

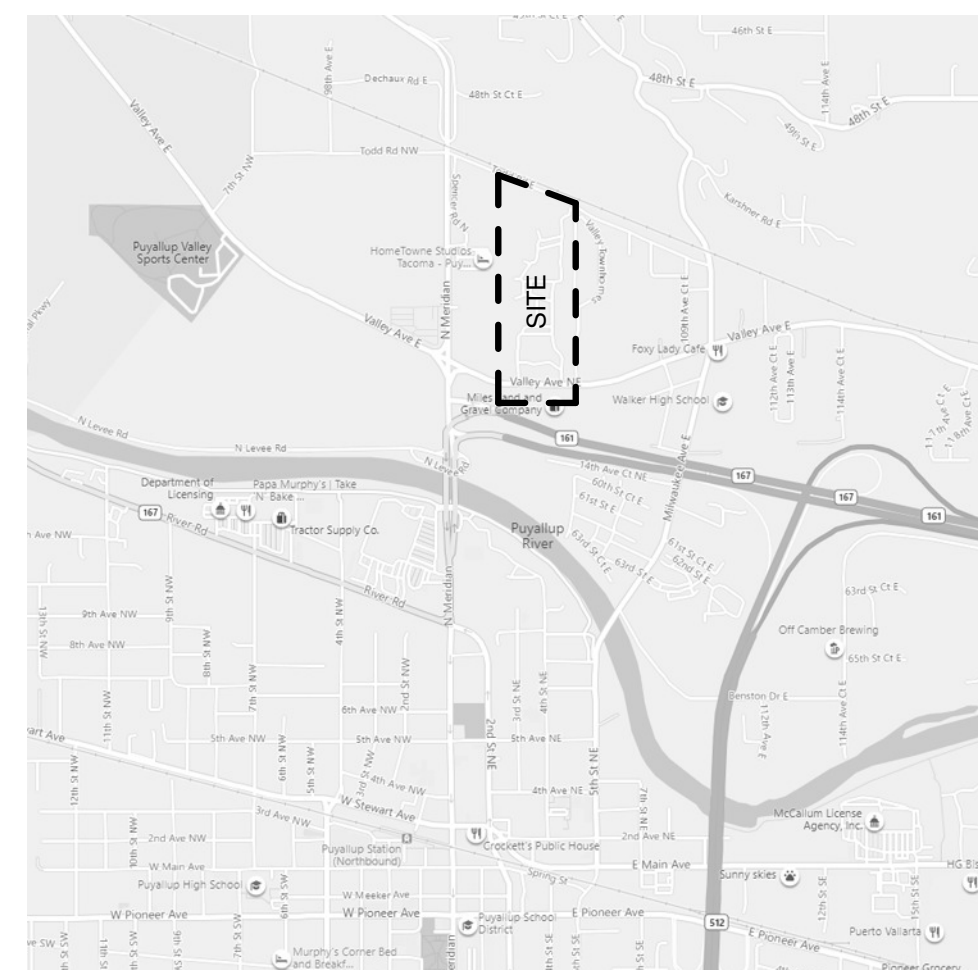
ABBREVIATIONS

Table with 2 columns: Abbreviation and Meaning. Includes entries like AB ANCHOR BOLT, ACUS ACOUSTIC, ACT ACOUSTICAL CEILING TILE, etc.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Meaning. Includes entries like MAT MATERIAL, MAX MAXIMUM, MECH MECHANICAL, etc.

VICINITY MAP



MERIDIAN POINTE APARTMENTS RESIDENTIAL UNIT REHABILITATION

407 VALLEY AVE. N.E. PUYALLUP, WA 98372

PROJECT INFORMATION

Table of project information including Project Scope (UNIT REHABILITATION), Parcel Number, Project Location, Site Zoning, Jurisdiction, Site Use, Landscape Category, and various lot/unit specifications.

SCOPE OF WORK:

- List of 17 work items including removal and replacement of water lines, electrical work, plumbing fixtures, flooring, and kitchen/bathroom updates.

MATERIAL LEGEND

Table mapping material patterns to names: EARTH, AGGREGATE / POROUS, CONCRETE, CEMENT / CONCRETE UNDERLAYMENT, CONCRETE ASPHALT, RIGID INSULATION, BATT INSULATION.

SYMBOLS LEGEND

Table mapping symbols to descriptions: SIM BUILDING SECTION, SIM CALLOUTS, Ref 1 EXTERIOR ELEVATIONS, Interior ELEVATIONS.

SHEET INDEX

Table listing sheets: G-001 COVER SHEET, 5.Architectural A-100, A-101, A-213, A-214, A-215, A-216.

THE APPROVED CONSTRUCTION PLANS AND ALL DOCUMENTS MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITTEE ON SITE FOR ALL INSPECTIONS (MIN. PLAN SIZE 11" X 17")

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

PROJECT TEAM

Table listing project team members: OWNER (Meridian Pointe Apartments, LLC), CONTRACTOR (Farrell-McKenna Construction, LLC), ARCHITECT (Ross Deckman & Associates, Inc.).



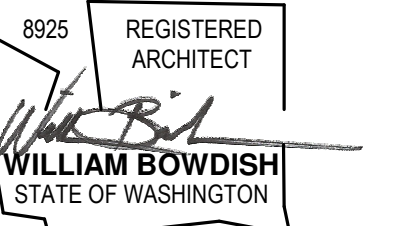
REVISIONS

Table with columns for revision number, description, and date.

R D + A

ROSS DECKMAN & ASSOCIATES INC. 207 FOURTH AVENUE SOUTHEAST, PUYALLUP, WASHINGTON 98372

PHONE: 253.840.9405 FAX: 253.840.9503



AGENCY REVIEW

09/14/2021

PRCTI20230829

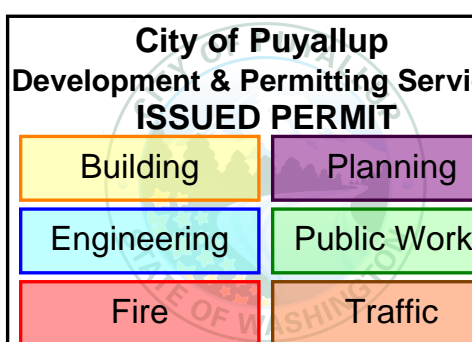
MERIDIAN POINTE APARTMENTS RESIDENTIAL UNIT REHABILITATION 407 VALLEY AVE. N.E. PUYALLUP, WA 98372 COVER SHEET

PROJECT

DATE

DESC.

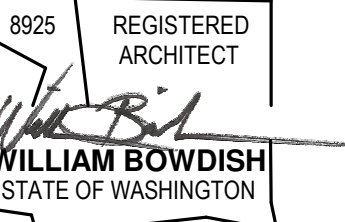
APPROVAL STAMPS



JOB NO.: 1922 ISSUE DATE: 09/14/2021 REVISED: DRAWN BY: BM SHEET

G-001

9/14/2021 9:48:15 AM



AGENCY REVIEW  
09/14/2021

PRCTI20230829

PROJECT  
**MERIDIAN POINTE APARTMENTS  
 RESIDENTIAL UNIT REHABILITATION**  
 407 VALLEY AVE. N.E.  
 PUYALLUP, WA 98372  
**OVERALL SITE PLAN - PHASE I**

#	DATE	DESC.

APPROVAL STAMPS

City of Puyallup  
Development & Permitting Services  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.: 1922  
 ISSUE DATE: 09/14/2021  
 REVISED:  
 DRAWN BY: BM  
 SHEET

**A-100**

**BUILDING 'A' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'A'</b>		
1 BED / 1 BATH	683 SF	20
		20

**BUILDING 'B' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'B'</b>		
1 BED / 1 BATH	683 SF	22
		22

**BUILDING 'C' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'C'</b>		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
		24

**BUILDING 'D' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'D'</b>		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

**BUILDING 'E' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'E'</b>		
1 BED / 1 BATH	683 SF	21
1 BED / 1 BATH ADA	683 SF	1
		22

**BUILDING 'F' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'F'</b>		
2 BED / 2 BATH	899 SF	12
3 BED / 2 BATH	1,121 SF	12
		24

**BUILDING 'G' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'G'</b>		
3 BED / 2 BATH	1,121 SF	12
		12

**BUILDING 'H' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'H'</b>		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18

**BUILDING 'J' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'J'</b>		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'K' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'K'</b>		
2 BED / 1 BATH	868 SF	20
		20

**BUILDING 'L' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'L'</b>		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	12
		24

**BUILDING 'M' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'M'</b>		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'N' UNITS**

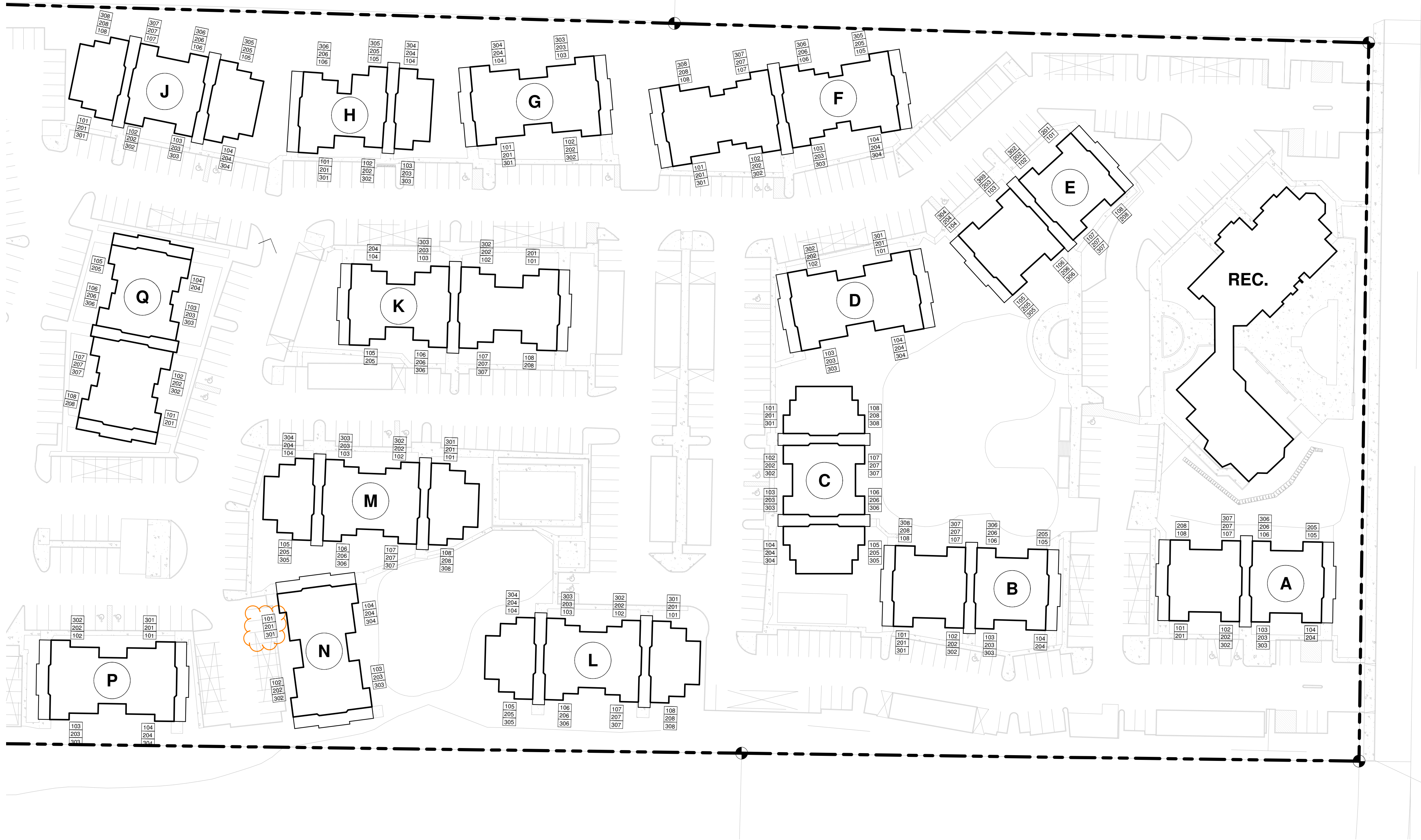
UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'N'</b>		
3 BED / 2 BATH	1,121 SF	12
		12

**BUILDING 'P' UNITS**

UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'P'</b>		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

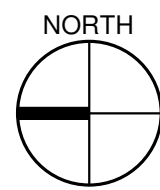
**BUILDING 'Q' UNITS**

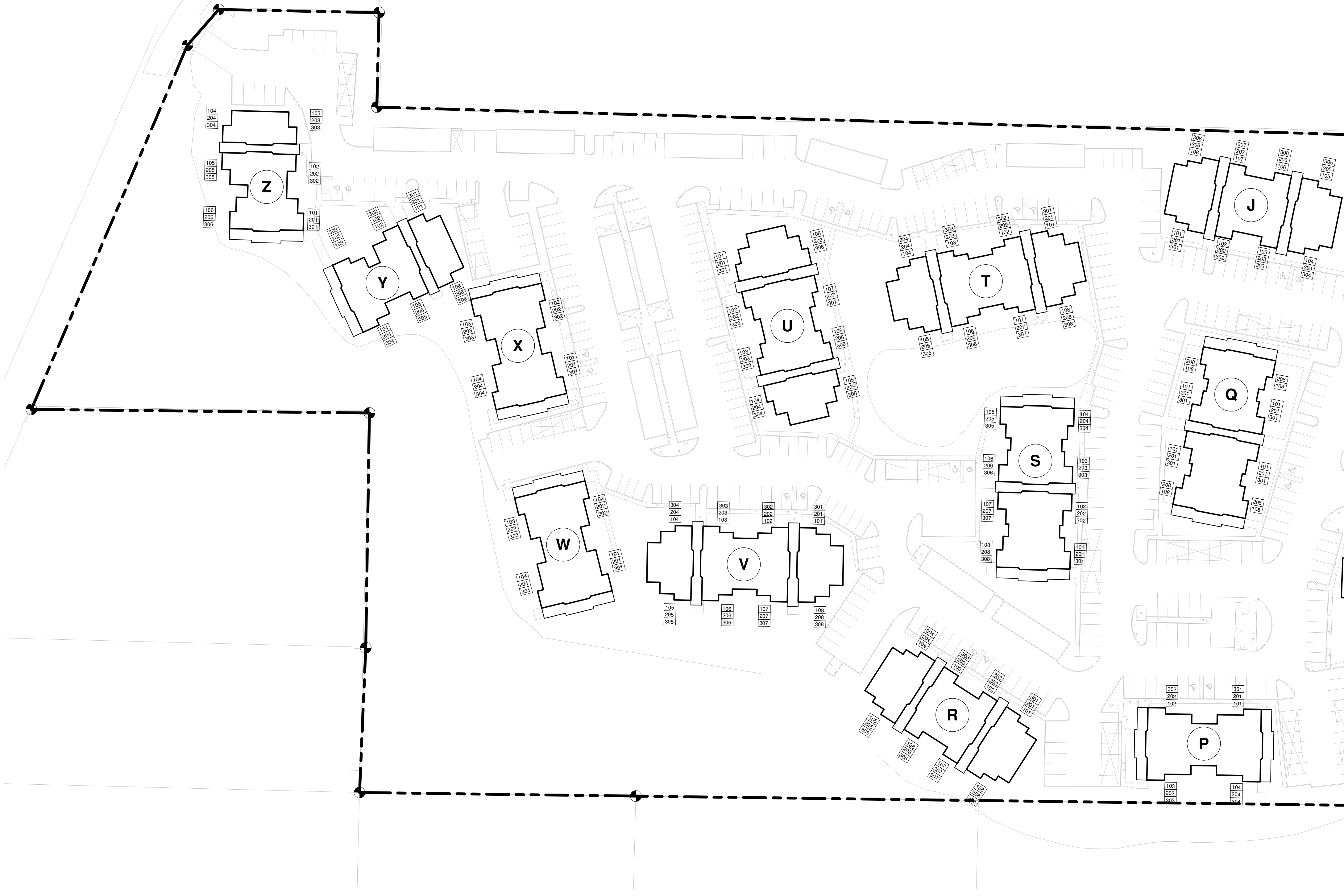
UNIT TYPE	NET AREA	COUNT
<b>BUILDING 'Q'</b>		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20



**OVERALL SITE PLAN - PHASE I**

1" = 50'-0"





**BUILDING 'J' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'J'		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'P' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'P'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

**BUILDING 'Q' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'Q'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20

**BUILDING 'R' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'R'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
		24

**BUILDING 'S' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'S'		
1 BED / 1 BATH	683 SF	11
1 BED / 1 BATH ADA	683 SF	1
2 BED / 2 BATH	899 SF	11
2 BED / 2 BATH ADA	899 SF	1
		24

**BUILDING 'T' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'T'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'U' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'U'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'V' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'V'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

**BUILDING 'W' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'W'		
3 BED / 2 BATH	1,121 SF	12
		12

**BUILDING 'X' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'X'		
3 BED / 2 BATH	1,121 SF	11
3 BED / 2 BATH ADA	1,121 SF	1
		12

**BUILDING 'Y' UNITS**

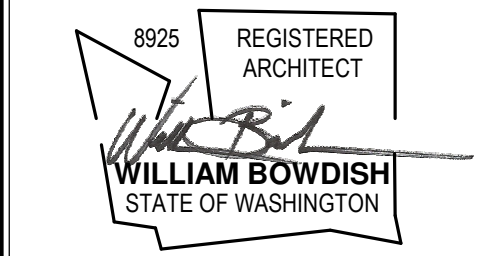
UNIT TYPE	NET AREA	COUNT
BUILDING 'Y'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18

**BUILDING 'Z' UNITS**

UNIT TYPE	NET AREA	COUNT
BUILDING 'Z'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18



ROSS DECKMAN & ASSOCIATES INC.  
207 FOURTH AVENUE SOUTHEAST,  
PUYALLUP, WASHINGTON 98372  
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**AGENCY REVIEW**  
09/14/2021

PRCTI20230829

PROJECT  
**MERIDIAN POINTE APARTMENTS**  
**RESIDENTIAL UNIT REHABILITATION**  
407 VALLEY AVE. N.E.  
PUYALLUP, WA 98372  
OVERALL SITE PLAN - PHASE II

PROJECT	DATE
DESC.	#

APPROVAL STAMPS

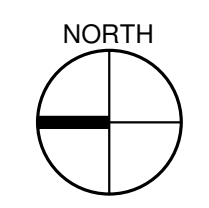
City of Puyallup  
Development & Permitting Services  
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.: 1922  
ISSUE DATE: 09/14/2021  
REVISED:  
DRAWN BY: BM  
SHEET

**OVERALL SITE PLAN - PHASE II**

1" = 50'-0"



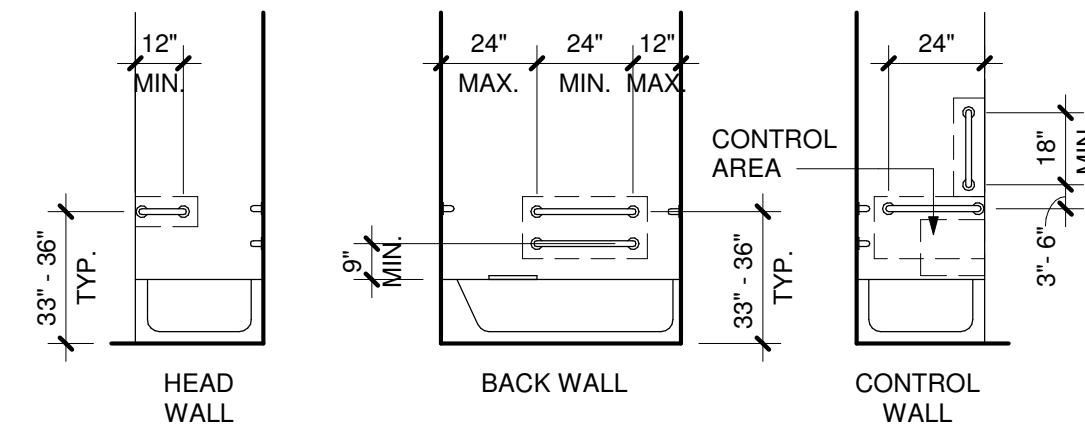
PROJECT	DATE
DESC.	
#	

APPROVAL STAMPS

City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.:	1922
ISSUE DATE:	09/14/2021
REVISED:	
DRAWN BY:	BM
SHEET	

**A-213**

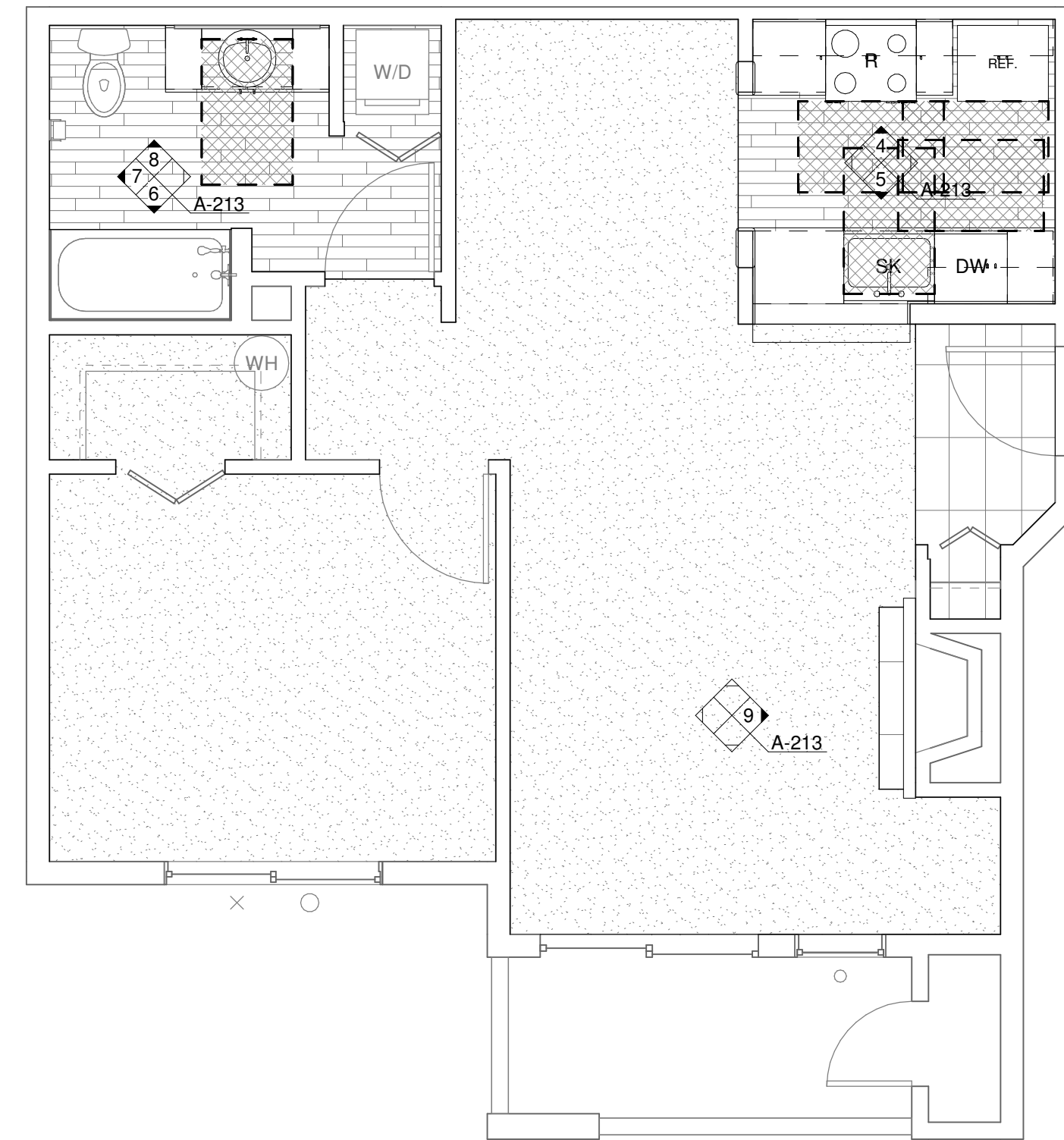


**GRAB BARS:**  
 INSTALL GRAB BARS 33" MIN & 36" MAX AFF. GRAB BARS SHALL COMPLY WITH AND MEET THE STRUCTURAL STRENGTH REQUIREMENTS OF ANSI SEC. 609.8. LOCATE GRAB BARS PER ANSI SEC. 607.4.2.

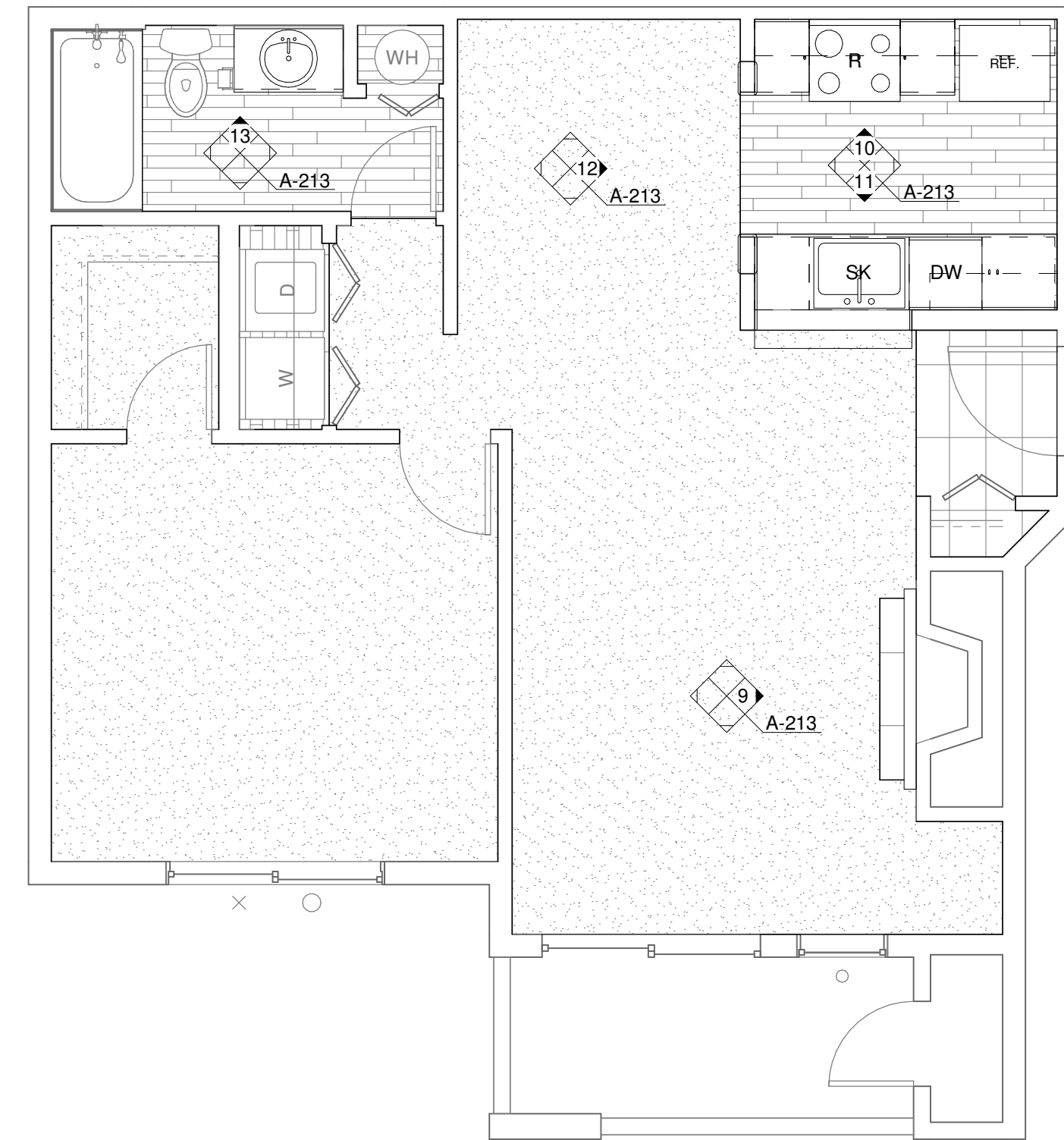
**SEAT:**  
 A REMOVABLE SEAT IS NOT REQUIRED PER ANSI SEC. 1003.11.2.5.1 EX.1.

**CONTROLS:**  
 607.5 CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE PROVIDED ON AN END WALL, LOCATED BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. CONTROLS SHALL COMPLY WITH SECTION 309.4. THE ADJUSTABLE HEIGHT HAND SHOWER SHALL INCLUDE A 59" MIN LONG HOSE AND COMPLY WITH ANSI SEC. 607.6. CONTROLS SHALL NOT OBSTRUCT THE USE OF GRAB BARS.

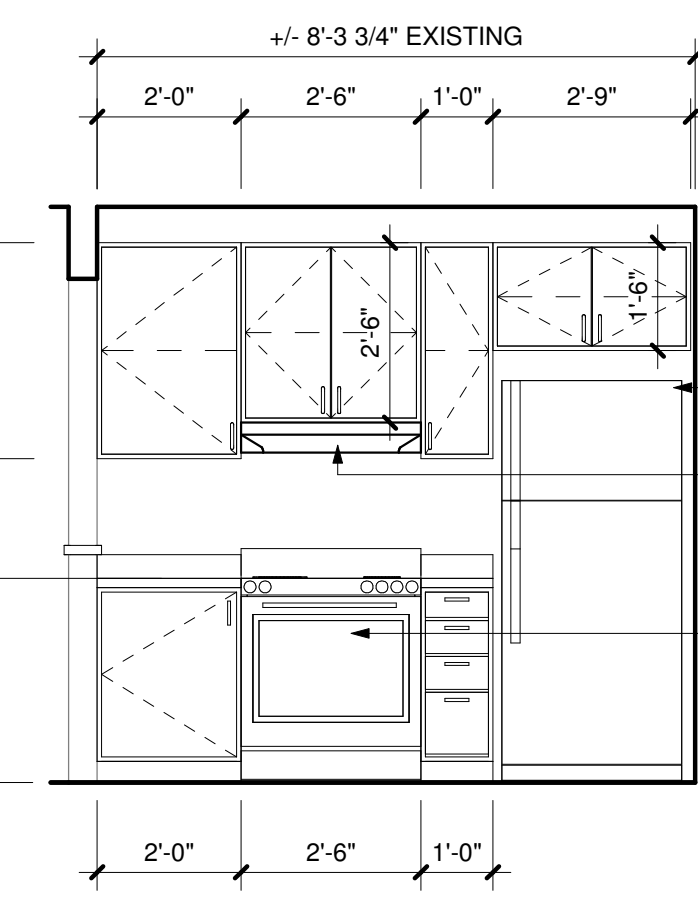
**1 BATHTUB REQUIREMENTS**  
 1/4" = 1'-0"



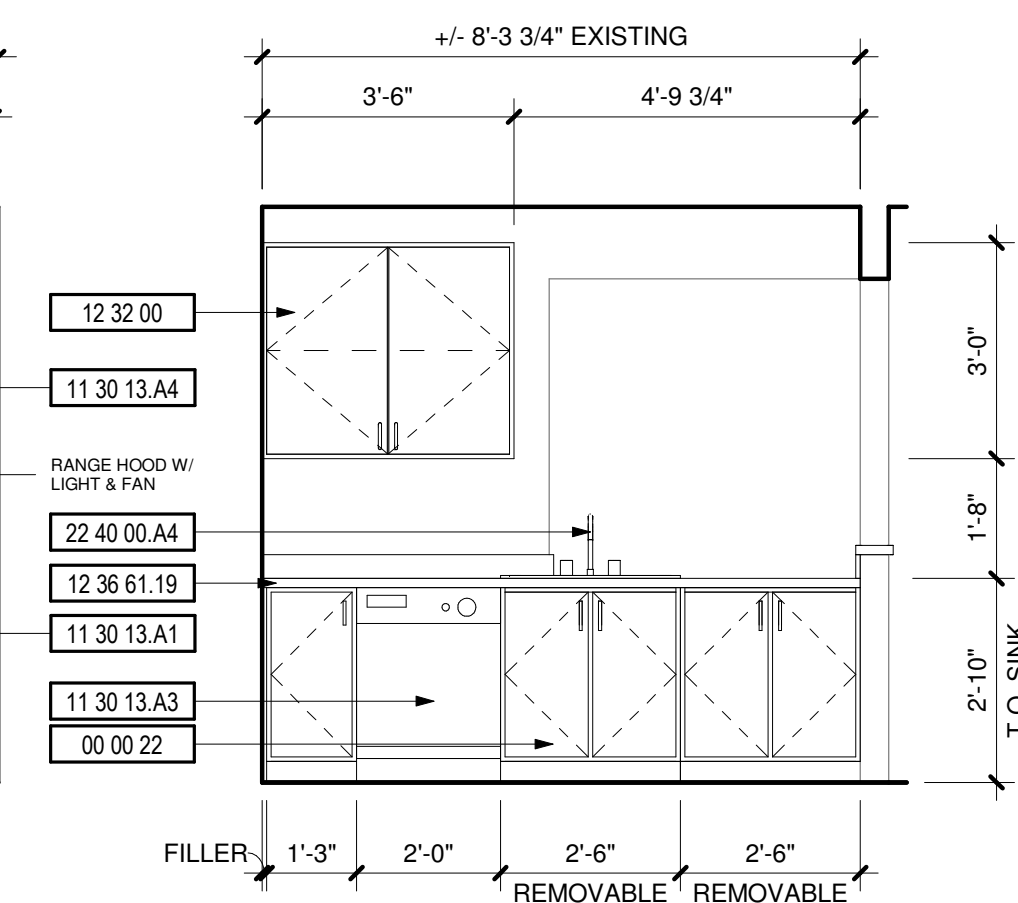
**2 ENLARGED UNIT PLAN - 1 BED/1 BATH (ADA)**  
 1/4" = 1'-0"



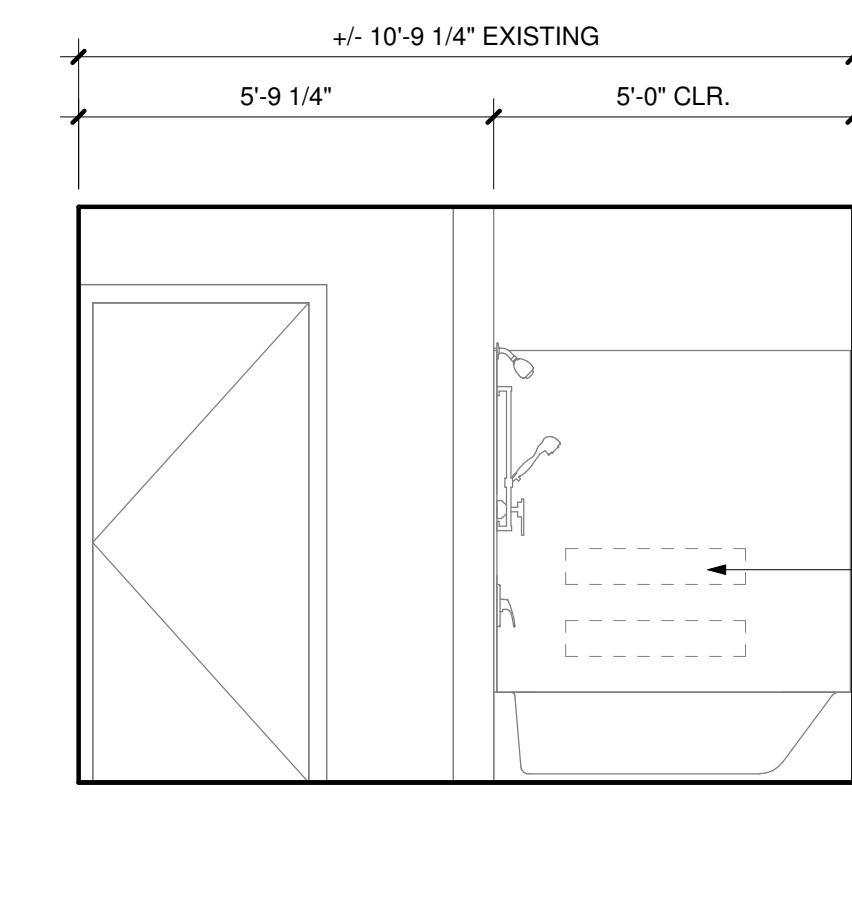
**3 ENLARGED UNIT PLAN - 1 BED/1 BATH (TYP)**  
 1/4" = 1'-0"



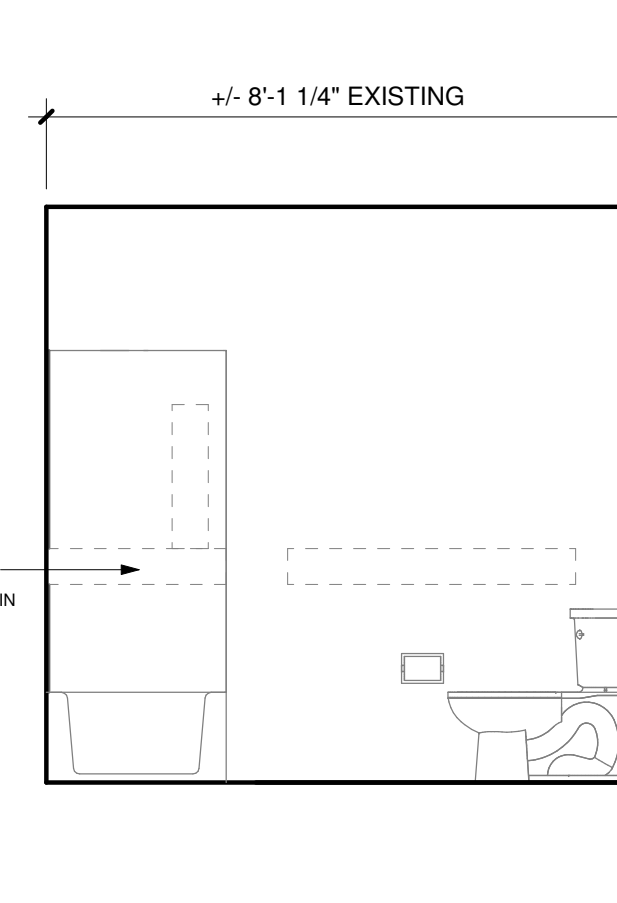
**4 KITCHEN (ADA)**  
 3/8" = 1'-0"



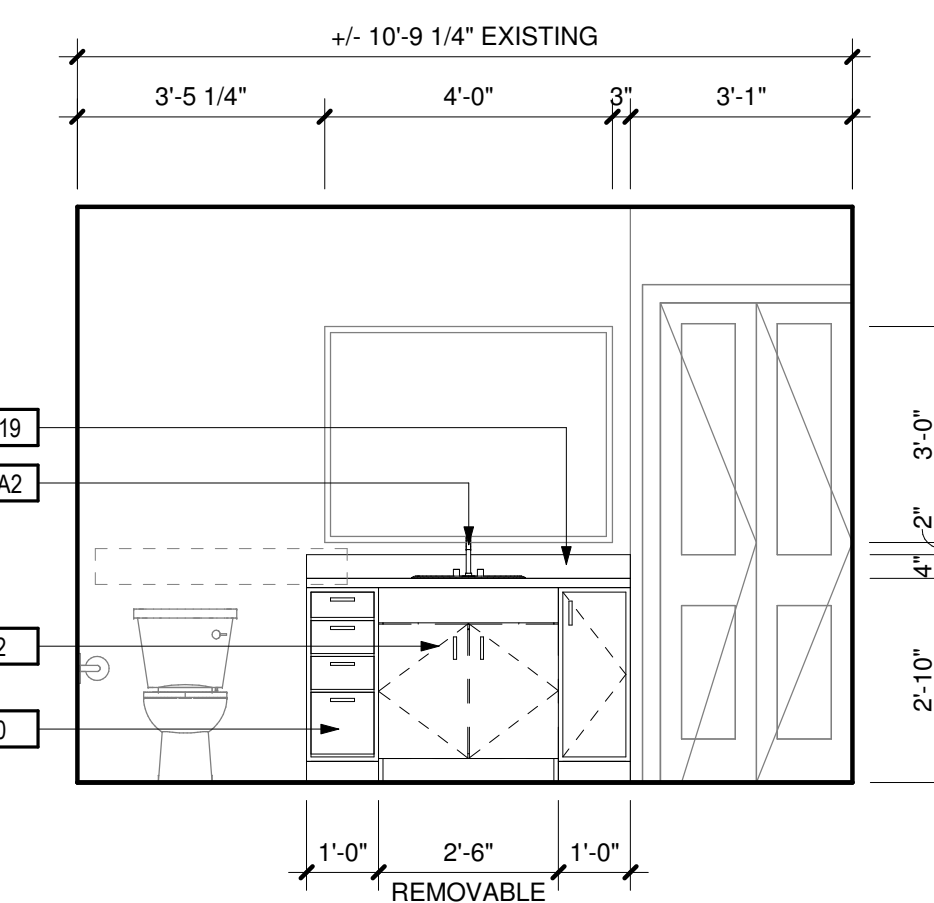
**5 KITCHEN (ADA)**  
 3/8" = 1'-0"



**6 BATHROOM (ADA)**  
 3/8" = 1'-0"



**7 BATHROOM (ADA)**  
 3/8" = 1'-0"



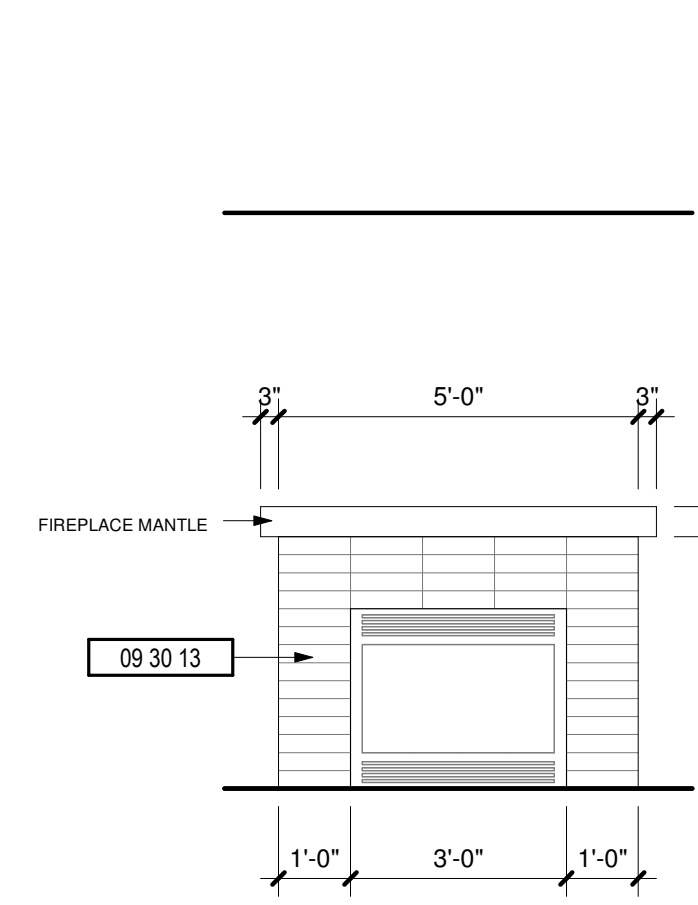
**8 BATHROOM (ADA)**  
 3/8" = 1'-0"

**DEMOLITION NOTES**

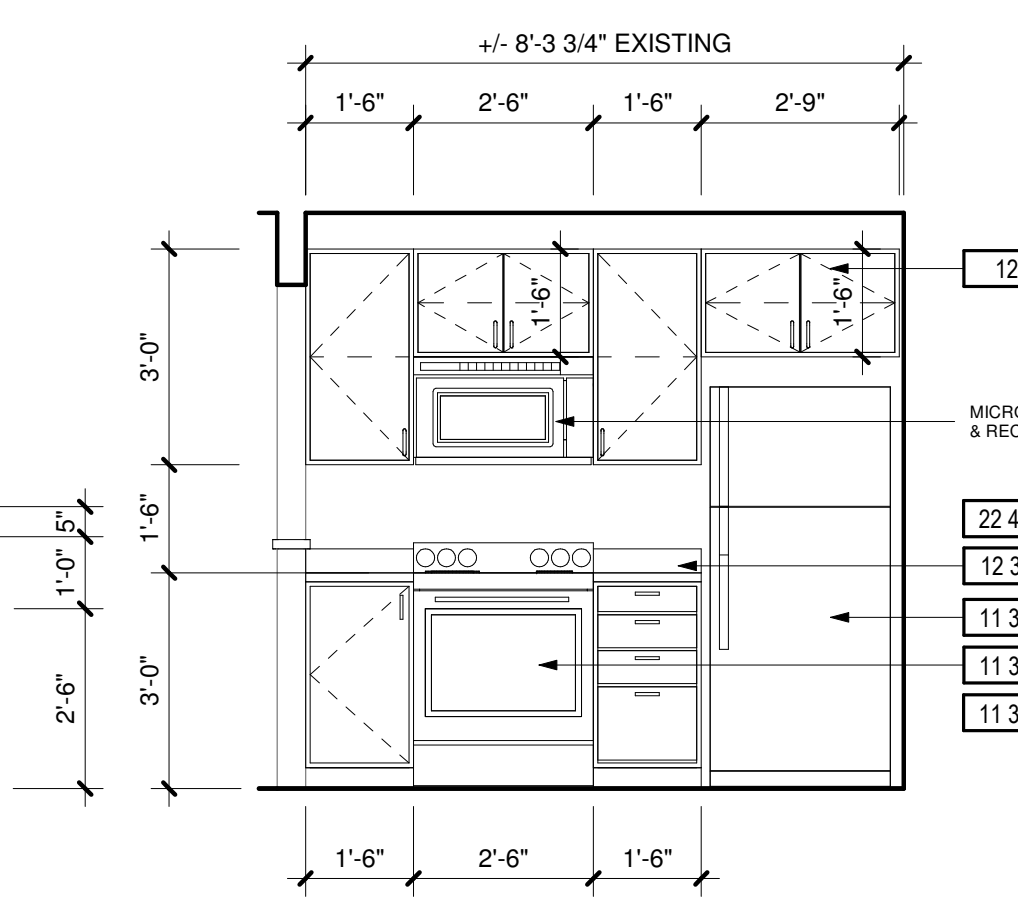
#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

**KEYNOTES**

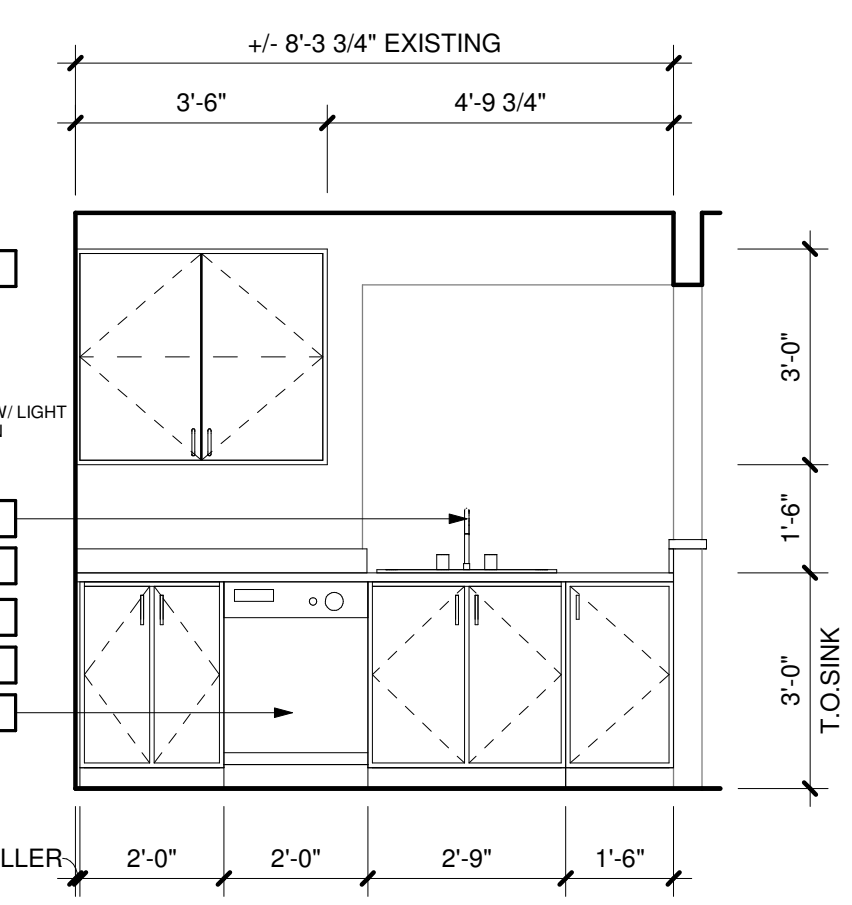
#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET



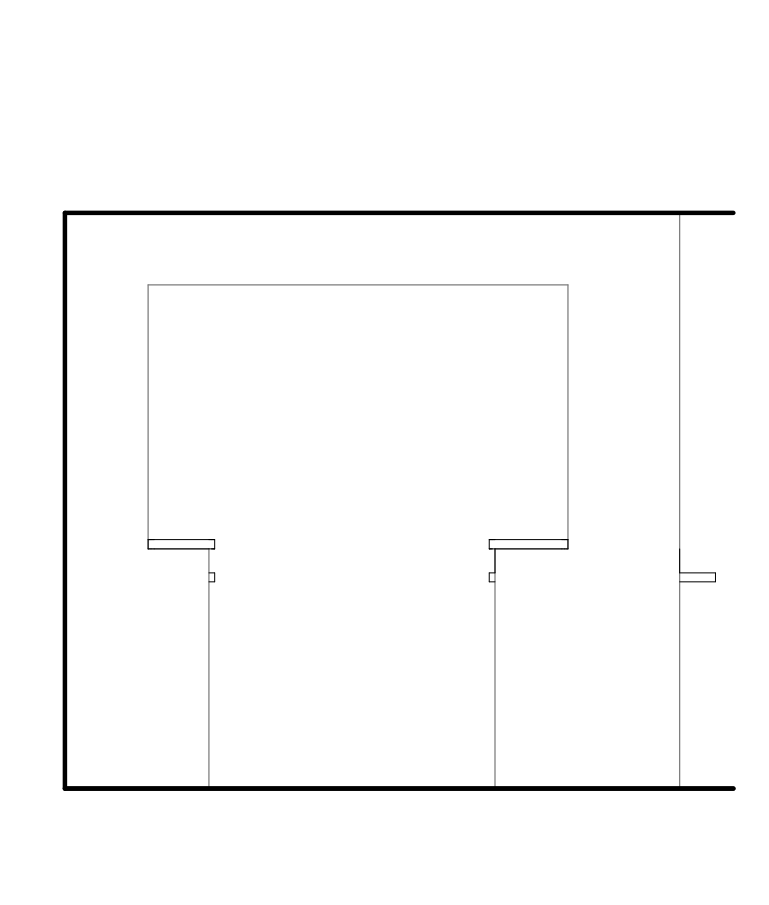
**9 FIREPLACE**  
 3/8" = 1'-0"



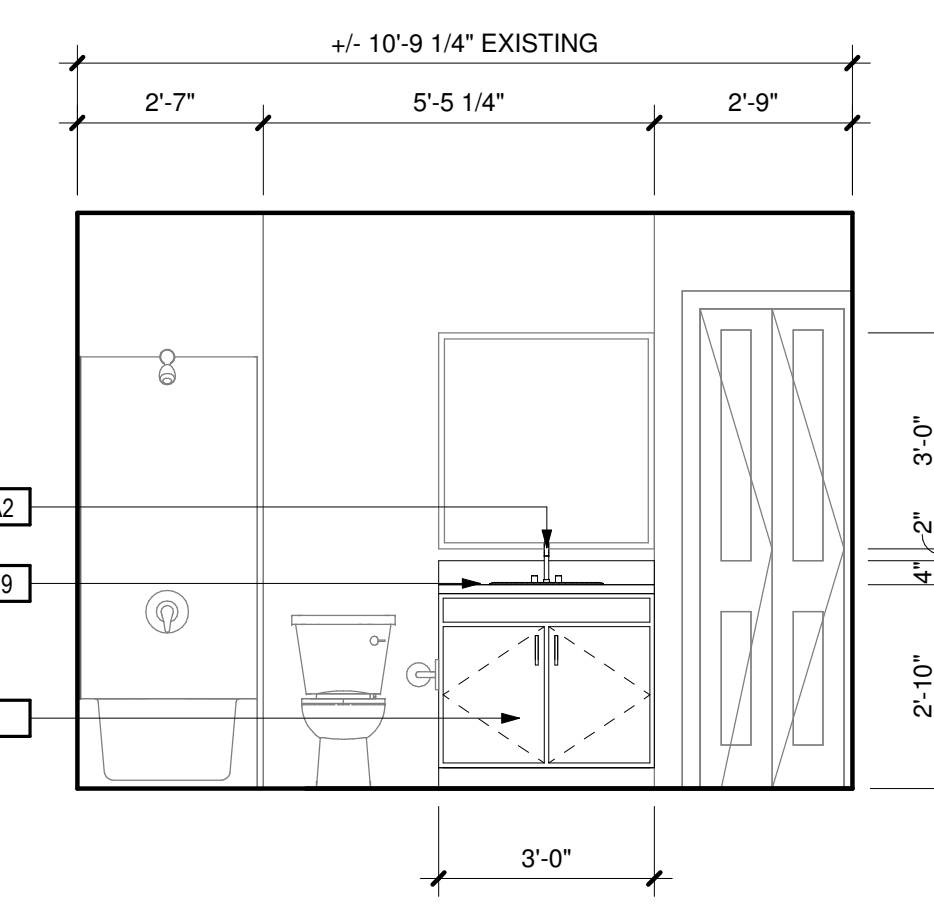
**10 KITCHEN**  
 3/8" = 1'-0"



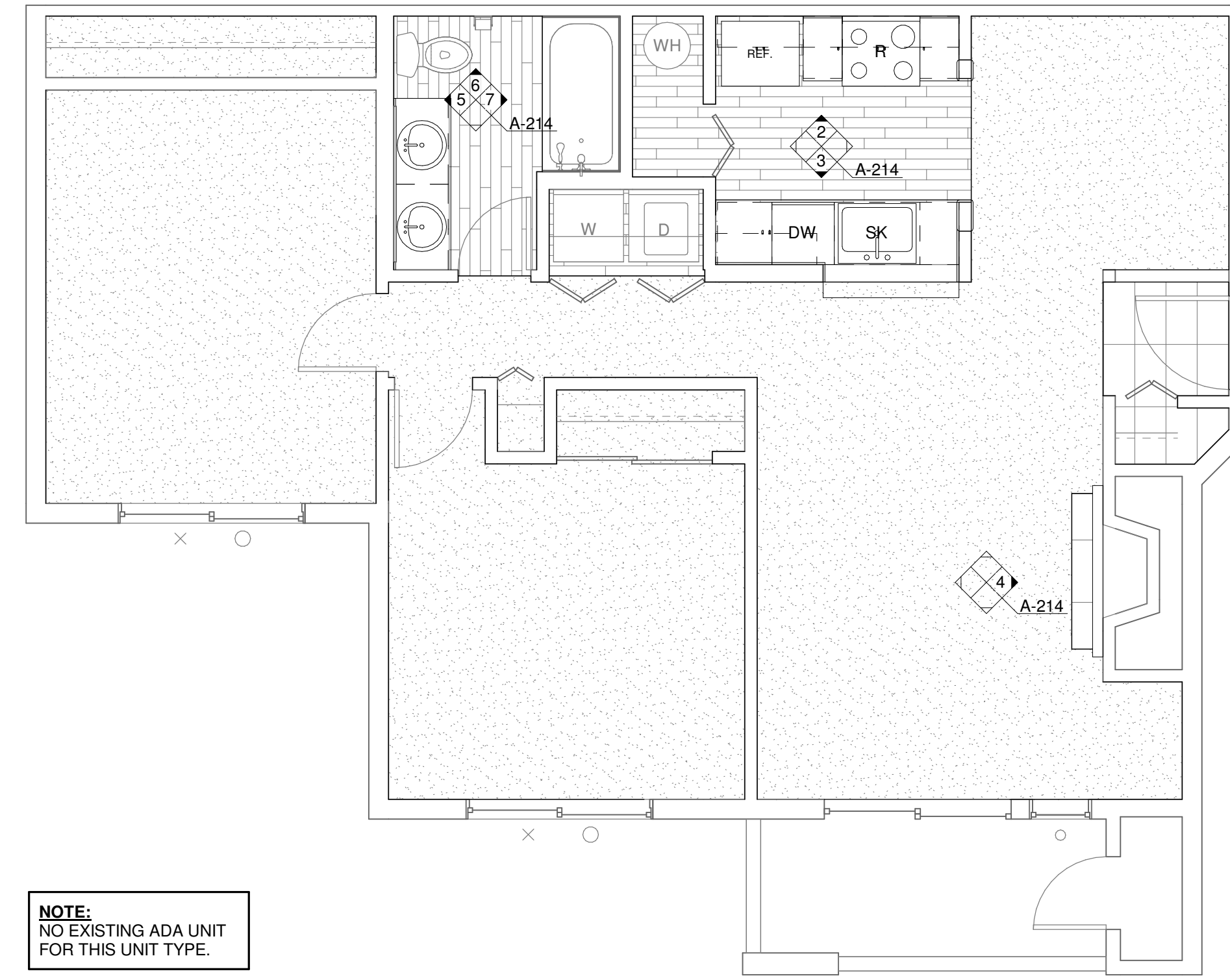
**11 KITCHEN**  
 3/8" = 1'-0"



**12 DINING ROOM**  
 3/8" = 1'-0"

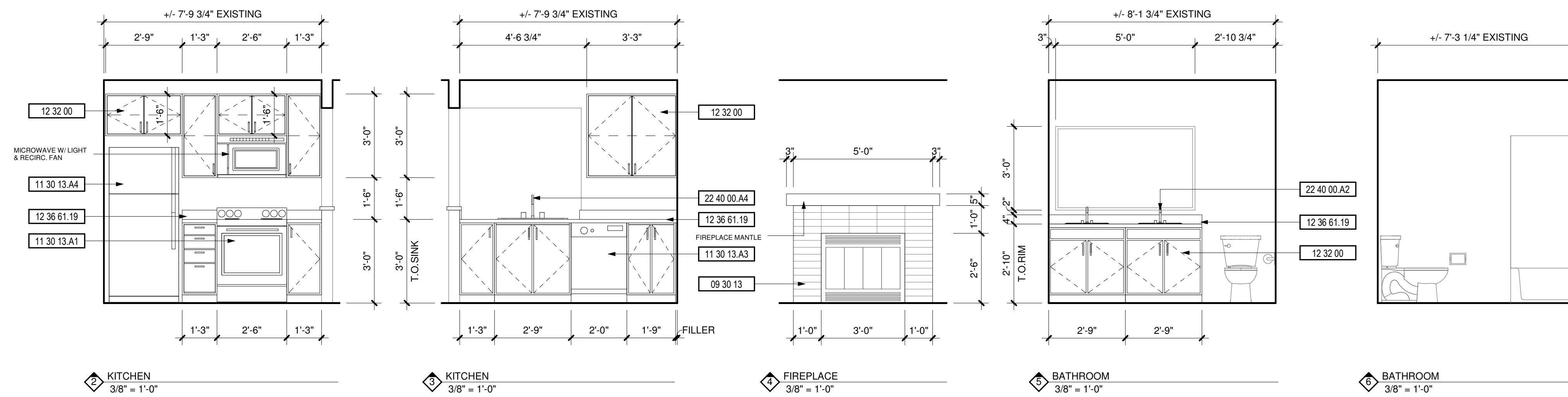


**13 BATHROOM**  
 3/8" = 1'-0"



**NOTE:**  
NO EXISTING ADA UNIT  
FOR THIS UNIT TYPE.

**1 ENLARGED UNIT PLAN - 2 BED/1 BATH (TYP)**  
1/4" = 1'-0"



**DEMOLITION NOTES**

#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

**KEYNOTES**

#	DESCRIPTION
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET

PROJECT

DATE

DESC.

APPROVAL STAMPS

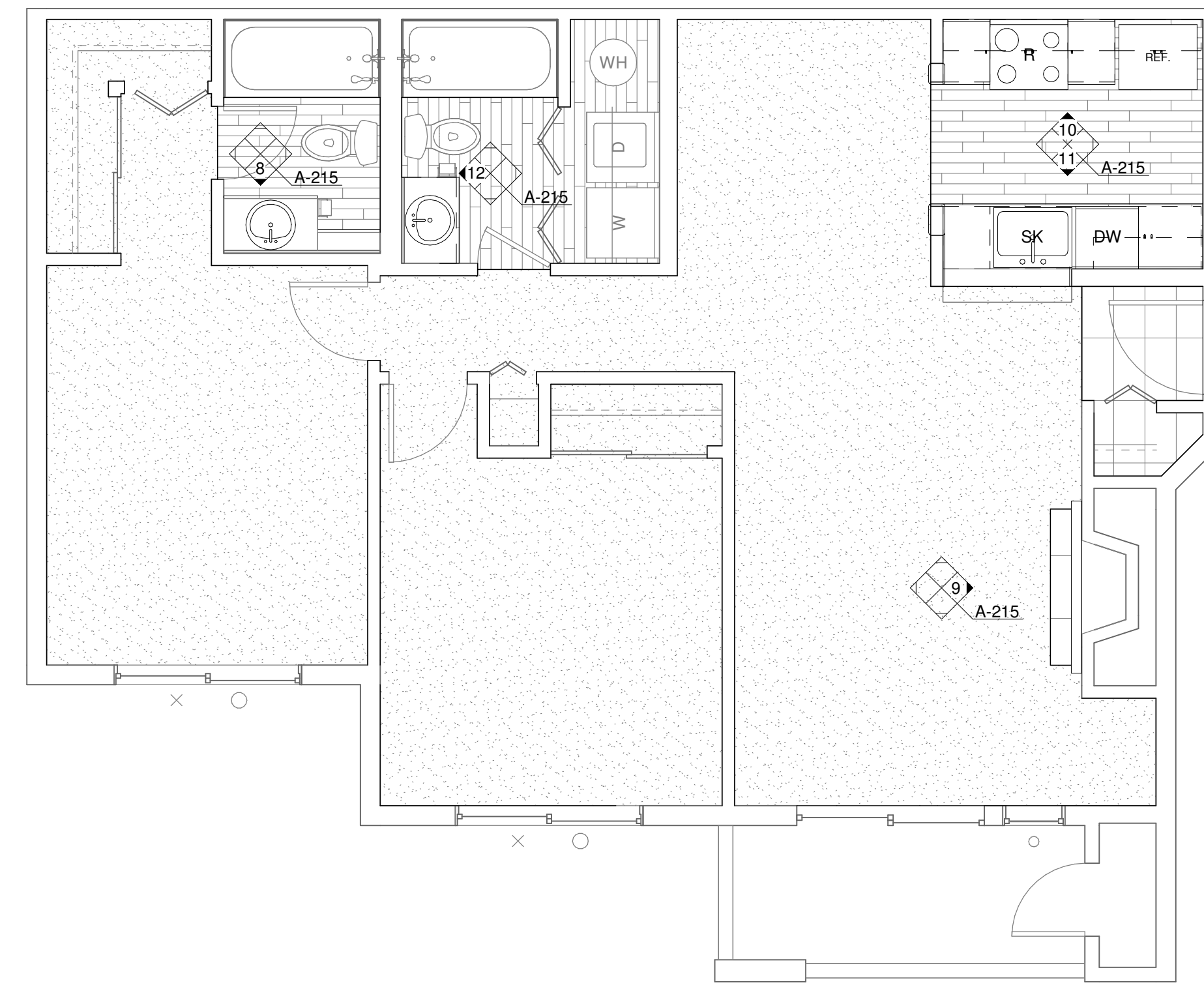
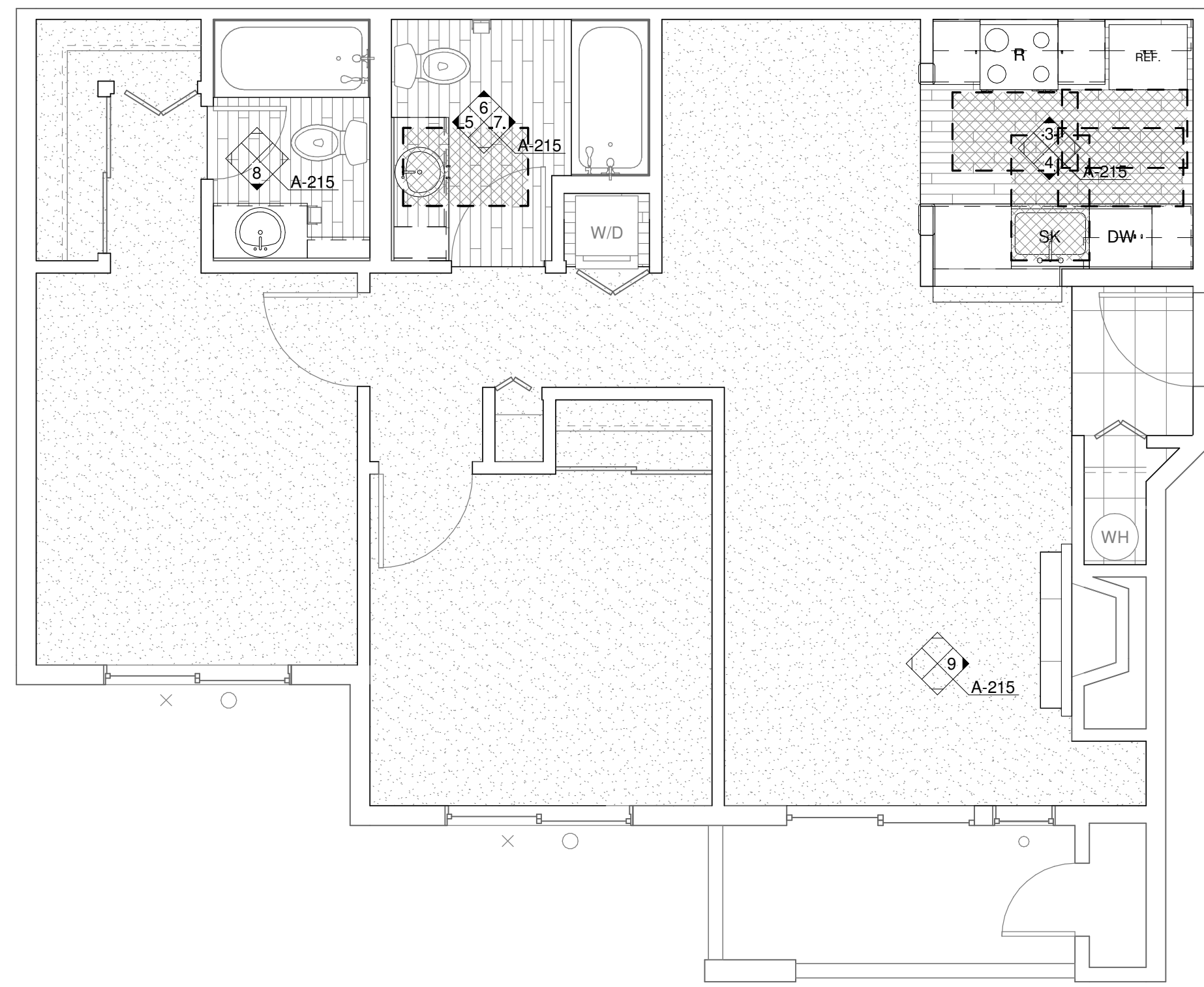
City of Puyallup  
Development & Permitting Services  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.: 1922  
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DRAWN BY: BM  
SHEET

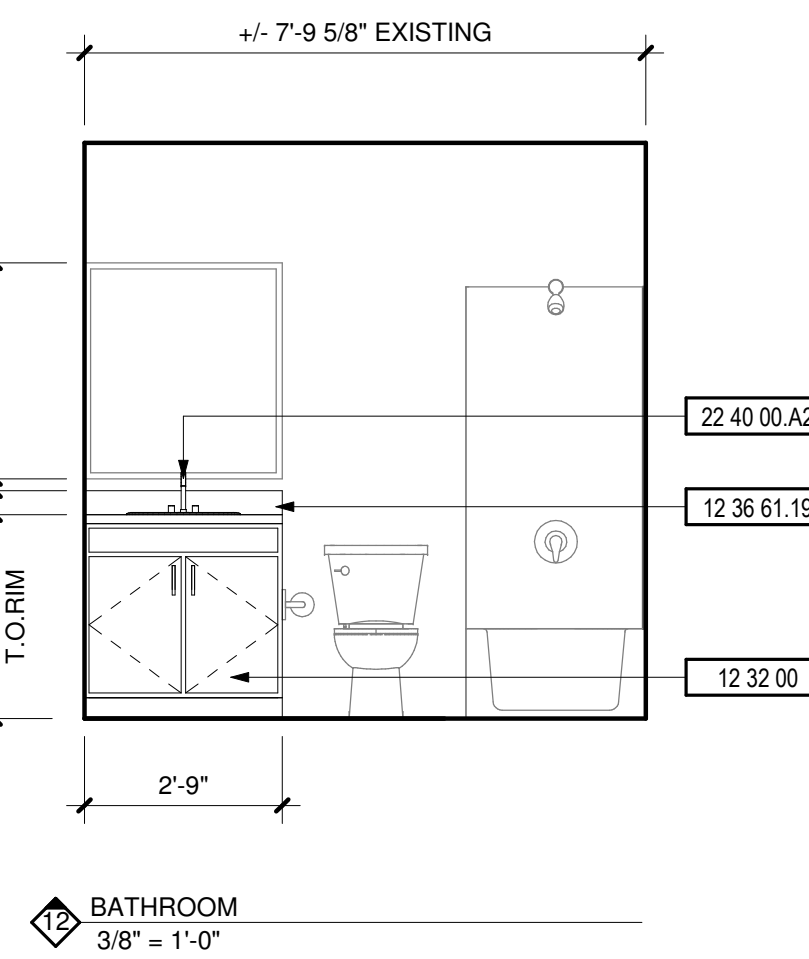
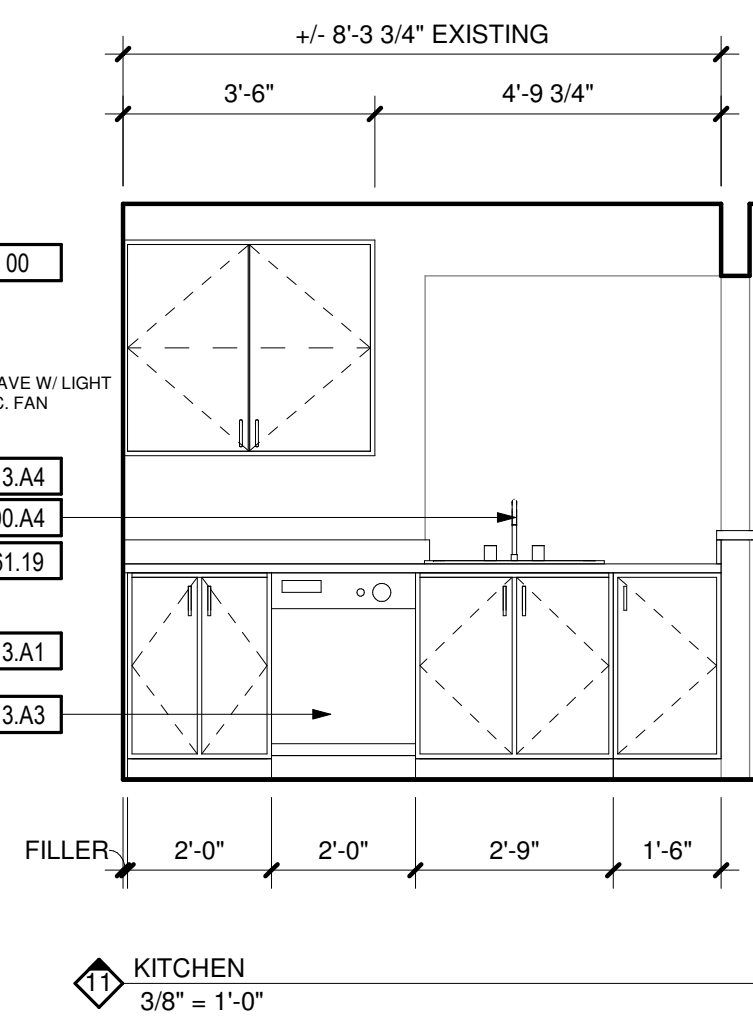
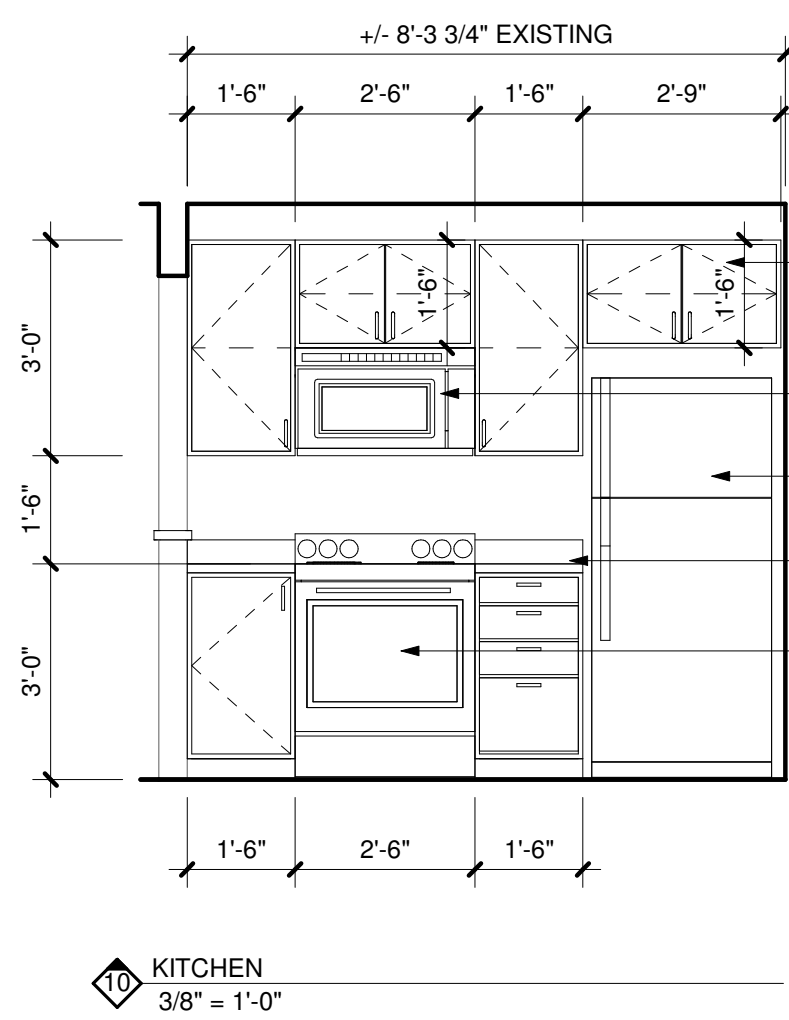
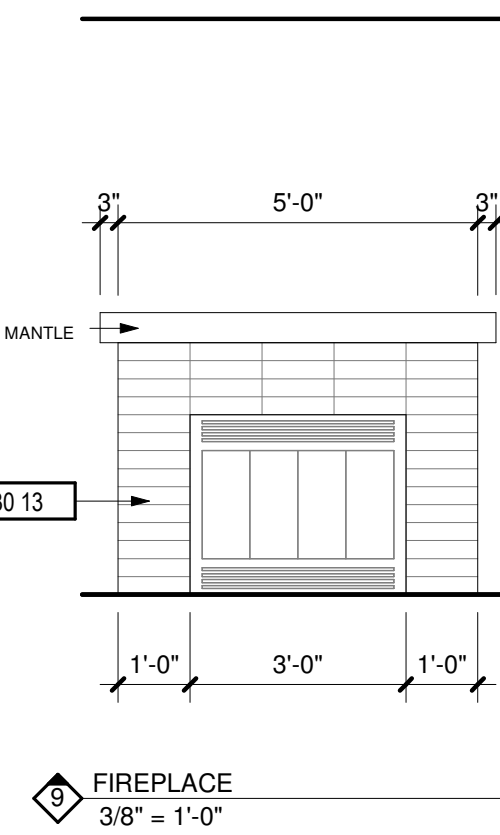
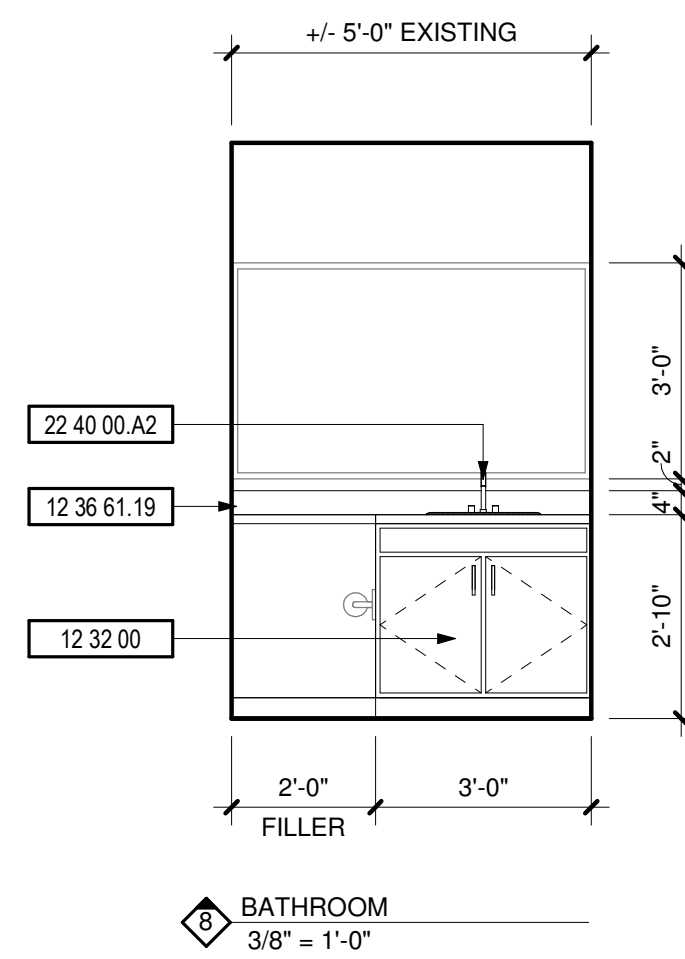
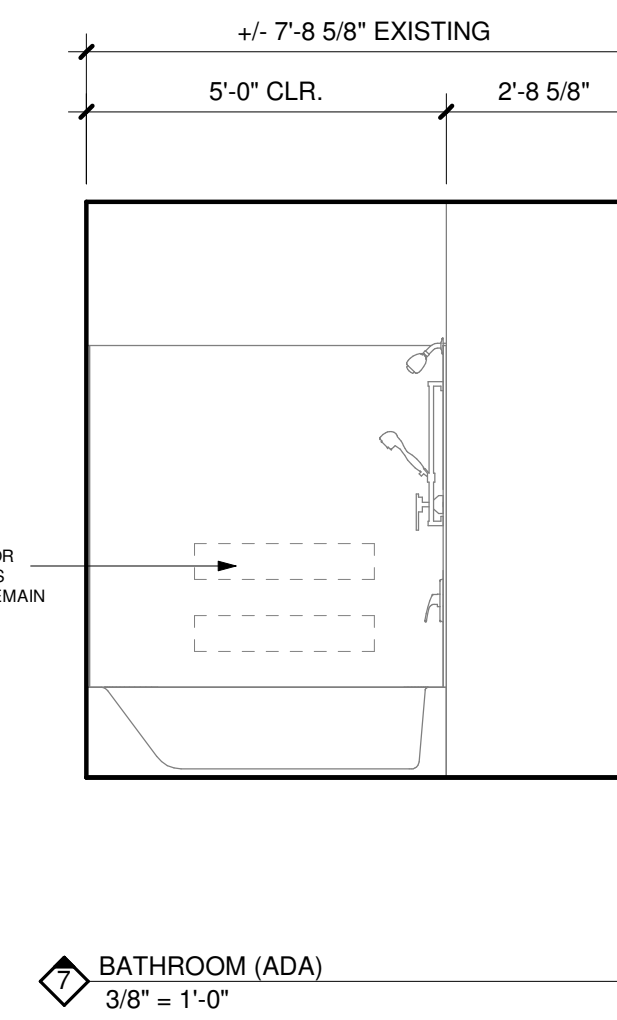
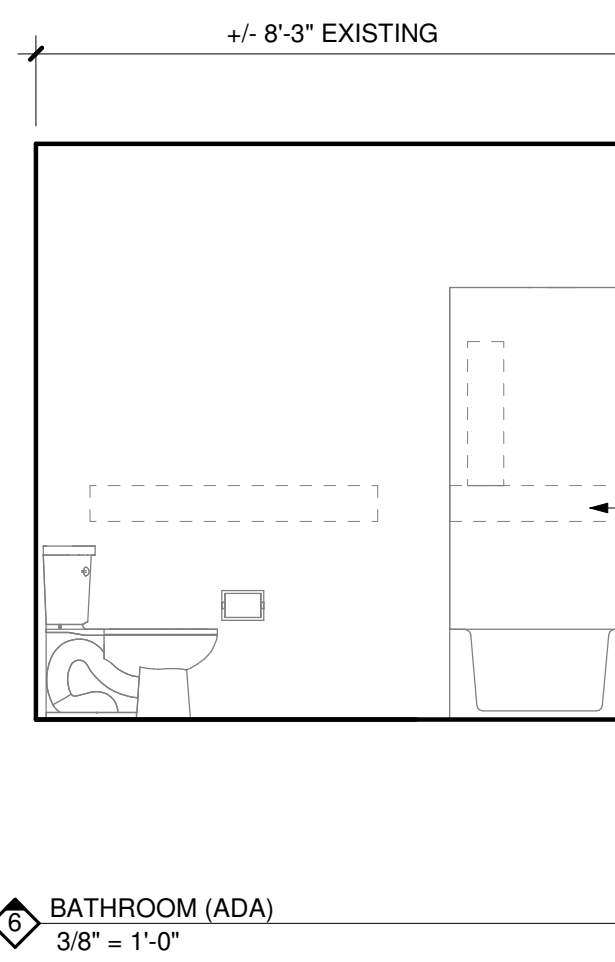
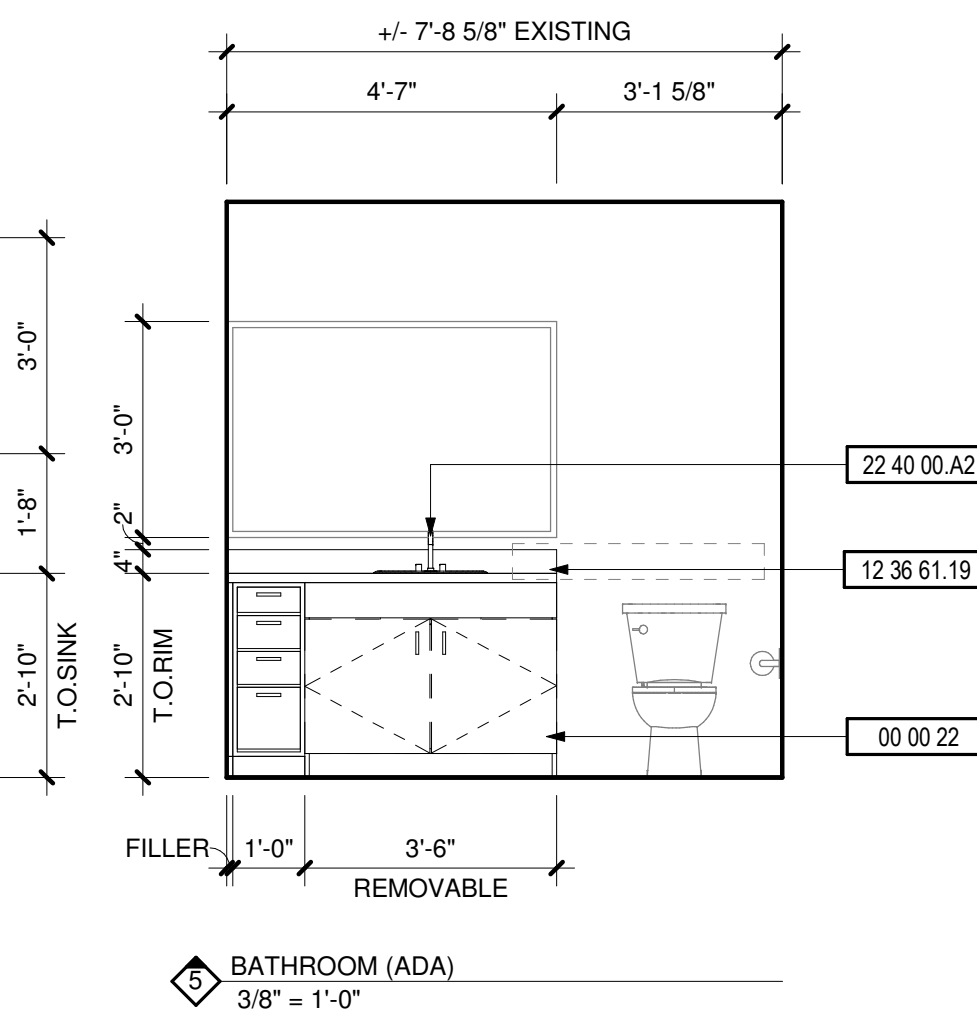
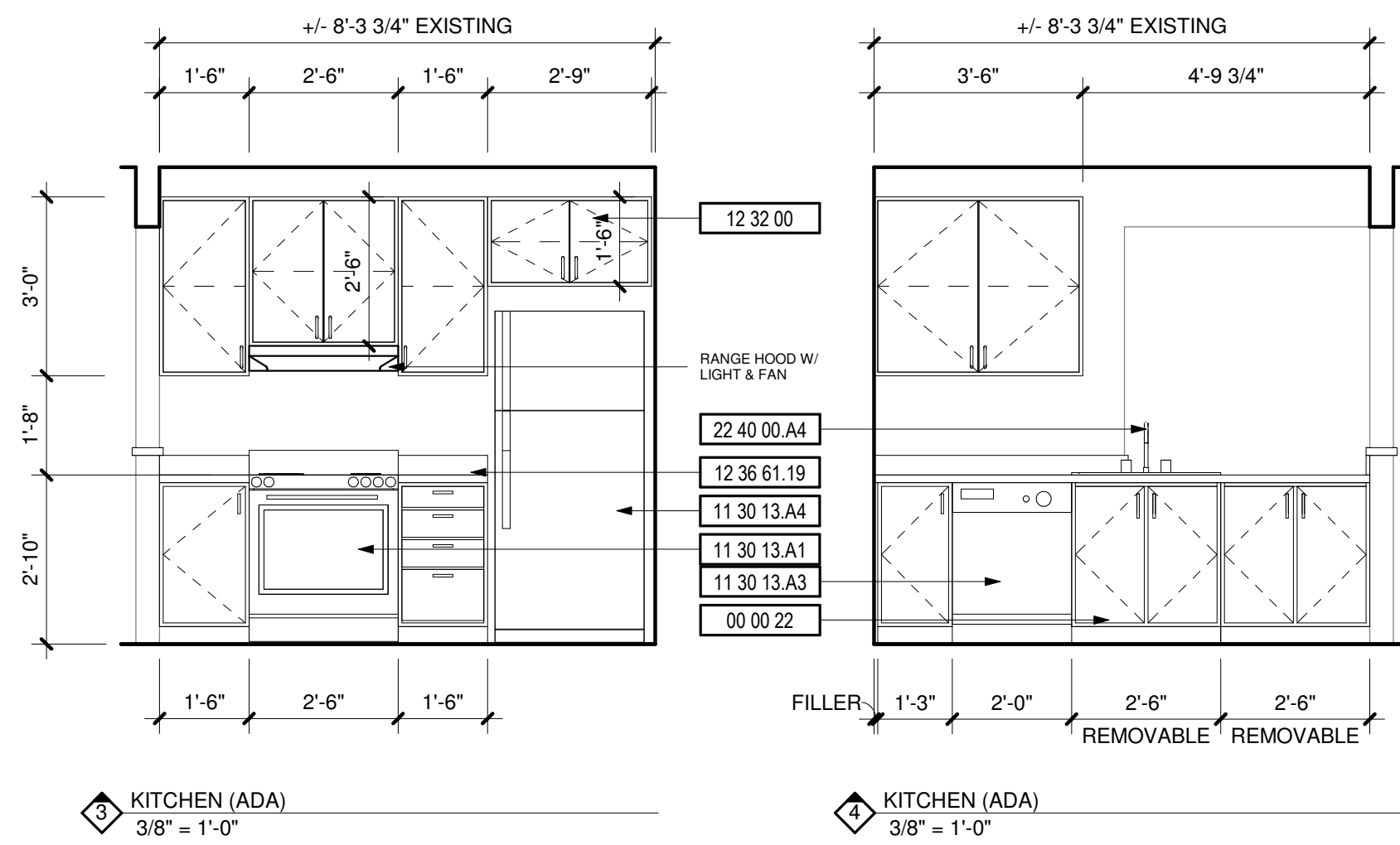
**A-214**

9/14/2021 9:48:04 AM



**1 ENLARGED UNIT PLAN - 2 BED/2 BATH (ADA)**  
1/4" = 1'-0"

**2 ENLARGED UNIT PLAN - 2 BED/2 BATH (TYP)**  
1/4" = 1'-0"



**DEMOLITION NOTES**

#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

**KEYNOTES**

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET

**R D + A**

ROSS DECKMAN & ASSOCIATES INC.  
207 FOURTH AVENUE SOUTHEAST,  
PUYALLUP, WASHINGTON 98372  
PHONE: 253 840 9405  
FAX: 253 840 5603  
8925 REGISTERED ARCHITECT  
**WILLIAM BOWDISH**  
STATE OF WASHINGTON

AGENCY REVIEW  
09/14/2021

PRCTI20230829

**PROJECT**  
MERIDIAN POINTE APARTMENTS  
RESIDENTIAL UNIT REHABILITATION  
407 VALLEY AVE. N.E.  
PUYALLUP, WA 98372  
**ENLARGED UNIT PLAN - 2 BED/2 BATH**

#	DATE	DESC.

**APPROVAL STAMPS**

City of Puyallup  
Development & Permitting Services  
**ISSUED PERMIT**

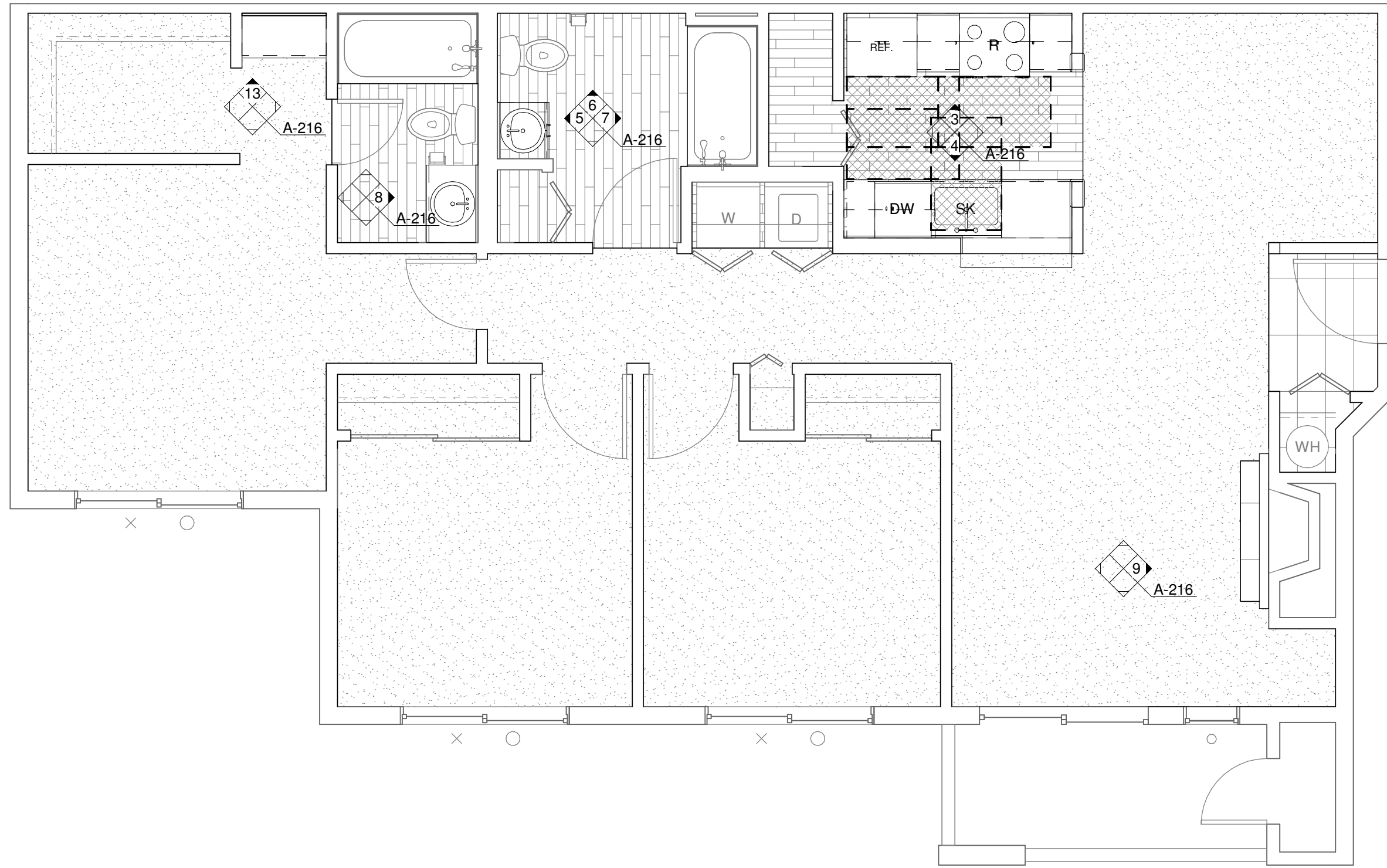
Building Planning  
Engineering Public Works  
Fire Traffic

JOB NO.: 1922  
ISSUE DATE: 09/14/2021  
REVISED:  
DRAWN BY: BM  
SHEET

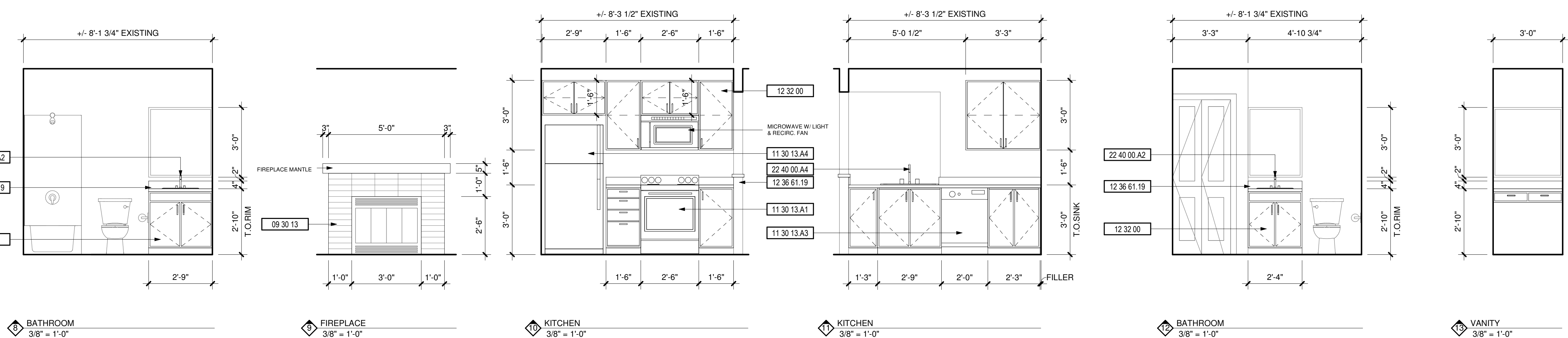
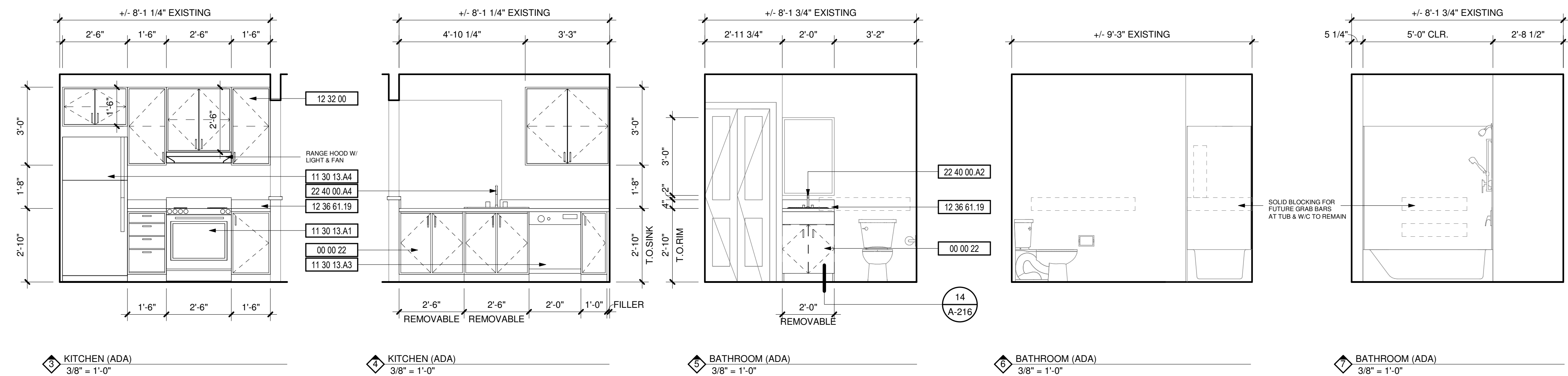
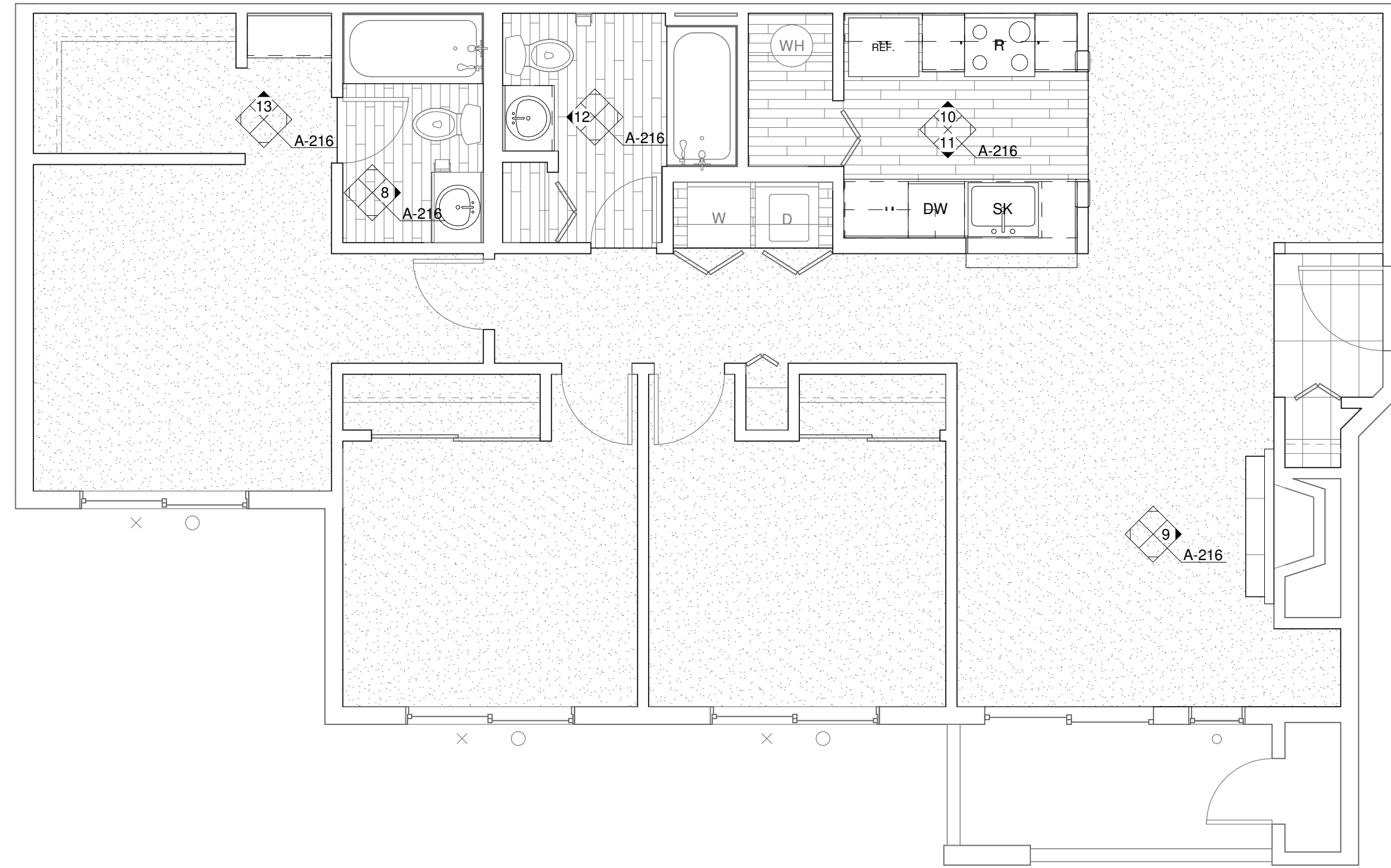
**A-215**

P:\1922 Meridian Pointe Apartments\05-Drawings\1922 Meridian Pointe Apartments Units.v4

**1 ENLARGED UNIT PLAN - 3 BED/2 BATH (ADA)**  
 1/4" = 1'-0"



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