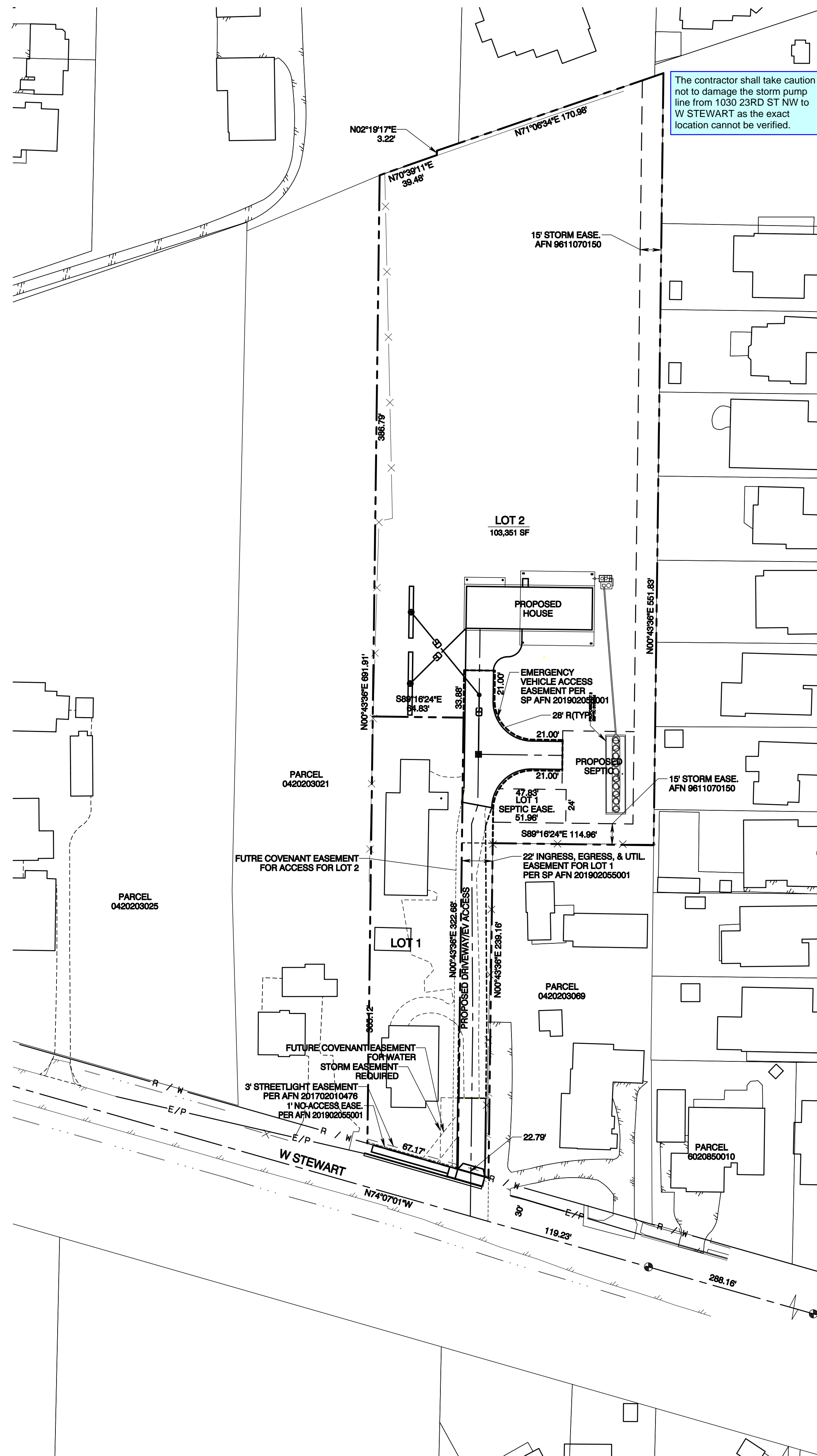


Farris Short Plat - Lot 2 Site Development

Section 29, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington

B-20-0741



GENERAL NOTES

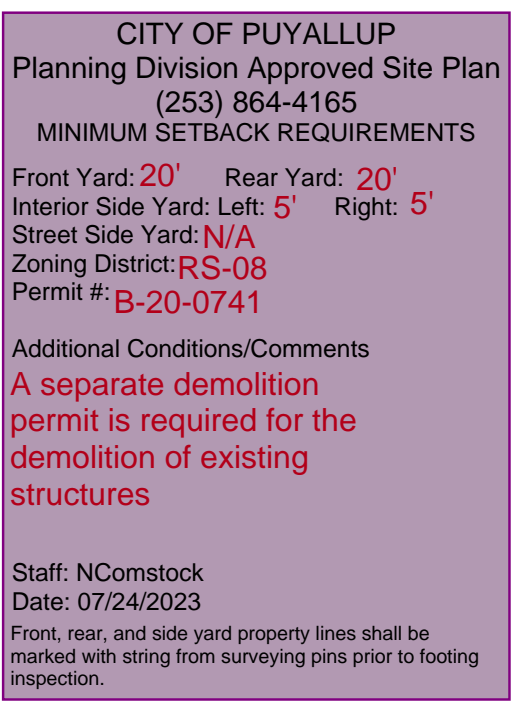
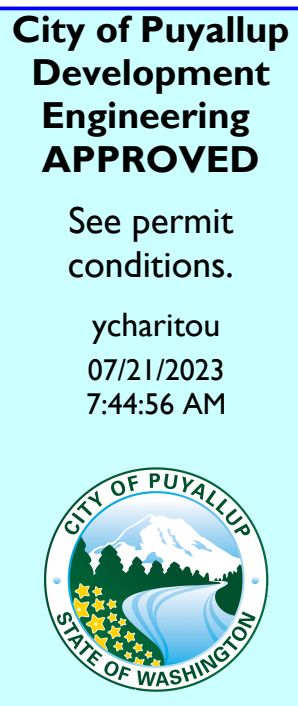
1. All work in City right-of-way requires a permit from the City of Puyallup. Prior to any work commencing, the general contractor shall arrange for a preconstruction meeting at the Development Services Center to be attended by all contractors that will perform work shown on the approved engineering plans, representatives from all applicable utility companies, the project owner and appropriate city staff. Contact Engineering Services at (253) 841-5568 to schedule the meeting. The contractor is responsible to have their own set of approved plans at the meeting.
2. After completion of all items shown on these plans and before acceptance of the project the contractor shall obtain a "punch list" prepared by the City's Inspector detailing remaining items of work to be completed. All items of work shown on these plans shall be completed to the satisfaction of the City prior to acceptance of the water system and provision of sanitary sewer service.
3. All materials and workmanship shall conform to the Standard Specifications for Road, Bridge, and Municipal Construction (hereinafter referred to as the "Standard Specifications"), Washington State Department of Transportation and American Public Works Association, Washington State Chapter, latest edition, unless superseded or amended by the City of Puyallup City Standards for Public Works Engineering and Construction (hereinafter referred to as the "City Standards").
4. A copy of these approved plans and applicable city developer specifications and details shall be on site during construction.
5. Any revisions made to these plans must be reviewed and approved by the developer's engineer and the City prior to any implementation in the field. The City shall not be responsible for any errors and/or omissions on these plans.
6. The contractor shall have all utilities verified on the ground prior to any construction. Call (811) at least two working days in advance. The owner and his/her engineer shall be contacted immediately if a conflict exists.
7. Any structure and/or obstruction that requires removal or relocation relating to this project shall be done so at the developer's expense.
8. Locations of existing utilities are approximate. It shall be the contractor's responsibility to determine the true elevations and locations of hidden utilities. All visible items shall be the engineer's responsibility.
9. The contractor shall install, replace, or relocate all signs, as shown on the plans or as affected by construction, per City Standards.
10. Power, street light, cable, and telephone lines shall be in a trench located within a 10-foot utility easement adjacent to public right-of-way. Right-of-way crossings shall have a minimum horizontal separation from other utilities (sewer, water, and storm) of 5 feet.
11. All construction surveying for extensions of public facilities shall be done under the direction of a Washington State licensed land surveyor or a Washington State licensed professional civil engineer.
12. During construction, all public streets adjacent to this project shall be kept clean of all material deposits resulting from on-site construction, and existing structures shall be protected as directed by the City.
13. Certified record drawings are required prior to project acceptance.
14. A NPDES Stormwater General Permit may be required by the Department of Ecology for this project. For information contact the Department of Ecology, Southwest Region Office at (360) 407-6300.
15. Any disturbance or damage to Critical Areas and associated buffers, or significant trees designated for preservation and protection shall be mitigated in accordance with a Mitigation Plan reviewed and approved by the City's Planning Division. Preparation and implementation of the Mitigation Plan shall be at the developer's expense.

STORMWATER NOTES:

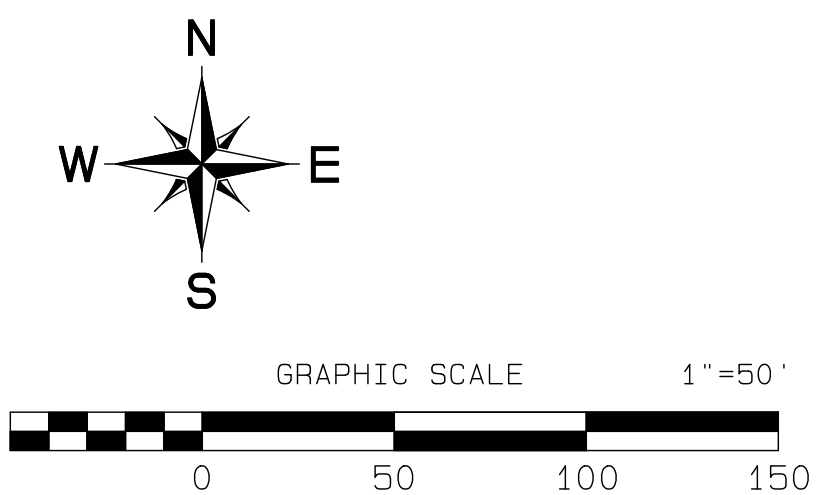
1. All work in City right-of-way requires a permit from the City of Puyallup. Prior to any work commencing, the general contractor shall arrange for a preconstruction meeting at the Development Services Center to be attended by all contractors that will perform work shown on the engineering plans, representatives from all applicable Utility Companies, the project owner and appropriate City staff. Contact Engineering Services to schedule the meeting (253) 841-5568. The contractor is responsible to have their own approved set of plans at the meeting.
2. After completion of all items shown on these plans and before acceptance of the project, the contractor shall obtain a "punch list" prepared by the City's Inspector detailing remaining items of work to be completed. All items of work shown on these plans shall be completed to the satisfaction of the City prior to acceptance of the water system and provision of sanitary sewer service.
3. All materials and workmanship shall conform to the Standard Specifications for Road, Bridge, and Municipal Construction (hereinafter referred to as the "Standard Specifications"), Washington State Department of Transportation and American Public Works Association, Washington State Chapter, latest edition, unless superseded or amended by the City of Puyallup City Standards for Public Works Engineering and Construction (hereinafter referred to as the "City Standards").
4. A copy of these approved plans and applicable city developer specifications and details shall be on site during construction.
5. Any revisions made to these plans must be reviewed and approved by the developer's engineer and the Engineering Services Staff prior to any implementation in the field. The City shall not be responsible for any errors and/or omissions on these plans.
6. The contractor shall have all utilities verified on the ground prior to any construction. Call (811) at least two working days in advance. The owner and his/her engineer shall be contacted immediately if a conflict exists.
7. Any structure and/or obstruction which require removal or relocation relating to this project, shall be done so at the developer's expense.
8. During construction, all existing and newly installed drainage structures shall be protected from sediments.
9. All storm manholes shall conform to City Standard Detail No. 02.01.01. Flow control manhole/oil water separator shall conform to City Standard Detail No. 02.01.06 and 02.01.07.
10. Manhole ring and cover shall conform to City Standard Detail 06.01.02 and 06.01.03. The cover shall be marked with "storm" or "drain" in 2-inch raised letters. Minimum weight of the frame shall be 210 pounds. Minimum weight of the cover shall be 150 pounds.
11. Catch basins Type I shall conform to City Standard Detail No.02.01.02 and 02.01.03 and shall be used only for depths less than 5 feet from top of the grate to the invert of the storm pipe.
12. Catch basins Type II shall conform to City Standard Detail No.02.01.04 and shall be used for depths greater than 5 feet from top of the grate to the invert of the storm pipe.
13. Cast iron or ductile iron frame and grate shall conform to City Standard Detail No.02.01.05. Grate shall be marked with "drains to stream". Solid catch basin lids (square unless noted as round) shall conform to WSDOT Standard Plan B-2 (Olympic Foundry No. SM60 or equal). Vaned grates shall conform to WSDOT Standard Plan B-2a (Olympic Foundry No. SM60V or equal).
14. Stormwater pipe shall be only PVC, concrete or ductile iron pipe.
 - a. The use of any other type shall be reviewed and approved by the Engineering Services Staff prior to installation.
 - b. PVC pipe shall be per ASTM D3034, SDR 35 for pipe size 18-inch and smaller and F679 for pipe sizes 18 to 27 inch. Minimum cover on PVC pipe shall be 3.0 feet.
 - c. Concrete pipe shall conform to the WSDOT Standard Specifications for concrete underdrain pipe. Minimum cover on concrete pipe shall not less than 3.0 feet.
 - d. Ductile iron pipe shall be Class 50, conforming to AWWA C151. Minimum cover on ductile iron pipe shall be 1.0 foot.
 - e. Polypropylene Pipe (PP) shall be dual walled, have a smooth interior and exterior corrugations and meet WSDOT 9-05.24(1), 12-inch through 30-inch pipe shall meet or exceed ASTM F2736 and AASHTO M330, Type S, or Type D. 36-inch through 60-inch pipe shall meet or exceed ASTM F2881 and AASHTO M330, Type S, or Type D. Testing shall be per ASTM F1417. Minimum cover over Polypropylene pipe shall be 3-feet.
15. Trenching, bedding, and backfill for pipe shall conform to City Standard Detail No. 06.01.01.
16. Storm pipe shall be a minimum of 10 feet away from building foundations and/or roof lines.
17. All storm drain mains shall be video inspected by the City of Puyallup Collections Division prior to final acceptance by the City.
18. All temporary sedimentation and erosion control measures, and protective measures for critical areas and significant trees shall be installed prior to initiating any construction activities.

COVENANT EASEMENTS REQUIRED

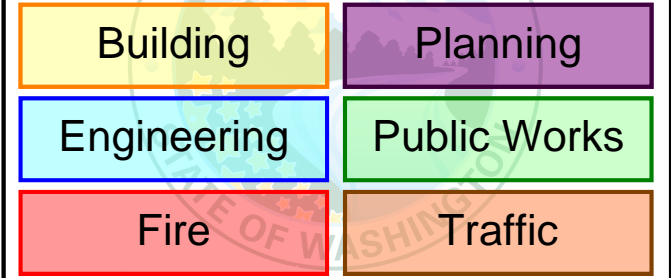
COVENANT EASEMENTS FOR ACCESS, STORM DRAINAGE, AND WATER ARE REQUIRED TO BE RECORDED AS CONDITIONED ON PERMIT.



CALL BEFORE YOU DIG
IT IS THE LAW
DIAL 811 OR
CALL 1-800-424-5555



City of Puyallup Development & Permitting Services ISSUED PERMIT



PROJECT DESCRIPTION

SITE DEVELOPMENT IMPROVEMENTS FOR SINGLE FAMILY RESIDENCE.

ADDRESS

2345 W STEWART

PARCEL NO

042020-7-029

ZONING

RS-08 - Medium Urban Density Single Family Residential

LEGAL DESCRIPTION

PARCEL B, PIERCE COUNTY BOUNDARY LINE ADJUSTMENT RECORDED SEPTEMBER 5, 1997, UNDER AUDITOR'S FILE NO. 9709050376, RECORDS OF PIERCE COUNTY, WASHINGTON;

EXCEPT THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL B; THENCE NORTH 00°00'00" WEST ALONG THE WESTERLY LINE OF SAID PARCEL B, A DISTANCE OF 305.12 FEET, THENCE NORTH 80°00'00" EAST, 64.83 FEET; THENCE SOUTH 00°00'00" EAST, 322.68 FEET TO THE NORTH LINE OF STEWART AVENUE; THENCE NORTH 74°50'37" WEST ALONG SAID NORTH LINE, A DISTANCE OF 67.17 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON;

ENGINEER/SURVEYOR

AZURE GREEN CONSULTANTS
409 EAST PIONEER
PUYALLUP, WA 98372
PHONE: 253.770.3144

OWNER:

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA 98371
Phone 253.255.3413

DEVELOPER

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA 98371
Phone 253.255.3413

DATUM

NAVD88

BENCHMARK

NW-STE-23 BM PUBLISHED 31.09 NGVD29
CONVERTED TO NAVD88 +3.49 PER VERTCON
CONVERTED ELEVATION 34.58'

TOPOGRAPHIC INFORMATION

FRONTAGE TOPOGRAPHICAL DATA ARE PER FIELD SURVEYS PERFORMED BY AZURE GREEN CONSULTANTS BETWEEN JANUARY AND APRIL 2018. INTERIOR ON-SITE TOPOGRAPHY PER LIDAR DATA OBTAINED FROM PUGET SOUND LIDAR CONSORTIUM. CONTOURS ARE CALCULATED PER SPOT ELEVATIONS AND ARE NOT REPRESENTED TO BE ACCURATE TO MORE THAN ONE-HALF CONTOUR INTERVAL.

SHEET INDEX

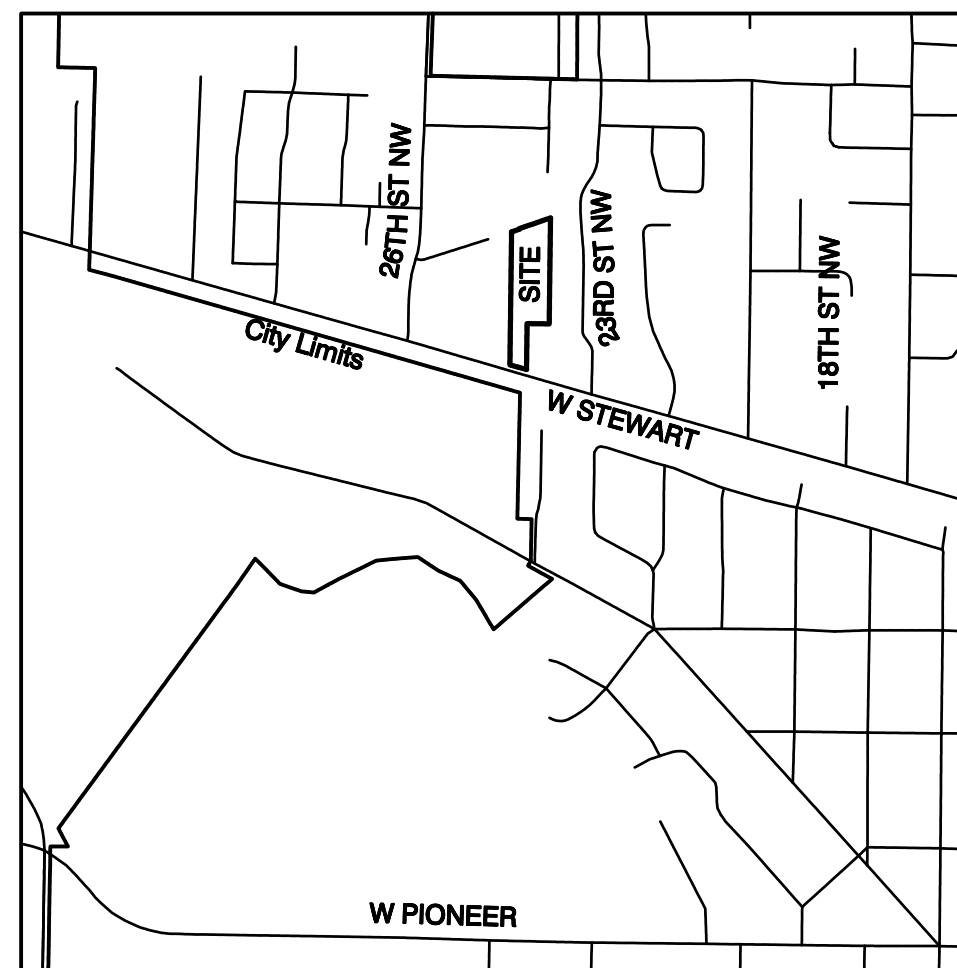
- ST-1 Cover Sheet
- ST-2 ESC Notes & Details
- ST-3 Existing Conditions & ESC Plan
- ST-4 Driveway Plan & Profile
- ST-5 Details

DISTURBED AREA

THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 22,703 SF.

EXISTING:
DRIVEWAY: 1,786 SF
PASTURE: 19,066 SF

DEVELOPED:
DRIVEWAY: 5,552 SF
ROOF: 4,274 SF
LAWN: 10,917 SF
PASTURE: 1,900 SF



Cover Sheet/General Notes

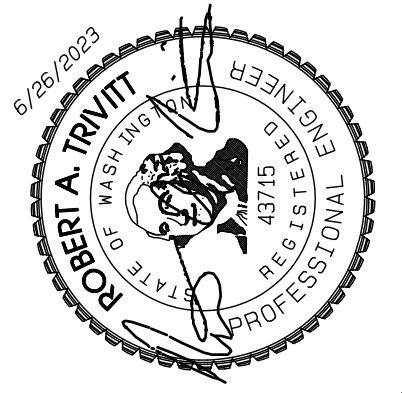
Farris Short Plat
Lot 2 Site Development

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA, 98371
Phone 253.255.3413 Fax

DRAWING

ST-1

SHEET 1 OF 5



REVISION	DATE
1. Reissued for City Review.	4/13/23
2. Reissued for City Review.	6/26/23
3. Reissued for City Review.	
4. Reissued for City Review.	
5. Reissued for City Review.	
6. Reissued for City Review.	
7. Reissued for City Review.	
8. Reissued for City Review.	
9. Reissued for City Review.	
10. Reissued for City Review.	

DESIGNED BY: ycharitou	DATE: November 22, 2023
DRAWN BY: ycharitou	DESIGNED BY: ycharitou
CHECKED BY: ycharitou	DRAWN BY: ycharitou
APPROVED BY: ycharitou	CHECKED BY: ycharitou



Farris Short Plat - Lot 2 Site Development

Section 29, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington

B-20-0741

GRADING, EROSION & SEDIMENTATION CONTROL NOTES:

1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES TO SCHEDULE THE MEETING (253) 841-5568. THE CONTRACTOR IS RESPONSIBLE TO HAVE HIS SET OF PLANS AT THE MEETING.

2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.

3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION," (HEREINAFTER REFERRED TO AS THE STANDARD SPECIFICATIONS) WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION. (HEREIN REFERRED TO AS THE "CITY STANDARDS".

4. A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.

5. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.

6. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.

7. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.

8. ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO AN LAND CLEARING AND/ OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY. UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED, THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.

9. THE EROSION AND SEDIMENTATION CONTROL SYSTEM DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES AND/OR STORM DRAINAGE SYSTEMS.

10. APPROVAL OF THE EROSION CONTROL PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.

11. ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE, BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.

12. IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION, MUST CEASE AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.

13. NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CONSTRUCTION SEQUENCE

1. OBTAIN REQUIRED PERMITS AND HOLD A PRECONSTRUCTION MEETING WITH THE CITY.
2. IDENTIFY EROSION CONTROL MEASURES WHICH REQUIRE REGULAR MAINTENANCE. ENSURE EROSION CONTROL MEASURES IN PLACE ARE ADEQUATE, INSTALL ADDITIONAL MEASURES IF NECESSARY TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING SITE.
3. STRIP AND EXCAVATE TO SUB-GRADE AS NEEDED FOR BUILDING AND DRIVEWAY CONSTRUCTION.
4. CONSTRUCT NEW BUILDING.
5. INSTALL DISPERSION TRENCHES.
6. INSTALL DRAIN PIPES AND OTHER UTILITIES.
7. HYDROSEED ANY EXPOSED SURFACES TO PROVIDE PERMANENT EROSION CONTROL.
8. INSTALL ROCK BASE FOR DRIVEWAY.
9. INSTALL DRIVEWAY PAVING SURFACE.
10. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABLE.

TEMPORARY ESC MEASURES REQUIRED

1. Vegetation and Stabilization of exposed surfaces
2. Additional measures may be required, see note 9 of Grading, Erosion & Sedimentation Control notes.

PERMANENT ESC MEASURES REQUIRED

1. Seeding and/or Landscaping of non-imperious surfaces

SPECIAL NOTES:

1. Contractor shall designate an erosion and sediment control leadperson, and shall comply with the stormwater pollution prevention plan prepared for the project.
2. Sediment-laden runoff shall not be allowed to discharge beyond the construction limits.
3. From October 1 through April 30, no soils shall remain exposed and unworked for more than 2 days. From May 1 to September 30, no soils shall remain exposed and unworked for more than 7 days. This condition applies to all soils on site, whether at final grade or not.

MULCHING NOTES

1. Mulch materials used shall be hay or straw and shall be applied at a rate of 75-100 pounds per 1000 square feet, or 90-120 bales per acre to a min. depth of 2 inches.
2. Mulches shall be applied in all areas with exposed slopes greater than 2:1.
3. Mulching shall be used immediately after seeding or in areas which cannot be seeded because of the season.
4. All areas needed mulch shall be covered by November 1.

SEEDING NOTES (Erosion control seeding):

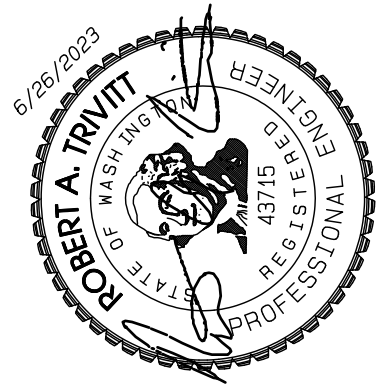
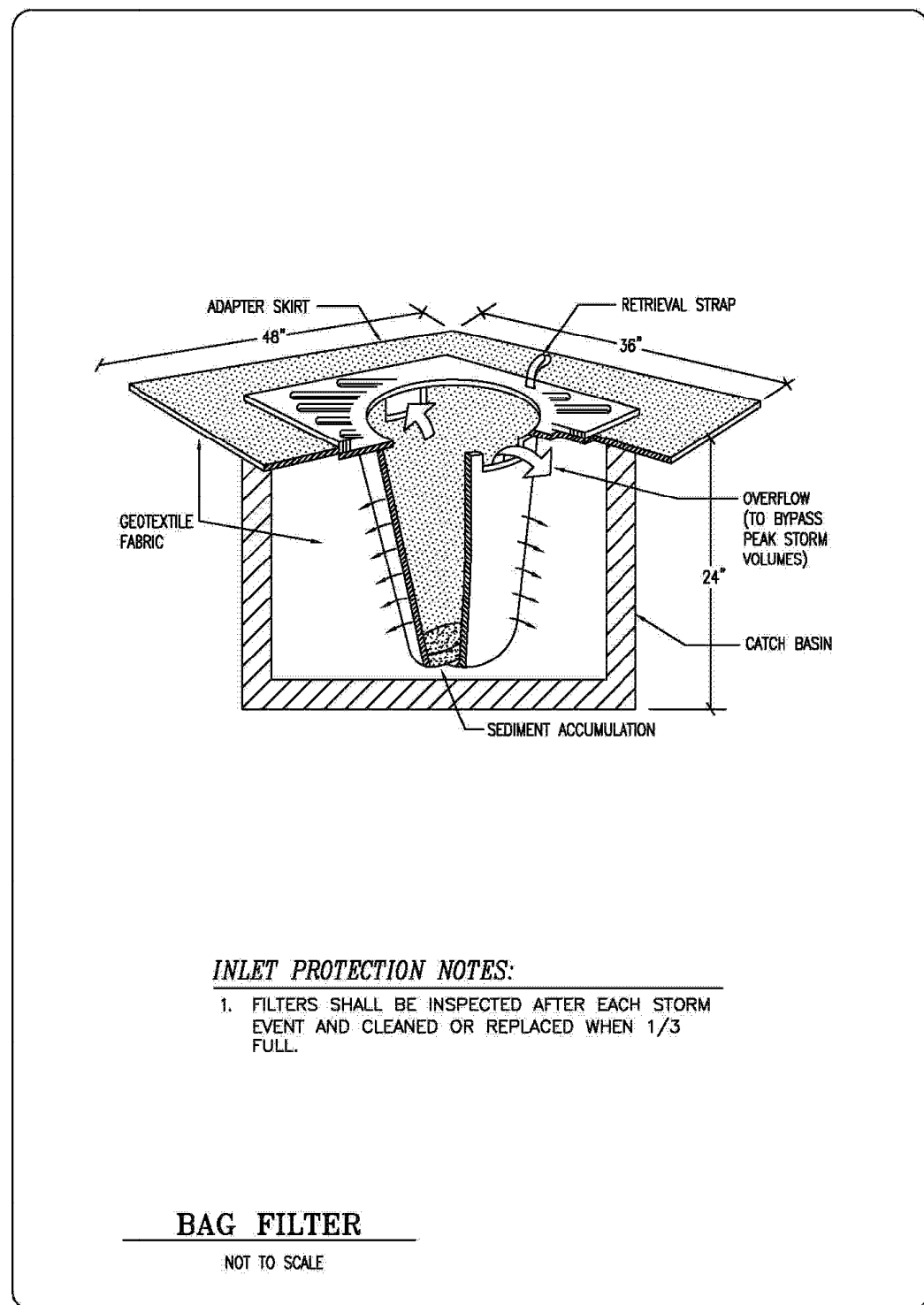
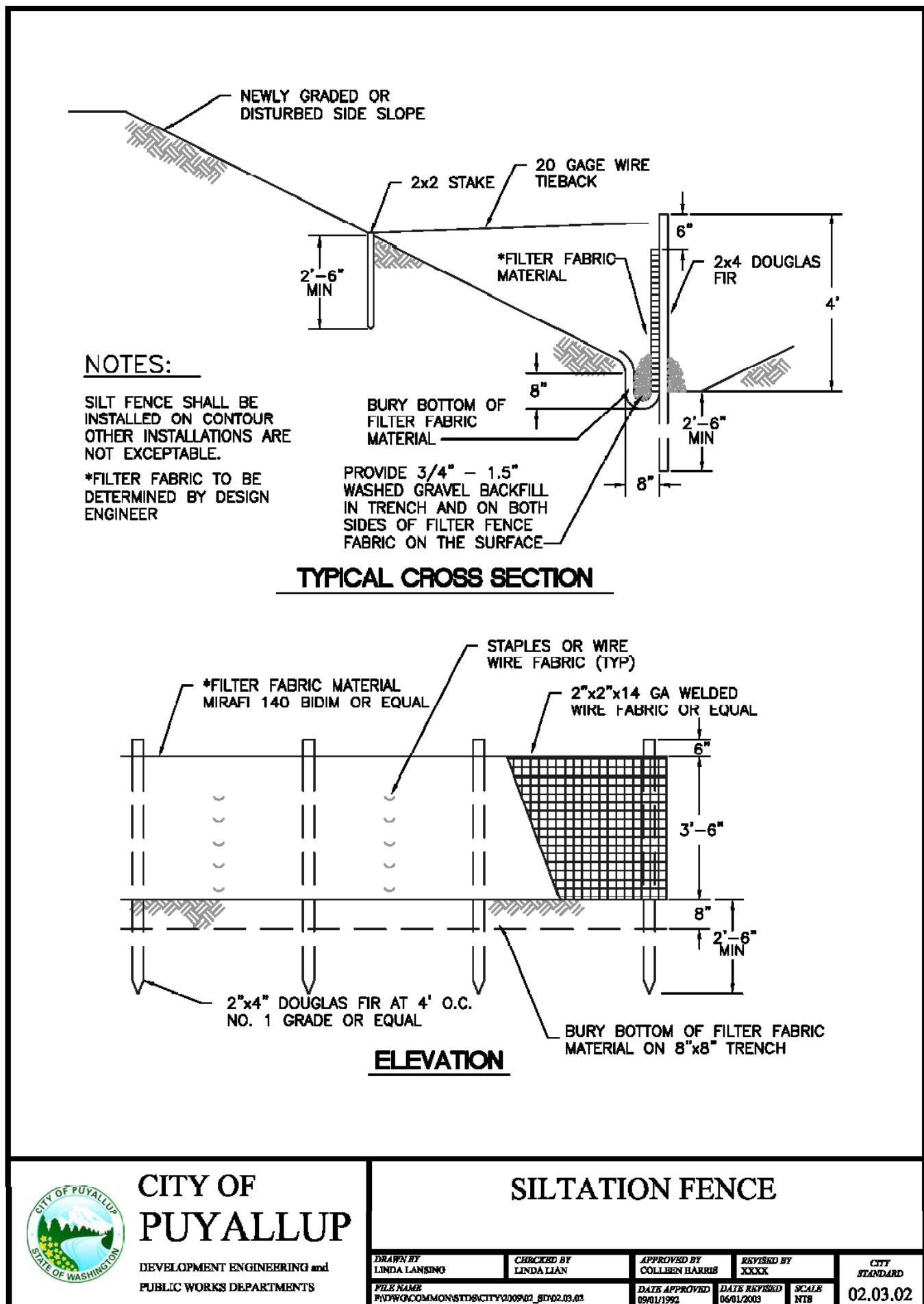
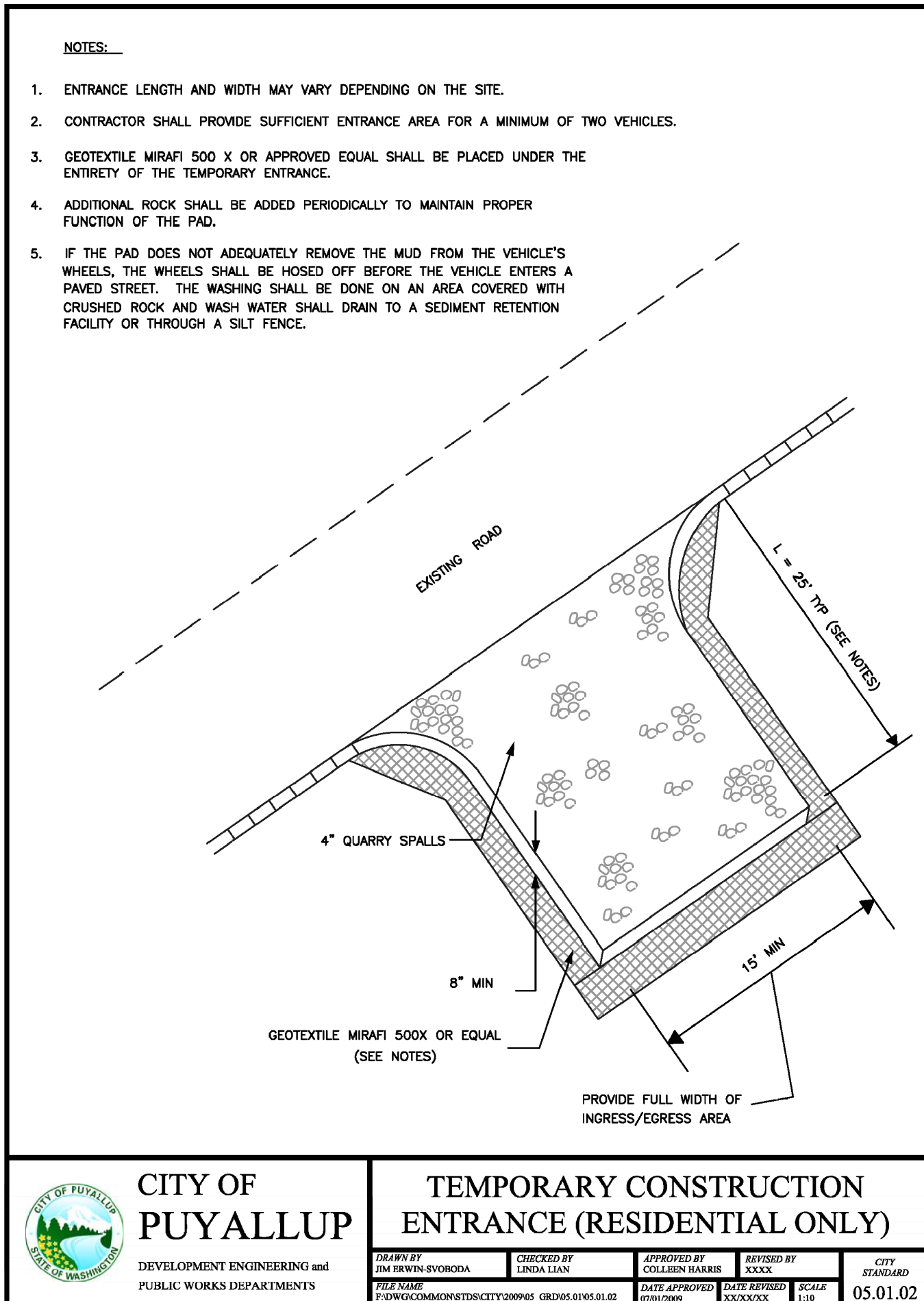
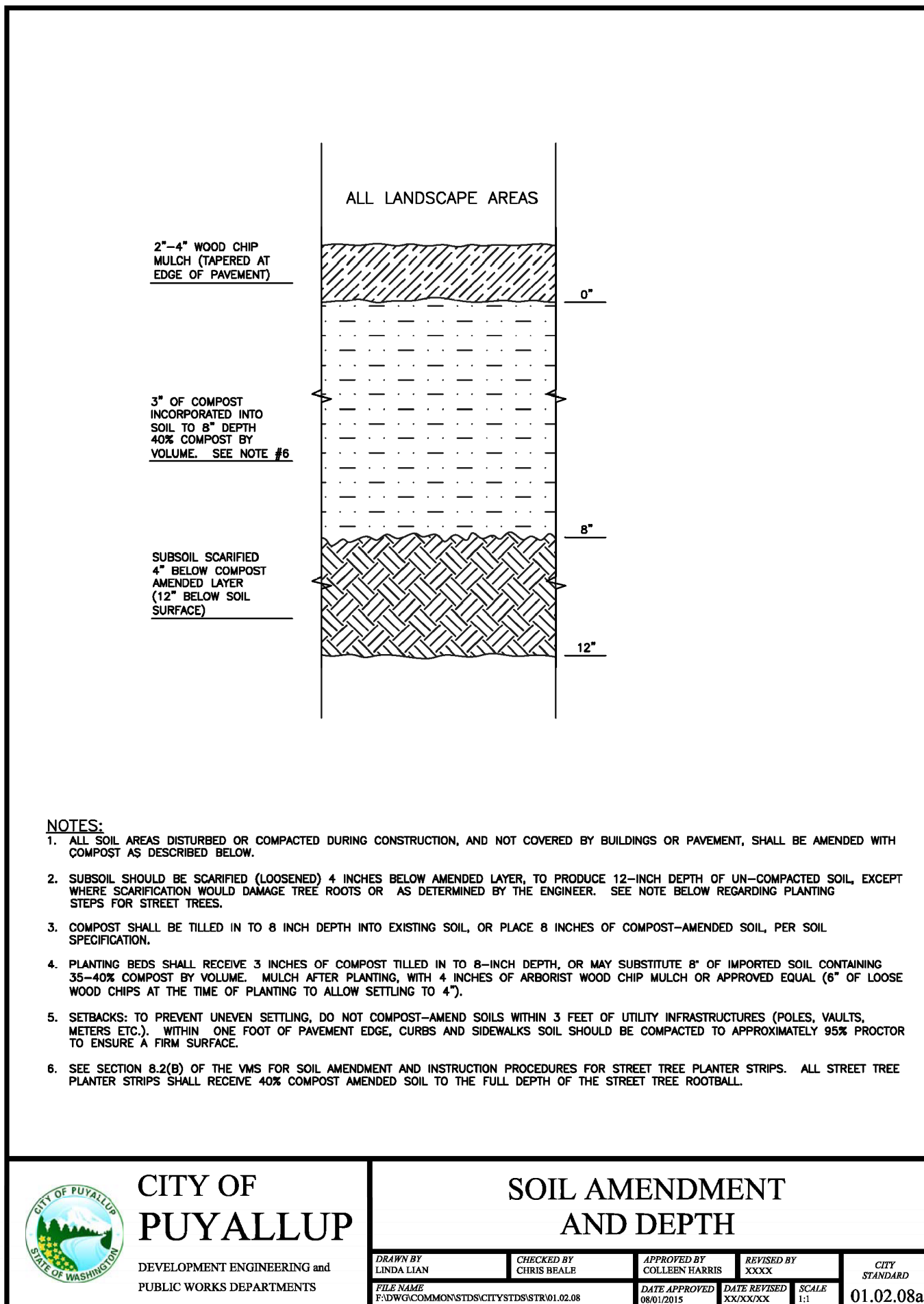
1. Seed mixture shall be 10% Redtop (92% purity, 90% germination); 40% Annual Rye (96% purity, 90% germination); 40% Chewing Fescue (97% purity, 80% germination); and 10% White Dutch clover (96% purity, 90% germination) and shall be applied at the rate of 120 pounds per acre.
2. Seed beds planted between May 1 and October 31 will require irrigation and other maintenance as necessary to foster and protect the root structure.
3. For seed beds planted between October 31 and April 30, armoring of the seed bed will be necessary. (e.g., geotextiles, jute mat, clear plastic covering).
4. Before seeding, install needed surface runoff control measures such as gradient terraces, interceptor dikes, swales, level spreaders and sediment basins.
5. The seedbed shall be firm with a fairly fine surface, following surface roughening. Perform all operation across or at right angles to the slope.
6. Fertilizers are to be used according to suppliers recommendations. Amounts used should be minimized, especially adjacent to water bodies and wetlands.
7. Erosion control seeding shall not be used in areas subject to wear by construction traffic.
8. Erosion control seeding may be used in all areas of 5% or less slope. In areas between 5 and 10% slope, erosion control seeding may be used for a maximum horizontal distance of 100 feet. Use mulch or netting or other treatments for steeper and longer slopes.

SOIL STOCKPILE NOTES:

1. Stockpiles shall be stabilized (with plastic covering or other approved device) daily between November 1 and March 31.
2. In any season, sediment leaching from stock piles must be prevented.
3. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or when conditions exist that may otherwise be detrimental to proper grading or proposed sodding or seeding.
4. Previously established grades on the areas to be topsoiled shall be maintained according to the approved plan.
5. Stockpiles must be located more than 50 feet from all drainage features.
6. From April 1 to October 31 all disturbed areas at final grade and all exposed areas that are scheduled to remain unworked for more than 30 days shall be stabilized within 10 days.

PLASTIC COVERING NOTES:

1. Plastic sheeting shall have a minimum thickness of 6 mils and shall meet the requirements of the STATE STANDARD SPECIFICATIONS Section 9-14.5.
2. Covering shall be installed and maintained tightly in place by using sandbags or ties on ropes with a maximum 10-foot grid spacing in all directions. All seams shall be taped or weighted down full length and there shall be a least a 12 inch overlap of all seams.
3. Clear plastic covering shall be installed immediately on areas seeded between November 1 and March 31 and remain until vegetation is firmly established.
4. When the covering is used on un-seeded slopes, it shall be kept in place until the next seeding period.
5. Plastic covering sheets shall be buried two feet at the top of slopes in order to prevent surface water flow beneath sheets.
6. Proper maintenance includes regular checks for rips and dislodged ends.



DATE	6/28/2020
DESIGN	4/13/23
REVISION	6/28/23
1. Rechecked by City Review.	
2. Rechecked by City Review.	
3. Rechecked by City Review.	
4. Rechecked by City Review.	
5. Rechecked by City Review.	
6. Rechecked by City Review.	
7. Rechecked by City Review.	
8. Rechecked by City Review.	
9. Rechecked by City Review.	
10. Rechecked by City Review.	

JOB NO. 2349	DATE: November 22, 2022
DESIGNED BY: Rob Trivitt	
DRAWN BY: Rob Trivitt	
CHECKED BY: Rob Trivitt	
APPROVED BY: Rob Trivitt	

AZURE GREEN CONSULTANTS

feasibility • planning • engineering • surveying

409 East Pioneer, Suite A • Puyallup, WA 98372 phone 253.770.3144 fax 253.770.3142

ESC Notes & Details

Farris Short Plat
Lot 2 Site Development

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA 98371
Phone 253.255.3413 Fax

DRAWING

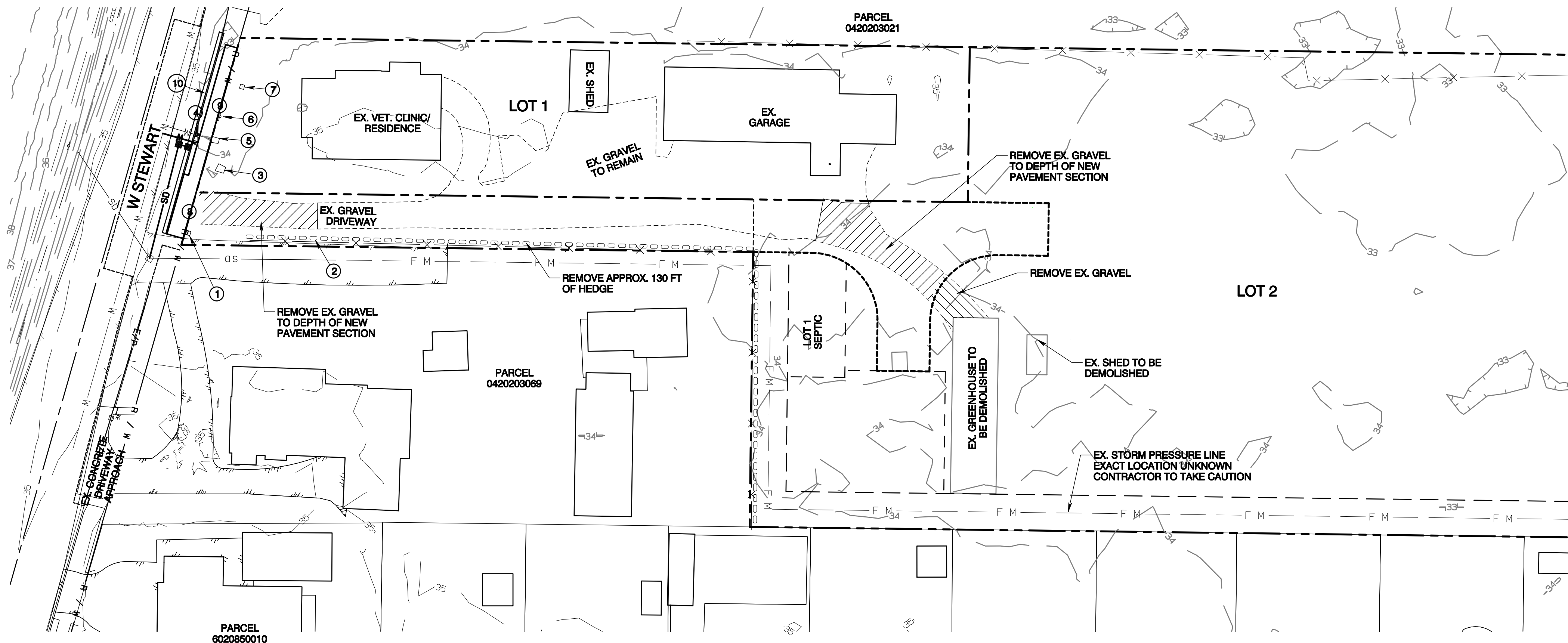
ST-2

SHEET 2
OF 5

Farris Short Plat - Lot 2 Site Development

Section 29, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington

B-20-0741



EXISTING CONDITIONS/
DEMO PLAN

LEGEND

- EXISTING EDGE OF ASPHALT
- EXISTING EDGE OF GRAVEL
- SD EXISTING STORM LINE
- EXISTING CATCH BASIN
- EXISTING CONTOUR

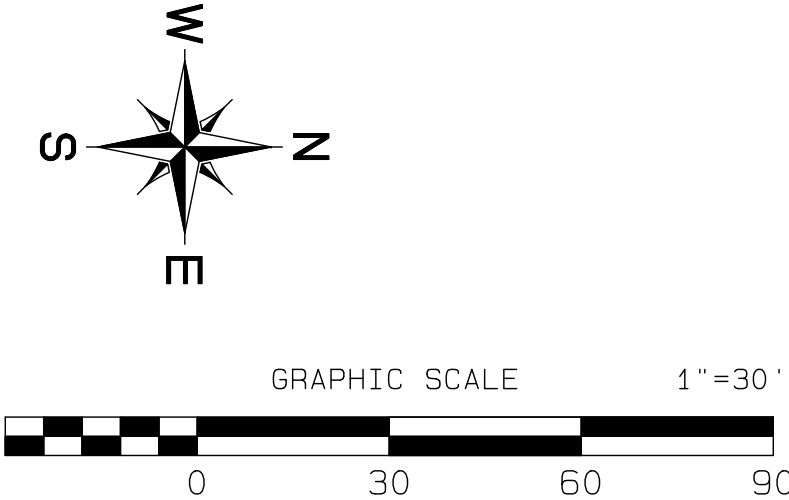
EXISTING FEATURES KEY NOTES

- POWER JUNCTION BOX
- HEDGE AND FENCE
- LAMPPOST
- TWO WATER SERVICES
- RPBA
- POWER POLE
- BUSINESS SIGN
- CONCRETE DRIVEWAY APPROACH
- CONCRETE SIDEWALK
- CONCRETE CURB & GUTTER

ESC KEY NOTES

- EXISTING DRIVEWAY APPROACH AND GRAVEL DRIVEWAY ARE ADEQUATE FOR CONSTRUCTION ENTRANCE. IF TRACKOUT BEGINS TO OCCUR, THE CS STANDARD 05.01.02, TEMPORARY CONSTRUCTION ENTRANCE, WILL NEED TO BE INSTALLED PER THE CITY INSPECTOR'S REQUEST.
- INSTALL SILT FENCE SEE DETAIL ON SHEET ST-2
- STOCKPILE AREA, SEE NOTES SHEET ST-2
- INSTALL CB INLET PROTECTION SEE DETAIL SHEET ST-2

DISTURBED AREA
THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 22,703 SF.
EXISTING:
DRIVEWAY: 1,786 SF
PASTURE: 19,066 SF
DEVELOPED:
DRIVEWAY: 5,552 SF
ROOF: 4,274 SF
LAWN: 10,917 SF
PASTURE: 1,960 SF

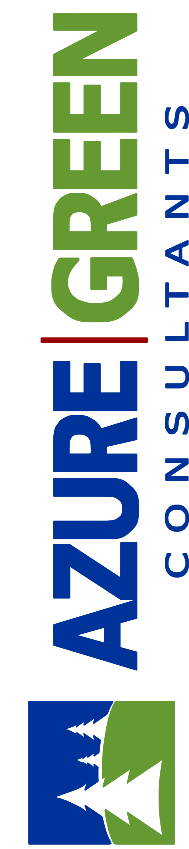


ESC PLAN

Existing Conditions/Demo Plan & ESC Plan

Farris Short Plat
Lot 2 Site Development
Richard & Kathy Farris
2401 W Stewart
Puyallup, WA, 98371
Phone 253.255.3413 Fax

Azure Green
CONSULTANTS
409 East Pioneer, Suite A - Puyallup, WA 98372
Phone 253.770.3144 Fax 253.770.3142
+feasibility +planning +engineering +surveying



JOB NO. 2348
DATE: November 22, 2022
DESIGNED BY: Rob Trivitt
DRAWN BY: Rob Trivitt
CHECKED BY: Rob Trivitt
APPROVED BY: Paul Owen

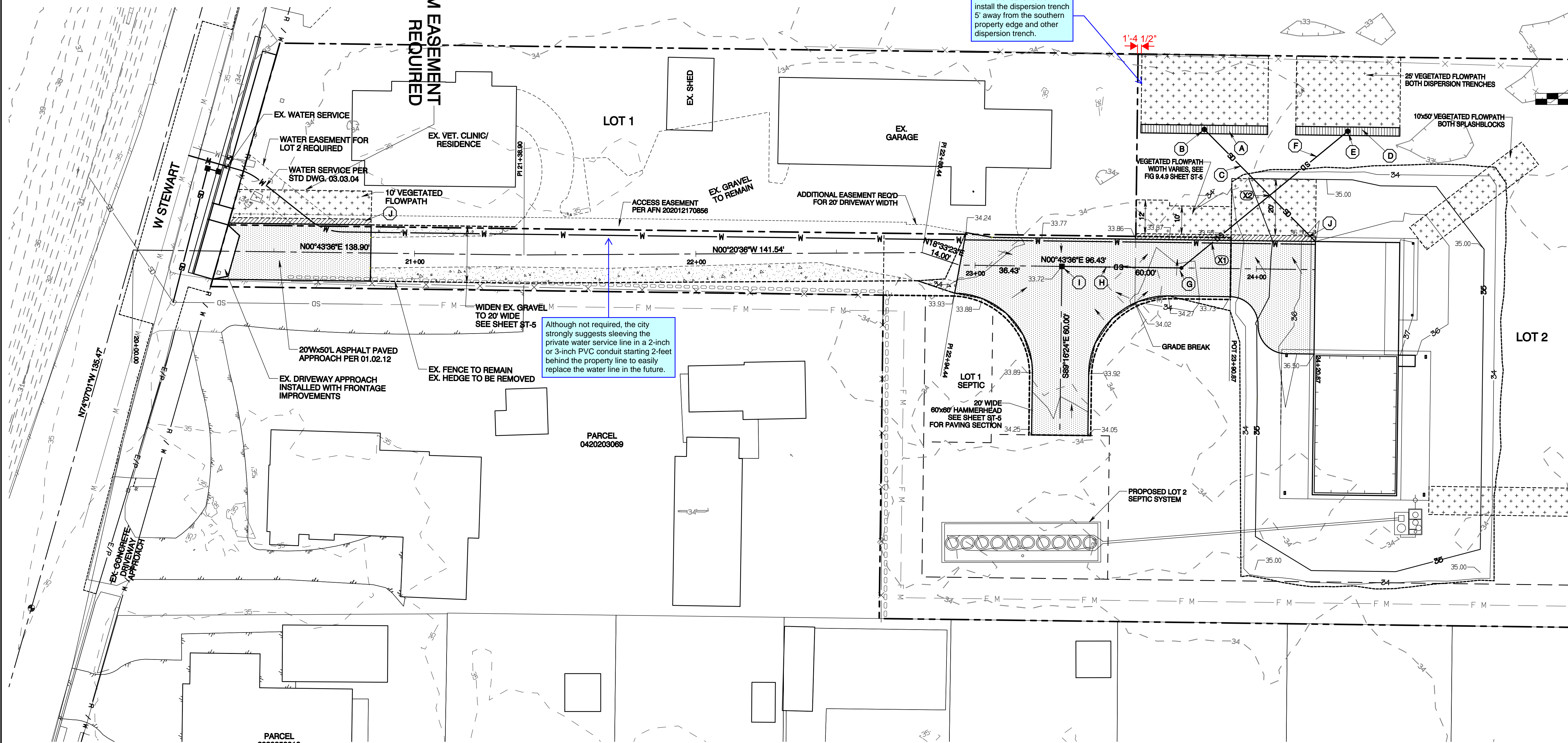
REVISION	DATE
1. Reassessing City Review	4/13/23
2. Revised per City Review	6/26/23
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	



Farris Short Plat - Lot 2 Site Development

Section 29, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington

B-20-0741



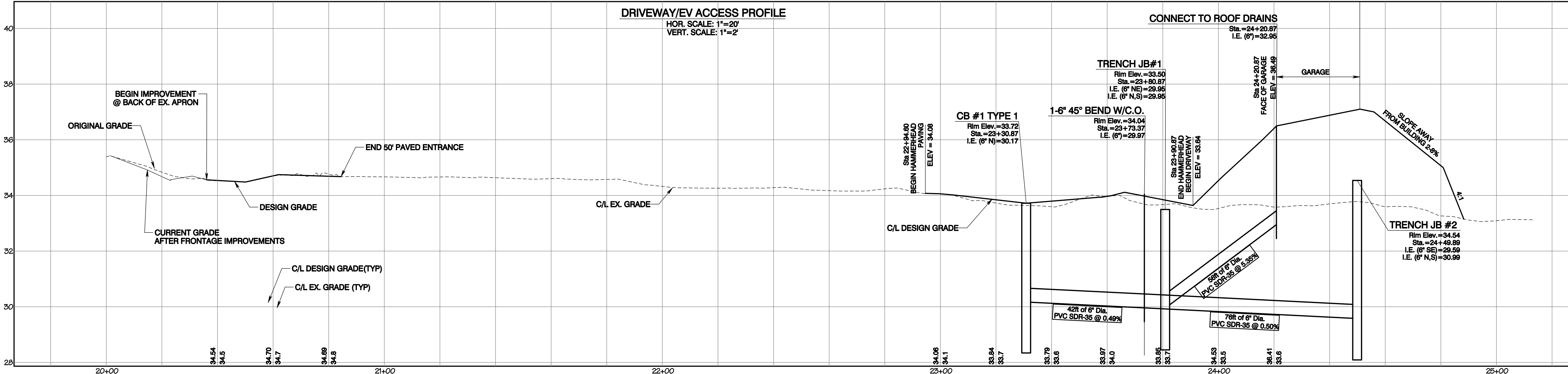
CONSTRUCTION KEY NOTES

- (A) DISPERSION TRENCH #1
3'Wx45'L
GRADE BOARD EL=33.50
- (B) TRENCH JB#1 TYPE 1
23+30.87 49.3'L
RIM=33.50
I.E. 6" NE=29.95
I.E. 6" N,S=29.95
- (C) 56LF 6" PVC SDR-35 S=5.35%
- (D) DISPERSION TRENCH #2
3'Wx37'L
GRADE BOARD EL=34.54
- (E) TRENCH JB#2 TYPE 1
24+31.87 49.3'L
RIM=34.54
I.E. 6" SE=29.59
I.E. 6" N,S=30.99
- (F) 76LF 6" PVC SDR-35 S=0.50%
- (G) 1-6" 45° BEND W/C.O.
SEE C.O. DETAIL SHEET ST-5
23+73.37
RIM=34.04
I.E. 6"=29.97
- (H) 42LF 6" PVC SDR-35 S=0.49%
- (I) CB #1 TYPE 1
23+30.87
RIM=33.72
I.E. 6" N=30.17
- (J) 2' TRANSITION ZONE
EXTEND DRIVEWAY SUB-BASE MATERIAL

CROSSINGS

- (X1) TOP 6" STORM=30.42
BOTTOM WATER=31.66
- (X2) BOTTOM 6" STORM=31.70
TOP 6" STORM=30.32

SOIL AMENDMENT
ALL DISTURBED AREAS NOT COVERED
BY IMPERVIOUS SURFACES SHALL HAVE SOILS
AMENDED PER STD 01.02.08a, SEE SHEET ST-2



Driveway Plan & Profile

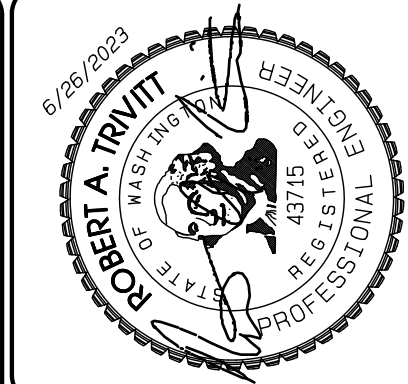
Farris Short Plat
Lot 2 Site Development

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA, 98371
Phone 253.255.3413 Fax



JOB NO. 2348
DATE: November 22, 2022
DESIGNED BY: Rob Trivett
DRAWN BY: Rob Trivett
CHECKED BY: Rob Trivett
APPROVED BY: Paul Owen

REVISION
1. Revisions per City Review.
2. Revised per City Review.
3.
4.
5.
6.
7.
8.
9.
10.



DRAWING
ST-4
SHEET 4
OF 5

Section 29, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington



- | | |
|---|---|
| <p>1. ALL DEPTHS ARE MINIMUM COMPACTED DEPTHS.</p> <p>2. SUB GRADE PREPARATION SHALL MEET THE REQUIREMENTS OF WSDOT SPEC. SECTION 2-06.3(1). THE SUBGRADE SHALL BE SUBMITTAL TO THE CONTRACTOR TO MEET THE COMPACTATION REQUIREMENTS AND CONTROL ALL WORK. THE PUMP RESERVES THE RIGHT TO CONDUCT COMPLIANCE TESTS, AT THE CONTRACTORS EXPENSE.</p> <p>3. SUBBASE MATERIAL SHALL BE BANKRUN GRAVEL MEETING THE REQUIREMENTS OF WSDOT SPEC. SECTION 4-03.10 OR CRUSHED BALLAST MEETING THE REQUIREMENTS OF WSDOT SPEC. SECTION 4-03.11. THE SUBBASE SHALL MEET THE GRADATION REQUIREMENTS OF WSDOT SPEC. SECTION 4-03.9(3). THE SUBBASE AND BASE MATERIAL SHALL BE INSTALLED IN CONCORDANCE WITH WSDOT SPEC. SECTION 4-04.</p> | <p>4. SOIL STABILIZATION FABRIC MAY BE REQUIRED BY THE ENGINEER TO BE INSTALLED PRIOR TO THE INSTALLATION OF THE BASE MATERIAL. WHEN REQUIRED, THE CONTRACTOR SHALL PLACE A GEOTEXTILE FABRIC OVER THE PREPARED SUBGRADE WITH A 2 FOOT MINIMUM OVERLAP. THE MATERIAL SHALL BE AMOCO NON-WOVEN CONSTRUCTION FABRIC #4553 OR AN APPROVED EQUAL. THE MATERIAL SHALL BE PROPERLY PACKED AND DELIVERED TO THE SITE AS RECOMMENDED ETC.</p> <p>5. 2% IS STANDARD CROSS-SLOPE. MAY VARY FROM 0.5% MIN. TO 5% MAX. AS NEEDED TO DIRECT RUNOFF TO FILTER STRIP OR CATCH BASIN. SEE PLAN FOR SPOT ELEVATIONS.</p> |
|---|---|

Diagram illustrating the proposed driveway layout and materials:

- 20' FINAL WIDTH (MIN)**: Overall width of the driveway.
- EX. GRAVEL DRIVEWAY WIDTH VARIES**: Width of the existing gravel driveway.
- VARIES**: Indicated at both ends of the driveway width.
- PROP. LINE**: Proposed line for the driveway.
- EX. FENCE TO REMAIN REMOVE AS NEEDED**: Existing fence line.
- 6" MIN. CRUSHED SURFACING BASE MATERIAL (SEE NOTE 3)**: Material layer for the driveway base.
- SUITABLE NATIVE SOILS SUBGRADE (SEE NOTE 2)**: Subgrade material.

The diagram illustrates the design of a Non-Interlocking Surface (NIS) system, showing both a plan view and a cross-section (Section A-A).

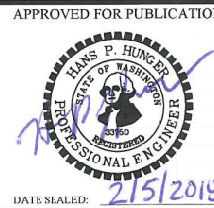
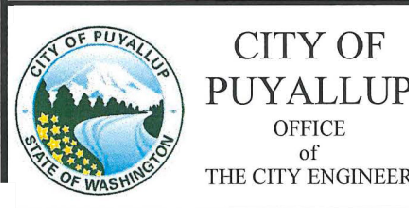
PLAN NIS:

- The plan view shows a rectangular area with a width labeled "Width 'W'" and a length labeled "Length 'L'".
- At the top, there is a "15' Max. Recommended" dimension for the top layer.
- Below this, there is a "1' Min." dimension for the middle layer.
- The bottom layer is labeled "Flow Spreader Extending Entire Length of Pavement".
- A "Filter Strip" is shown extending across the width of the pavement.
- Arrows indicate "Coordinating" and "Seepage Area 5% Max. Slope" for the top layer, and "Seepage Area 5% Max. Slope" for the middle layer.
- A "Edge of Pavement or Working Shoulder" is indicated on the left side.
- Section lines A-A are shown at the top and bottom.

SECTION A-A:

- The cross-section shows the "Pavement Surface" on the left.
- Below the pavement is a "Flow Spreader (gravel) 5% Max." layer.
- A "Filter Strip" is shown below the flow spreader.
- The filter strip has a "6' min. Topsoil" layer on top and a "1% < Slopes 15%" layer on the bottom.
- The bottom layer is labeled "Collector Ditch (Typ.)".
- Dimensions include "1' min." for the topsoil layer, "Length 'L'" for the filter strip, and "1' min." for the gravel layer.

- NOTES**
1. SERVICE LINE MAY BE 200 PSI POLY PIPE IN UNCONTAMINATED SOILS. IN SOILS THAT MAY CONTAIN HYDROCARBONS USE 1" TC COPPER PIPE.
 2. PIPE TO BE BEDDED WITH MATERIAL FREE OF ROCKS.
 3. POLY PIPE SHOULD BE PLACED IN THE TRENCH IN A SHAKELIKE FASHION (NOT STRAIGHT WITHOUT SLACK). THIS WILL ACCOMMODATE GROUND MOVEMENT AND KEEP PRESSURE OFF THE FITTINGS.
 4. PLASTIC WATER SERVICE PIPING MAY TERMINATE WITHIN A BUILDING, PROVIDED THE CONNECTION TO THE POTABLE WATER DISTRIBUTION SYSTEM SHALL BE ACCESSIBLE. SEE CURRENT UTILITY PLUMBING CODE FOR MORE INFORMATION.
 5. THE MAIN SHUT-OFF VALVE, PRESSURE REDUCING VALVE, AND STRAINER SHALL BE LOCATED INSIDE THE BUILDING IN AN ACCESSIBLE LOCATION. THESE SHALL BE LOCATED BEFORE ANY BRANCH CONNECTIONS, AND PROTECTED FROM FREEZING. THE MAIN SHUT-OFF VALVE SHALL BE BRASS.
 6. ALL PROPERTIES WITH WATER SERVICE CONNECTIONS LOCATED SOUTH OF 15TH AVE SE AND SOUTH OF 15TH AVE SW SHALL HAVE AN APPROVED PRIVATELY OWNED AND PRIVATELY MAINTAINED PRESSURE REDUCING VALVE (PRV) LOCATED ON THEIR WATER SERVICE LINE.
 7. ALL PROPERTIES WITH IRRIGATION LOCATED SOUTH OF 15TH AVE SE AND SOUTH OF 15TH AVE SW SHOULD HAVE AN APPROVED PRIVATELY OWNED AND PRIVATELY MAINTAINED PRESSURE REDUCING VALVE (PRV) LOCATED ON THEIR IRRIGATION BRANCH LINE.
 8. ALL INSTALLATIONS WITHIN TWO (2) FEET OF THE BUILDING SHALL COMPLY WITH THE CURRENT UTILITY PLUMBING CODE.



PRIVATE WATER SERVICE LINES

03 03 04



- MAXIMUM LENGTH OF PIPE BETWEEN CATCH BASINS SHALL BE 400'.
TYPE I CATCH BASIN IS USED FOR DEPTHS TO THE TOP OF THE CURB FROM TOP OF GRADE TO (PIPE INVERT).
PRECAST BASE SECTION SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MIN. CATCH BASIN SHALL BE 18" MIN. MAXIMUM DIAMETER OF 20" TO PROVIDE FOR A MINIMUM SUMP DEPTH OF 18".
THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION SHALL NOT EXCEED 1/2" PER FOOT.
CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 (ASHTO M 19) AND ASTM C 890 UNLESS OTHERWISE NOTED.
CATCH BASIN MARKER WILL BE AFFIXED WITH MARKER IN DRY WEATHERS, 40 DEGREES OR WARMER. IF CURB EXISTS MARKER IS PLACED ON TOP OF CURB, IF A RAISED ELEVATION IS NOT PROVIDED, MARKER IS PLACED ON PAVEMENT ON SIDE LEAST EXPOSED TO TRAFFIC.

PLAN VIEW

SECTION VIEW



**CITY OF
PUYALLUP**
DEVELOPMENT ENGINEERING and
PUBLIC WORKS DEPARTMENTS

CATCH BASIN TYPE 1 (AREA DRAIN)

DRAWN BY LINDA LANSINO	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY XXXXX	CITY STANDARD
FILE NAME		DATE APPROVED	DATE REVISION	SCALE
				02.01.02



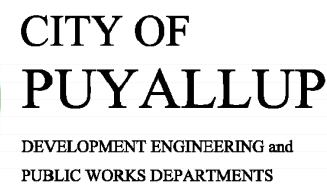
2. CAST IRON FRAME AND COVER SHALL BE DRILLED AND TAPPED TO 3/4" X 11 NC STAINLESS STEEL TYPE 304 ALLEN HEAD BOLTS, 2" LONG.
3. BOLT-LOCKING CAST IRON FRAME AND COVER SHALL BE H20-20 RATED IF USED IN RIGHT-OF-WAY OR EASEMENTS.
4. 14" BOLT-LOCKING CAST IRON FRAME AND COVER SHALL BE USED TO DUMPY FURNACE PORT # M106.
5. CAST IRON FRAME AND COVER SHALL BE FLUSH WITH FINISHED GRADE.
6. CLEANOUTS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND 10' FOR EACH 180 DEGREE BEND.
7. STORM PIPE BEDDING AND BACKFILL SHALL CONFORM TO STD DET. 605.01.0.
8. FINAL JOINTS SHALL BE SAW CUT, FACE OF CUT TACKED AND ALL JOINTS SEALED WITH SEALANT (AR8000V).
9. STORM DRAIN SUB SHALL EXCEED 10' BEYOND THE PROPERTY LINE OR EASEMENT LINE TO PREVENT DAMAGE AND MINIMIZE CONFLICT WITH FUTURE UTILITIES.
10. EACH CLEANOUT ASSEMBLY SHALL CONSIST OF ONE (1) CLEANOUT COVER (HUB & FEMALE INSIDE PIPE THREAD, PVC SLIP IN), AND ONE (1) CLEANOUT PLUG (MALE OUTSIDE THREAD) WITH RAGGED NUT.
11. FOR LANDSCAPED AREAS (OUTSIDE OF CITY ROW, EASEMENTS AND FACILITIES) A GREEN "CARSON MODEL 910 VARD MARK" MAY BE USED FOR C&P PIPE DIAL LESS THAN OR TO 70" YARD BOLT SHALL BE FASTENED WITH "C&P" HOOKS. THE COVER MARKED "STORM" AND "C&P" WITH FINISHED GRADE.



CITY OF
PUYALLUP
PUBLIC WORKS AND
DEVELOPMENT ENGINEERING

STORM DRAIN CLEANOUT

SCALE: NTS	DATE REVISED: 04/06/2023	CITY STANDARD
---------------	-----------------------------	------------------

DEVELOPMENT ENGINEERING and
PUBLIC WORKS DEPARTMENTS

RESIDENTIAL INFILTRATION TRENCH SUMP STRUCTURE

DRAWN BY LINDA LANSING	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY XXXX	CITY STANDARD
FILE NAME		DATE APPROVED	DATE REVISED	SCALE
				02 05 02

Details

Farris Short Plat
Lot 2 Site Development

Richard & Kathy Farris
2401 W Stewart
Puyallup, WA, 98371
Phone 253.255.3413 Fax

AZURE | **GREEN**
CONSULTANTS
+ feasibility + planning + engineering + surveying
9 East Pioneer, Suite A - Puyallup, WA 98372
phone: 253.770.3144 fax: 253.770.3142

409 East Pioneer, Suite A - Puyallup, WA 98372 phone: 253.770.3144 fax: 253.770.3142

DRAWING

ST-5

<i>SHEET</i>	5
<i>OF</i>	5