER AVENUE
PUYALLUP, WASHINGTON 98372

PERMIT SET

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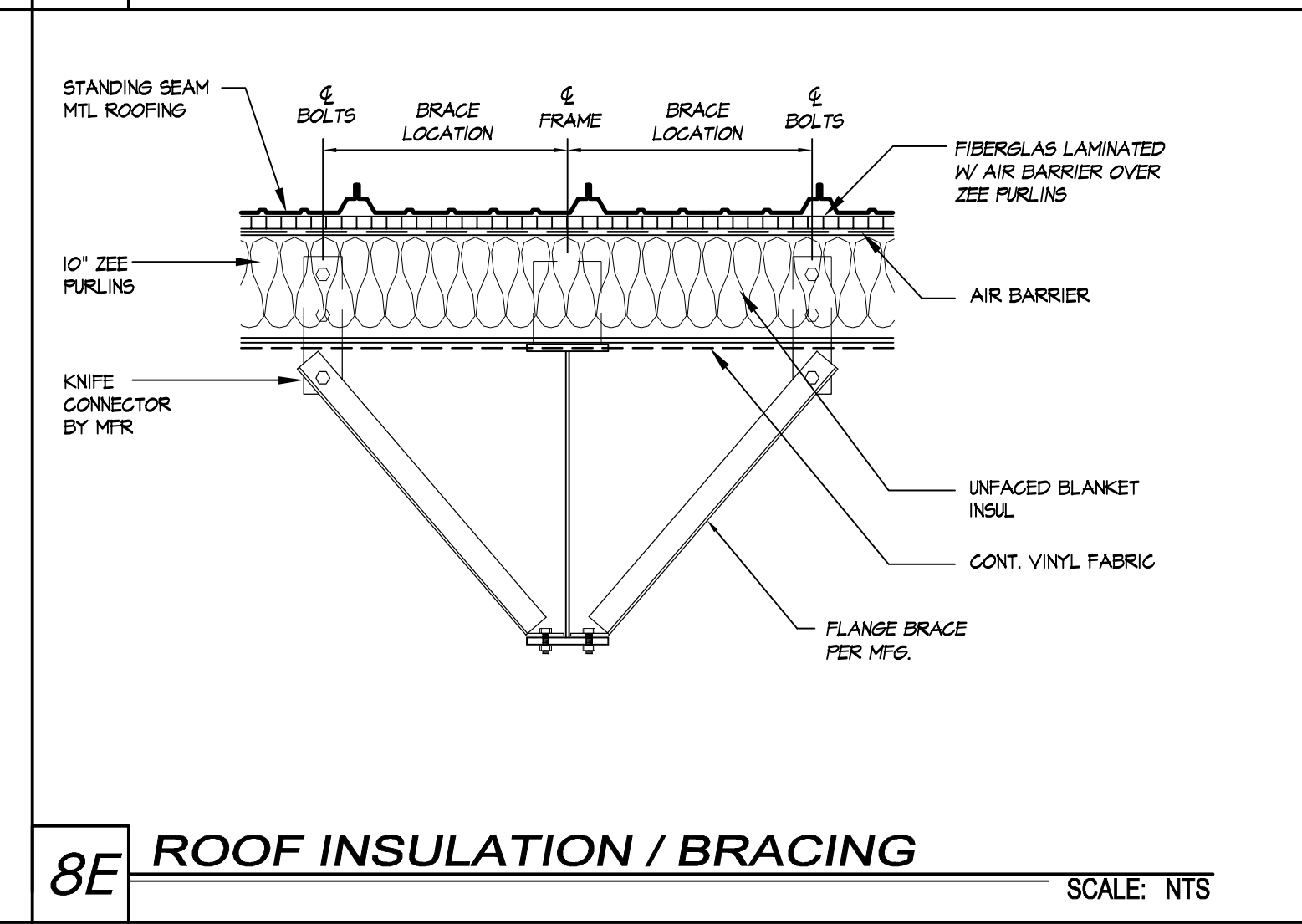
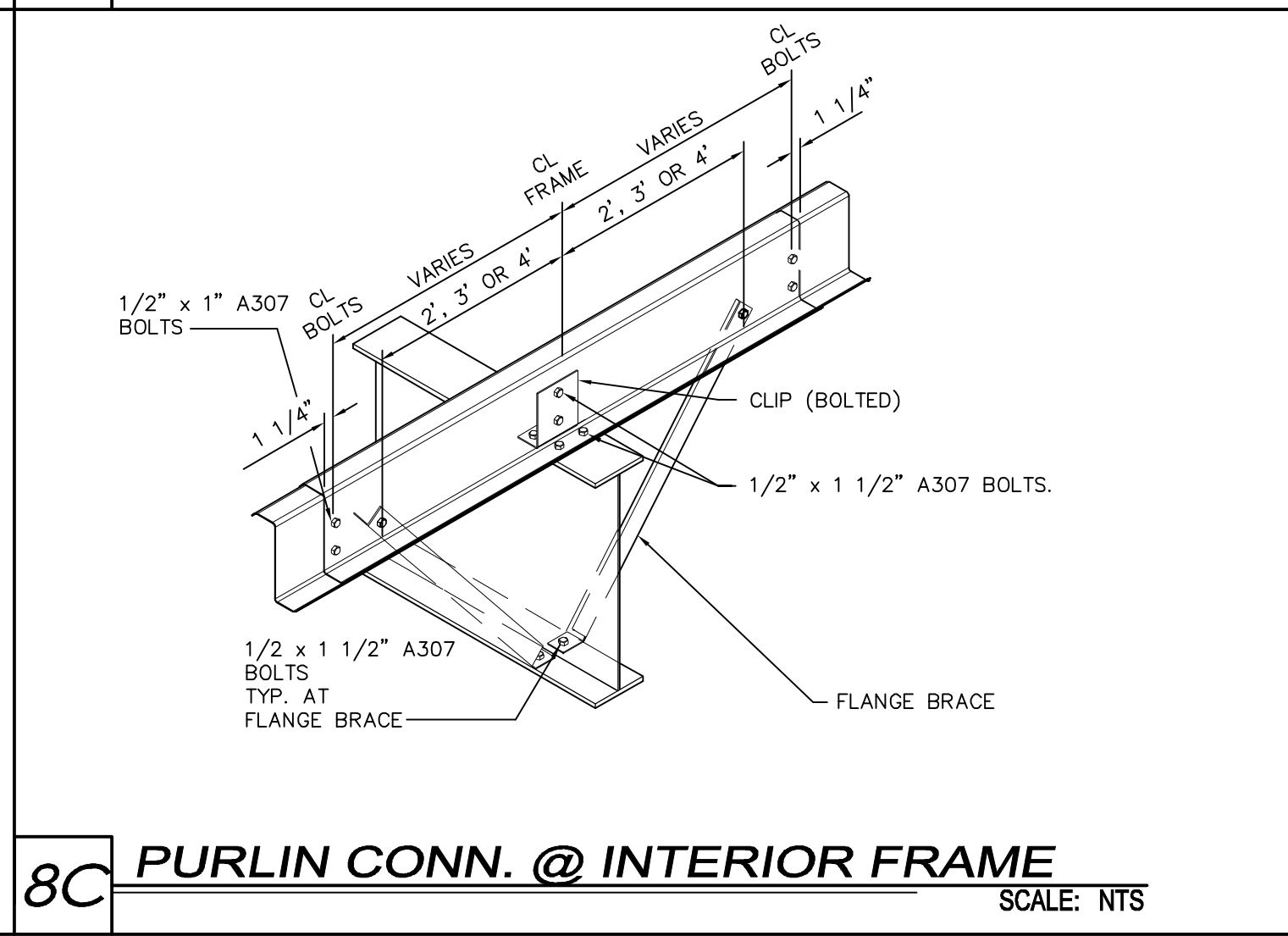
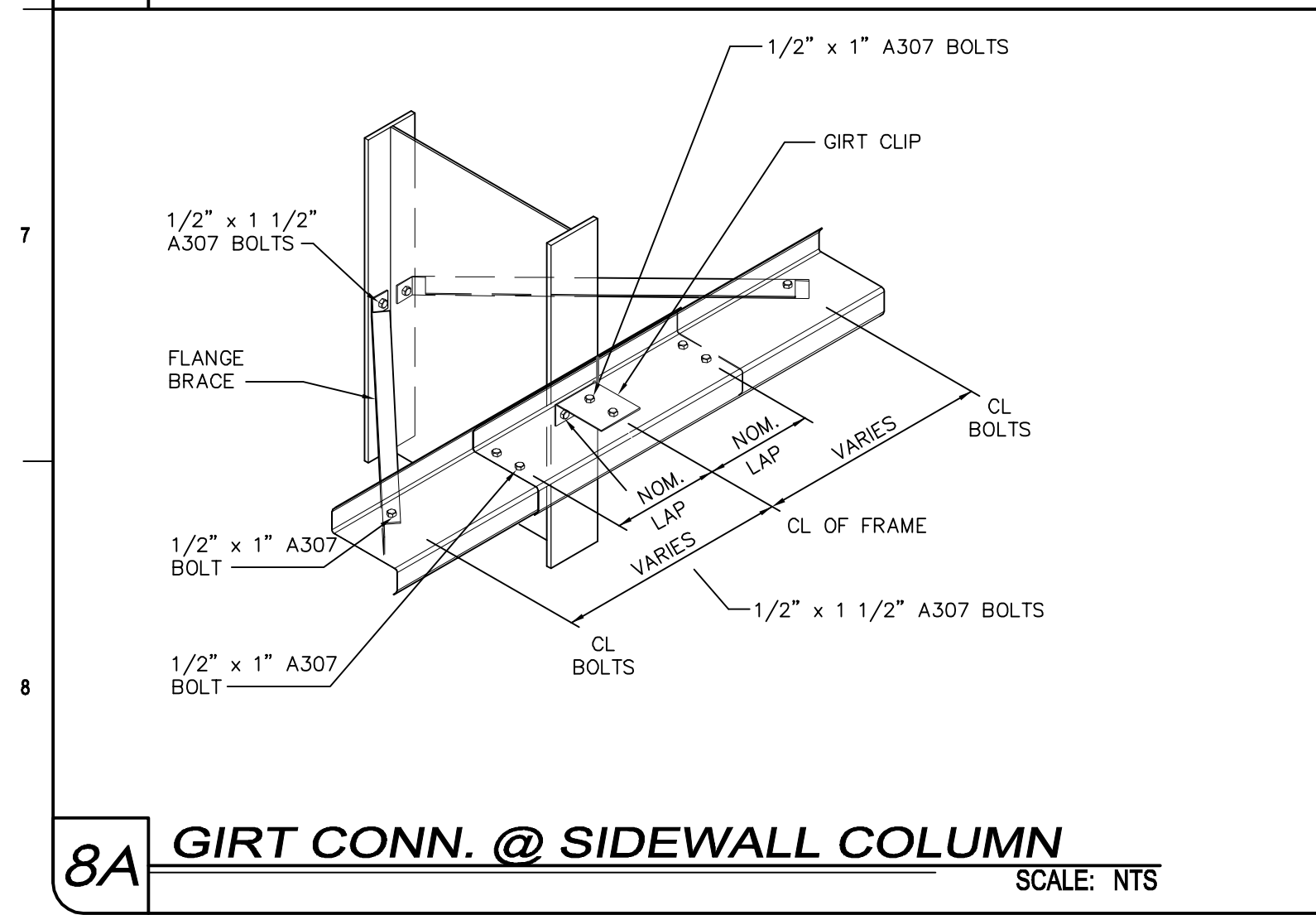
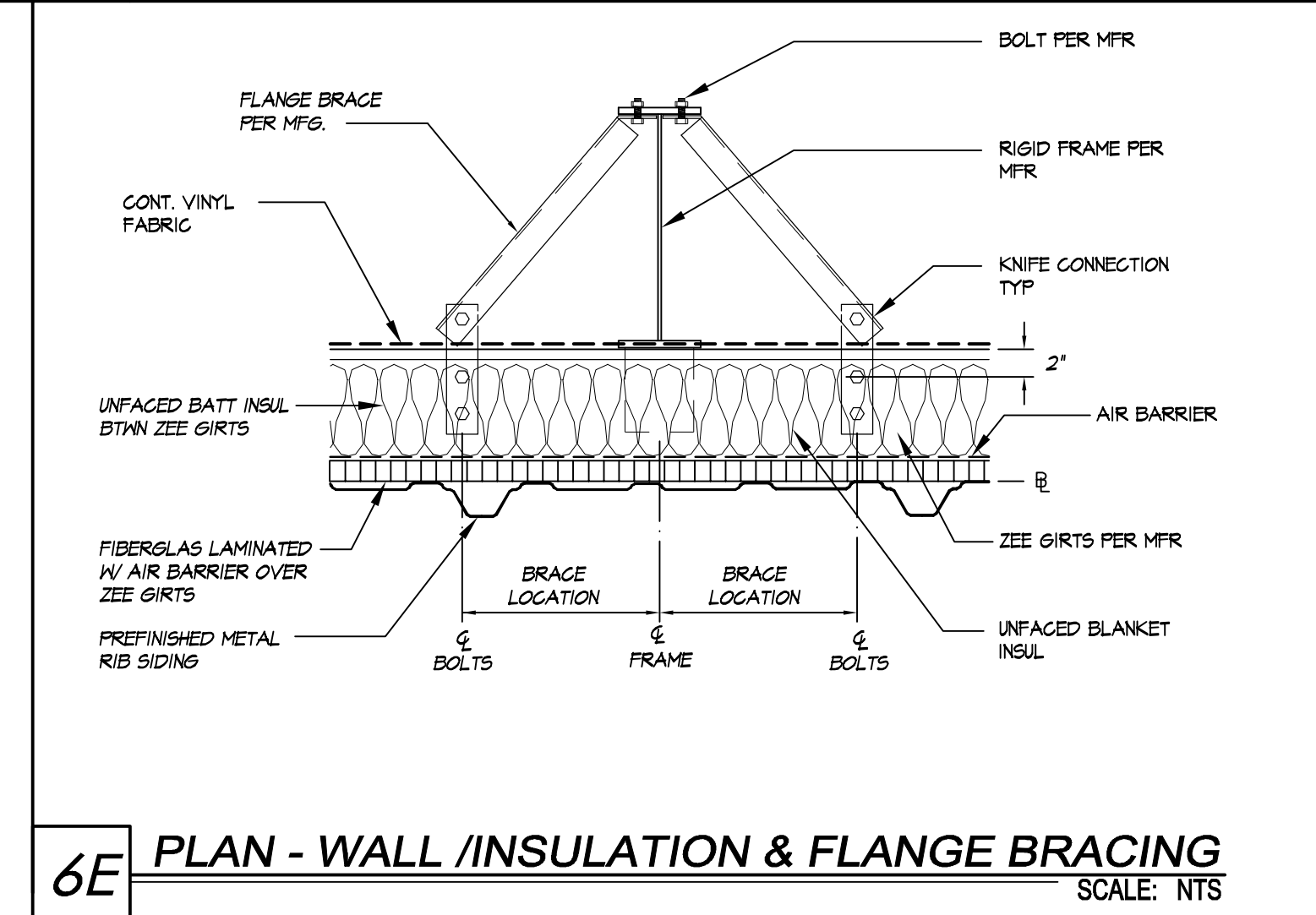
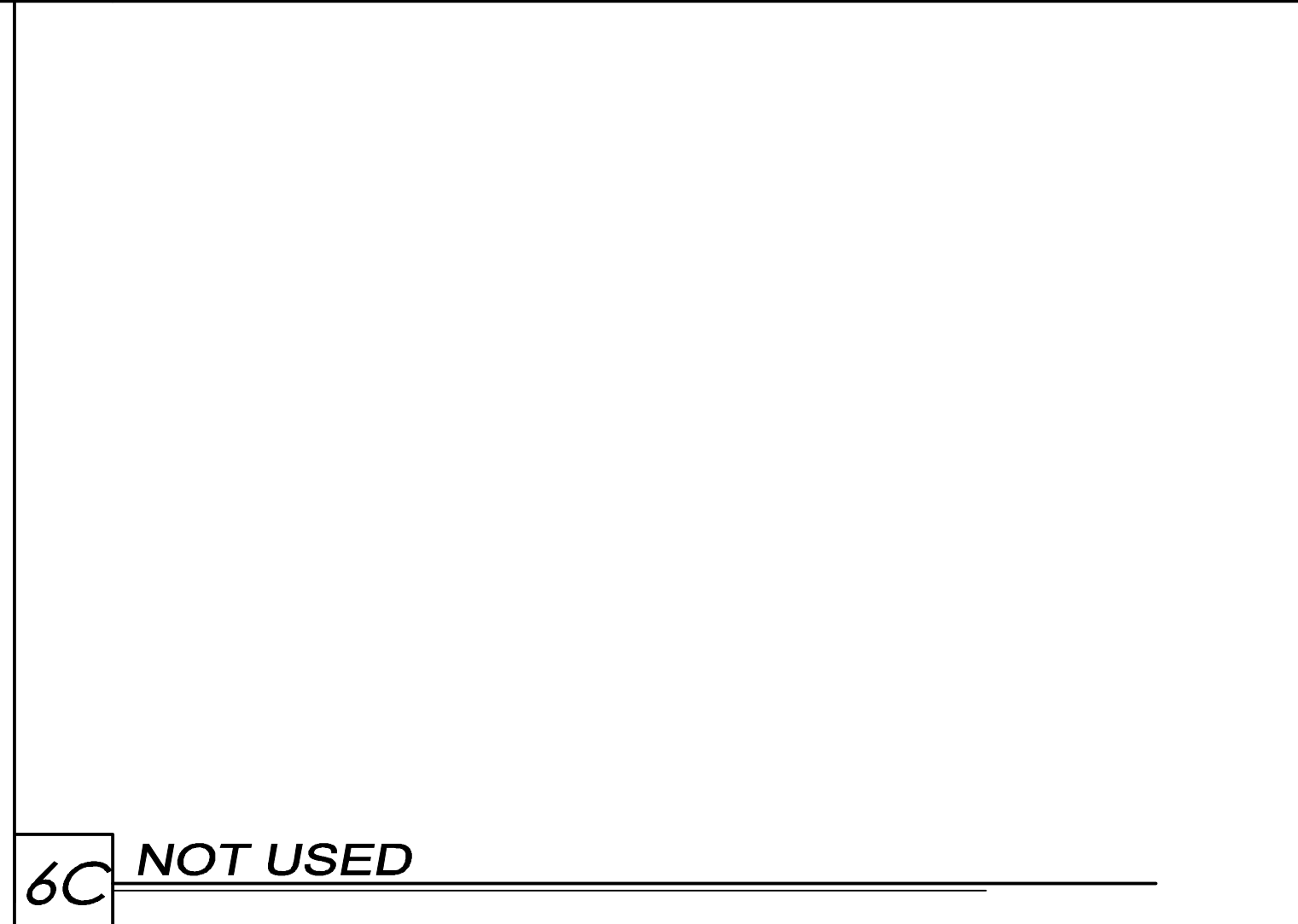
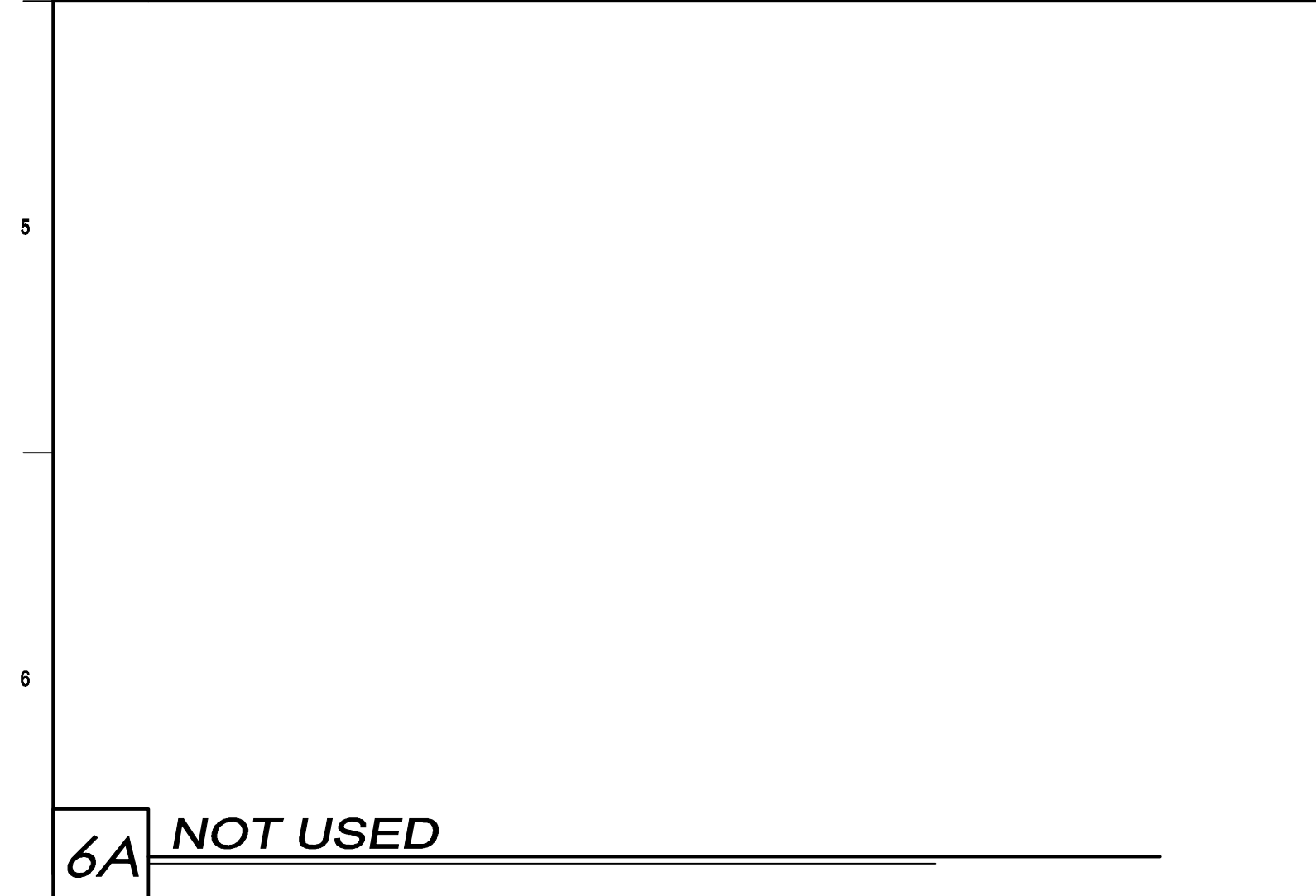
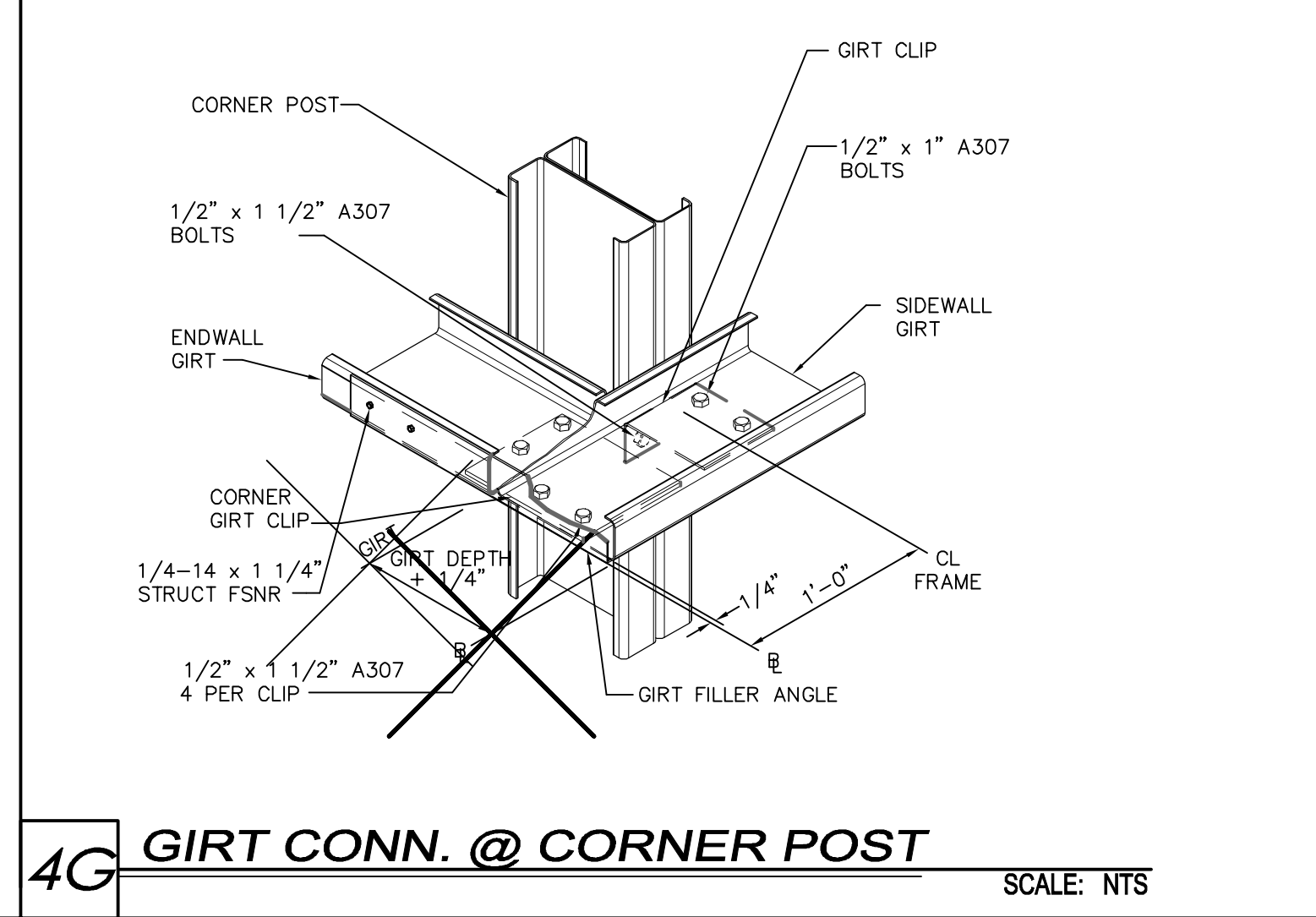
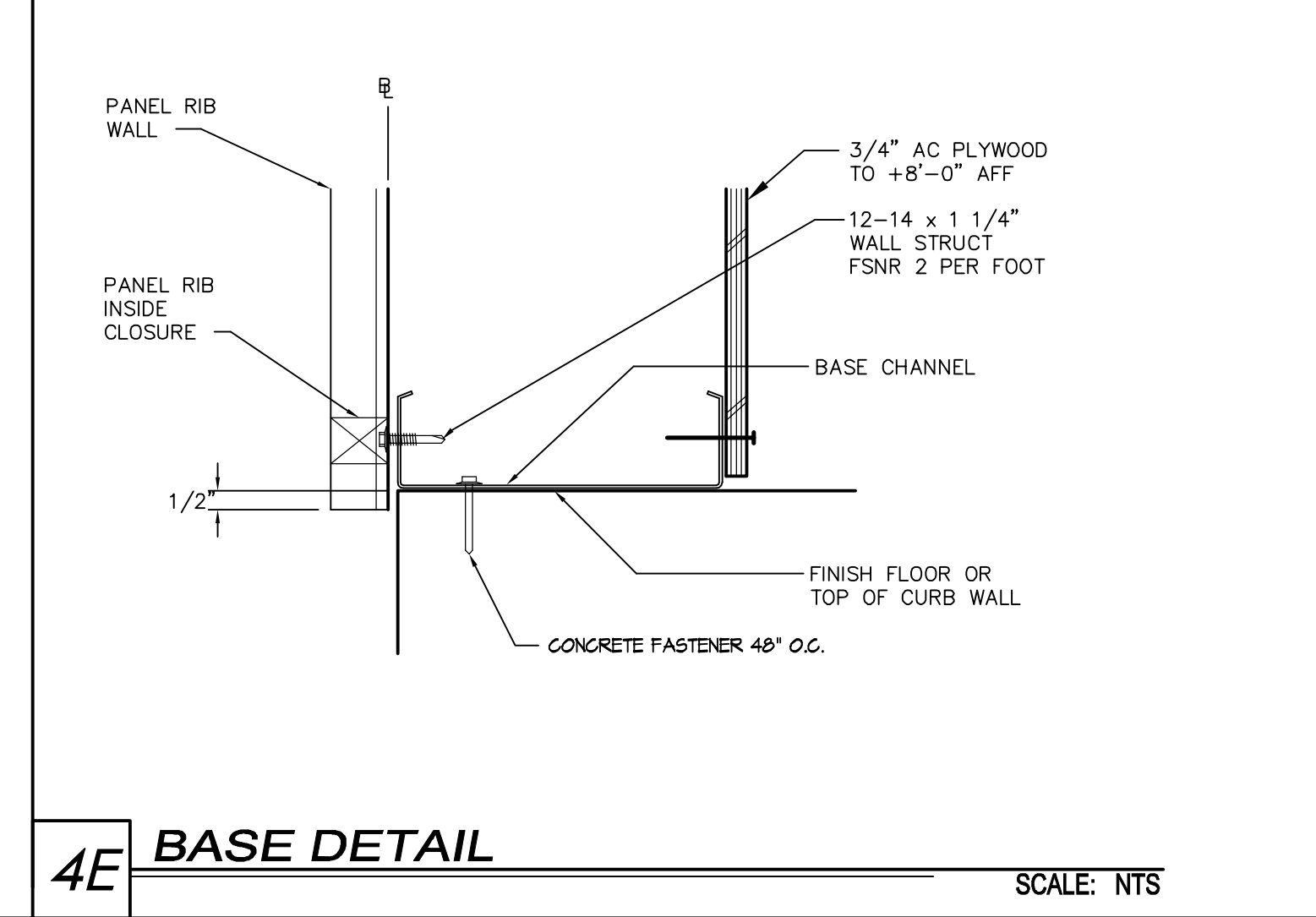
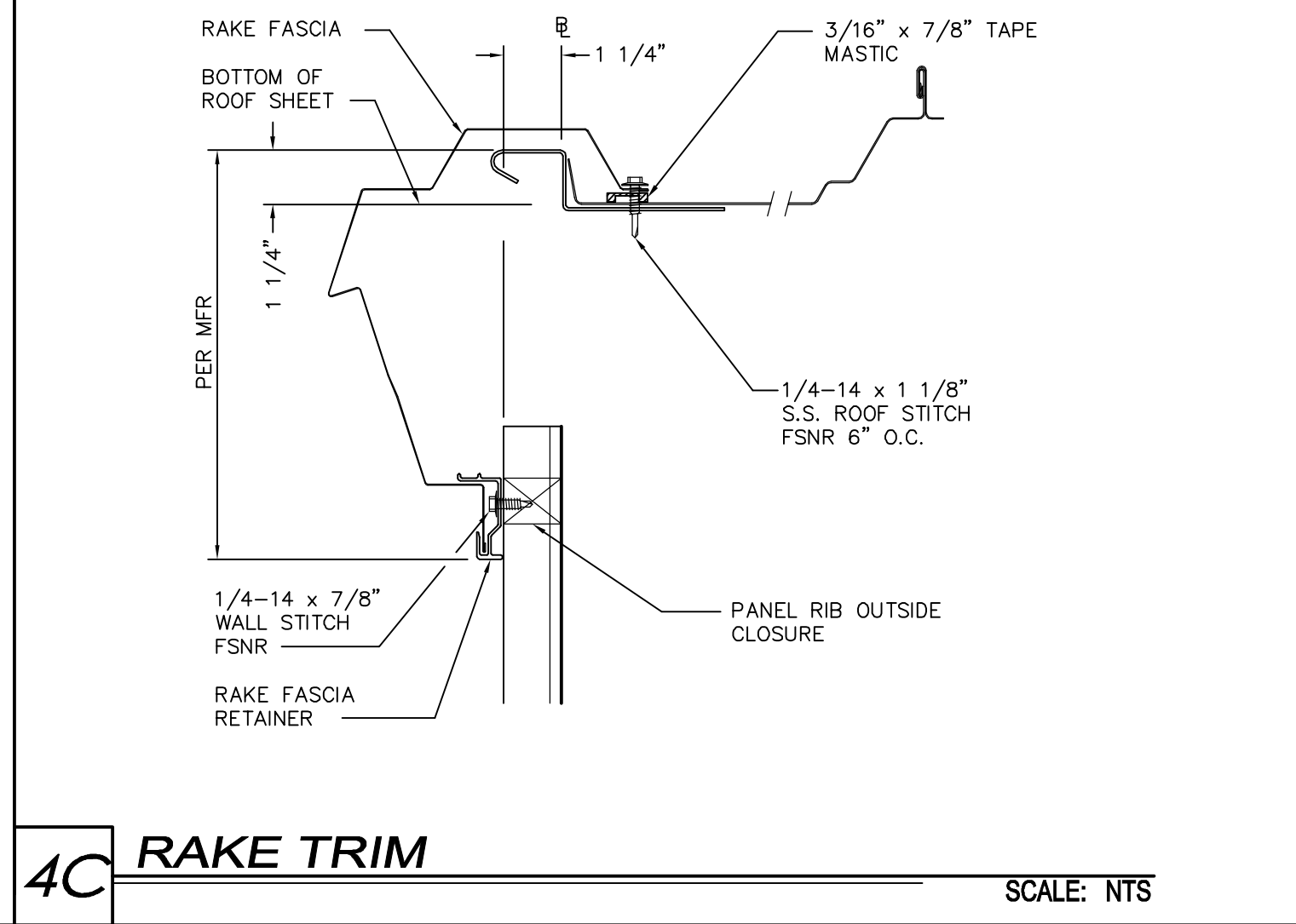
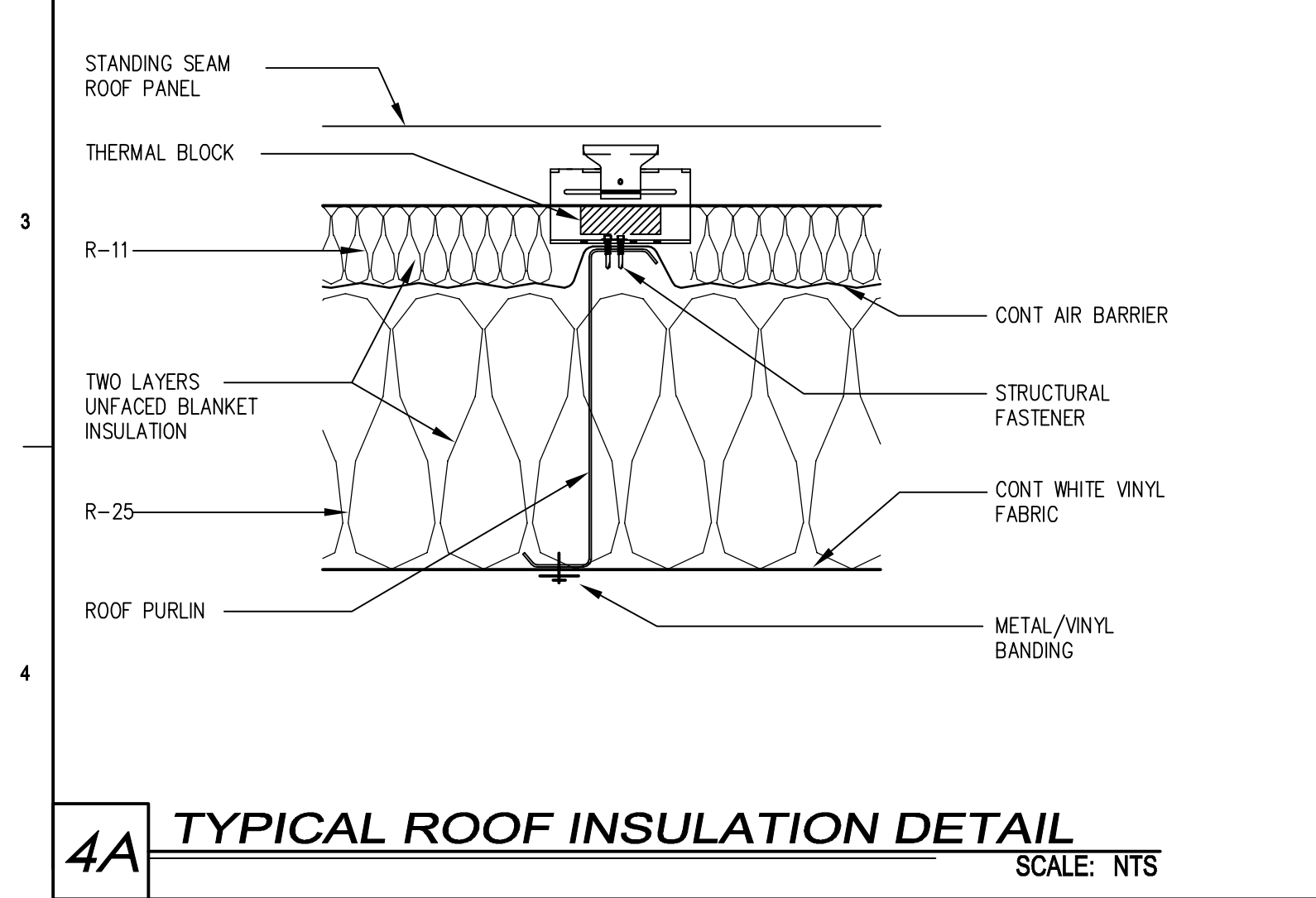
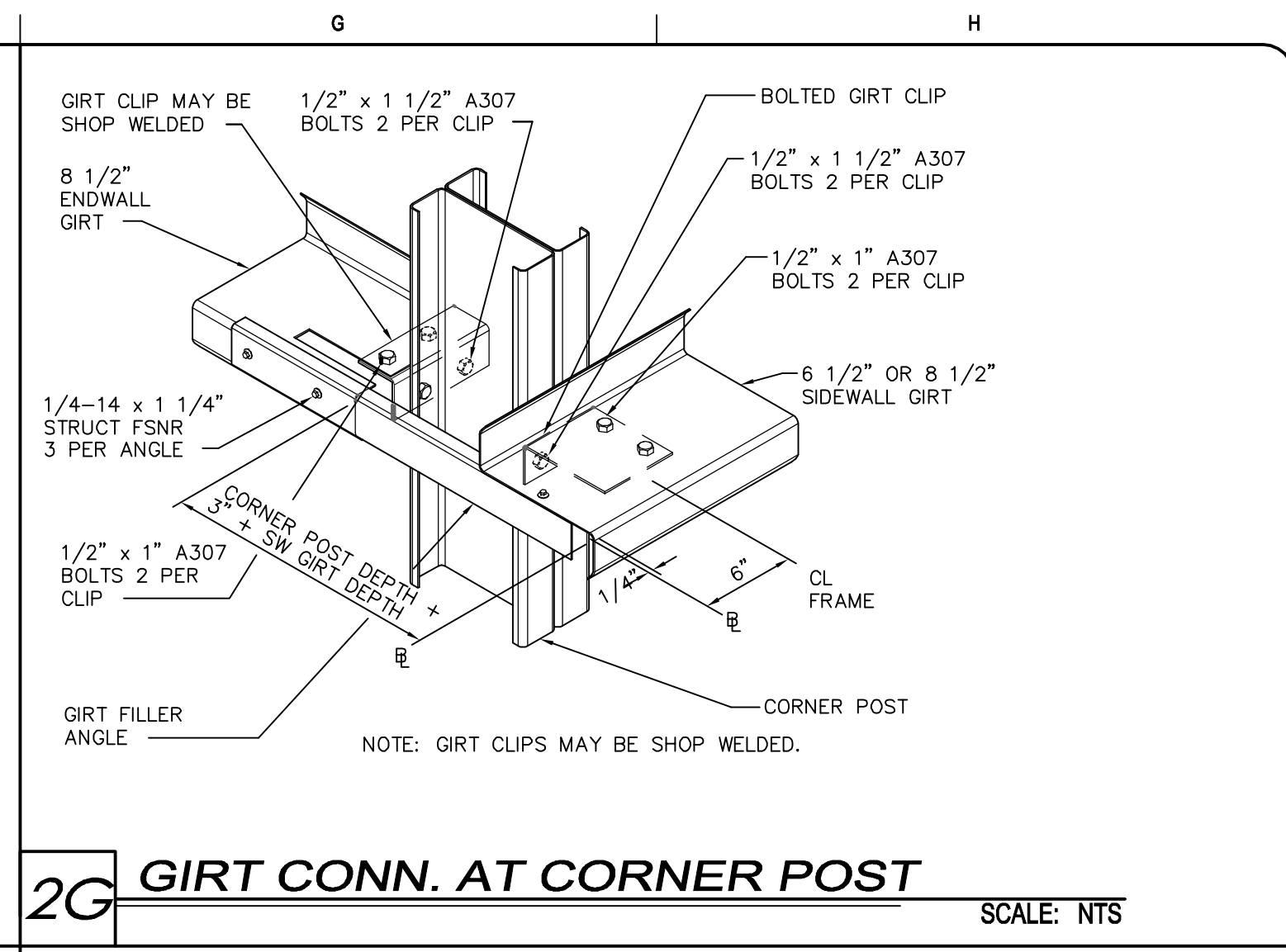
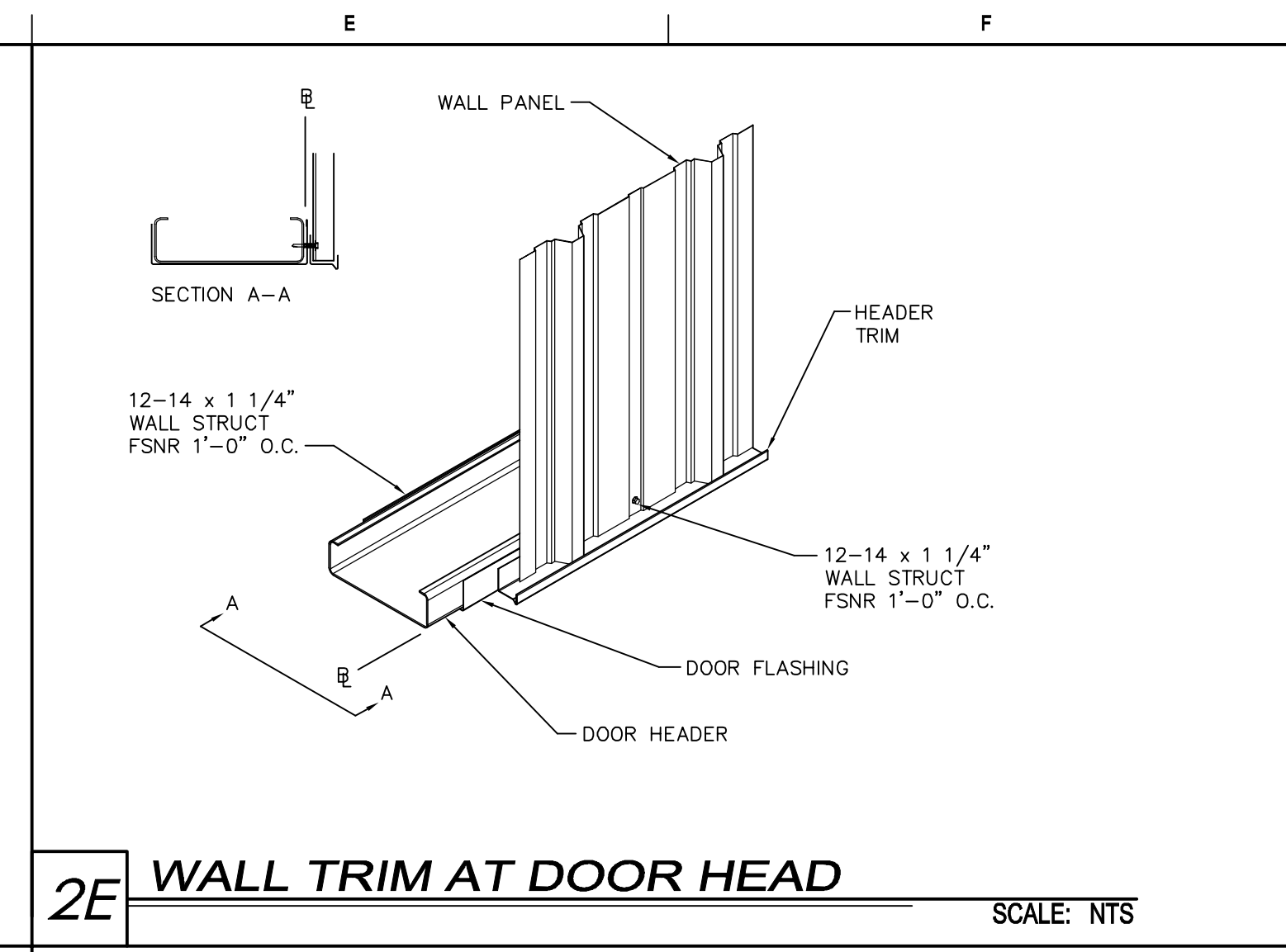
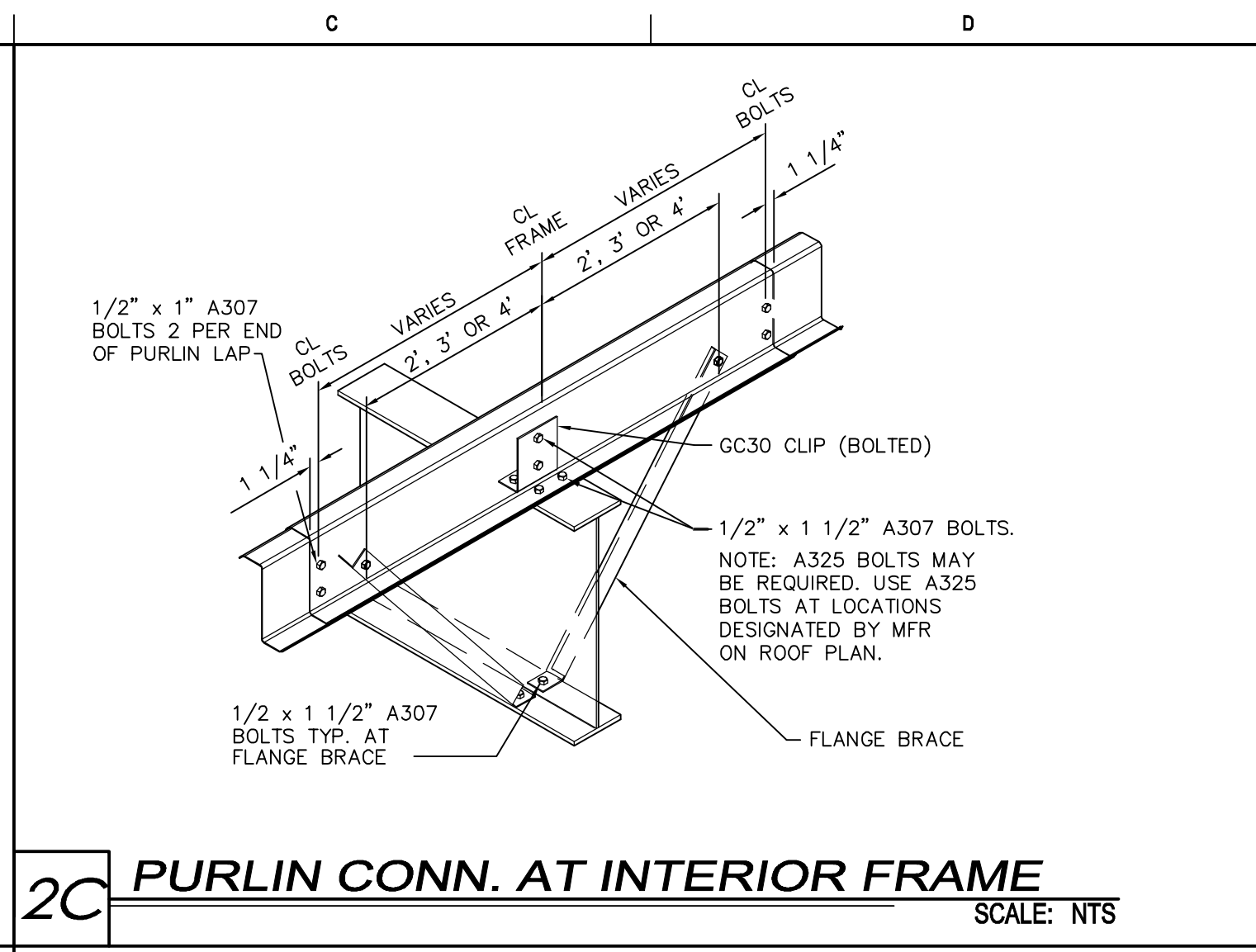
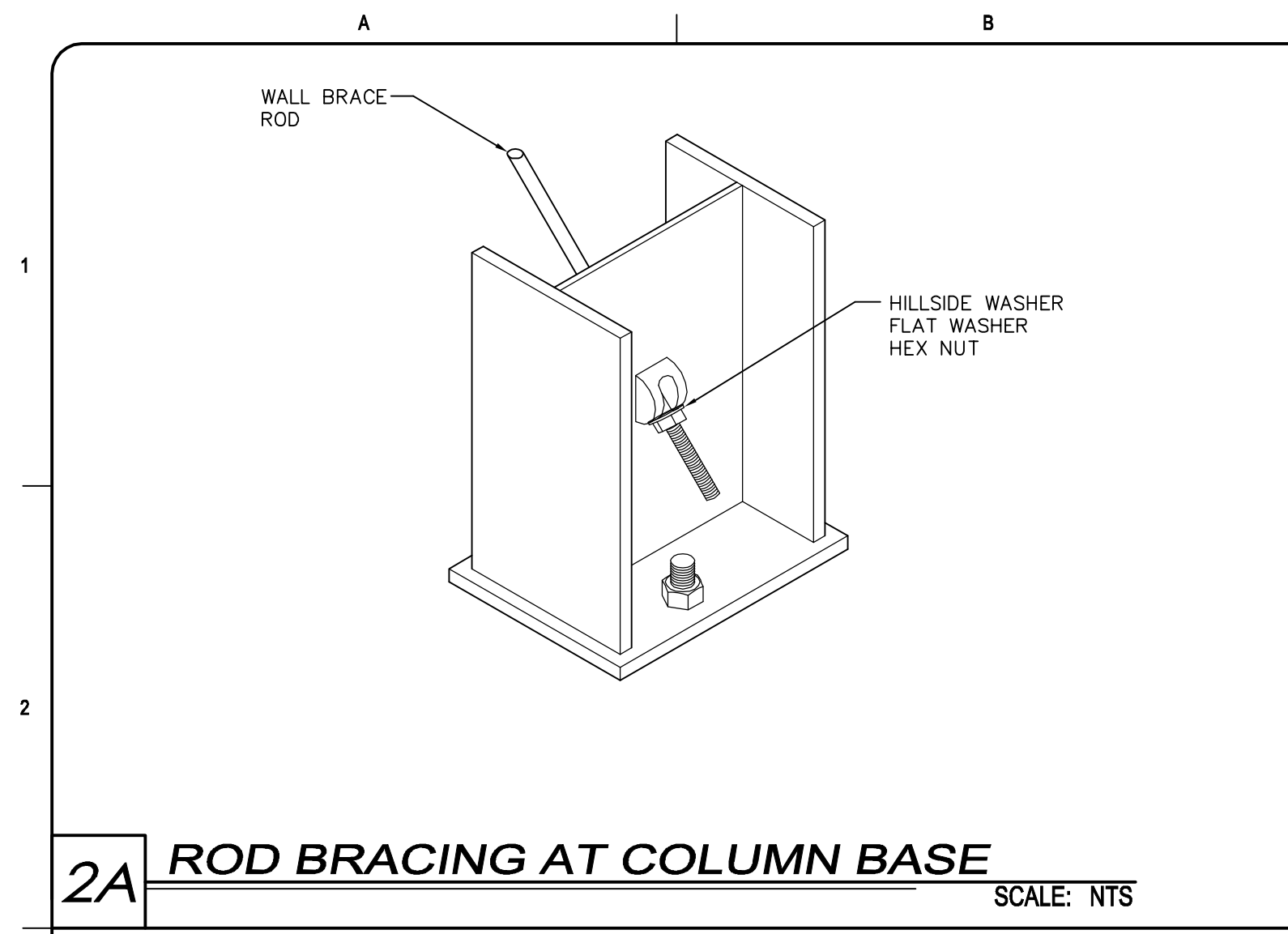
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Gig Harbor, WA 98332
PHONE: (253) 973-6680
EMAIL: jimplot22@gmail.com

DATE: MAR 15, 2023
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

SECTIONS

SHEET NO:
A3.0

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James Castino
 JAMES H. CASTINO
 STATE OF WASHINGTON

Castino
 Architecture
 James Castino
 Principal
 8911 71st Ave. NW
 Gig Harbor, WA 98332
 PHONE: (253) 973-6680
 EMAIL: jimplot122@gmail.com

DATE: MAR 15, 2023
 DRAWN BY: PDS
 PROJECT NO.:
 FILE NAME:

CITY OF PUYALLUP
 Development & Permitting Services
 ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

DETAILS

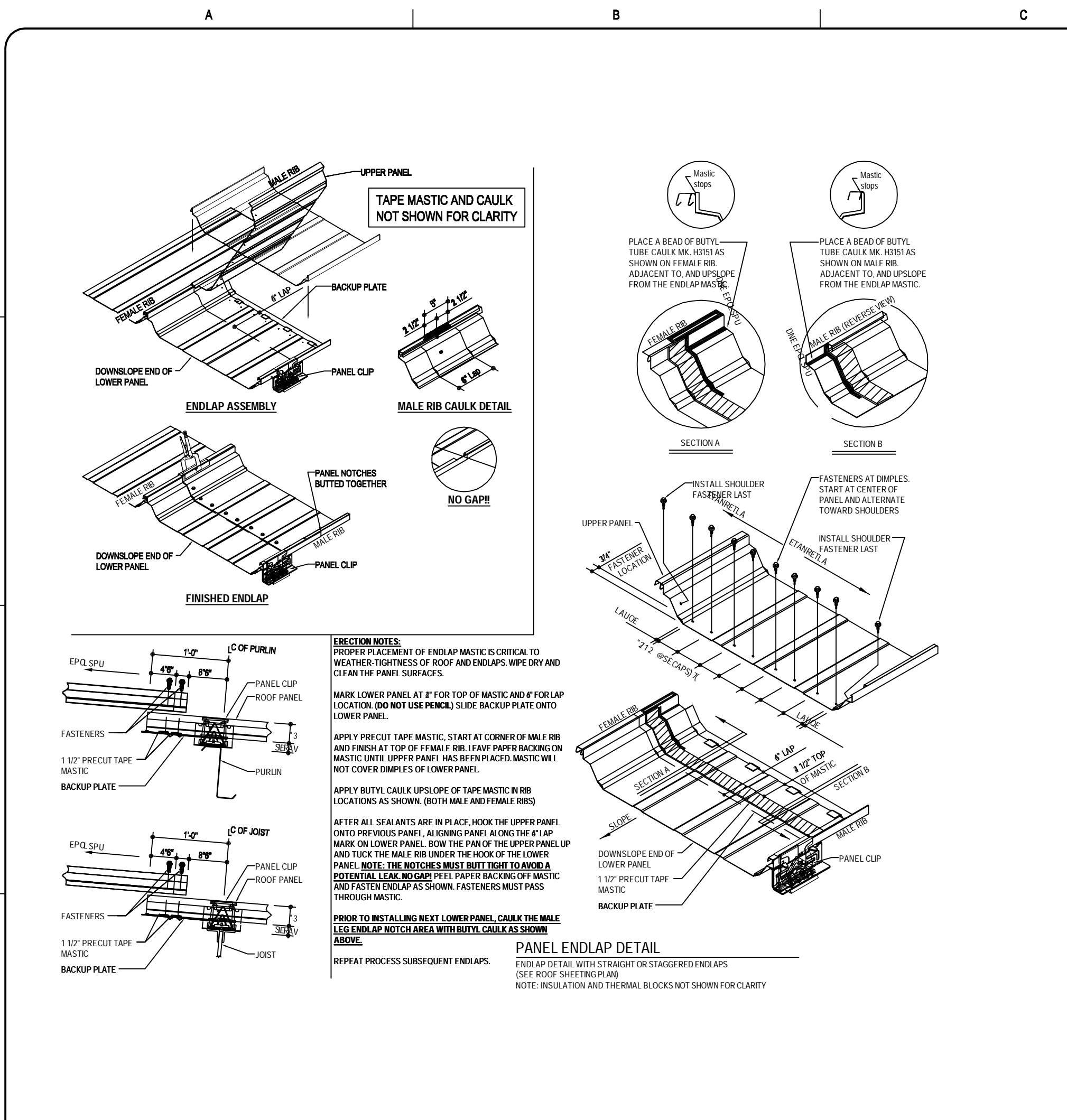
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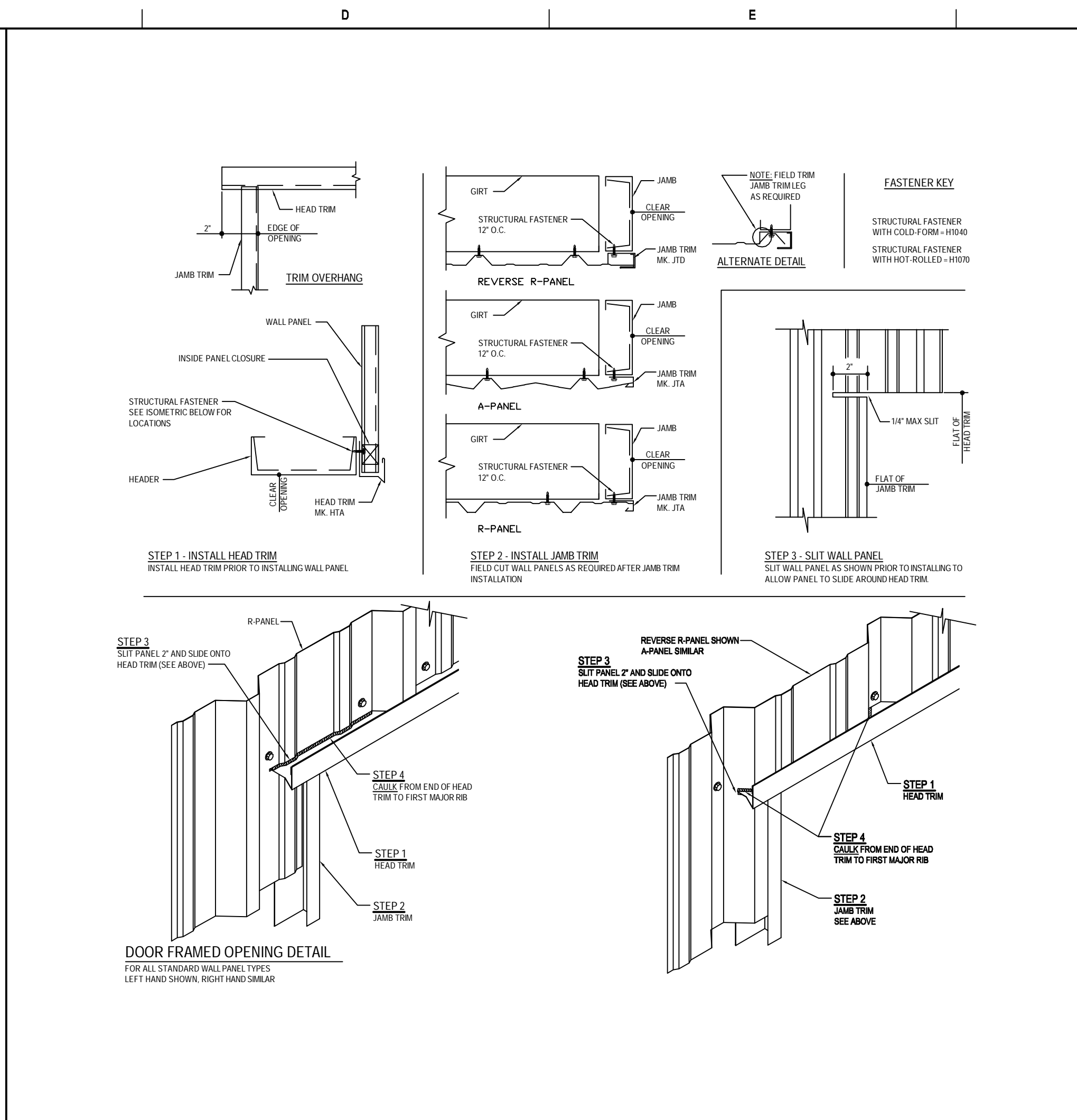
PROPOSED WAREHOUSE
CIMCO SALES
 2315 INTER AVENUE
 PUYALLUP, WASHINGTON 98372

PERMIT SET

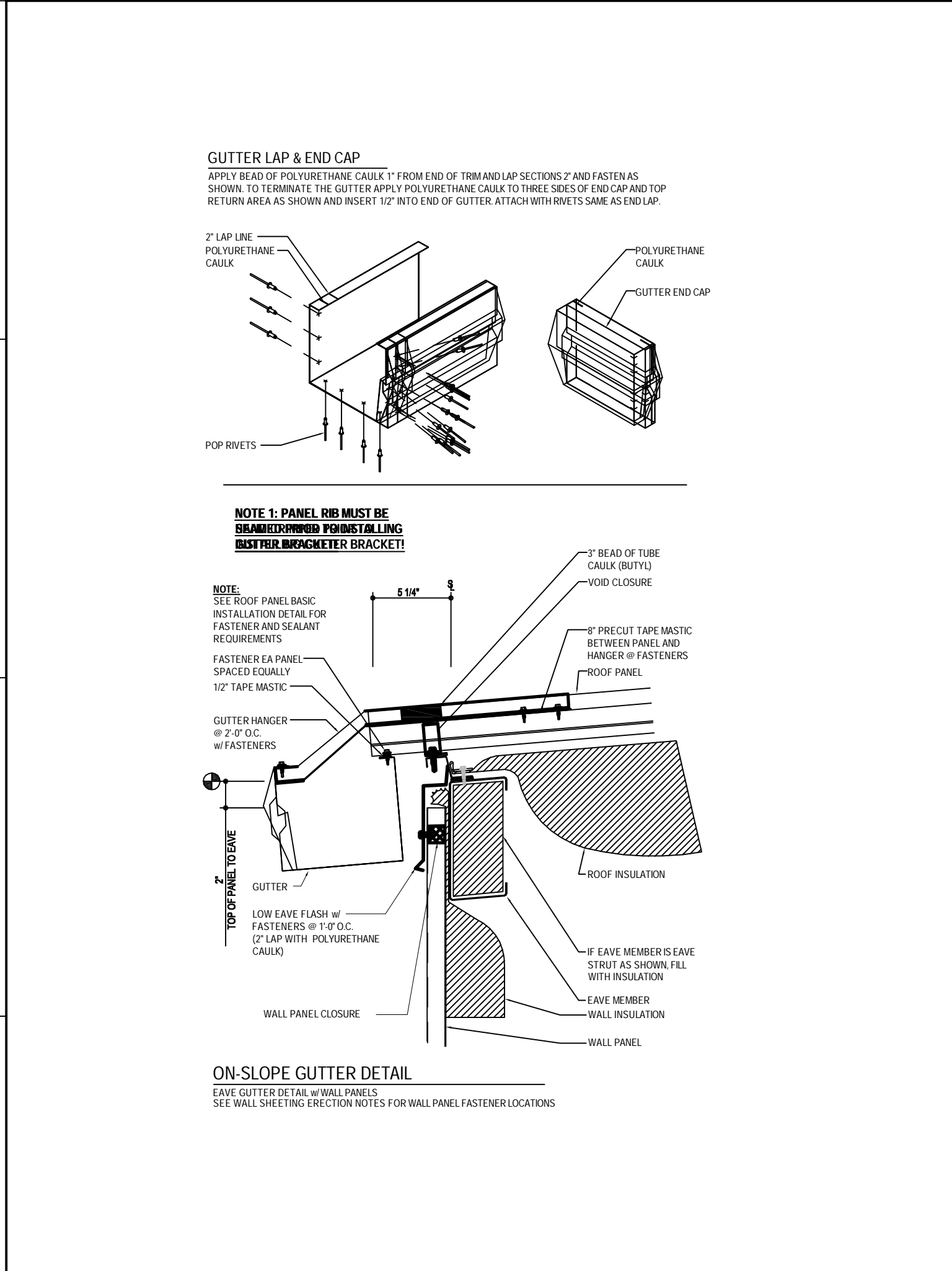
REVISIONS:



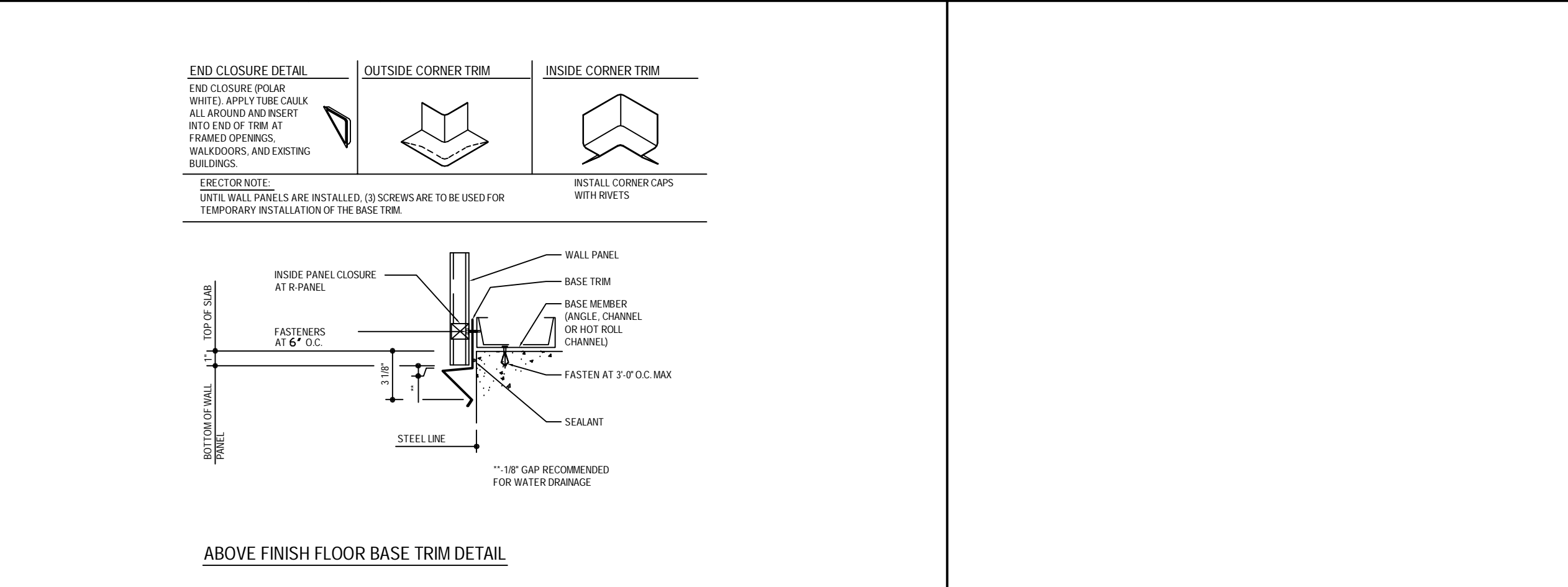
4A ROOF PANEL ENDLAP DETAILS SCALE: NTS



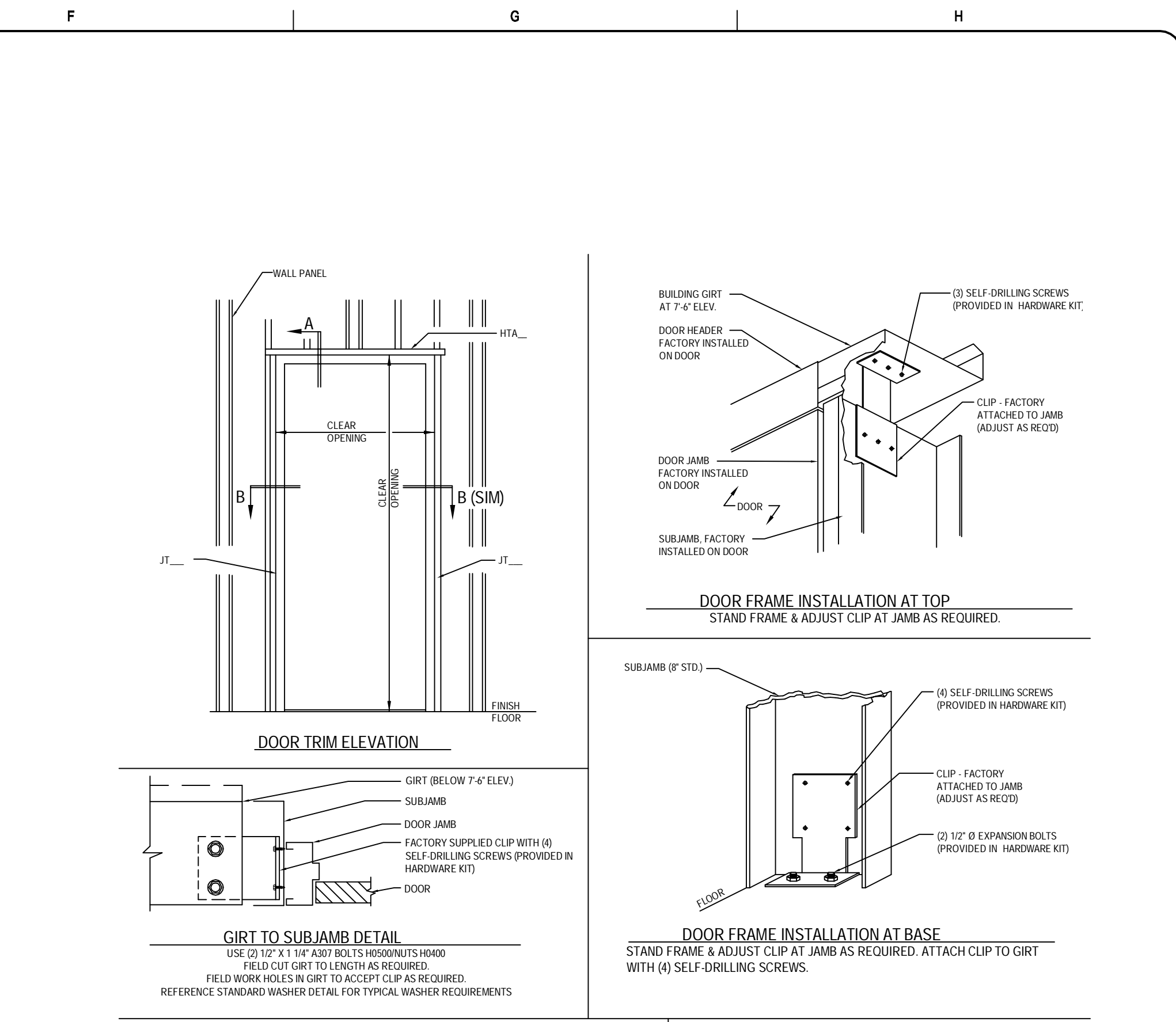
4C SECTIONAL DOOR OPENING SCALE: NTS



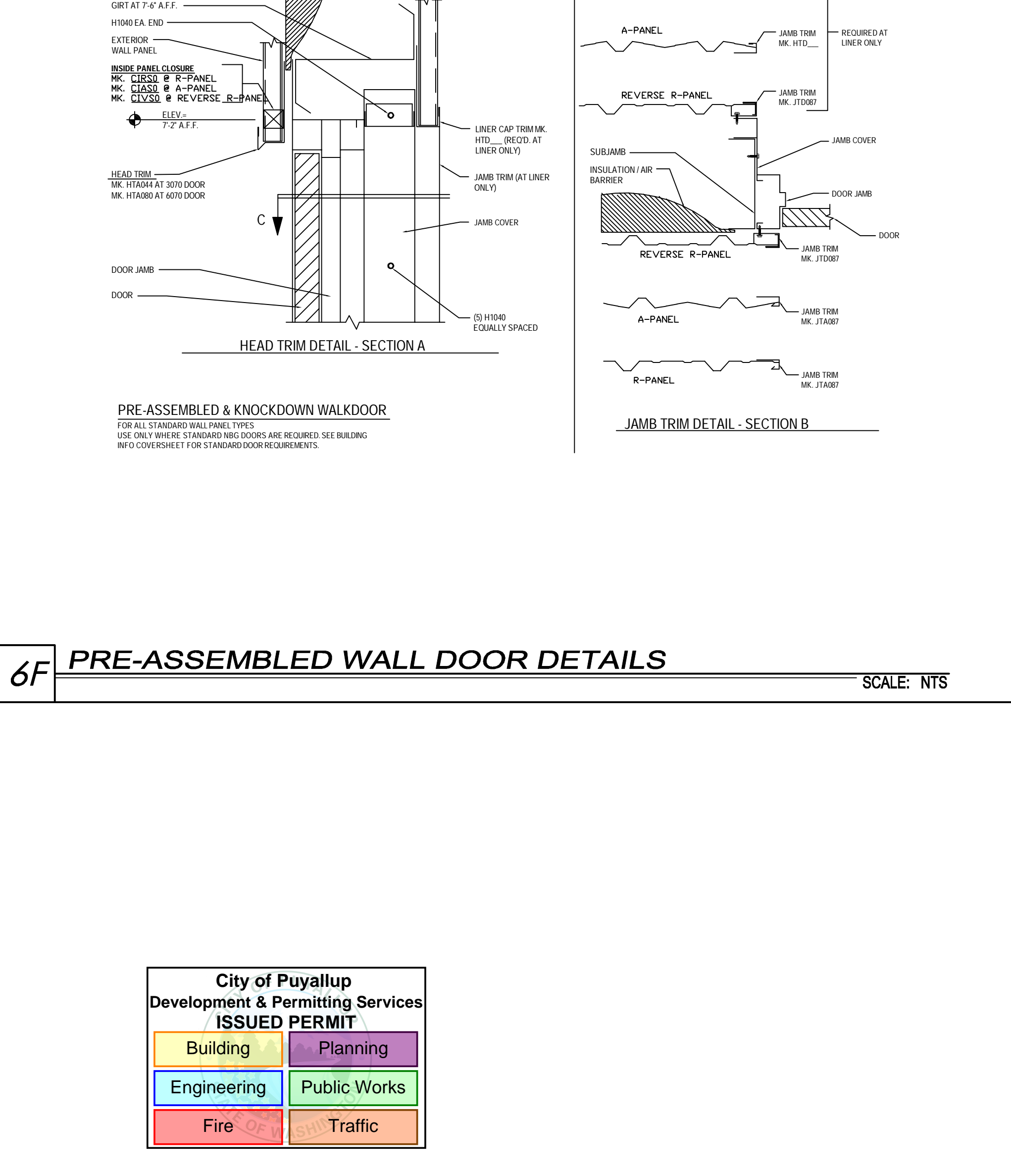
5A GUTTER DETAILS SCALE: NTS



6C ABOVE FINISH FLOOR BASE DETAILS SCALE: NTS



6F PRE-ASSEMBLED WALL DOOR DETAILS SCALE: NTS



8A GUTTER DETAILS SCALE: NTS

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5438 REGISTERED ARCHITECT
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 JAMES H. CASTINO
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Castino
 Architecture

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 EMAIL: jimplot22@gmail.com

DATE: MAR 15, 2023
 DRAWN BY: PDS
 PROJECT NO:
 FILE NAME:

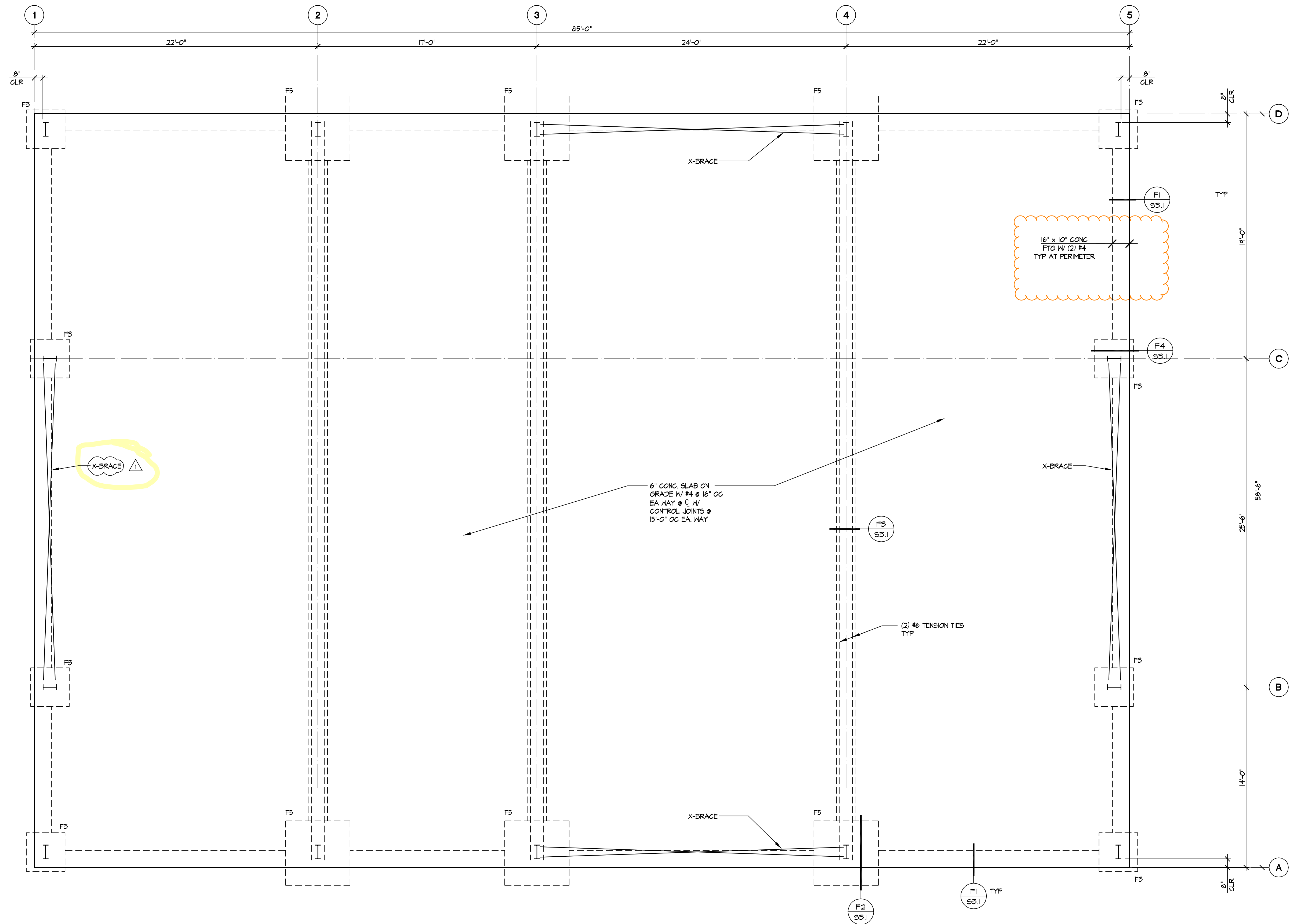
DETAILS

SHEET NO:
A3.2

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City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

FOUNDATION PLAN

1/4" = 1'-0"

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F3	3'-0" x 3'-0" x 10"	(3) #5 EA WAY TOP & BOT
F5	5'-0" x 5'-0" x 24"	(5) #5 EA WAY TOP & BOT

Rev.	Date	By

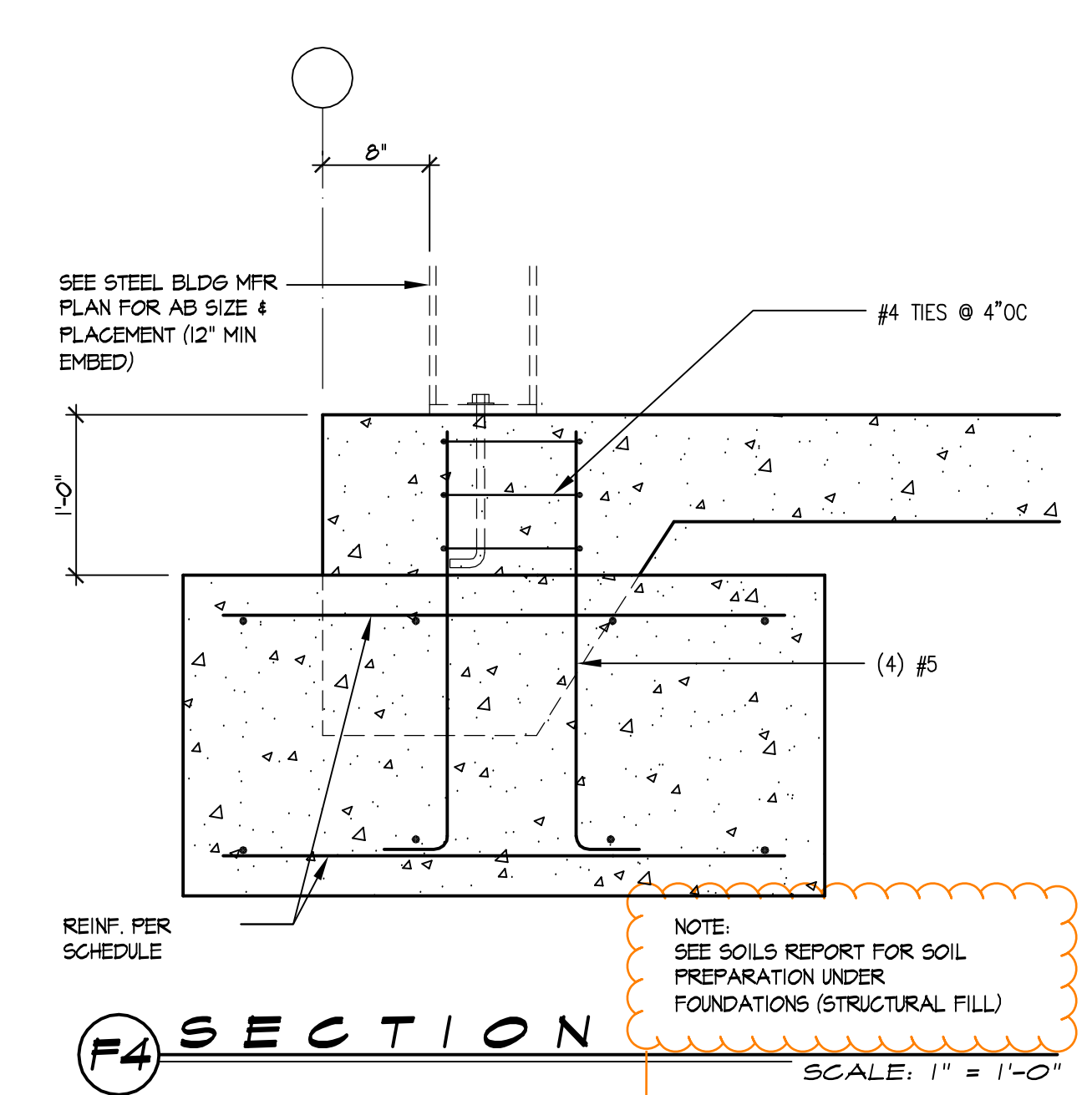
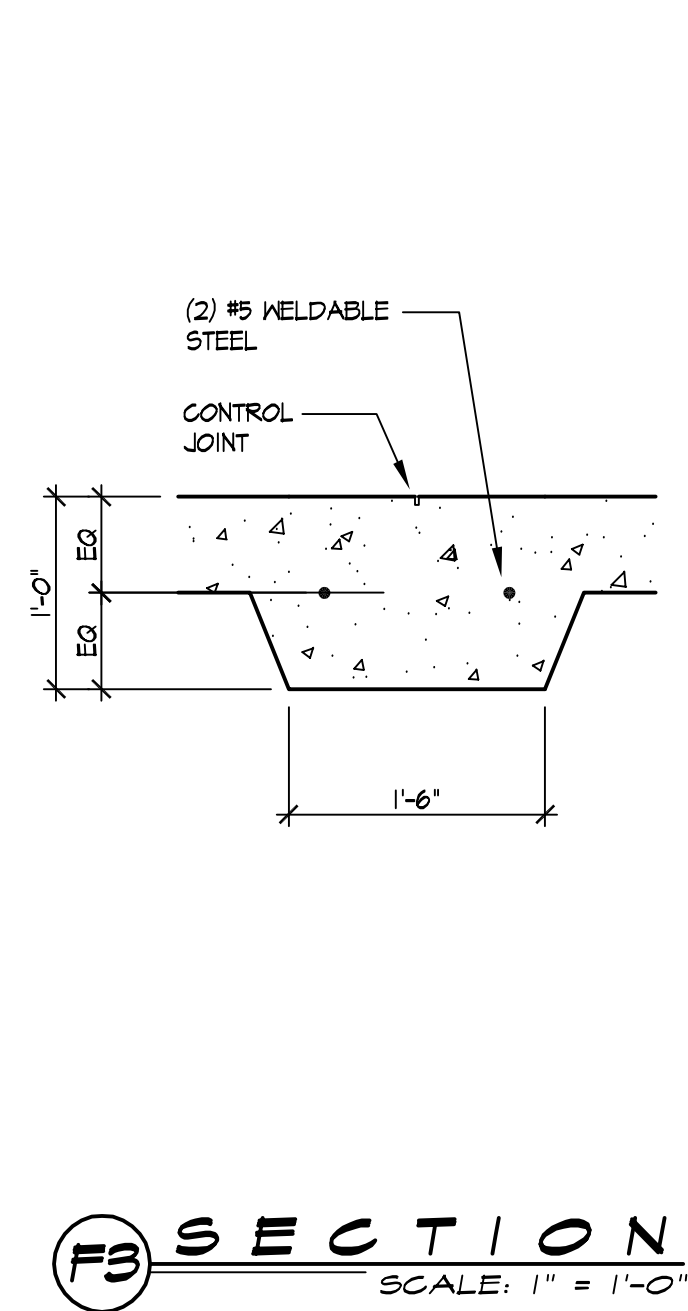
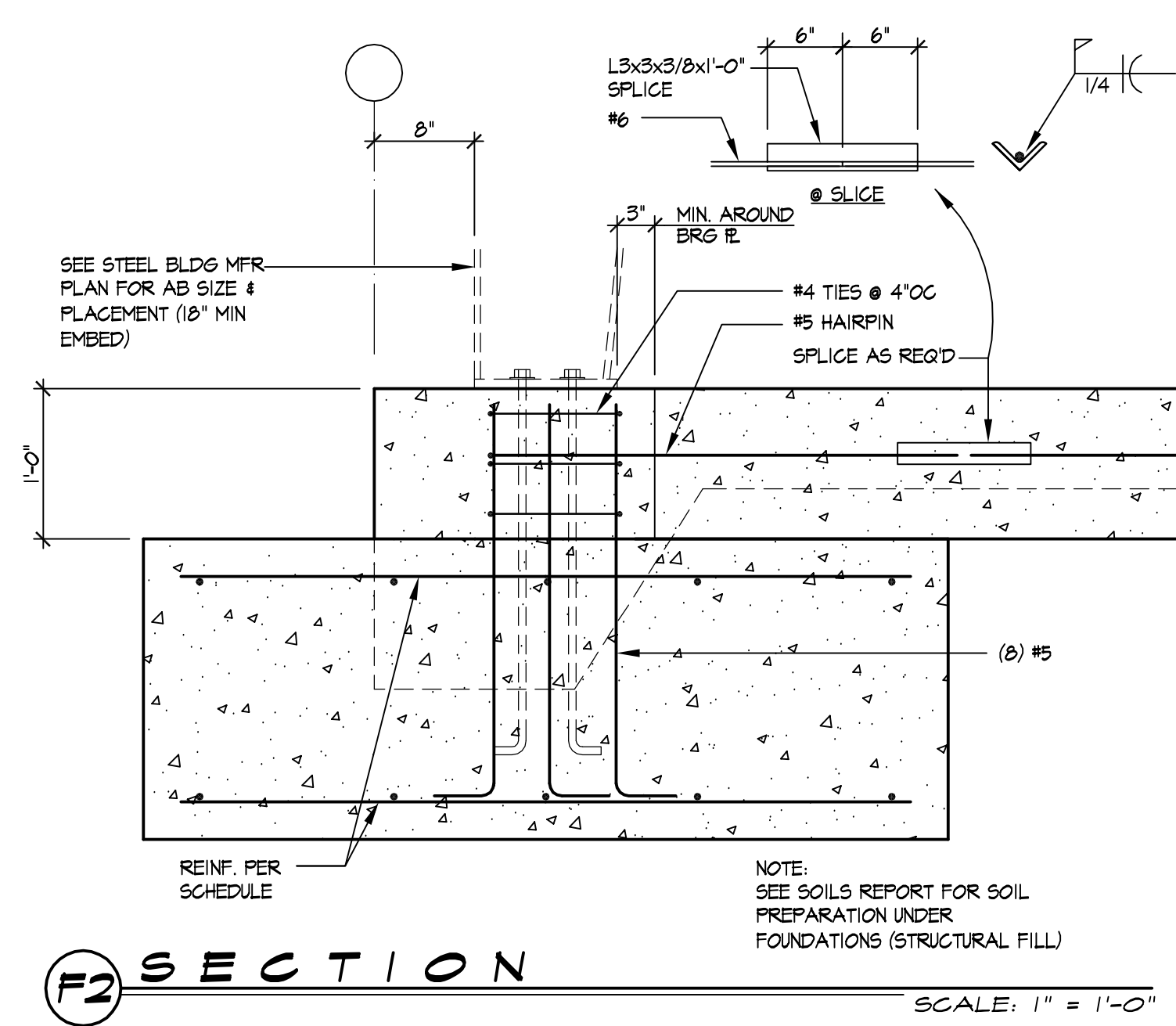
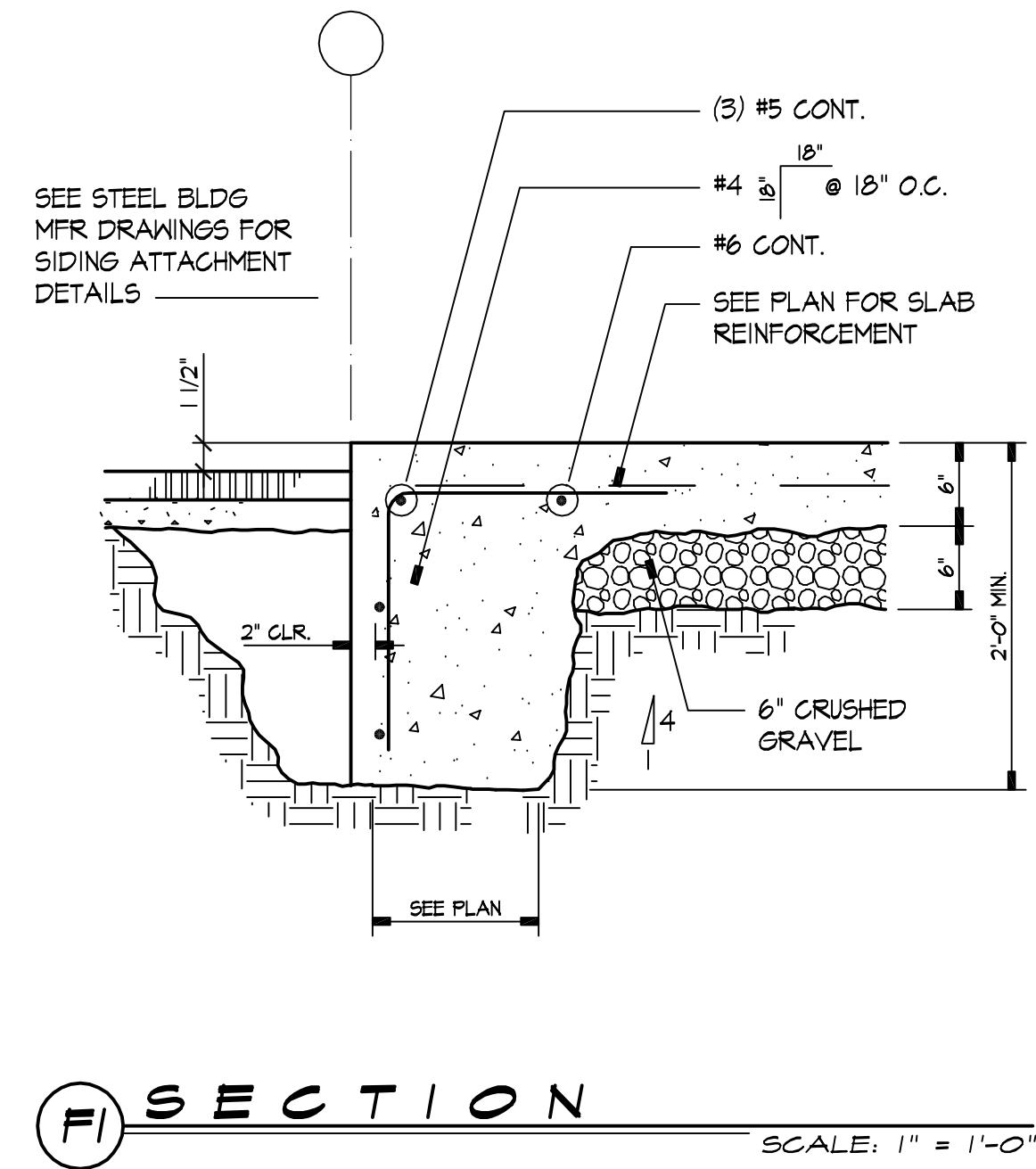
C. Christian Funboe pe
CONSULTING ENGINEER
12181 C STREET SO. • TACOMA, WA 98444 • (253) 537-8128 • FAX 531-1285



CIMCO SALES WAREHOUSE
FOUNDATION PLAN

Designer:	CCF
Drafter:	FDG
Checker:	
Issue Date:	MAR 17, 2023
Revision:	MAY 30, 2023
Project Ref.:	
Client Ref.:	
CAD Ref.:	

SHEET NO. **S2.1** REV.



A soils report was not submitted as part of the permit documents for this permit for reference to this comment. Note on page S3.1, at detail F4 of plans.

City of Puyallup
Development & Permitting Services
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Building	Planning
Engineering	Public Works
Fire	Traffic

Rev.	By	Date

Christian Funboe pe
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CIMCO SALES WAREHOUSE
DETAILS

Designer:	CCF
Drafter:	PDS
Checker:	
Issue Date:	MAR. 17, 2023
Revision:	
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SHEET NO. **S3.1** REV.