

2018 IECC Energy Code Information

All Climate Zones	R-Value (A)	U-Factor (A)
Fenestration U-Factor (B)	N/A	0.30
Skylight U-Factor (B)	N/A	0.50
Ceiling R-Value (E)	49 (J)	0.026
Wood Frame Wall (G,K)	21 INT	0.056
Floor R-Value	30 (G)	0.029
Below Grade Wall (C,H)	10/15/21 INT+TB	0.042
Slab (D,F) R-Value & Depth	10, 2ft	N/A

A) R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table RA101.4 shall not be less than the R-value specified in the table

B) The fenestration U-factor column excludes skylights.

C) "10/15/21 + 5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 + 5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.

D) R-10 continuous insulation is required under heated slab-on-grade floors. See Section R402.2.9.1.

E) For single rafter or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.

F) R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.

G) For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400.

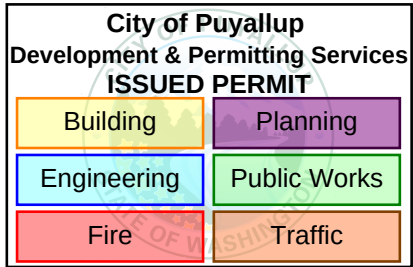
H) Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78 percent of the wall cavity insulated and headers insulated with a minimum of R-10 insulation.

Fuel Normalization Credits for the 2018 WSEC

Option	Description	Credit (R2)
2	For an initial heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(1)C or C403.3.2(2) QR Air to water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590	1.0 (1.0)

Energy Credits for the 2018 WSEC

Option	Description	Credit (R2)
1.3	Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.28, Floor R-38, Slab-on-grade R-10, perimeter and under entire slab, Below-grade slab R-10 perimeter and under entire slab QR Compliance based on Section R402.1.4: Reduce the Total conductive UA by 5%.	0.5 (N/A)
2.2	Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 2.0 air changes per hour maximum at 50 Pascals QR For R-2 occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.25 cfm/ft2 maximum at 50 Pascals AND All whole-house ventilation requirements as determined by Section M1507.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.65. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum tested building air leakage and shall show the heat recovery ventilation system.	1.0 (1.5)
3.5	Air-source, centrally ducted heat pump with minimum HSPF of 11.0. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.	1.5 (N/A)
5.5	Water heating system shall include one of the following: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specification QR For R-2 occupancy, electric heat pump water heater(s), meeting the standards for Tier III of NEEA's advanced water heating specification, shall supply domestic hot water to all units. If one water heater is serving more than one dwelling unit, all hot water supply and recirculation piping shall be insulated with R-8 minimum pipe insulation. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency.	2.0 (2.5)



THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

City of Puyallup
Building
APPROVED

See permit
for additional
requirements.

JMontgomery
05/16/2023
10:16:53 AM



PRRASF20221703

Area Summary

Existing

Lower Floor:	309 Sq. Ft.
Upper Floor:	1390 Sq. Ft.
Conditioned Area:	1699 Sq. Ft.
3-Car Garage Area:	1148 Sq. Ft.
Covered Porch:	222 Sq. Ft.

Proposed

Lower Floor:	1999 Sq. Ft.
Upper Floor:	1128 Sq. Ft.
Conditioned Total:	4826 Sq. Ft.
3-Car Garage Area:	1148 Sq. Ft.
2-Car Garage Area:	731 Sq. Ft.
Covered Porch:	405 Sq. Ft.
Lower Covered Deck:	288 Sq. Ft.
Upper Covered Deck:	168 Sq. Ft.

Applicable Codes

2018 International Building Code (IBC)
2018 International Residential Code (IRC)
2018 International Energy Conservation Code (IECC)
W/ Washington State Amendments

Design Criteria & Loads

(Verify with Engineer)

Roof Snow Load:	25 psf
Floor Live Load:	40 psf
Wind Speed (ASD):	85 mph
Wind Speed (ULT):	100 mph
Exposure:	B
Seismic Zone:	D
Frost Depth:	18"

**Address MUST be located on the house where it is easily seen from the main access road (Homeowner Responsibility). **

3D Isometric Drawings are for illustration ONLY! Plans, Details and Engineering take precedence over ANY 3D drawing within this plan.

Sheet Index

Pg #	Title
1	Cover Sheet
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Kramer & Melanie Nirder

1404 Shaw Rd
Puyallup, WA 98372
206.604.6031
Parcel # - 0420355039

Designer Information

Initials Release Date

JGS 3/9/2023

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Cover Sheet

PHS Job #:
21.189

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Layout Sheet #
1 of 17

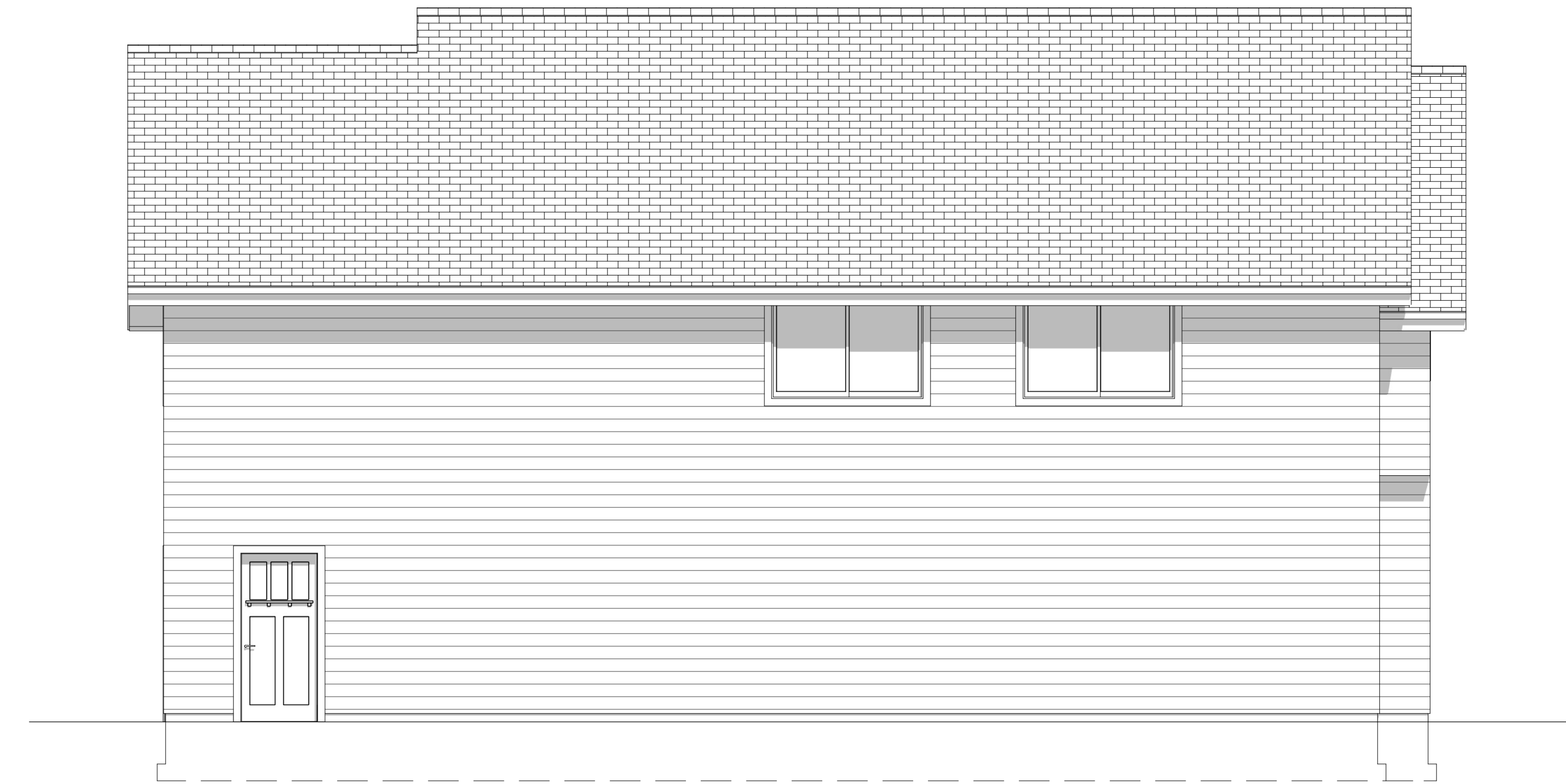
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Northeast Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft



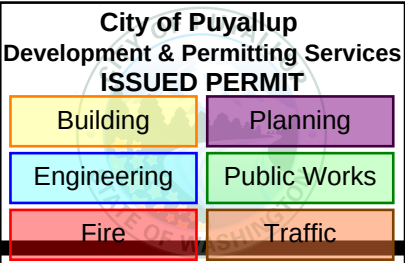
Southeast Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft



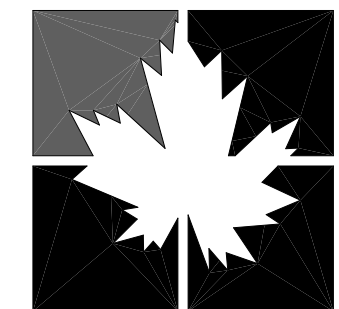
Southwest Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft



Northwest Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft



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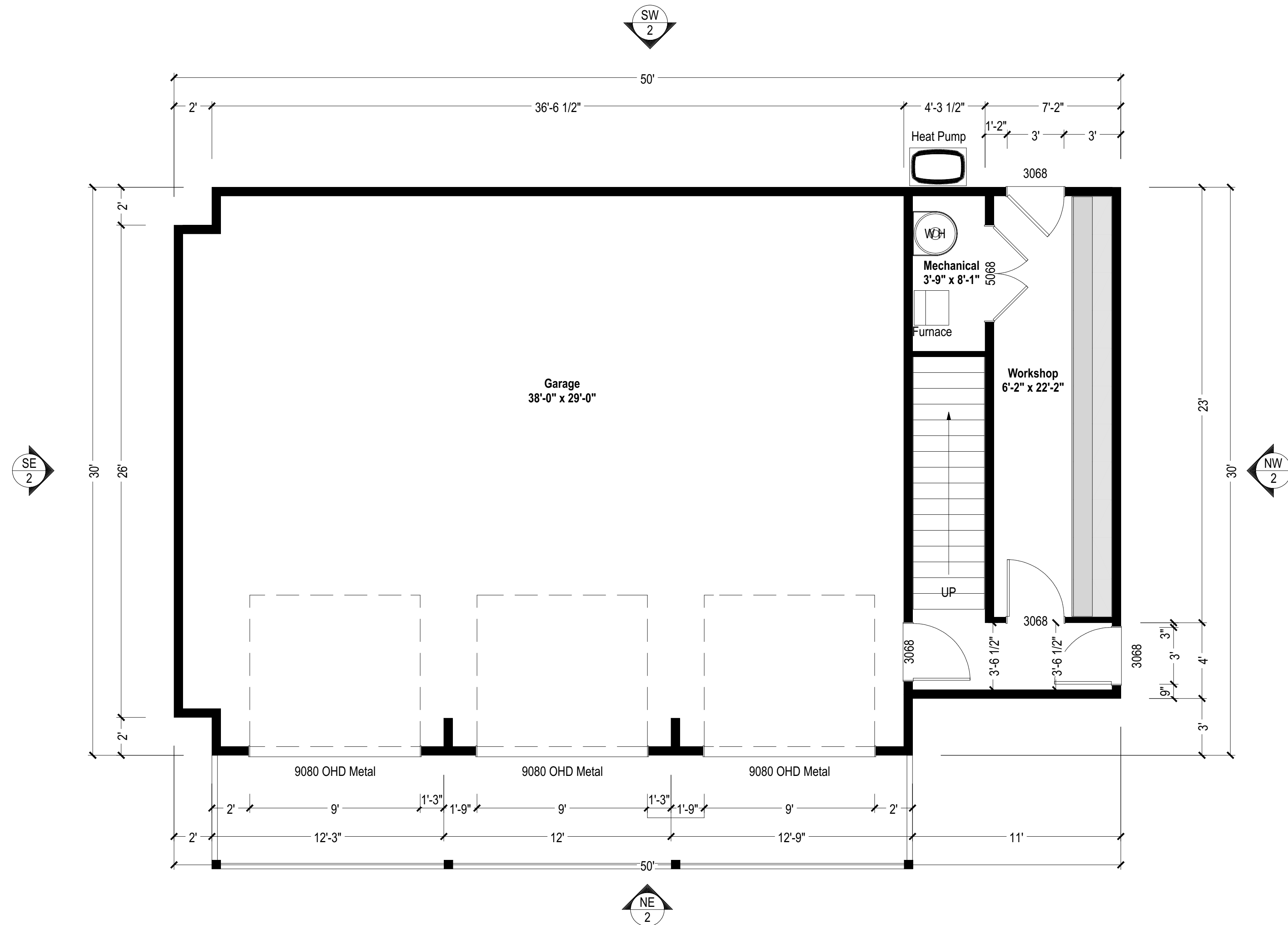
Existing
Elevations

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Layout Sheet #
2 of 17

2



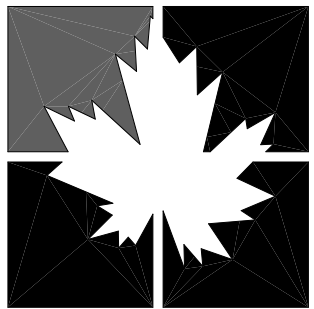
Main Floor Plan - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft

TC = Safety Class
Glazing U-Value = .28
Floors = R38

PRRAS20221703

City of Puyallup
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Building	Planning
Engineering	Public Works
Fire	Traffic



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Existing
Main Floor

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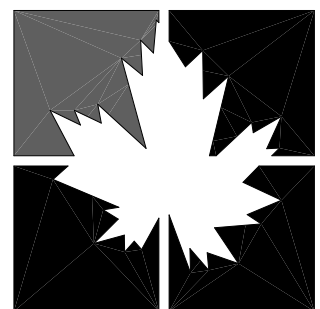


Upper Floor Plan - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Existing
Scale: 1/4 in = 1 ft

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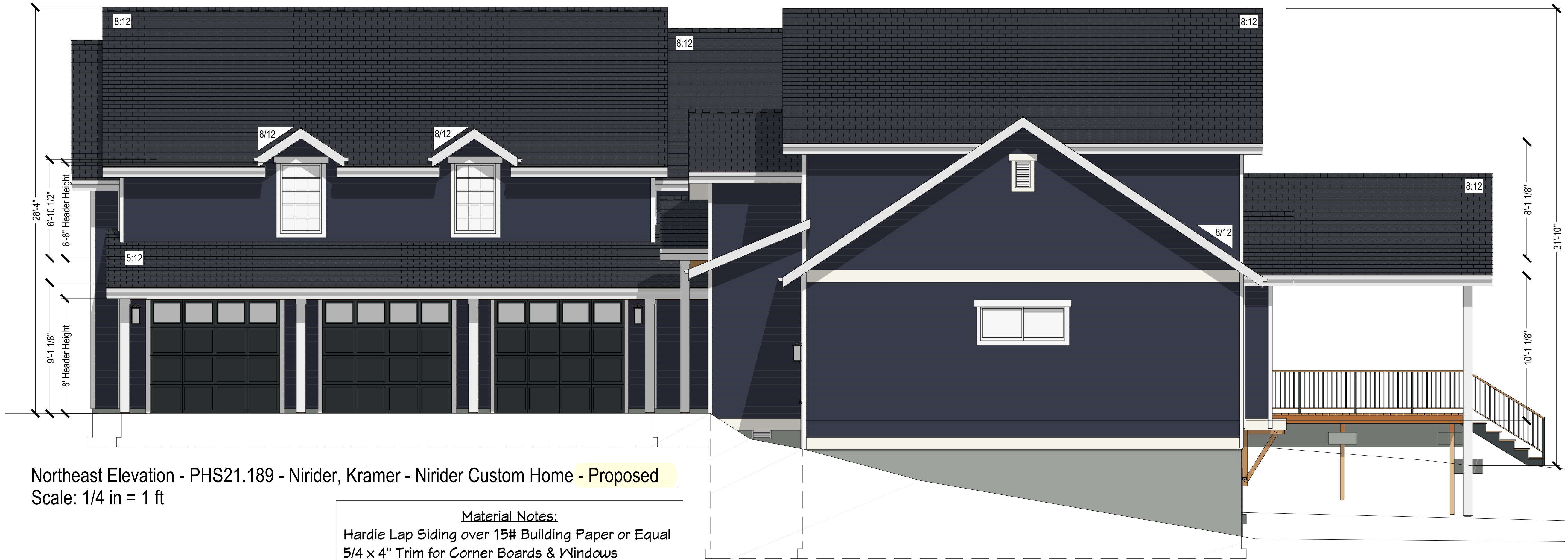
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Existing
Upper Floor

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Northeast Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed
Scale: 1/4 in = 1 ft

Material Notes:
Hardie Lap Siding over 15# Building Paper or Equal
5/4 x 4" Trim for Corner Boards & Windows
5/4 x 6" Lintel over Windows w/ 2" Ext.
Comp. Roofing over 30# Building Paper or Equal



Southeast Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed
Scale: 1/4 in = 1 ft

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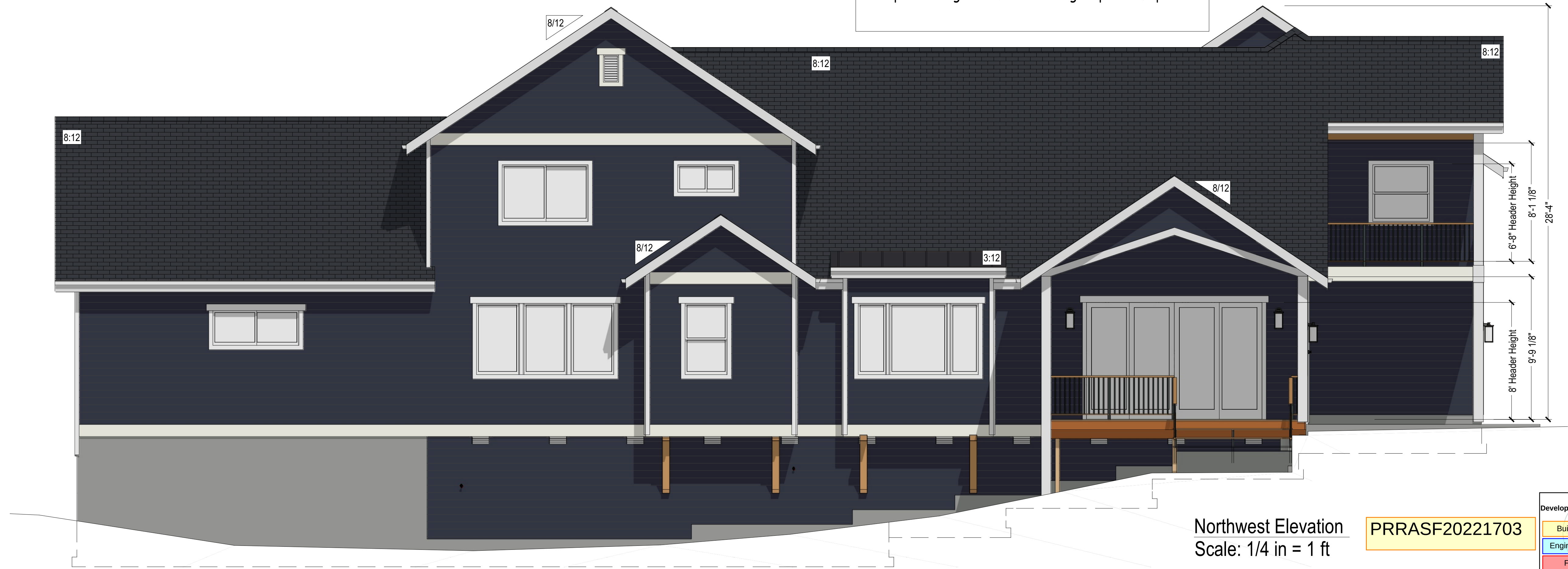
**Proposed
Elevations**

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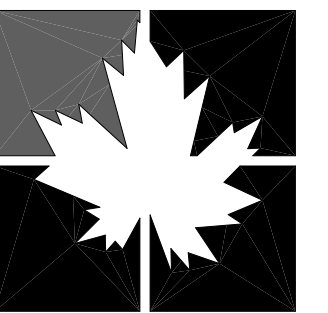
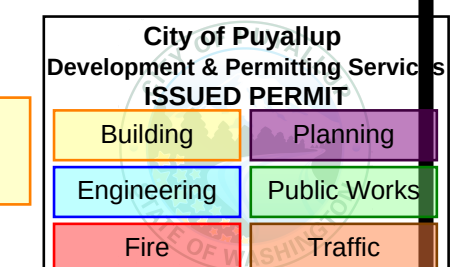
Southwest Elevation - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed
Scale: 1/4 in = 1 ft

Material Notes:
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5/4 x 4" Trim for Corner Boards & Windows
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Comp. Roofing over 30# Building Paper or Equal



Northwest Elevation
Scale: 1/4 in = 1 ft

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**Proposed
Elevations**

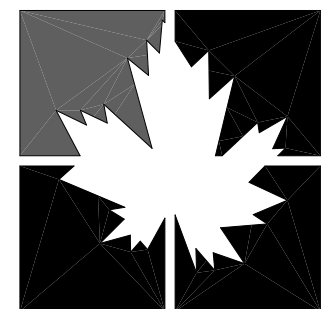
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6

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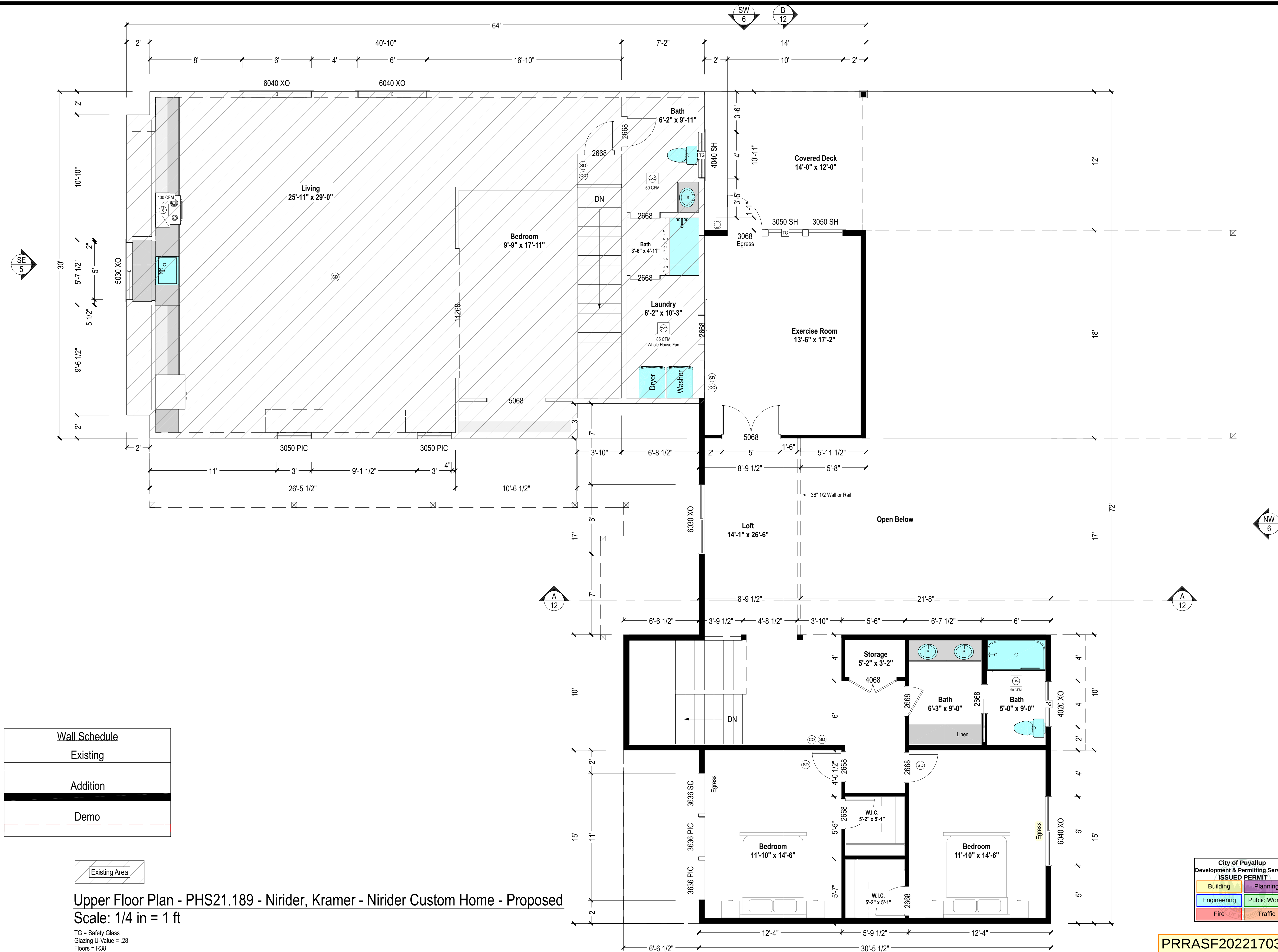
**Proposed
Upper Floor**

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21.189

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Layout Sheet #
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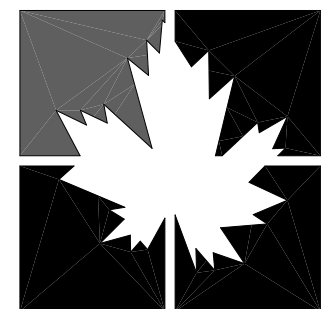


Upper Floor Plan - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed

Scale: 1/4 in = 1 ft

TG = Safety Glass
Glazing U-Value = .28
Floors = R38

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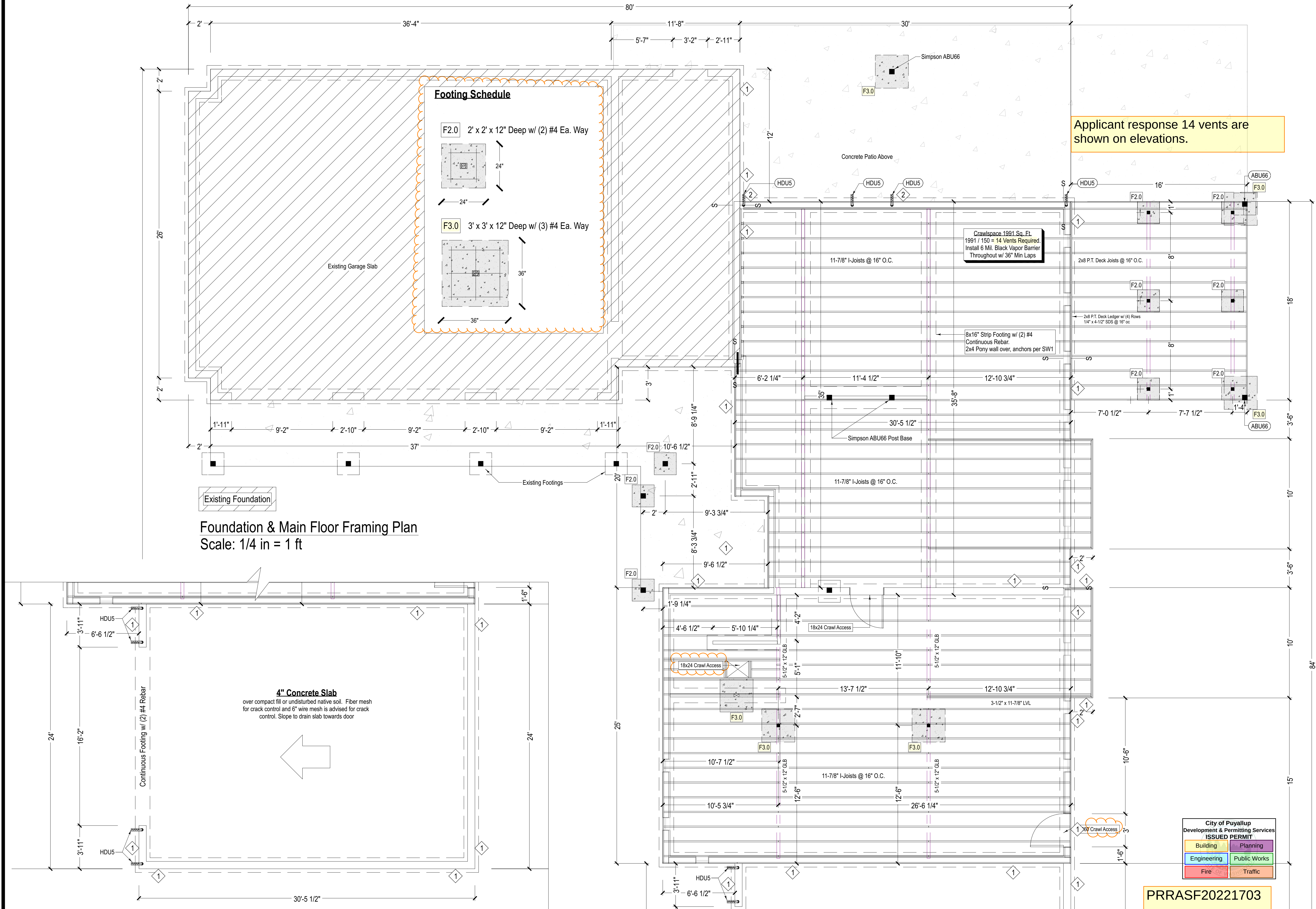
**Foundation
& Framing**

PHS Job #:
21.189

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SEE S1.1 ~ FOR SHEAR WALL SCHDULE



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Upper Floor Framing

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Roof Sheathing Size Requirements

Up to 40 lbs
7/16" OSB

Up to 70lbs
15/32" OSB

Up to 130 lbs
5/8" OSB

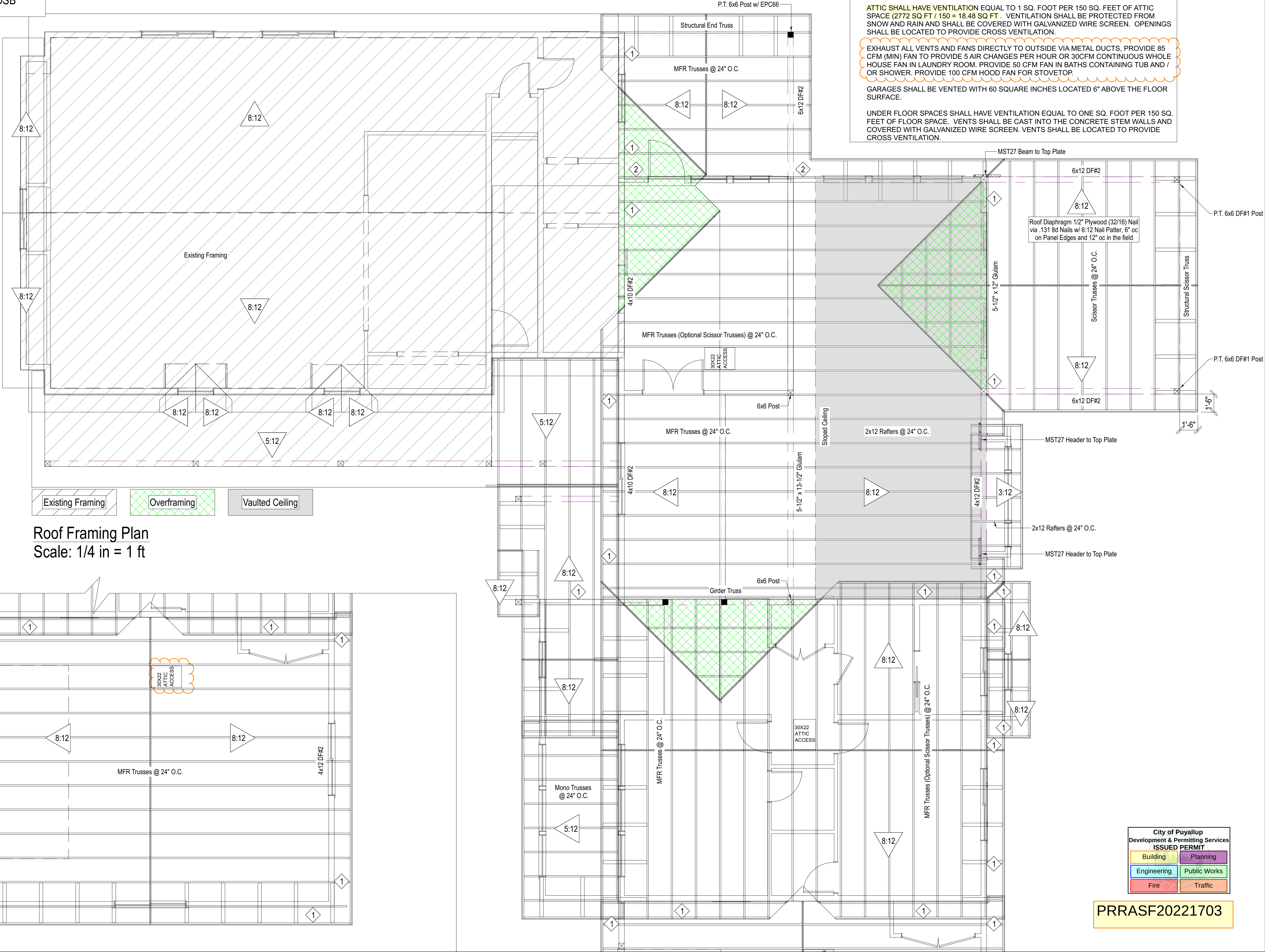
VENTILATION NOTES:
ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FOOT PER 150 SQ. FEET OF ATTIC SPACE (2772 SQ FT / 150 = 18.48 SQ FT). VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

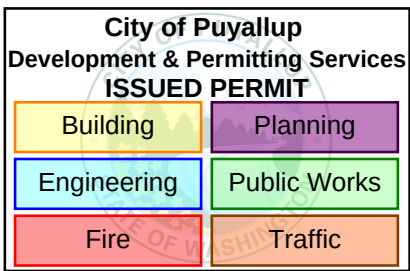
EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 85 CFM (MIN) FAN TO PROVIDE 5 AIR CHANGES PER HOUR OR 30CFM CONTINUOUS WHOLE HOUSE FAN IN LAUNDRY ROOM. PROVIDE 50 CFM FAN IN BATHS CONTAINING TUB AND / OR SHOWER. PROVIDE 100 CFM HOOD FAN FOR STOVETOP.

GARAGES SHALL BE VENTED WITH 60 SQUARE INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FOOT PER 150 SQ. FEET OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.



Roof Framing Plan
Scale: 1/4 in = 1 ft



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JGS	3/9/2023

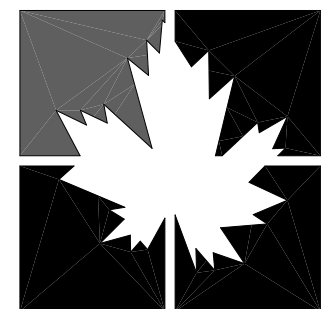
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Roof
Framing

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11 of 17



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Kramer & Melanie Nirider

1404 Shaw Rd
Puyallup, WA 98372
206.604.6031
Parcel # - 0420355039

Designer Information

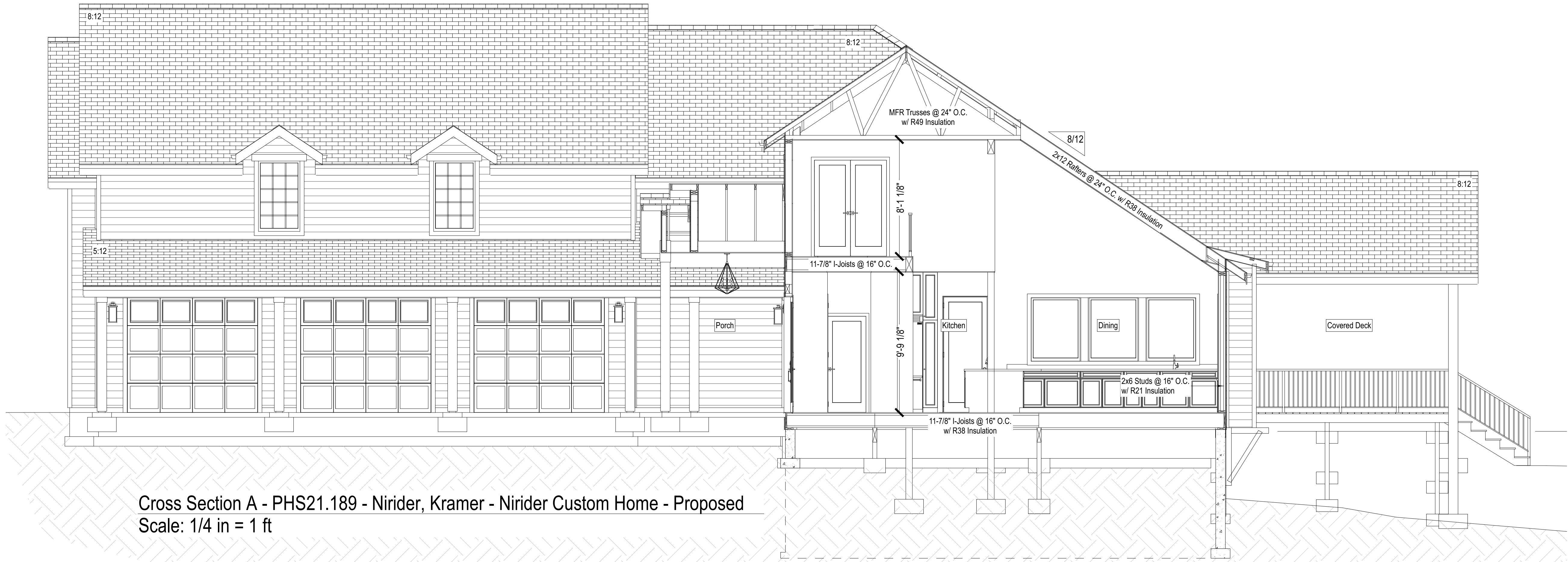
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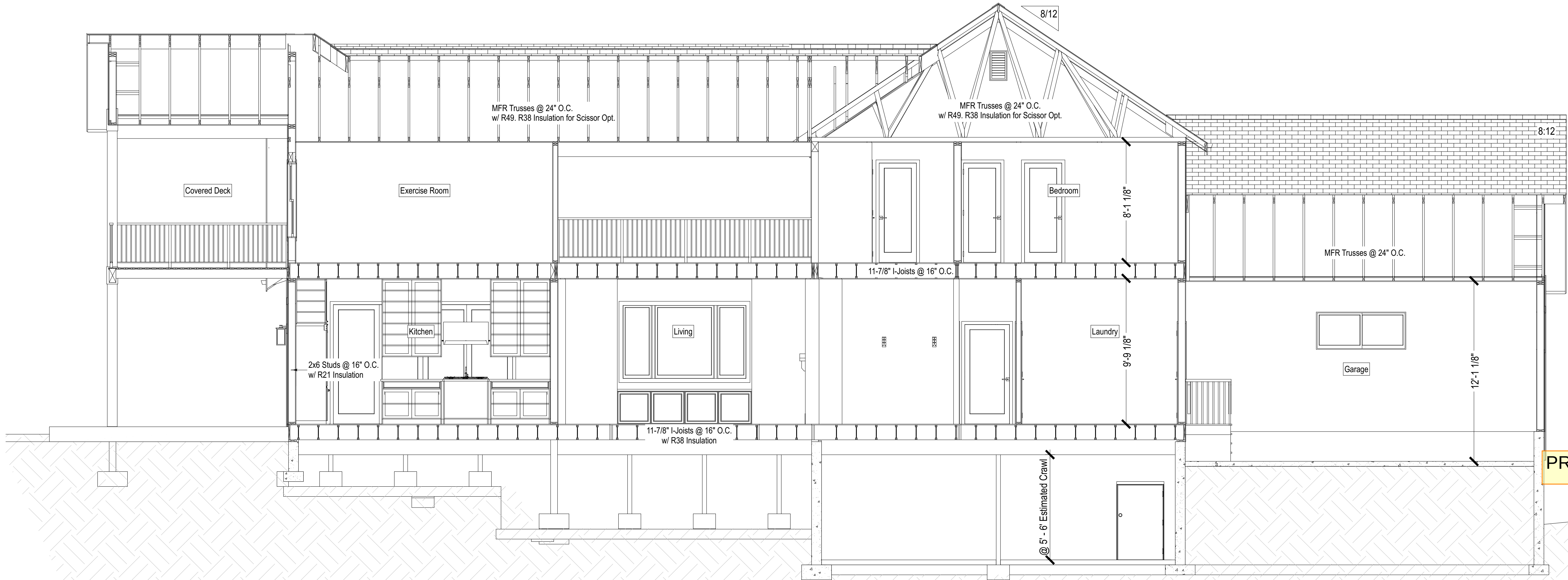
Cross
Sections

PHS Job #:
21.189
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3/9/2023 10:30:05
Layout Sheet #
12 of 17

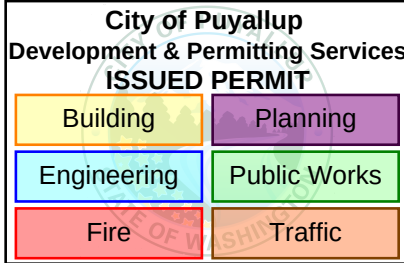
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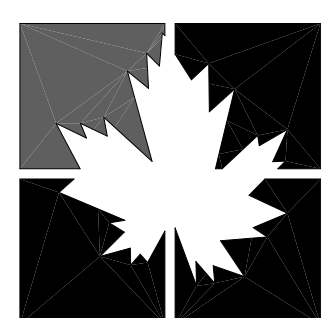
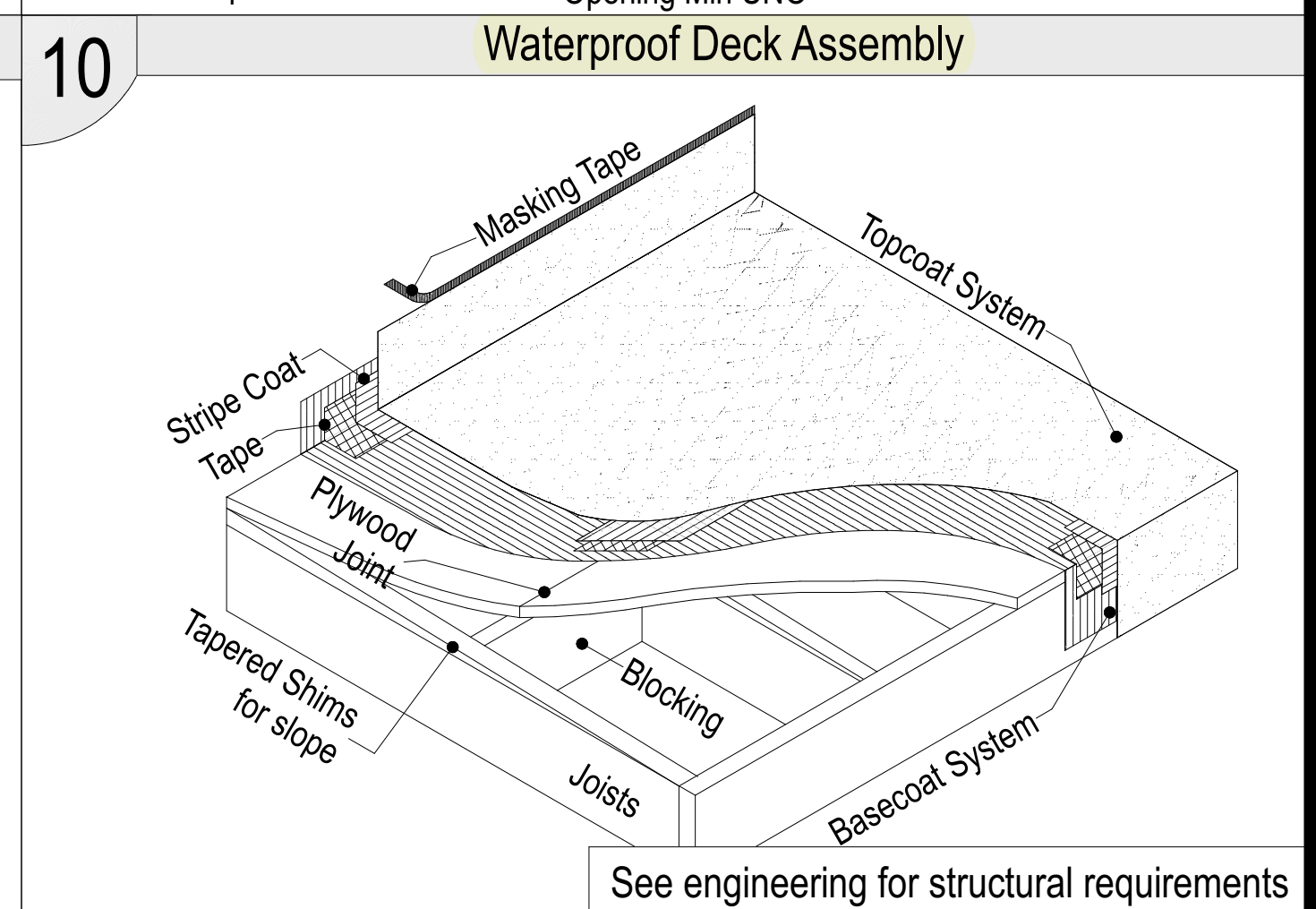
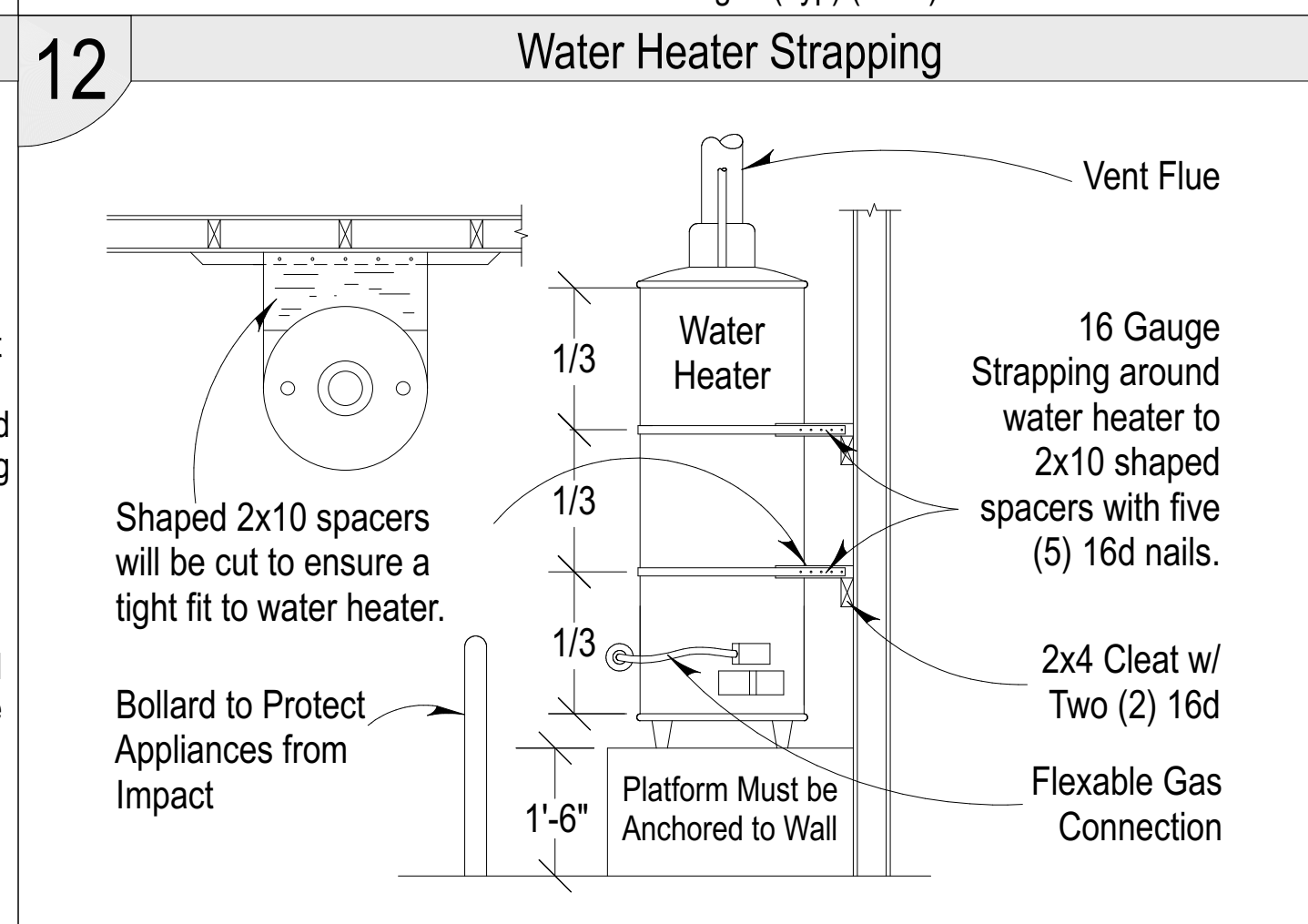
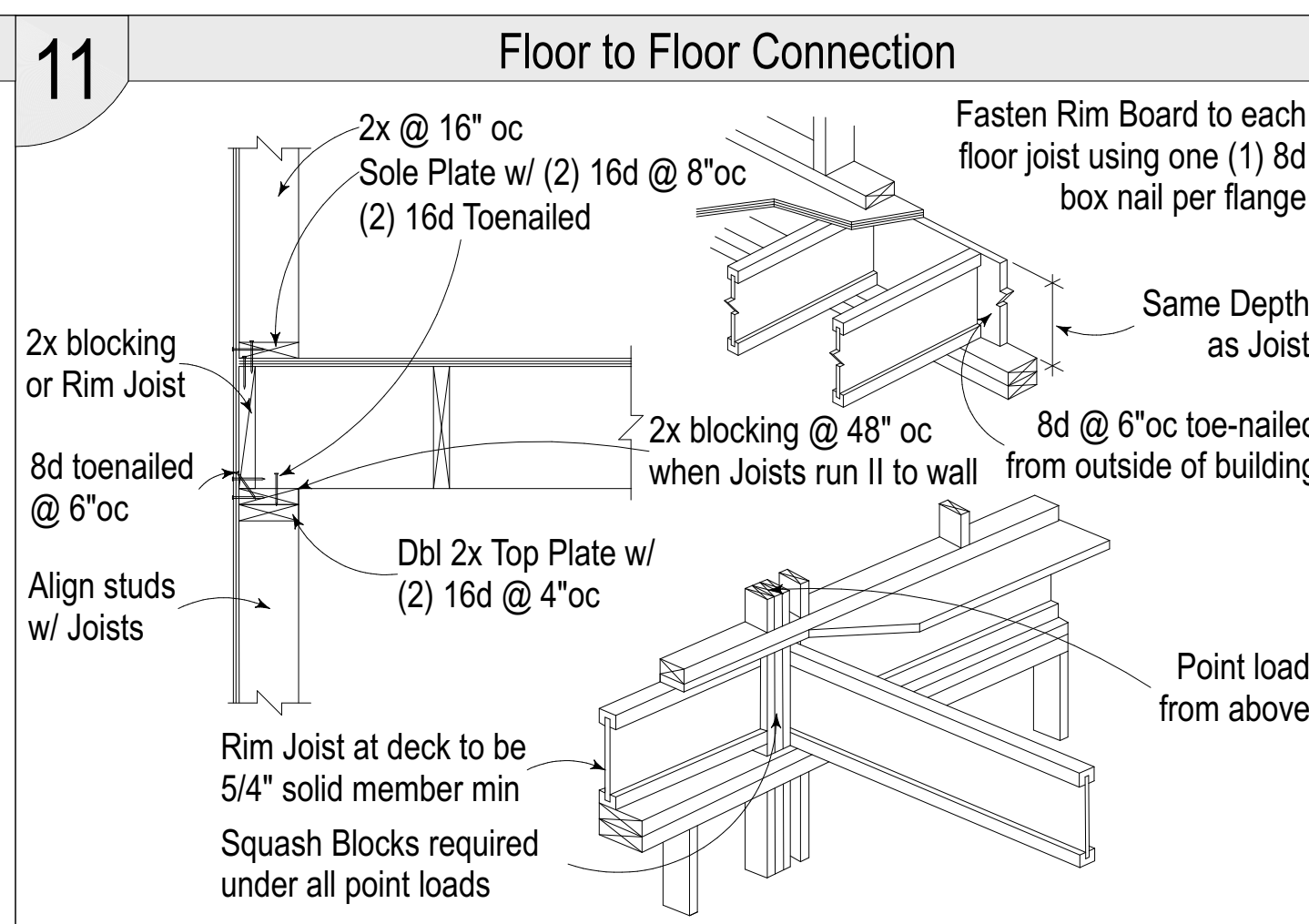
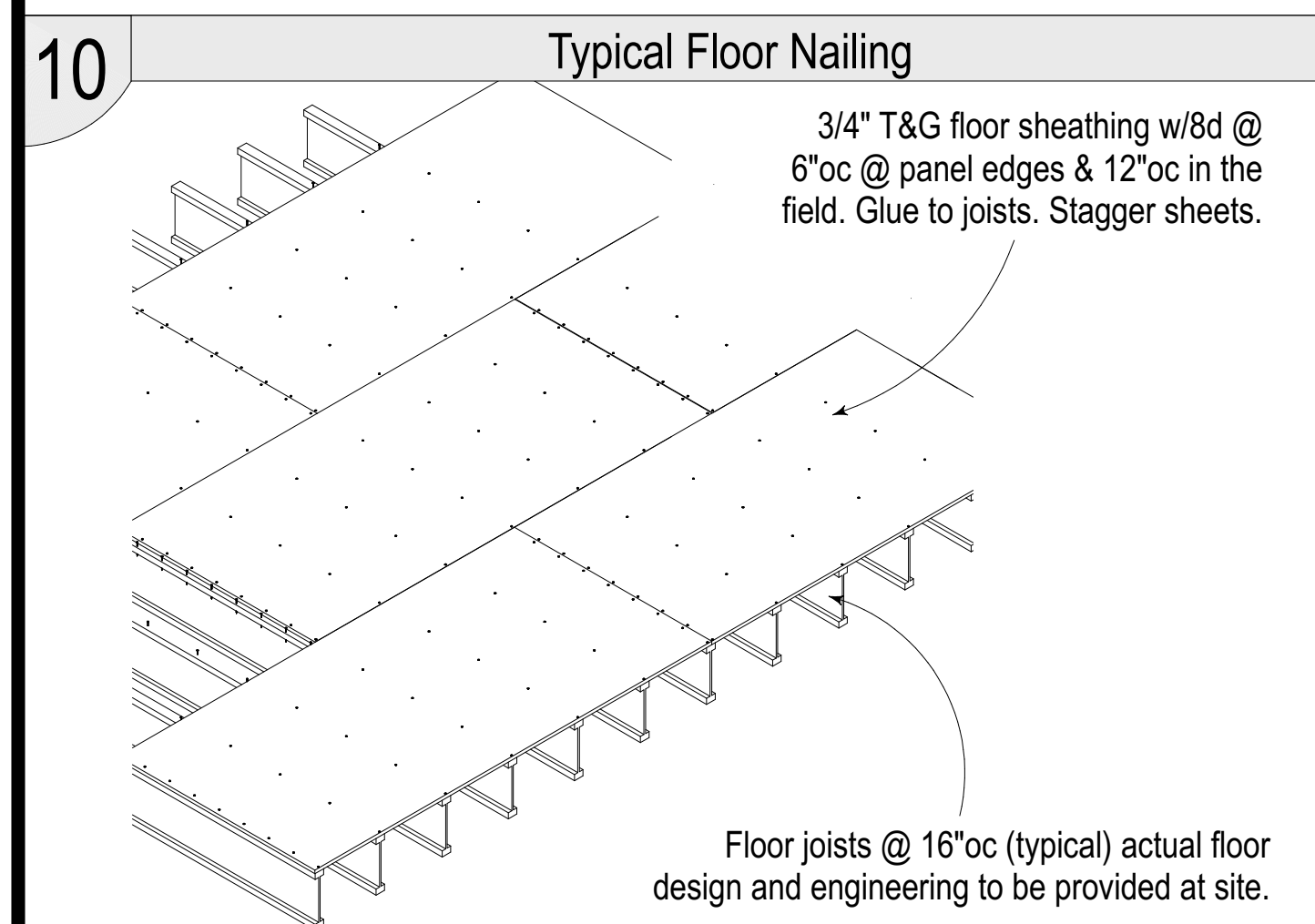
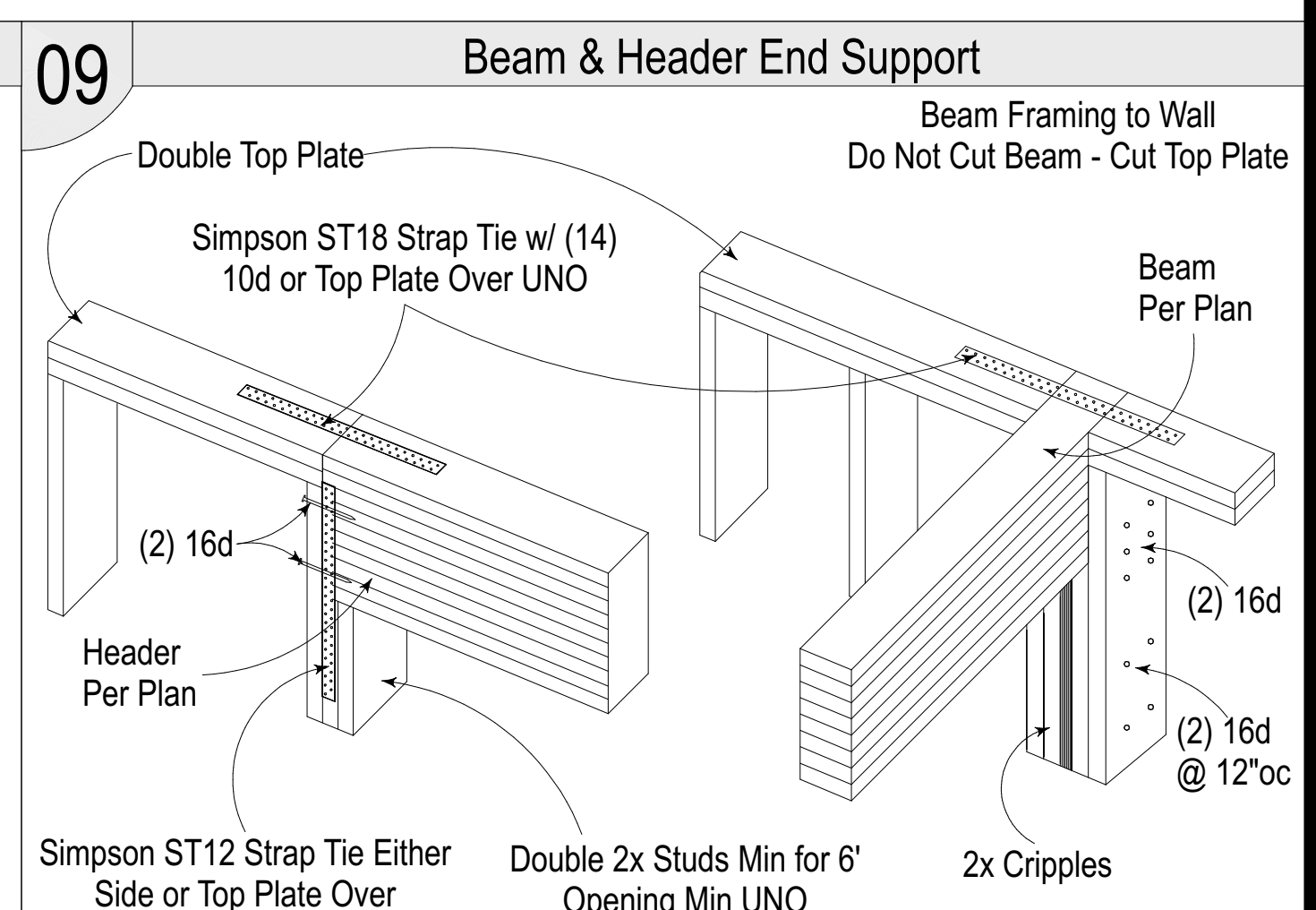
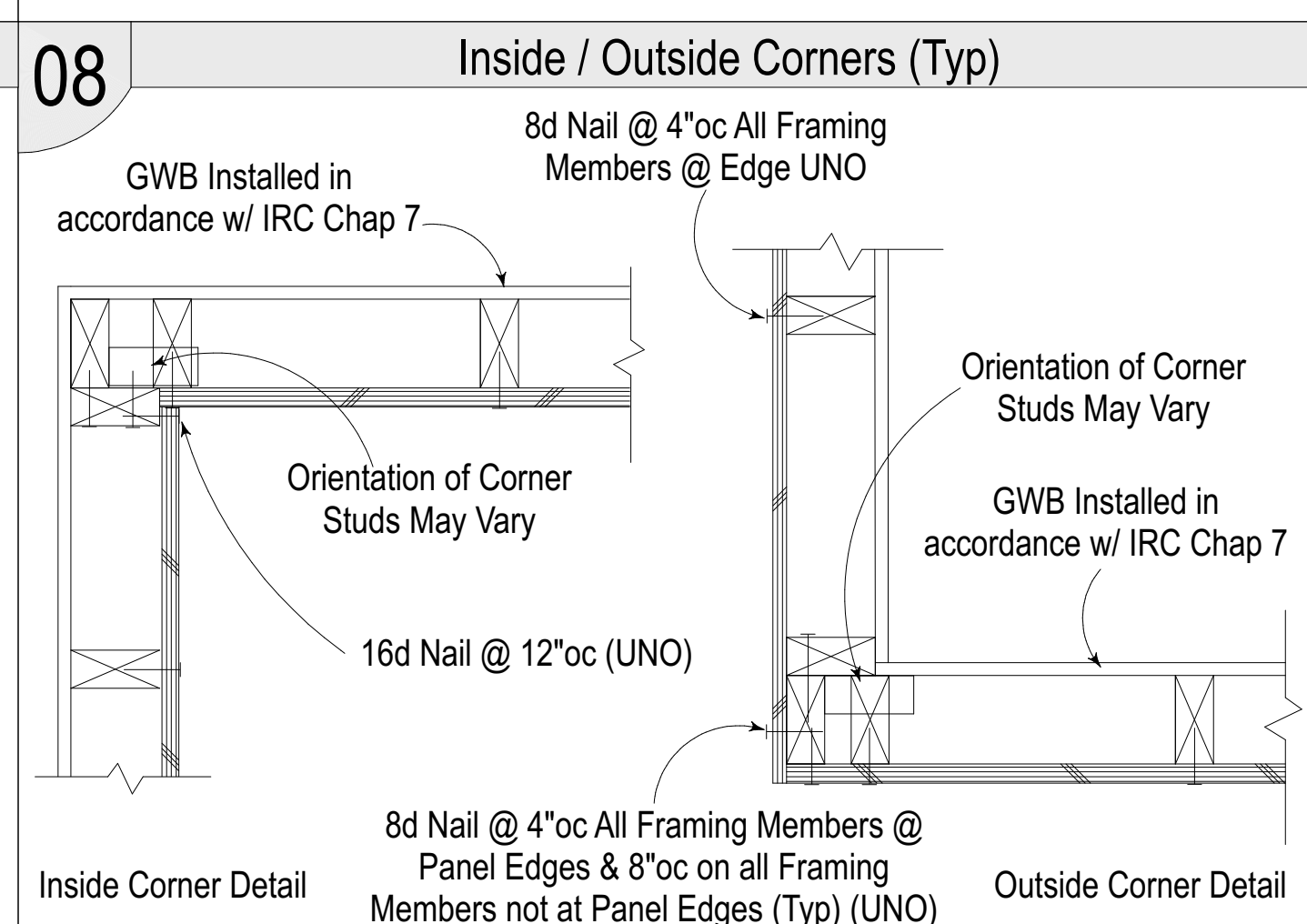
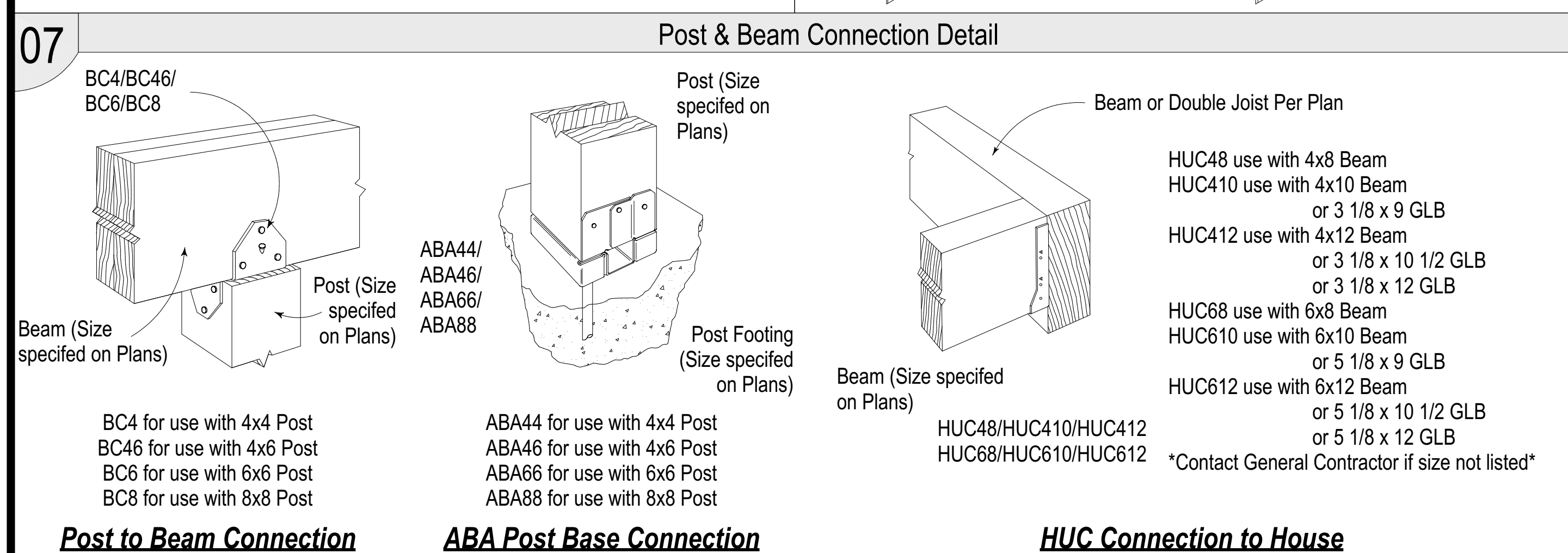
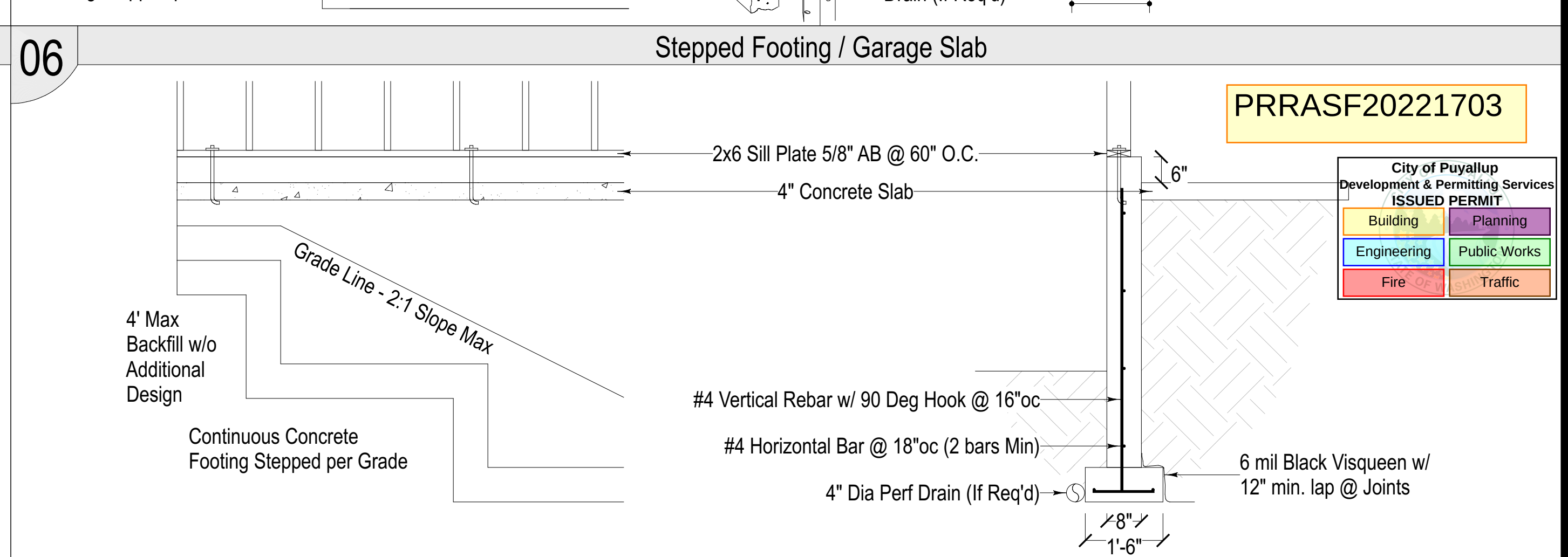
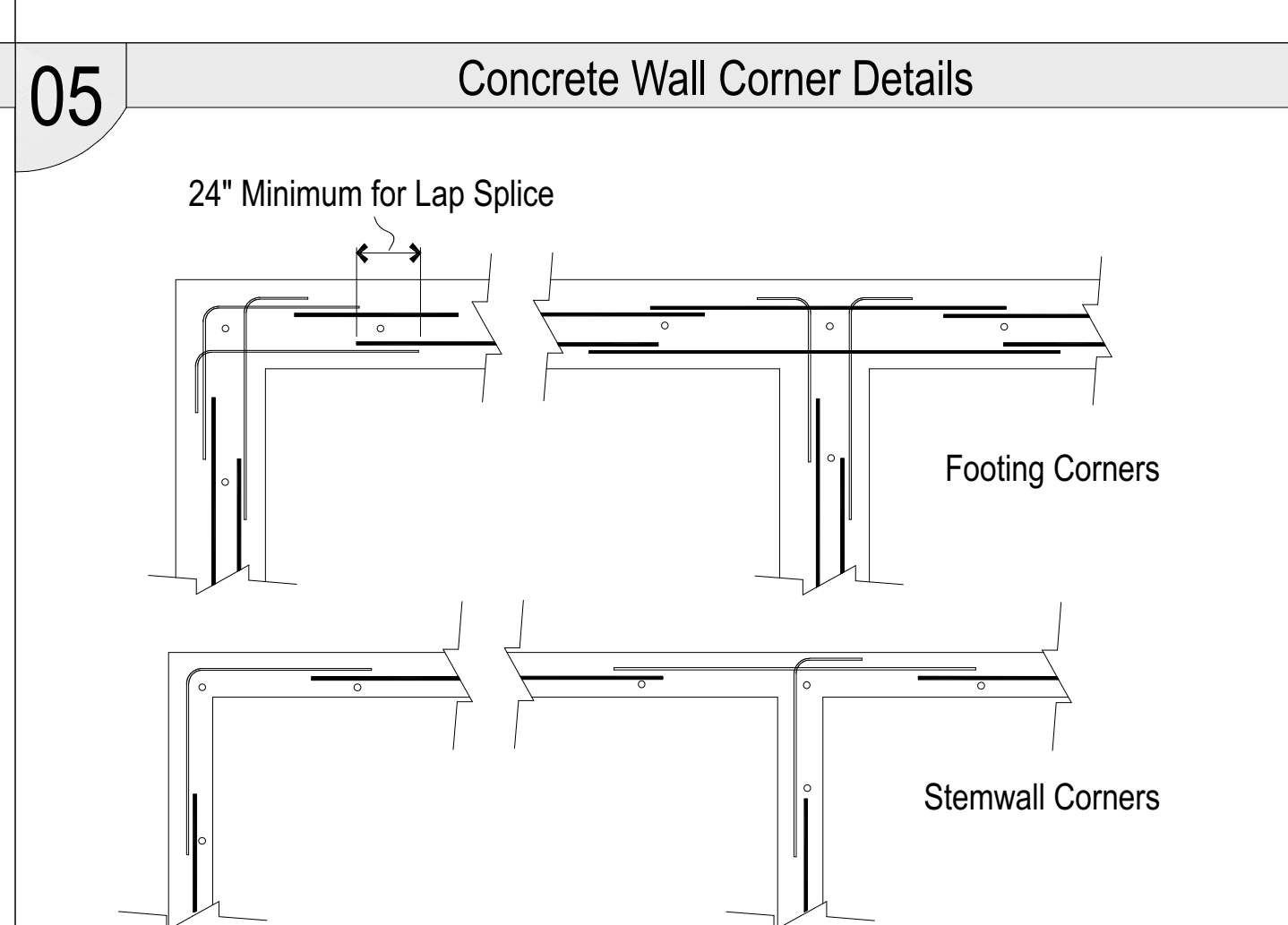
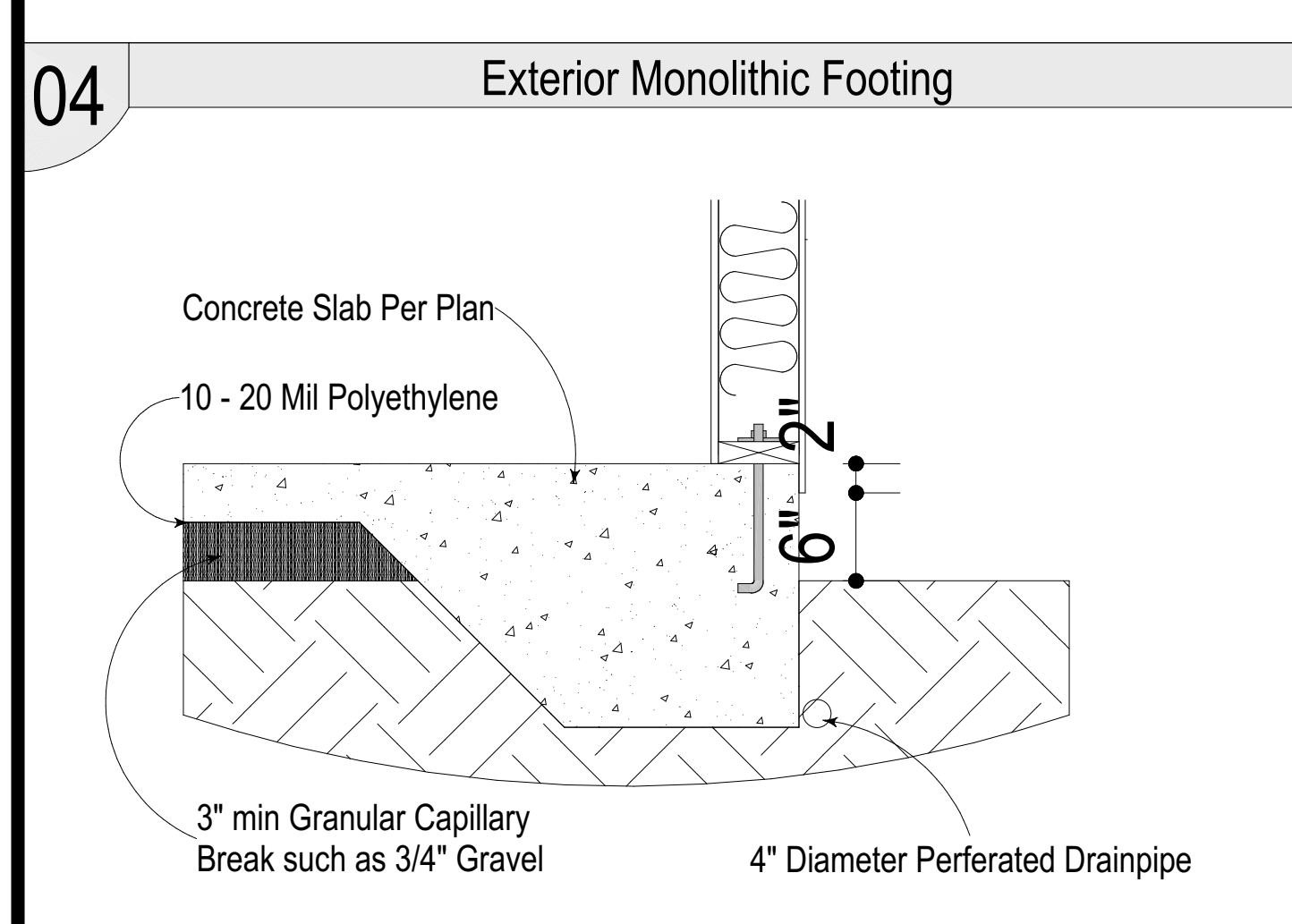
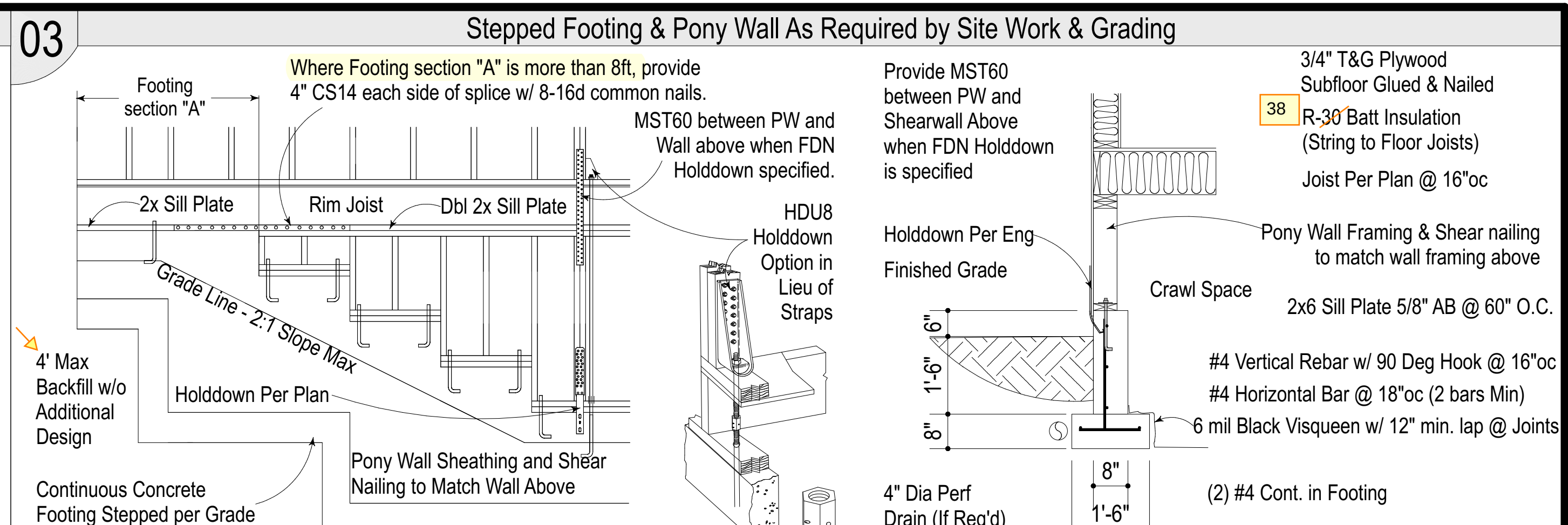
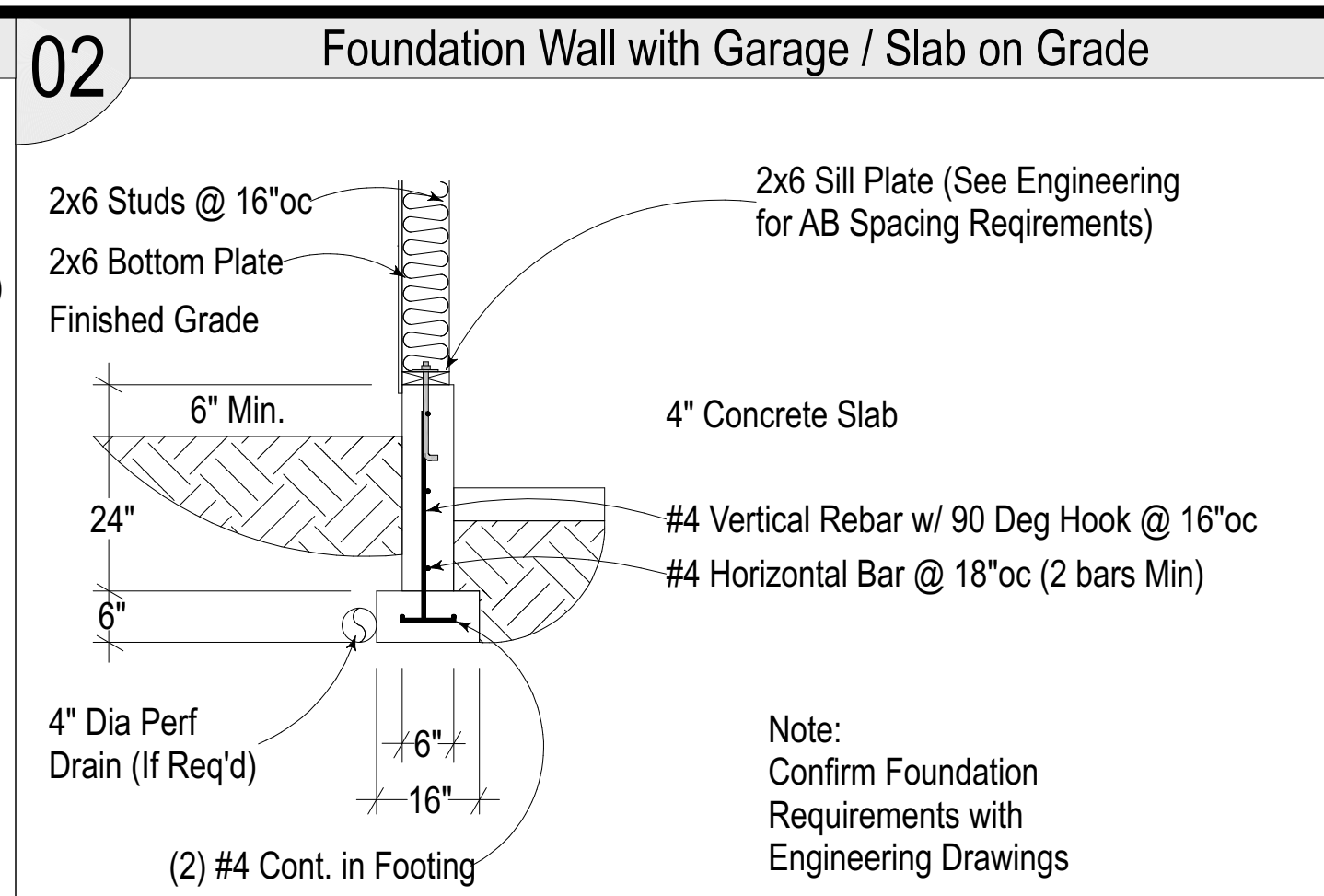
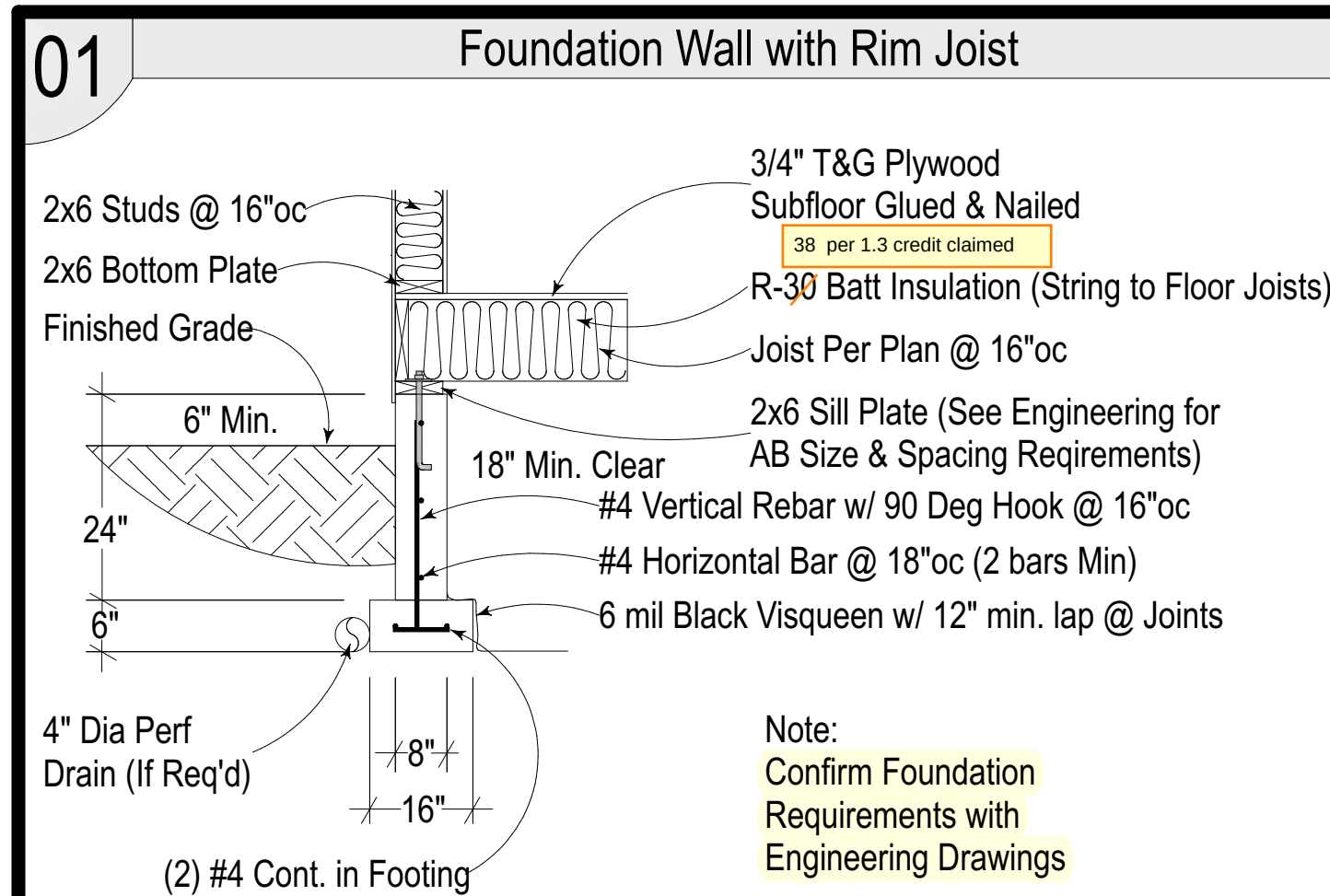
Cross Section A - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed
Scale: 1/4 in = 1 ft



Cross Section B - PHS21.189 - Nirider, Kramer - Nirider Custom Home - Proposed
Scale: 1/4 in = 1 ft



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Initials	Release Date
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Details

PHS Job #:
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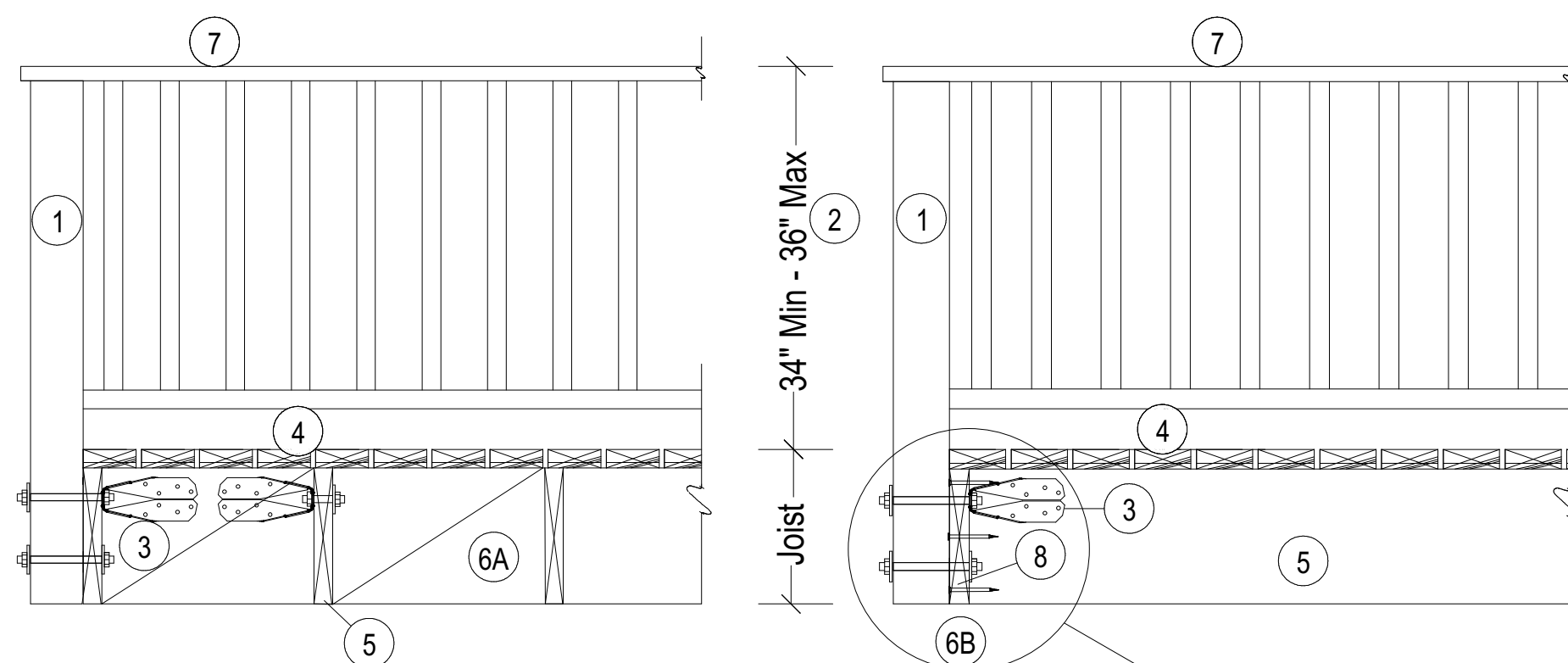
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Layout Sheet #
13 of 17

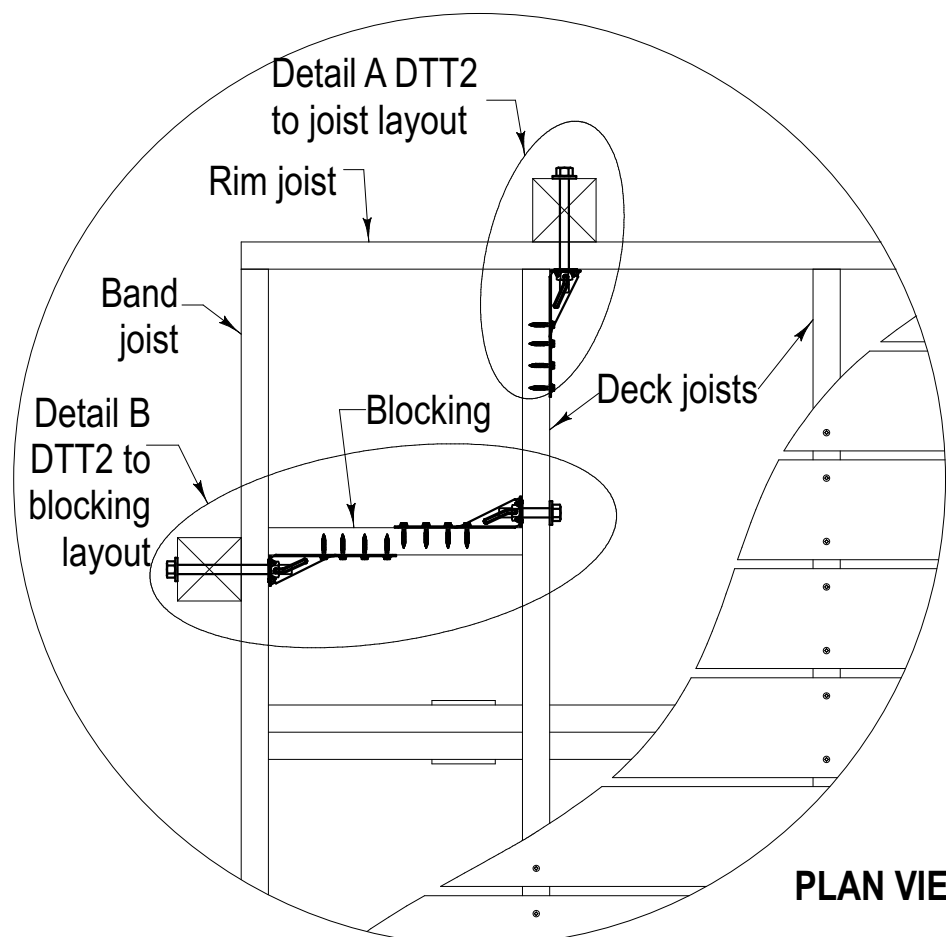
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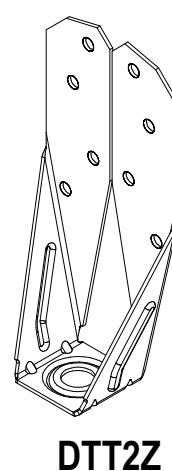
Guard Rail Attachment



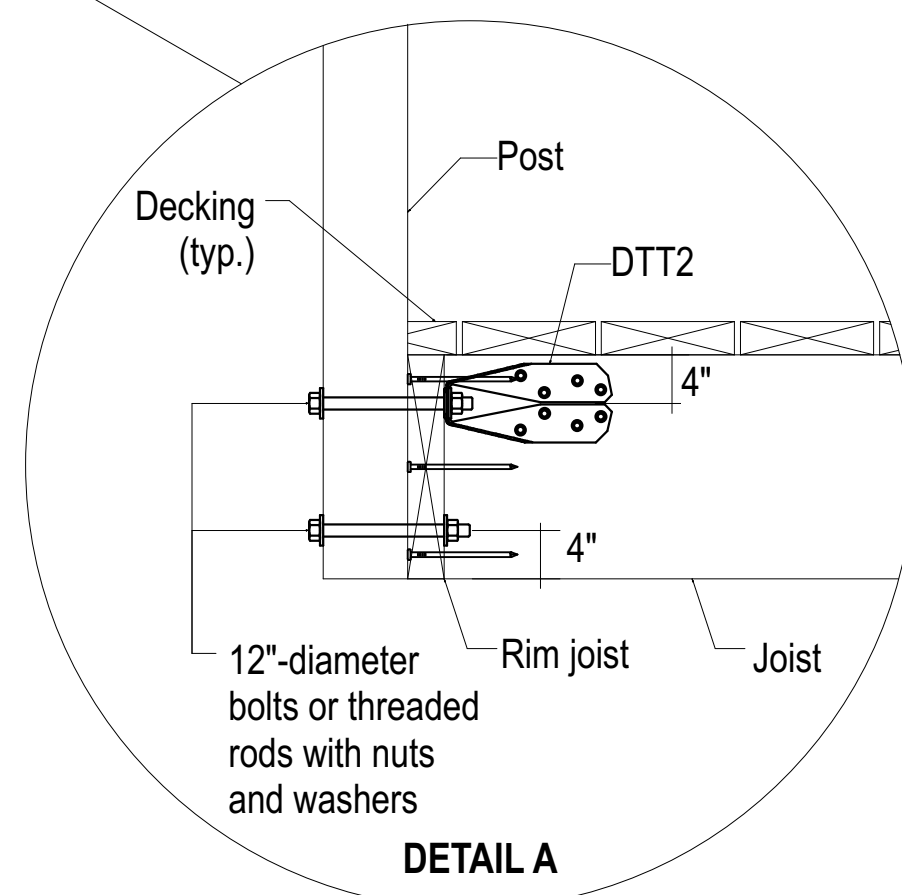
- 1 Post Per Plan (TYP)
- 2 Railing Height
- 3 Post Installed w/ (2) 1/2" Through Bolts Through Post and Rim w/ Nut and Washers on Both Sides
- 4 Exterior Decking
- 5 PT Deck Joists
- 6A Block (3) Joist Back at Post Locations
- 6B (3) 10d Nails Rim to Each Joist
- 7 Spacing Between Intermediate Guardrail Members to Be Less Than 4" Clear. Such That a Sphere of 4" Diameter Shall Not Pass Through Any Opening. Upright Post to be Spaced No Further Than 6" oc.
- 8 Full Depth Blocking To Joist w/ (2) 16d Ea End
- 9 6' Max Span Between Uprights



PLAN VIEW



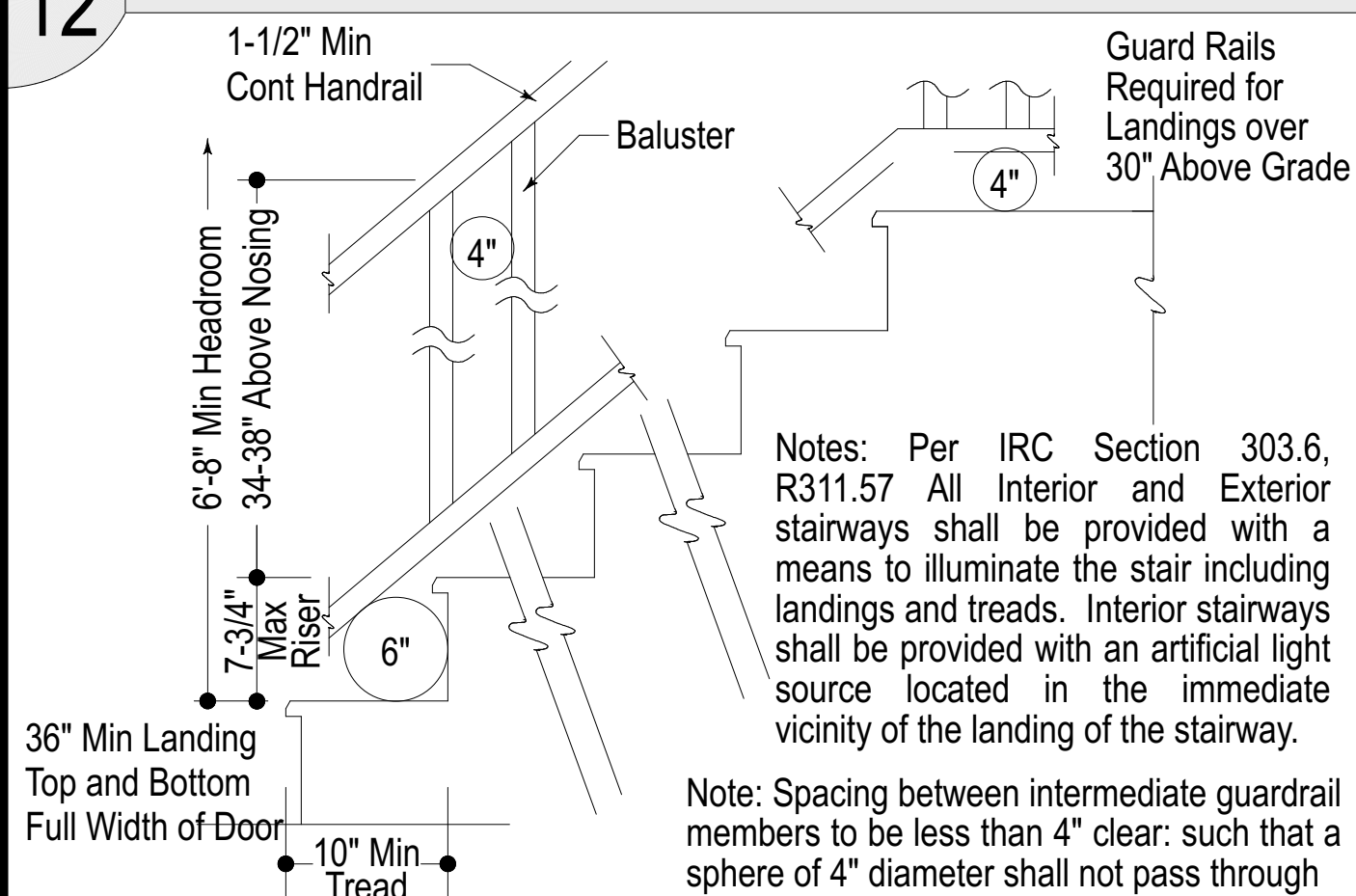
DTT22



DETAIL A

12

Exterior Stair Concrete

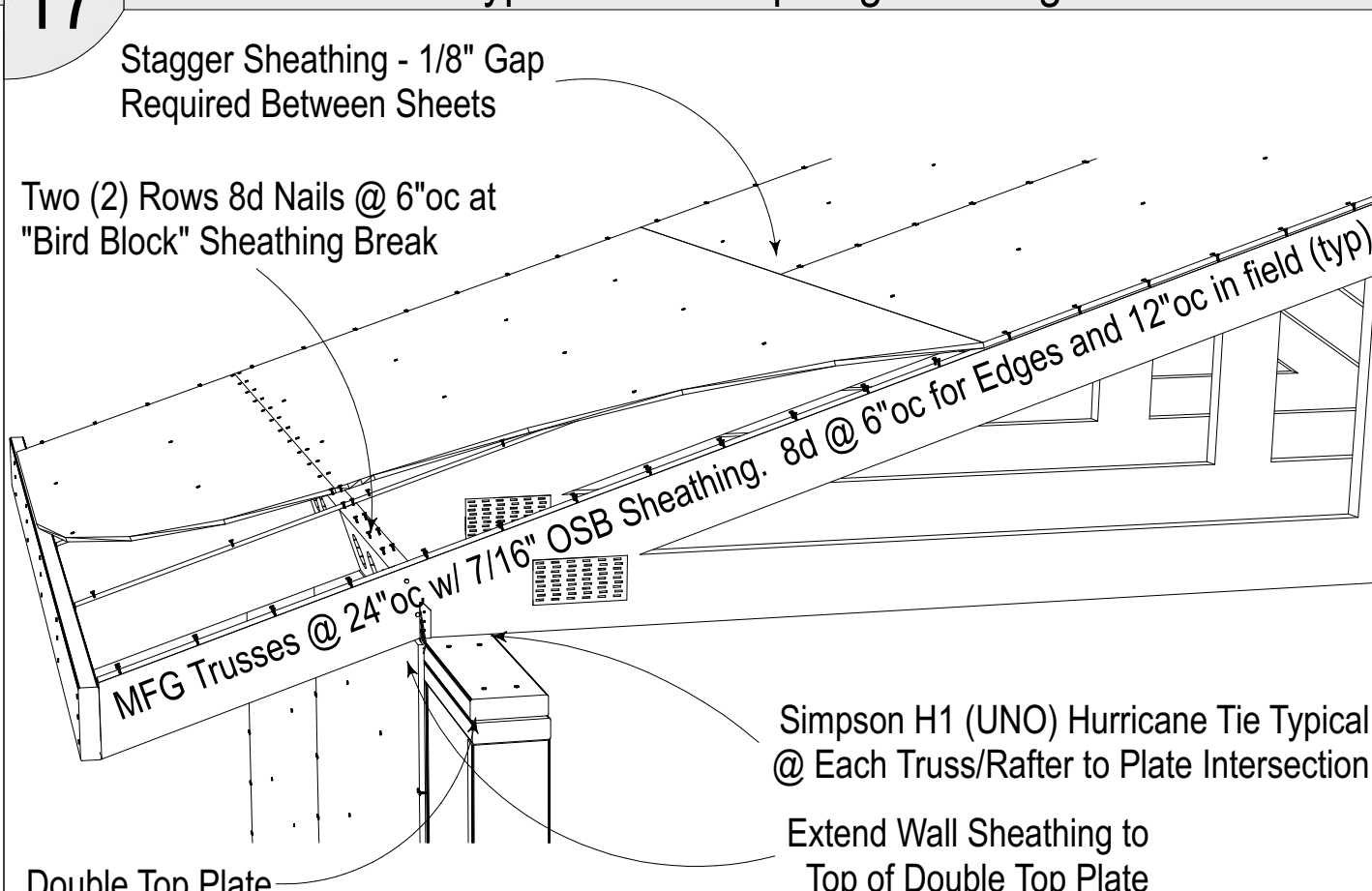


Notes: Per IRC Section 303.6, R311.57 All Interior and Exterior stairways shall be provided with a means to illuminate the stair including landings and treads. Interior stairways shall be provided with an artificial light source located in the immediate vicinity of the landing of the stairway.

Note: Spacing between intermediate guardrail members to be less than 4" clear: such that a sphere of 4" diameter shall not pass through

17

Typical Roof Diaphragm Nailing



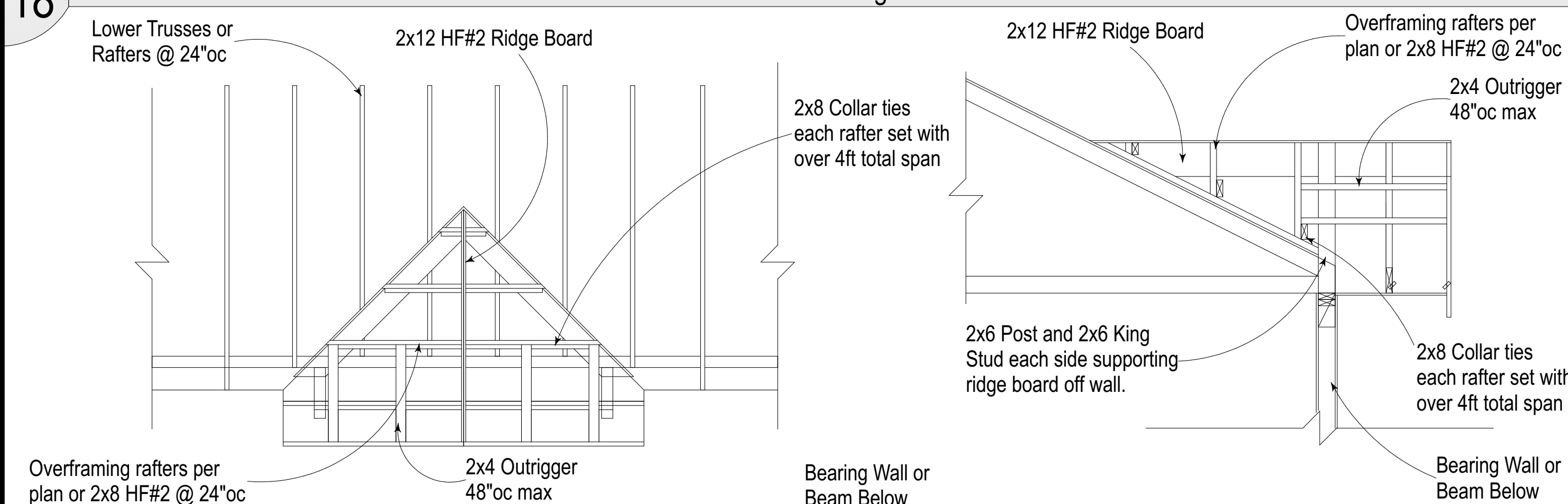
Double Top Plate

Simpson H1 (UNO) Hurricane Tie Typical @ Each Truss/Rafter to Plate Intersection

Extend Wall Sheathing to Top of Double Top Plate

18

Roof Overframing Detail



Overframing rafters per plan or 2x8 HF#2 @ 24" oc

2x4 Outrigger 48" oc max

Bearing Wall or Beam Below

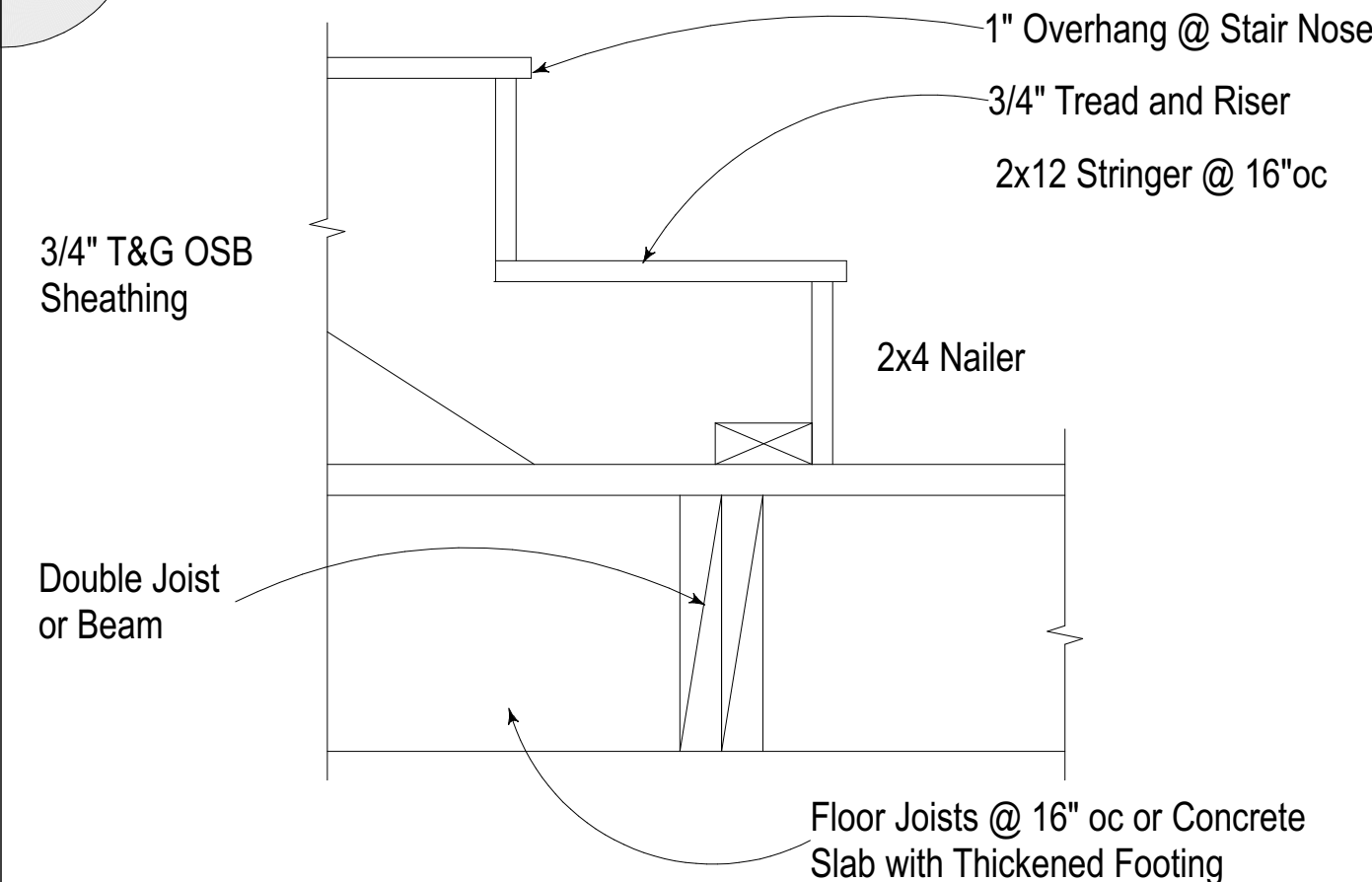
2x6 Post and 2x6 King Stud each side supporting ridge board off wall.

2x8 Collar ties each rafter set with over 4ft total span

Bearing Wall or Beam Below

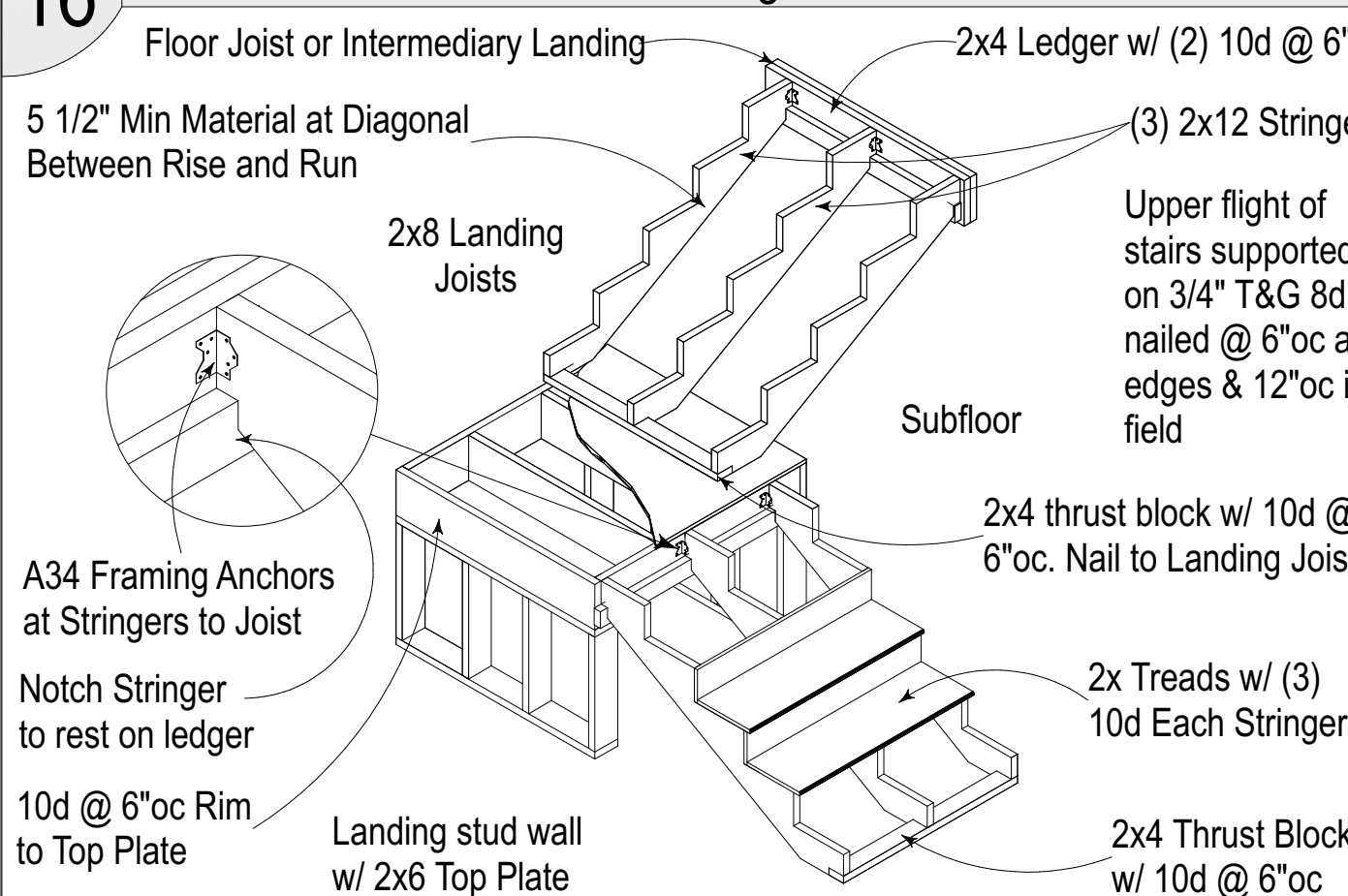
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Stair Base Floor Connection



16

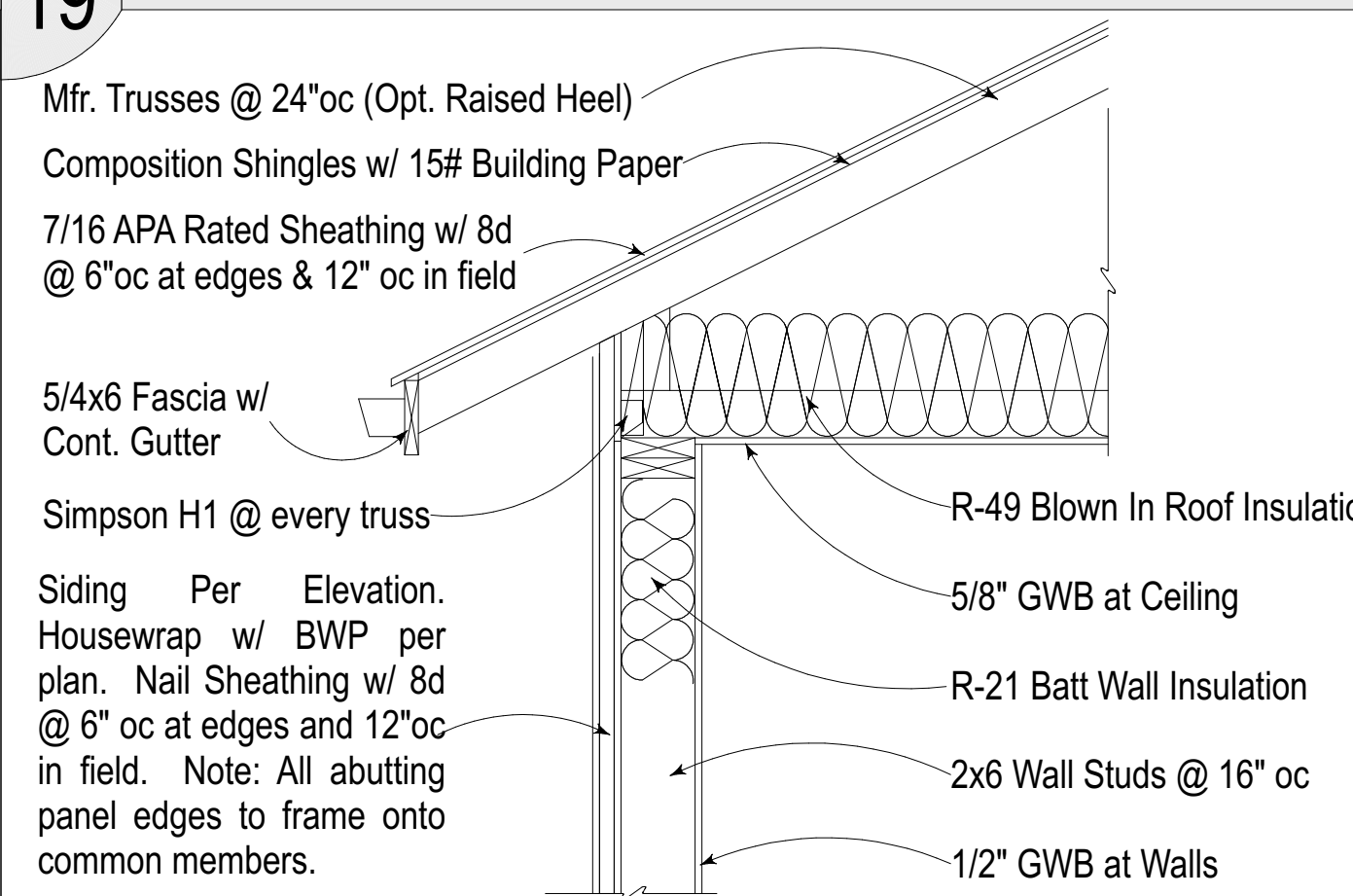
Stair & Landing Connections



19

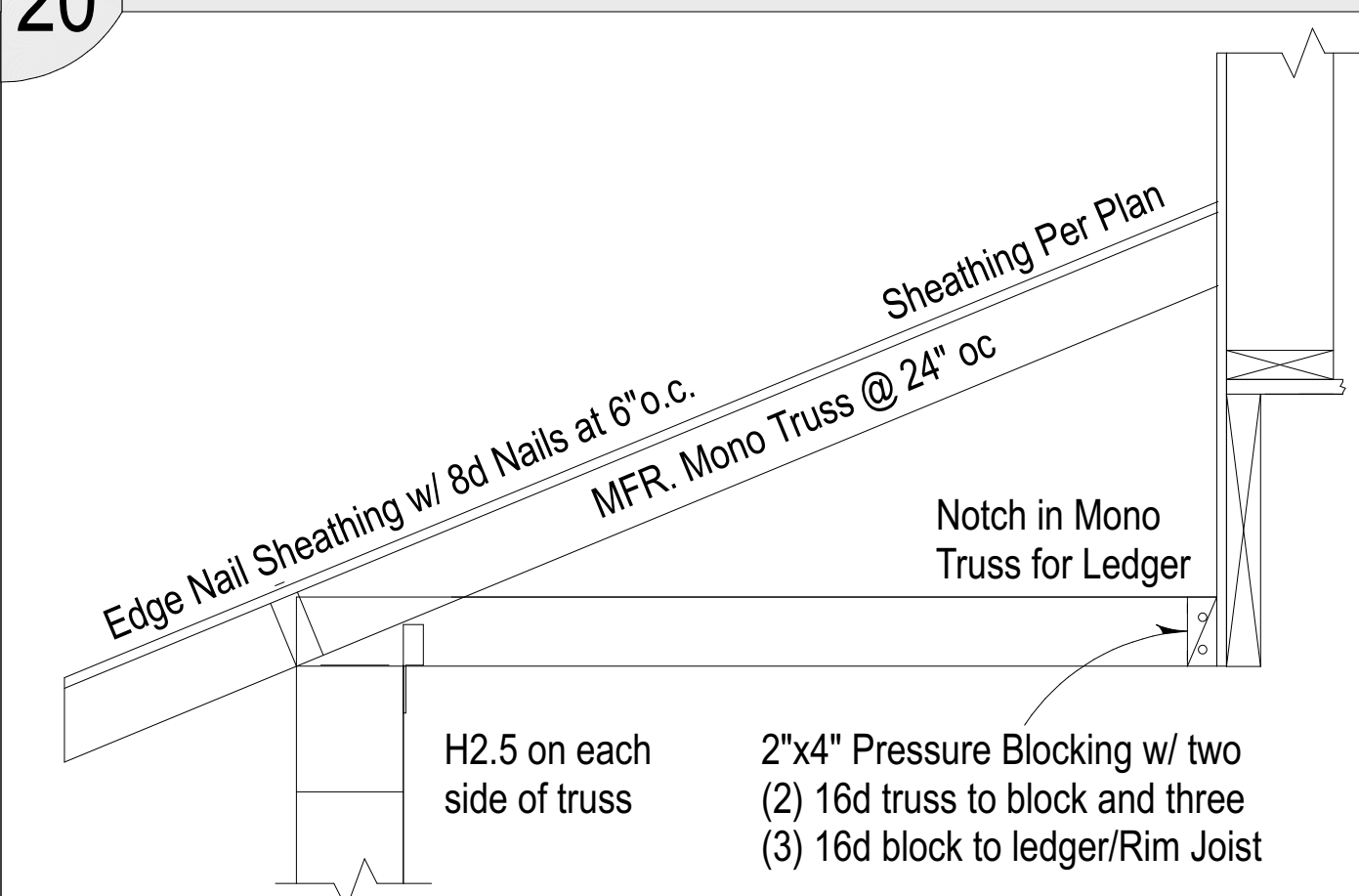
Roof Truss Detail @ Eave & Rake

SEE MANUFACTURE TRUSSES



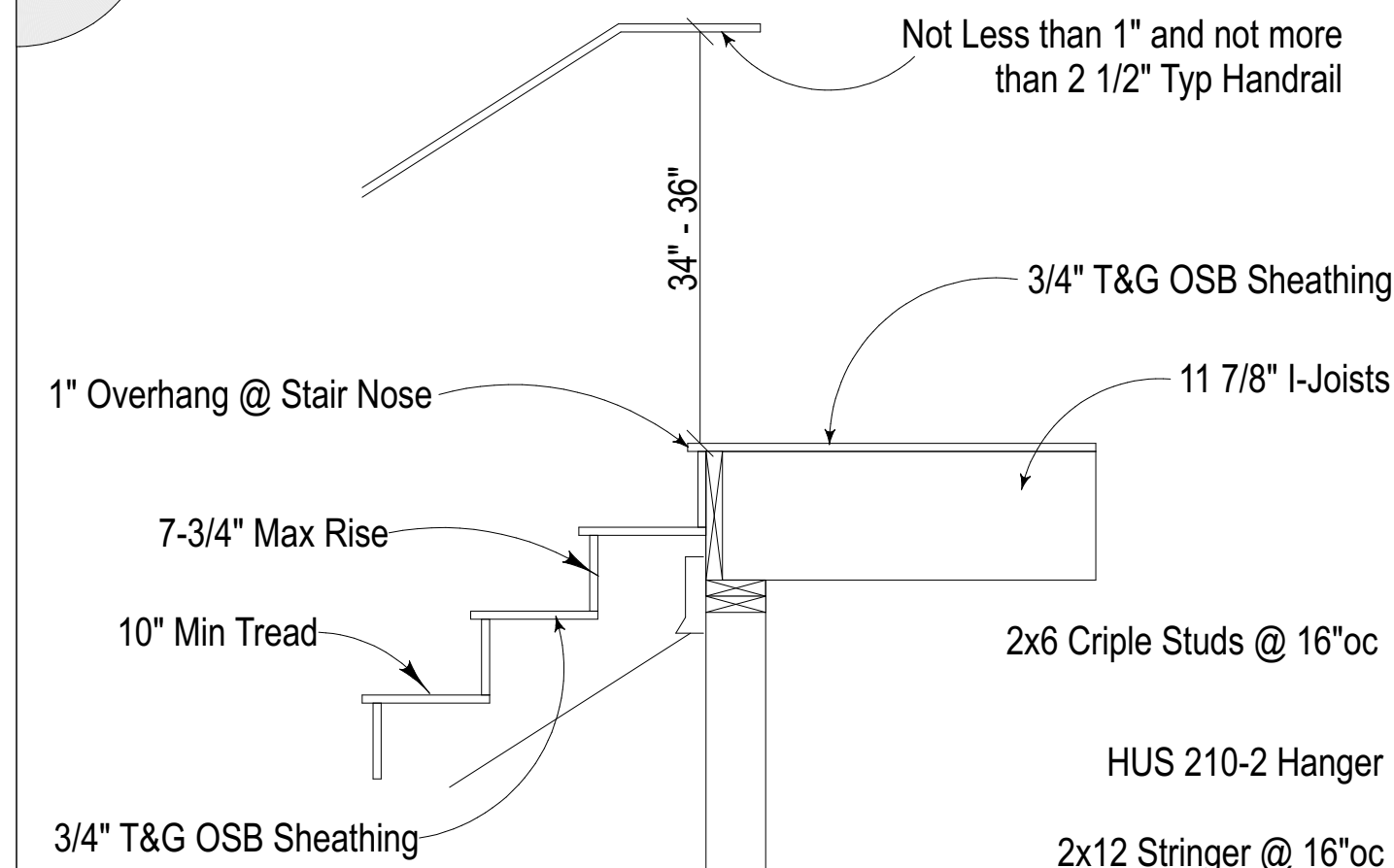
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Mono Truss Section Detail



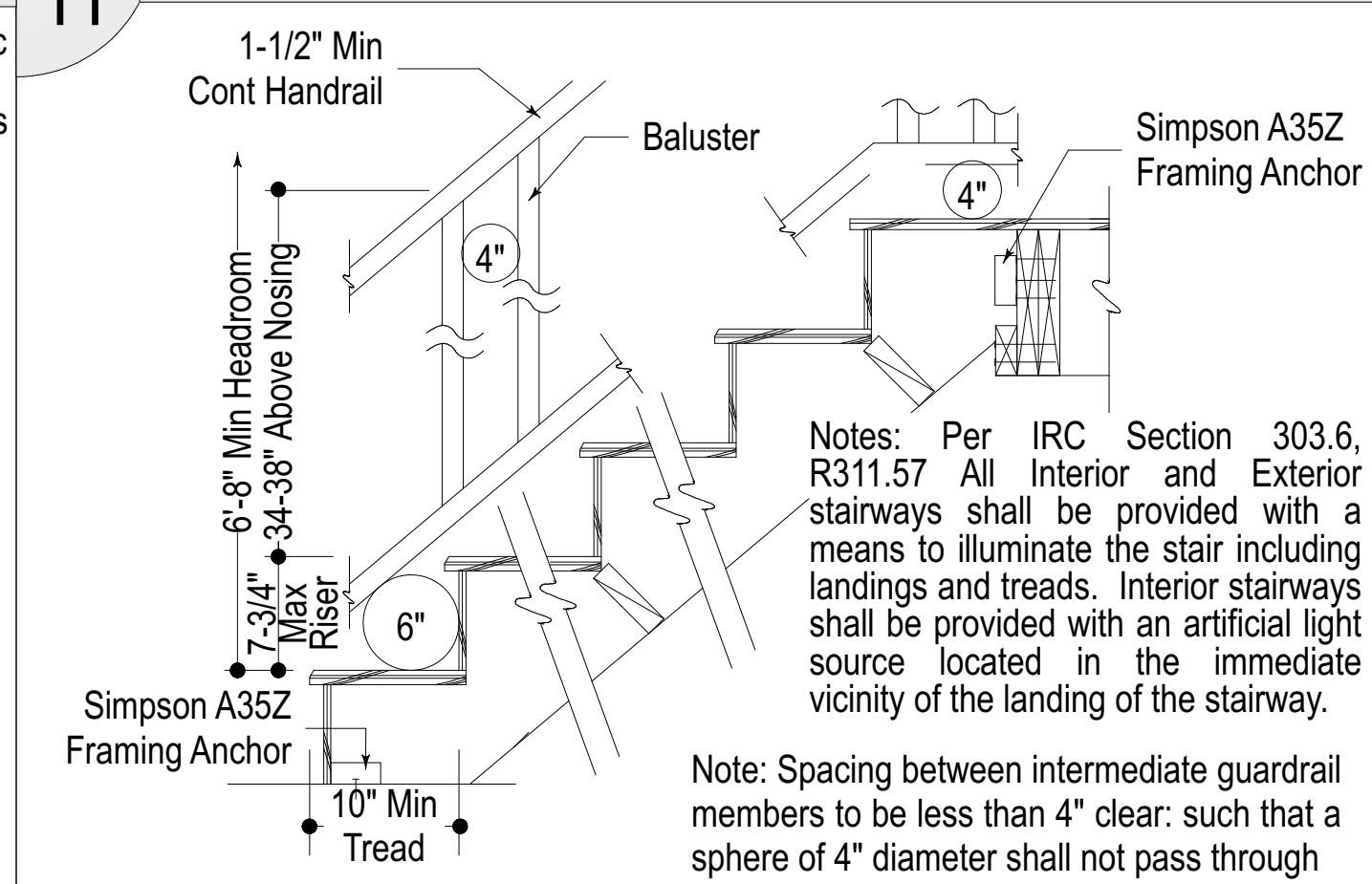
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Stair @ Floor Connection



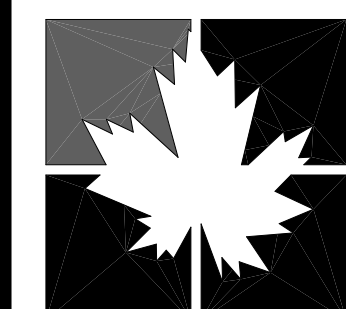
11

Exterior Stair Attachment



Notes: Per IRC Section 303.6, R311.57 All Interior and Exterior stairways shall be provided with a means to illuminate the stair including landings and treads. Interior stairways shall be provided with an artificial light source located in the immediate vicinity of the landing of the stairway.

Note: Spacing between intermediate guardrail members to be less than 4" clear: such that a sphere of 4" diameter shall not pass through



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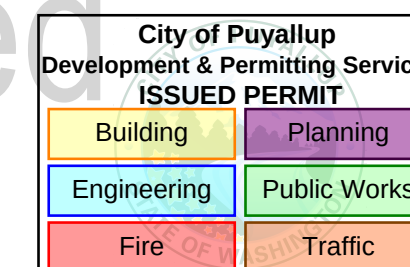
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Details Continued

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Layout Sheet # 14 of 17

14

This Space is Not Used



See engineering for structural requirements

1. General Notes

- 1.1 - All construction shall be in accordance with the minimum provisions of the 2018 Edition of the International Building Code (IBC) and the 2018 Edition of the International Residential Code (IRC); where these plans and specifications do not state specifically otherwise the provisions of the IBC shall apply.
- 1.2 - Typical details and schedules in these Construction Documents shall be used wherever applicable.
- 1.3 - The subcontractors shall verify all dimensions in the field, and upon discovery of any discrepancies shall be immediately reported to Drafter/Engineer. DO NOT SCALE DRAWING.
- 1.4 - No changes are to be made to the plan without the consent of the drafter, engineer and building department.
- 1.5 - Subcontractors shall verify all 'fit' conditions in the field. Should the subcontractor or fabricator note any conflicts or errors in the plans and/or specifications, they shall be brought to the immediate attention of Drafter/Engineer. If any questions arise during construction pertaining to any structural matter, Drafter/Engineer shall be consulted immediately for prompt resolution.
- 1.6 - The subcontractor is responsible for all erection and/or temporary bracing and shoring. Where the floor is used to brace the walls, do not backfill retaining walls until main floor plywood is in place.
- 1.7 - Fire-Blocking is required at all penetrations at the walls and plates including: Plumbing, Electrical and Mechanical penetrations. Fire-Block at minimum 10 feet o.c. horizontally in wall cavities.
- 1.8 - Where required, use a minimum of 2500 psi concrete per 2018 IRC, including foundation walls, porch and garage slabs, steps and all other areas that are exposed to the weather. Maximum strength is at 28 days. Allow adequate time for foundation to set before backfilling.
- 1.9 - Water Heater is to be installed per manufacturer specifications, 2018 IRC requirements and the state adopted plumbing code. Tank must be strapped at the upper and lower third of the tank. At the lower strap, strap is to be 4" minimum above the controls, per 2018 IRC. When installed in a garage, all appliances must have the source of ignition a minimum of 18" above the floor slab. Mechanical/Plumbing equipment is to be protected from impact of a vehicle.
- 1.10 - Use 5/8" sheetrock or 1/2" sag-resistant at the ceiling per 2018 IRC.
- 1.11 - Flashing is required at all exterior trim extrusions, window sills, jambs and other areas that water may intrude. Per the 2018 IRC, install windows per manufacturer instructions.

2. Foundations Notes

- 2.1 - All footings shall bear on stiff, firm soil meeting the requirements of default site class "D" per 2018 IBC. Design is based on 1500 psf soil. Contractor must verify with building department that these conditions are met prior to work.
- 2.2 - All wood in contact with concrete shall be 2x Hem-Fir #2 minimum treated with an approved preservative and galvanized hot-dipped connectors (or) standard Hem-Fir on an impervious moisture barrier or borate treated Hem-Fir #2 minimum.
- 2.3 - Provide appropriate block-outs in footings or walls for plumbing and electrical stub outs.
- 2.4 - Use 2500 psi concrete where required by the 2018 IRC. Maximum compressive strength at 28 days.
- 2.5 - Foundation vents are to be installed at 1 Square Foot ventilation per 150 square feet of Crawl Space per 2018 IRC. Vents are to be a maximum of 36" from building corners. **WA State Amendments allow for 1 square foot Per 300 square feet of Crawl Space.**
- 2.6 - 2x pressure-treated mudsill to be installed flush with the inside face of foundation wall at joist bearing points to accept joist hangers. verify that the mudsill is square at all corners. Attach the mudsill to the foundation with 1/2" x 10" anchor bolts and 1/4" x 3" x 3" washer @ 6' oc UNO.
- 2.7 - Rebar is not required in interior footings unless it is below a load bearing point, or an interior shearwall per 2018 IRC.
- 2.8 - The foundation in this plan is designed prescriptively, but the connections from the foundation to the mudsill is engineered for resisting lateral loads as outlined in the design criteria on the cover sheet.
- 2.9 - See engineered foundation details for footing sizes.
- 2.10 - Where required per 2018 IRC, foundation walls shall be damp proofed around the entire perimeter using a method that is approved by the building department.
- 2.11 - Footing drains, with washed drain rock extending to within one foot of top of finished grade, shall be provided at the base of all footings and retaining walls which will have earth placed against them. Footing drains shall be 4" perforated pipe routed down gradient to daylight, unless otherwise specified. The invert elevation of all footing drains shall be lower than the bottom of adjacent footings drained.

3. Framing Notes

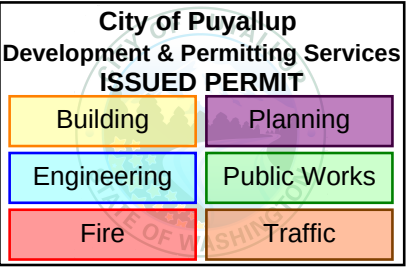
- 3.1 - All sawn framing lumber shall be Hem-Fir #2 or better, unless otherwise shown. Provide studs directly underneath all top plate splice locations. Connect all wood members per the IBC.
- 3.2 - Anchor bolts to mud sill, use 1/2" diameter x 7" embedment at 48" OC, with standard steel plate washers, wrench tight, unless otherwise shown.
- 3.3 - Wood ledgers (2x8 P.T. min.) to concrete or masonry, use 5/8" diameter anchor bolts with 6-inch minimum embedment spaced 16 inches on center, staggered, unless otherwise shown.
- 3.4 - Wood 2x ledgers to studs or other wood, use 16d at 4 inches on center to continuous member, or 3, 16d per stud, studs spaced 16" OC or less, unless otherwise shown.
- 3.5 - Built-up beams consisting of dimension lumber (typically 2x stock) are permitted in lieu of sawn solid beams only if the 2x's are oriented such that they are not stacked on top of each other with the sum of their weak axes resisting load, but are nailed together side-by-side, with the sum of their strong axes resisting load. Use 16d face nails at 6" OC staggered into all tributary members.
- 3.6 - Use pressure treated lumber in contact with concrete. Pressure treating chemicals shall be inert to and not reactive with metal and/or connectors.
- 3.7 - Provide bridging or blocking at 8' OC max. in joist or rafters without continuous diaphragm support on the top and bottom (i.e. plywood on the top and gyp. on the bottom). Provide solid blocking at all bearing points, and double joists under all partition walls parallel to the floor joists. Framed floors which support posts shall be solidly blocked within the floor to positively transfer posts loads through the floor to the supports beneath.
- 3.8 - Simpson brand is specified, however any other nationally recognized brand (Silver, KC, etc.) may be used provided that they are equivalent in their ability to carry all applied loads in all orientations.
- 3.9 - The subcontractor shall install all prefabricated items in strict accordance with the manufacturer's recommendations and requirements.
- 3.10 - Where holdowns are shown on the plans, the factory specified anchor bolts, lags, or nails, which connect to the vertical member shall be installed per manufacture recommendations and/or specifications. Vertical members shall be double 2x, or single 4x material unless otherwise specified. Anchor bolts, which are too long to fit in the footing in a vertical orientation, may be bent in a smooth curve to a maximum of 90 degrees and extended horizontally within the footing. 'All-thread' with head and washers at the embedded end may be substituted for long anchor bolts.
- 3.11 - The Contractor shall verify with the prefab. wood manufacturer that the specified connectors will work as intended with their product.
- 3.12 - Top of retaining wall (concrete, masonry, In steel) to floor joist: for wall perpendicular to joist, See Engineering.
- 3.13 - For sheathing use OSB unless otherwise noted. Store and install in accordance with the recommendations of A.P.A and IBC for shear resisting vertical and horizontal diaphragms.
- 3.14 - Oriented Strand Board (OSB), with shear resistance values similar to 1/2" plywood may be substituted for plywood on shear walls and on roof, unless otherwise specified on the Plans. If OSB is used, the same nailing and blocking schedule as per plywood shall be adhered to. Where used on roof OSB shall meet or exceed the proper span rating for trusses and/or rafters as installed. All OSB shall be stored and installed in accordance with manufacturer's recommendations.
- 3.15 - All plywood on shear walls shall have all edges blocked. All blocking to receive edge nailing. If not otherwise specified on the Plans, standard shear wall construction shall consist of 1/2" plywood or 7/16" OSB, nailed with 8d at 6" on edges, and 12" in field. All shear walls shall be positively connected to horizontal diaphragms at their tops and bottoms per the above, or as called out in the Plans.
- 3.16 - If roof diaphragm is not specified in Plans or Calculations, use 1/2" over non-blocked supports at 24" OC, Use IBC Case 1 pattern. Nail with 8d at 6" on edges, and 12" in field. Contractor to verify all span ratings.
- 3.17 - All wood floor diaphragms shall be glued and nailed. Use thickness as shown on the Plans. Contractor to verify all span ratings of plywood. Where otherwise not shown on Plans, nail floor diaphragm using 10d (screw type nails recommended) at 6" on edges, 12" in field, non-blocked, per IBC Case 1 pattern.
- 3.18 - Fire-Blocking is required at all penetrations at the walls and plates including: Plumbing, Electrical and Mechanical penetrations. Fire-Block at minimum 10 feet o.c. horizontally in wall cavities.
- 3.19 - Nail all top plates together with 10d nails @ 12" o.c. and at splices with 10d nails @ 6" o.c UNO. Lap splices a minimum of 48" typical. Nail all bottom plates to floor sheathing and mudsill with (2-10d nails each stud bay. Nail all OSB sheathing with 8d nails @ 6" o.c. on edge and 12" o.c. in the field UNO. Exterior studs must be spaced at 16" o.c.
- 3.20 - Cabinet, plumbing fixture and door rough openings are critical dimensions. Take care to verify that these dimensions are framed accurately.
- 3.21 - See Engineering for all shearwall placements and requirements. Shearwall details must be followed exactly. Notify the designer of any discrepancies or concerns.
- 3.22 - Review approved plans and details prior to starting framing work. Check for specific requirements on nailing, blocking, sheathing and anchor attachments.

4. Roofing Notes

- 4.1 - Joists and rafters are to be DF #2 minimum. Rafters may be supported by posting down to flat blocking that spans a minimum of two trusses.
- 4.2 - Trusses shall carry manufacturer stamp and have engineering drawings on site for inspection. All truss bracing requirements must be installed per truss drawings. DO NOT field modify any truss without prior approval from the engineer and building department. If a truss is damaged, DO NOT INSTALL IT. Contact the builder immediately for a replacement truss.
- 4.3 - Framing connections shall be "Simpson Strong Tie" or an approved equivalent.
- 4.4 - Provide attic ventilation per 2018 IRC. The net free ventilated area shall be 1/300 square feet. 50% of the required ventilation area shall be a minimum of 3 feet above eave vents. The balance of required ventilation shall be provided at the eaves.
- 4.5 - Provide a minimum rough opening 22x30 attic access panel with a tight fitting, self closing door. Door shall be backed with insulation if located above heated space. Verify access location with owner and plans.
- 4.6 - UNO. Sheath Roof per 2018 IBC Case 1 (Staggered Panels Unblocked). Fasten panels with 8d nails @ 6" oc @ edge and 12" oc in the field. DO NOT STAPLE! Unless Approved by a Licence Engineer.
- 4.7 - UNO. Toe-Nail all gable end trusses with (2) 10d nails @ 16" oc into top plates.
- 4.8 - UNO. Toe-Nail each end of truss at bearing walls with (2) 10d nails and fasten with truss clips per plan.

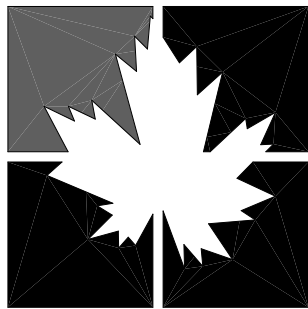
5. Electrical Notes

- 5.1 - Smoke detectors shall be 110v. Hard wired with battery backup and shall be interconnected. Owner shall be responsible for smoke detectors if a monitored fire system is required.
- 5.2 - Electrical contractor shall coordinate location of panel and meter with contractor.
- 5.3 - Electrical contractor shall provide heat-loss calculations or follow the prescriptive path requirements for sizing heating equipment.
- 5.4 - Electrical contractor shall conform to all local and state codes.
- 5.5 - Exact placement of outlets may vary depending on construction variables.
- 5.6 - Where a dryer is vented through a foundation vent the vent must be completely sealed to prevent moist exhaust are from reentering the crawl space.
- 5.7 - Per 2018 IRC - An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedroom in dwelling units and on each level of the dwelling and in accordance with the manufacturers recommendations.



PRRASF20221703

See engineering for structural requirements



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206.604.6031
Parcel # - 0420355039

Designer Information

Initials	Release Date
JGS	3/9/2023

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General
Notes

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S1.1

City of Puyallup
Development & Permitting Services

ISSUED PERMIT

Building

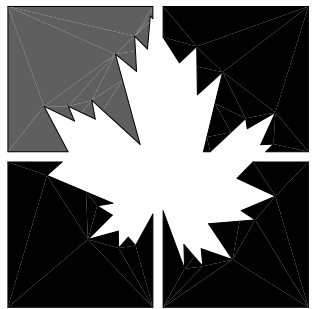
Engineering

Fire

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16

SEE SEPARATE STRUCTURAL
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S1.2

City of Puyallup
Development & Permitting Services

ISSUED PERMIT

Building

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