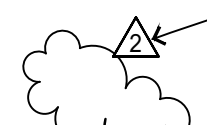
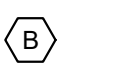
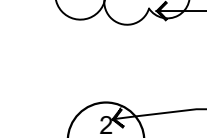
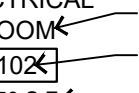
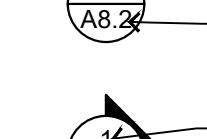
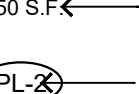
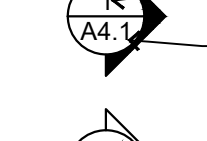
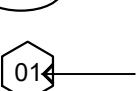
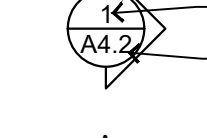

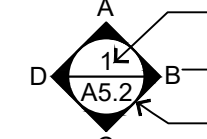
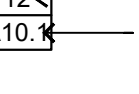
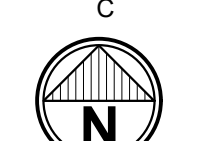
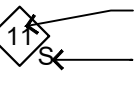


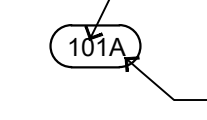



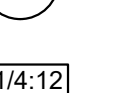
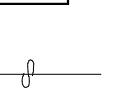
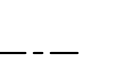




GENERAL NOTES

- A. REFER TO SCOPE OF WORK BID OUTLINE FROM TENANT TO CONTRACTOR AND E&N HOLDINGS LLC TO CONTRACTOR. ALONG WITH TENANT STANDARD SPECIFICATIONS REQUIREMENTS AND STANDARDS. ALL WORK IS TO BE COMPATIBLE WITH EXISTING CONSTRUCTION. GC TO NOTIFY TENANT OF DISCREPANCIES BETWEEN DRAWINGS AND SCOPE OF WORK BID OUTLINE.
- B. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL GOVERNING BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK THAT HAS BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES OR DETAILS WHICH DO NOT MEET BUILDING CODES AND CONSTRUCTION STANDARDS.
- C. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF CONFLICTS OR CHANGES BETWEEN DETAILS, OR BETWEEN THE PLANS AND SPECIFICATIONS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES POSSIBLY AFFECTED BY THE WORK AS SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE SERVICES AT 1-800-424-5555, AND POT-HOLING THE EXISTING UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION(S). GC TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH THE CITY ENGINEERING DEPARTMENT AND RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- E. THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE TENANT, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES.
- F. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
- G. EXISTING CONDITIONS DAMAGED AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT AREAS. THE CLIENT FOR THIS PROJECT TO THE TENANT. ALL REPLACEMENT MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION INsofar AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND TENANT PRIOR TO INSTALLATION.
- H. MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED. FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF E&N HOLDINGS LLC.
- I. IT IS THE ARCHITECT'S RESPONSIBILITY, AS A LICENSED PROFESSIONAL, TO OBSERVE THAT THE CONSTRUCTION IN THE FIELD ADHERES TO THE CONTRACT DOCUMENTS. IF THE CLIENT FOR THIS PROJECT DOES NOT REQUEST PERIODIC CONSTRUCTION OBSERVATION SERVICES DURING CONSTRUCTION FROM THE ARCHITECT OF RECORD, OR APPROVED REPRESENTATIVE, THE ARCHITECT OF RECORD SHALL NOT BE LIABLE FOR INTERPRETATIONS, SUBSTITUTIONS OR ANY MODIFICATIONS FROM THE CONTRACT DOCUMENTS BY THE CLIENT OR GENERAL CONTRACTOR. MODIFICATIONS TO THE CONTRACT DOCUMENTS MUST BE IN WRITING AND DISTRIBUTED TO THE CLIENT, GENERAL CONTRACTOR AND ARCHITECT VIA SUPPLEMENTAL INSTRUCTION CHANGE ORDER OR CHANGE ORDER DIRECTIVE AND SIGNED AS PER THE LEGAL REQUIREMENTS OF THOSE DOCUMENTS.
- J. IF THE CLIENT OR GENERAL CONTRACTOR FOR THIS PROJECT CONTRACTS WITH ANOTHER PARTY TO PRODUCE ENGINEERING AND/OR SUB-CONTRACTOR DESIGN DOCUMENTS, IT IS THE CLIENT'S RESPONSIBILITY TO COORDINATE THE WORK WITH THE ARCHITECT SO THAT THE INFORMATION CAN BE CHECKED FOR CONFORMANCE AND CONFLICTS PRIOR TO CONSTRUCTION. THE ARCHITECT IS NOT RESPONSIBLE FOR CONFLICTS OR ISSUES WITH DESIGN WORK DONE BY OTHERS IF NOT SHARED WITH AND APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION DOCUMENTS BEING ISSUED.

LEGEND OF SYMBOLS

	REVISION NO. (TITLE BLOCK SHOWS REV. DATE)		WINDOW SCHEDULE KEY
	INDICATES REVISED AREA		ROOM NAME
	DETAIL NO. DESIGNATION		ROOM NO.
	SHEET THAT DETAIL IS SHOWN		ROOM AREA
	BLDG. SECTION NO.		FINISH SCHEDULE KEY
	SHEET THAT SECTION IS SHOWN		EQUIP. SCHEDULE KEY
	WALL SECTION NO.		CASEWORK DTL. NO.
	SHEET THAT SECTION IS SHOWN		SHEET NO.
	INTERIOR ELEV. NO.		WALL TYPE NO.
	WALL ORIENTATION		INSULATION KEY
	SHEET THAT INTERIOR ELEV. IS SHOWN		DATUM POINT
	NORTH ARROW		CEILING HEIGHT
	SHEET KEY NOTE		FINISH CEILING TYPE
	DOOR SCHEDULE KEY (CORRESP. TO ROOM NO. WHERE DOOR OCCURS)		GRID DESIGNATION
	DOOR SUFFIX		ROOF SLOPE AND DIRECTION KEY
			BREAK LINE SYMBOL
			MATCH LINE MARKER

VICINITY MAP



City of Puyallup
Development
Engineering
APPROVED

See permit
for additional
requirements.

Linda Lian
07/25/2023
1:27:16 PM



Refer to approved civil plan: PRCCP20230248
for sedimentation and erosion control methods

Refer to approved civil plan: PRCCP20230248
for roof downspout control methods

This property is within
a regulated
FLOODPLAIN
Firm Panel
53053CO333E
AE Zone

In accordance with Puyallup Municipal Code 14.02.220(3) this project is required to install a reduce pressure backflow assembly (RPBA). Building occupancy will not be granted until the installation is completed and a final approval granted

In accordance to City Standard 04.03.04 this project is required to install a sewer sampling tee on the existing sewer lateral. Building occupancy will not be granted until the installation is completed and a final approval granted.

DESIGN CODES

AS OF FEBRUARY 1, 2021, THE FOLLOWING CODES ARE IN PLACE (INCLUDING WASHINGTON STATE-WIDE AMENDMENTS):

- 2018 INTERNATIONAL BUILDING CODE (IAC 51-50)
- 2018 INTERNATIONAL RESIDENTIAL CODE (IAC 51-51)
- 2018 INTERNATIONAL FIRE CODE (IAC 51-54A)
- 2018 INTERNATIONAL EXISTING BUILDING CODE (IAC 51-50)
- 2018 NATIONAL FUEL GAS CODE (NFPA 54) (IAC 51-50)
- 2018 INTERNATIONAL MECHANICAL CODE (IAC 51-52)
- 2018 INTERNATIONAL FUEL GAS CODE (IAC 51-52)
- 2017 LIQUEFIED PETROLEUM GAS CODE (NFPA 58) (IAC 51-52)
- 2018 UNIFORM PLUMBING CODE (IAC 51-56)
- 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2018 WASHINGTON STATE ENERGY CODE (IAC 51-11C & IAC 51-11R)
- 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES
- 2023 CITY OF PUYALLUP MUNICIPAL CODE, FIRE DEPT STANDARDS AND PUBLIC WORKS STANDARD DETAILS.

SCOPE OF WORK

THE EXISTING ENTERPRISE RENT-A-CAR TENANT IS PROPOSING TO RELOCATE INTO THE EXISTING ±5,930 S.F. SPACE ON THE WEST SIDE OF THE BUILDING FORMERLY USED BY THE DMV.

TENANT IMPROVEMENT INCLUDES NEW CUSTOMER SERVICE & EMPLOYEE AREAS, NEW INTERIOR CAR WASH AREAS AND OPENINGS FOR COLLING ROLL-UP DOORS IN THE EXISTING EXTERIOR CMU WALLS. SITE WORK INCLUDES NEW PARKING STALL/ALIAS DELINEATION ON THE WEST SIDE OF THE PROPERTY ALONG WITH NEW GRADING AREAS TO ACCESS THE CAR WASH DOORS. NO ADDITIONAL BUILDING SQUARE FOOTAGE IS BEING PROPOSED.

PROJECT TEAM

PROPERTY OWNER:

SOUND PROPERTIES LLC
8124 FALLS AVE. SE
SNOQUALMIE, WA 98065
TEL: (425) 888-2995

TENANT/CLIENT:

EAN HOLDINGS LLC
500 NACHES AVE SW, STE 300
RENTON, WA 98057
CONTACT: SWARN SOLTATE
TEL: (425) 864-4355
Swarn.E.Soltate@ehi.com

SURVEYOR:

INFORMED LAND SURVEY
3215 S 12TH STREET
TACOMA, WA 98405
TEL: (253) 627-2070
admin@i-landsurvey.com

CIVIL ENGINEER:

MOMENTUM CIVIL
1145 BROADWAY, SUITE 115
TACOMA, WA 98402
CONTACT: DREW HARRIS, P.E.
TEL: (253) 319-1506
CELL: (253) 722-6059
drehw@momentumcivil.com

ARCHITECT:

THERESA K. GREENE,
ARCHITECT, PLLC
16198 SE 48TH DRIVE
BELLEVUE, WA 98006
CONTACT: THERESA GREENE
CELL: (425) 830-3245
tg.architect@comcast.net

STRUCTURAL ENGINEER:

BRIENEN STRUCTURAL ENGINEERS
1316 CENTRAL AVE S, STE 200
KENT, WA 98032
CONTACT: PAUL BRIENEN, P.E.
CELL: (206) 898-4636
pbrienen@bse-pa.com

MECHANICAL ENGINEER:

MIDDLEBROOK ENGINEERING
6216 174TH AVENUE SW
LONGBRANCH, WA 98351
CONTACT: BRIAN MIDDLEBROOK
CELL: (253) 651-5780
brian@midebrookeng.com

CONTRACTOR:

TBD - CURRENTLY OUT TO BID

IEBC COMPLIANCE

PER 2018 IEBC SECTION 301.3 ALTERATION, ADDITION OR CHANGE OF OCCUPANCY, EXCEPTION: SUBJECT TO THE APPROVAL OF THE CODE OFFICIAL, ALTERATIONS COMPLYING WITH THE LAWS IN EXISTENCE AT THE TIME THE BUILDING OR THE AFFECTED PORTION OF THE BUILDING WAS BUILT SHALL BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

ABBREVIATIONS

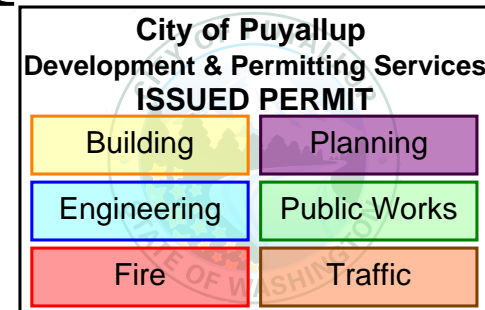
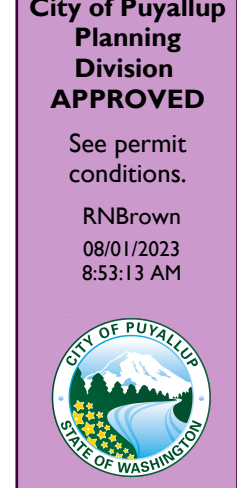
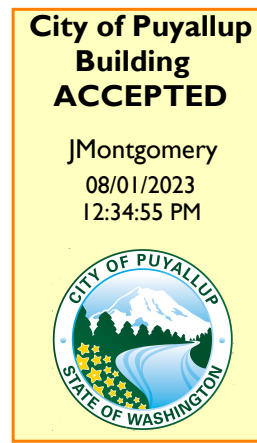
# & @	POUND OR NUMBER AND AT	EXIST. EXP. JT	EXISTING EXPANSION JOINT	O/	OVER
ACT	ACOUSTIC CEILING TILE	EXT.	EXTERIOR	P.C.C.	PRE-CAST CONCRETE
A.F.F.	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	P-LAM	PLASTIC LAMINATE
ALUM.	ALUMINUM	FEC	FIRE EXTINGUISHER	PLYWD.	PLYWOOD
ANOD.	ANODIZED	FIXT.	FIXTURE	PNT	PAINT/PAINTED
BASEMT.	BASEMENT	FLR.	FLOOR	PVC	PRESSURE TREATED
BYND.	BEYOND	F.O.	FACE OF	RBR	RUBBER
BOT.	BOTTOM	FRP	FIBERGLASS REINFORCED	RCF	REFLECTED CEILING PLAN
C.A.S.T.	CAST IN PLACE	C.I.P.	CONCRETE IN PLACE	R.D.	ROOF DRAIN
CHNL.	CHANNEL	FND.	FOUNDATION	REQ'D	REQUIRED
C.J.	CONTROL JOINT	GA.	GAUGE	RM	ROOM
CLG.	CEILING	GALV.	GALVANIZED	SIM.	SIMILAR
CLR.	CLEAR	GWB	GYPSON WALL BOARD	SPEC.	SPECIFIED OR
CMU	CONCRETE MASONRY UNIT	H.C.	HOLLOW CORE		SPECIFICATION
COL.	COLUMN	HT.	HEIGHT	SPRK	SPRINKLER
COMPR.	COMPRESSIBLE	H.M.	HOLLOW METAL	SSTL	STAINLESS STEEL
CONC.	CONCRETE	HR.	HOUR	S.T.C.	SOUND TRANSMISSION
CONT.	CONTINUOUS	HVAC	HEATING, VENTILATING, AND		COEFFICIENT
CPT	CARPET	INSUL.	AIR CONDITIONING	STL.	STEEL
CT	CERAMIC TILE	INT.	INSULATED	STRUCT.	STRUCTURAL
DBL	DOUBLE	LO.	LOW	T&G	TONGUE AND GROOVE
DEM.	DENOLISH	MAX.	MAXIMUM	TELE.	TELEPHONE
DIA.	DIAMETER	MEL	MELAMINE	T.O.	TOP OF
DIM.	DIMENSION	MEL	MELAMINE	T.O.C.	TOP OF CONCRETE
DOWN	DOWN	MASONRY	MASONRY OPENING	T.O.P.	TOP OF PLATE
DR	DOOR	MECH.	MECHANICAL	T.O.S.	TOP OF STEEL
DWG.	DRAWING	MEMBR.	MEMBRANE	TP	TOILET PAPER DISPENSER
EA.	EACH	MIN.	MINIMUM	TYP	TELEPHONE/DATA
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	MRGWB	MOISTURE-RESISTANT	U.O.N.	UNDER OTHER NOTED
			GYPSON WALL BOARD	U/S	UNDERSIDE
EL.	ELEVATION	MTL.	METAL	V.I.F.	VERIFY IN FIELD
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	V.P.	VISION PANEL
ELEV.	ELEVATOR/ELEVATION	NO NOM	NUMBER NOMINAL	W/	WITH
EPDM	ETHYLENE PROPYLENE DIENE	O.C.	ON CENTER	W/O	WITHOUT
	M-CLASS (ROOFING)	O.H.	OPPOSITE HAND	WD	WOOD
EQ.	EQUAL				

EXISTING COMMERCIAL BUILDING



TENANT IMPROVEMENT

RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD | PUYALLUP, WA 98371



LEGAL DESCRIPTION:

SECTION 21 TOWNSHIP 20 RANGE 04 QUARTER 43 : COM AT INTER OF N LI STATE RD #5 WITH W LI 4TH ST NW TH N 69 DEG 21 MIN 30 SEC W ALG SD A LI 9TH STATE RD #5, 570 FT TO POB TH COM ADJ SD N LI 70572 FT TH N 20 DEG 38 MIN 30 SEC E 10 FT TH N 69 DEG 21 MIN 30 SEC W TO E LI 8TH ST NW EXT N TH N ALG SD EXT LI TO SLY LIOF INTER-CO-RIV-IMP R/W TH ELY ALG SD S LI TO A PT BEARING N 00 DEG 17 MIN 31 SEC E FROM A PT LY N 00 DEG 17 MIN 31 SEC E 300 FT & N 69 DEG 21 MIN 30 SEC W 42019 FT FROM INTER OF N LI STATE RD #5 WITH W LI 4TH ST NW TH S 00 DEG 17 MIN 31 SEC W 46833 FT TO A LI PAR/W & 300 FT N OF N LI STATE RD #5 TH ALG SD PAR LI N 69 DEG 21 MIN 30 SEC W 14981 FT TH S 00 DEG 17 MIN 31 SEC W 300 FT TO POB OUT OF 4-035 SEG M-0640 TJ MJ EMS

EXISTING SITE DATA:

PARCEL NUMBER: 42021-4051
JURISDICTION: CITY OF PUYALLUP
ADDRESS: 621 RIVER ROAD, PUYALLUP
RTSQQ: 04-20-21-43
PROPERTY NAME: SOUND PROPERTIES, LLC
EXISTING STRUCTURE INFO: 1799, 1 STORY, 3 BLDGS
EXISTING USES: MULTI-TENANT RETAIL
ZONING DESIGNATION: RIVER ROAD MIXED USE (RMX)
CRITICAL AREAS: NONE IDENTIFIED
GROSS SITE AREA: ±464,393 S.F. (10.66 ACRES)
WATER DISTRICT: CITY OF PUYALLUP
SEWER DISTRICT: CITY OF PUYALLUP

EXISTING BUILDING DATA:

(E) CONSTRUCTION TYPE/CLASS: TYPE VA, SPRINKLERED
(E) TOTAL BLDG FLOOR AREAS: ±128,152 S.F.
(E) BLDG 1 FLOOR AREA (FOOTPRINT): ±91,472 S.F.
(E) BLDG 2 FLOOR AREA (FOOTPRINT): ±36,500 S.F.
(E) BLDG 3 FLOOR AREA (FOOTPRINT): ±180 S.F.
(E) OCCUPANCY GROUPS: B, M, S-1, S-2
(E) OVERALL BLDG HEIGHTS: 18', 24' ENTRY PARAPET

EXISTING & PROPOSED TENANT AREAS:

EXISTING TENANT AREA TO BE RELOCATED [BLDG 2]: ±1660 S.F.
PROPOSED TENANT AREA (BLDG 2): ±5,930 S.F.
PRIOR TENANT USE [DMV LICENSING]: B. BUSINESS
PROPOSED TENANT USE: B. BUSINESS
OCCUPANCY BREAKDOWN
B. CUSTOMER / EMPLOYEE AREAS: 2,100 S.F. / 150 = 14 OCC.
B. MEETING ROOM AREA: 325 S.F. / 15 = 22 OCC.
B. CAR WASH & STORAGE AREAS: 3,505 S.F. / 300 = 12 OCC.
TOTAL OCCUPANTS: 5,930 S.F. 48 OCC.

PROPOSED PARKING:

OFF-STREET PARKING ANALYSIS: PMC 20.55.010 NUMBER OF PARKING SPACES REQUIRED: (1) AUTOMOBILE SALES, BOAT SALES, RETAIL NURSERIES, AND OTHER OPEN SALES AND RENTAL YARDS, AS FOLLOWS: (B) PROPERTIES WITH 10,000 SQUARE FEET OR MORE OF OPEN SALES OR RENTAL AREA SHALL PROVIDE ONE SPACE FOR EACH 1,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS FOUR SPACES, PLUS ONE SPACE FOR EACH 10,000 SQUARE FEET OF OPEN SALES OR RENTAL AREA IN EXCESS OF 10,000 SQUARE FEET.
6 STALLS TENANT AREA + 4 + 2 STALLS ±30,000 S.F. RENTAL AREA

PARKING REQUIRED:

STANDARD VEHICLE STALLS (9' x 20'): 10 STALLS
COMPACT VEHICLE STALLS (8' x 17'): 0 STALLS
VAN HANDICAP STALL (16' x 18' MIN.): 1 STALLS
TOTAL CUSTOMER PARKING PROVIDED: 11 STALLS

THERE IS NO CHANGE OF USE IN THIS TENANT IMPROVEMENT AND THE PARKING IS EXISTING TO REMAIN UNDER THE ROAD PLAZA SHOPPING CENTER SHARED PARKING AGREEMENT.

PRE-APPLICATION REFERENCE NUMBER: PLPRE20220043

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.



TG | ARCHITECT
commercial & residential architecture

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tg.architect@comcast.net | www.tgarchitect.com
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PRCTI20221460

ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
2		
3		
4		
5		
6		
7		
8		
9		
10		
ISSUE DATES		
DESIGN APPROVAL:		
PERMIT SUBMITTAL: 02/27/23		
PERMIT RECEIVED:		
BID DOCS:		
CONSTR. DOCS:		
SHEET INFORMATION		
24"x36" SCALE: AS NOTED		
PLOT DATE: 06/12/23		
CAD FILE: 20-22A01		
JOB NUMBER: 22-14		
CHECKED: TKG		
DRAWN: TKG		
STATUS: PERMIT SET		

COVER SHEET

A0.1

GENERAL CONTRACTOR & SUBCONTRACTOR BID SPECIFICATIONS

GC & SUBCONTRACTOR BID SPECIFICATIONS:

THESE BID SPECIFICATIONS ARE INTENDED TO SUPPLEMENT THE APPROVED ARCHITECTURAL PLAN SET SINCE THESE PROJECTS TYPICALLY HAVE DESIGN/BUILD MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION (IF APPLICABLE) DOCUMENTS PERMITTED UNDER SEPARATE APPLICATIONS THAT ARE PREPARED FOR AND SUBMITTED BY THE CONTRACTOR OR SUBCONTRACTOR.

IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SUBCONTRACTORS HAVE READ AND INCORPORATED THESE SPECIFICATIONS, AS APPLICABLE, IN THEIR PERMIT SUBMITTALS.

The General Contractor and associated Sub-Contractors (GC) are to refer to the Specifications & Schedules sheet(s) in this Architectural Plan Set for listed specifications, additional information and clarification on Scope of Work responsibilities.

FCIC: Furnished by GC, installed by GC (**ALL ITEMS ARE FCIC, unless otherwise noted**)

FOIC: Furnished by Owner/Tenant, Installed By GC

NIC: Not in Contract (all furniture shown is NIC, unless otherwise noted (UON))

All construction on the approved Permit/Construction Plan Set is to be supplied/furnished by and installed by GC (FCIC), UON. GC is to coordinate with Enterprise Project Manager if discrepancies are found between the Permit/Construction Plan Set and these instructions.

TENANT / PROJECT LOCATION:

Enterprise Rent-A-Car
Tenant Improvement
River Road Plaza Shopping Center
733 River Road
Puyallup, WA 98371

ENTERPRISE PROJECT MANAGER:

Swam Soldate
EAN Holdings LLC (Enterprise)
500 Naches Ave SW, Ste 300
Renton, WA 98057
Tel: (425) 864-4355
Cell: (425) 917-7568
Swam.E.Soldate@Ehi.Com

GENERAL CONDITIONS:

- GC to supply all dust control, temporary protection of existing space, supervision and project management as required for project completion.

BID ALLOWANCES:

- GC to provide line-item costs wherever possible to enable the best evaluation by Enterprise.
- GC and Enterprise to review scope and costs once contract awarded for any Value Engineering opportunities. Having some of the line item costs from trades will better enable this process.

FINISHES & PAINT SCHEDULE:

- All interior walls to have light-medium orange-peel texture EXCEPT wall designated for "Wall Swipe" vinyl wall graphic.
- If Wall Swipe is indicated, wall shall be prepped (smooth finish) for application of a vinyl wall graphic, Wall Swipe graphic to be installed by others (NIC).
- All interior GWB walls shall be painted with eggshell latex paint, EXCEPT All-Gender Restroom(s).
- All-Gender Restroom walls shall be painted with semi-gloss latex paint.
- All interior walls and GWB ceilings shall be painted color PT1 EXCEPT accent walls in Break Room(s) and Manager Office(s).
- Accent wall in Break Room(s) to be painted color PT3. Accent wall in Manager Office(s) to be painted color PT3. Coordinate with Enterprise Project Manager for locations.
- Ceilings to be painted White (typical). Mechanical grills and to be painted same color as ceiling.

FINISHES & PAINT SCHEDULE - SPECIFIC TO CAR WASH AREA:

- Exterior paint on Car Wash buildings/area will require (2) or more primer coats to seal the CMU blocks prior to applying (2) coats building paint. GC to provide a test area for review/approval by Enterprise Project Manager prior to application of building paint.
- Inside (under side of roof) ceilings and walls in Car Wash area should be waterproofed.
(A) Suggested ceiling finish is Factory Finished White Corrugated Metal (CMTL) to be installed at underside of roof truss ceilings in Car Wash area.
(B) Suggested finish on any framed demising walls facing the Car Wash areas is Factory Finished White Corrugated Metal (CMTL) to be installed at underside of roof truss ceilings in Car Wash area.
- Interior Concrete or CMU walls to be sealed for waterproofing with (2) coats of priming sealant and 2 coats of Semi-Gloss Superpaint in Extra White SW7006 Sherwin Williams,
- GC to provide submittal to Enterprise Project Manager to confirm paint colors, proposed application of concrete/block primer, profile of corrugated metal, and floor to wall transitions in Car Wash area.

DOORS, RE-LIGHTS, & DOOR HARDWARE:

- GC to provide submittals to Enterprise Project Manager for approval for FCIC Hardware based on this sheet and the Schedules in the Architectural Plan Set.
- Interior door frames and re-lite window frames shall be Timely TA-8 BLACK Casing, unless otherwise noted on the Door/Window Schedule. THIS INCLUDES FRAMING ON RE-LITE GLASS IN DOORS.
- Vertical re-lite windows in walls next to interior doors shall match the height of door frame, if specified.
- Interior doors shall be Pre-Finished Solid Core Legacy Doors, Color: Beaumont Walnut.
- All interior doors to have passage (only) hardware EXCEPT: in All-Gender Restroom(s).
- All-Gender Restroom door(s) shall have privacy locking door handle.
- All door hardware shall be single-action, lever-release type hardware, MARKS USA 275 Series Grade 2 in Satin Chrome, unless otherwise requested by Enterprise Project Manager.
- Door closers shall be installed on all exterior and interior doors, EXCEPT Manager Office door(s) (no closer). All door closers to be located on interior of the specified room.
- GC to provide and install 12" Stainless Steel/Brushed Aluminum Kickplates on the push side of all doors.
- GC to supply and install Door Stops on walls for all doors Rockwood 409 US32D (Satin or Brushed Stainless finish).
- GC to supply and install (FCIC) Bobrick B-233 door hooks on Manager Office door(s) and All-Gender Restroom door(s). Height for door hooks in Manager Office(s) is 72" AFF. Height for All-Gender Restroom door hooks is 42" AFF.

DOORS & DOOR HARDWARE - SPECIFIC TO CAR WASH AREA:

- Garage doors in Car Wash Bays to be coiling roll-up doors, both door and frame to be beige in color (sim EPT2). **NOTE:** GC to provide submittal to Enterprise Project Manager for approval.
- GC to provide pricing for BOTH types of garage door openers: Manual and Electric.
- Thresholds at doors from wet areas to dry areas shall be sealed and caulked to prevent floor water travel between the areas.

FIXTURES & CASEWORK:

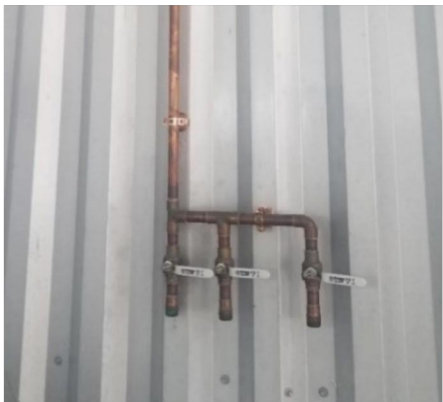
- GC to provide submittals to Enterprise Project Manager for approval for FCIC Break Room & Restroom Equipment based on the Schedule Specifications in the Architectural Plan Set.
- Fire extinguishers cabinets shall be white, semi-recessed non-locking door with ADA Compliant handle.
- GC to supply and install (3) Bobrick B-232 Coat Hooks on Break Room walls and (3) Car Wash Area Walls (FCIC). Coordinate exact location with Enterprise Project Manager.
- Grab Bars to be installed in all All-Gender Restroom(s) as indicated in Architectural Plan Set.
- GC to supply and install Bobrick B-290 Welded Frame mirrors in All-Gender Restroom(s), unless otherwise noted.
- GC to install Enterprise supplied All-Gender Restroom toilet paper and seat cover dispensers (FOIC). Locations to be confirmed with Enterprise Project Manager prior to installation.
- Break Room casework: Refer to schedule & drawings for finish specifications.
- GC to supply and install 2" (each leg) stainless steel corner guards on all outside corners EXCEPT Wall Swipe (hard) corner.
- If a Wall Swipe is indicated: GC to furnish and install a full height (floor to ceiling) 2" stainless steel corner guard on Wall Swipe vinyl graphic wall (as applicable).
- All corner guards shall be affixed with adhesive, not screws.
- GC to install Enterprise supplied poster frames in the Manager Office(s) – typical count is 6 (FOIC). Locations to be coordinated with Enterprise Project Manager.
- GC to install Enterprise supplied safe. Safe to be bolted to concrete floor, location per Enterprise Project Manager. (FOIC).
- GC to provide Enterprise measurements for windows and install Enterprise provided roller shades per schedule (FOIC). Indicate if an inside-mount or outside-mount when providing measurements for outside-mount, **NOTE:** Measure to outside edge of the frame.
- GC to supply & install semi recessed Bobrick B-29744 paper towel dispenser in breakroom near sink (FCIC) Location to be confirmed with Enterprise Project Manager.
- GC to install soap dispenser on walls above break room sink. (FOIC) Location to be confirmed with Enterprise Project Manager.

PLUMBING

- GC to provide submittals to Enterprise Project Manager for approval for FCIC Plumbing fixtures based on this sheet and the Schedule Specifications in the Architectural Plan Set.
- If a Dishwasher is specified on drawings, GC to ensure the fixture is ADA compliant. These dishwashers are shorter, and others will not fit under our specified Break Room casework. They also require extended lead times.

PLUMBING - SPECIFIC TO CAR WASH AREA:

- Car Wash area: Hose bibs to contain 4-split outlets with simple valve control. The supply line shall have an isolated shut-off valve in the line prior to the split hose bibs sim. to picture here:
- Hose bib ends to accommodate screw on hose connection.
- Hose bibs to terminate at 60" AFF.
- Backflow valve to be in Car Wash area as noted on Car Wash Floor Plan. Exact location to be confirmed with Enterprise Project Manager.
- Eye Wash Station to be plumbed on intake side of backflow.



ELECTRICAL & LIGHTING - CONTINUED:

- Hand dryers shall be mounted with bottom of hand dryer at 44" AFF. Rough in box should be placed accordingly (technical specs available online) **NOTE:** This may require straddling the P-LAM or Ceramic Wall Tile to drywall transition and possible shimming.
- Security Camera cables to be installed by Enterprise's Cabling vendor. GC to coordinate with vendor on timing for cabling.
- GC will install Enterprise provided Climate Control (HVAC) Smart panels/sensors.
- GC to coordinate with Enterprise's cabling vendor for installation of low voltage. Cable terminations to be completed by Enterprise. **NOTE:** Refer to plans to determine cable length, counts and locations.
- GC to supply and install (2) plywood backerboards in Data Closet for equipment mounting. **NOTE:** GC to confirm size and wall location with Enterprise Project Manager prior to installation.
- GC to install electrical outlets in Data Closet next to/surrounded by equipment backerboard, (4) dedicated 4-plex outlets required at 48" AFF.
- GC to run data cables and outdoor-rated ethernet cables in seal tight flex conduit from building DMarc. Cables may need to be extended to Data Closet and subsequently be framed in with chase. **NOTE:** Confirm path of conduit and layout with Enterprise Project Manager prior to installation.
- GC to install new Enterprise supplied fixtures on all existing parking lot poles as needed. (FOIC). GC to confirm and provide counts to Enterprise within 14 days of site mobilization.
- GC to install Enterprise supplied fixtures on building exterior for added security as noted on the Electrical plans. GC to confirm counts and placement with Enterprise PM.
- GC to install power to all sign locations on the building. GC to verify working power and controls on existing pole sign(s) as needed. If a new pole sign is called for, Location to be determined and GC to submit change orders as needed.

ELECTRICAL & LIGHTING - SPECIFIC TO CAR WASH AREA:

- GC to provide electrical connection and additional on/off wall switch for each industrial vacuum. **NOTE:** This will be completed near project completion and may require return trip to job site by electrician.
- Car Wash lights on ceiling in Car Wash areas to be controlled by motion sensor.
- Car Wash lights on walls in Car Wash areas to be controlled by 60-min timer switches.
- All outlets in Car Wash area shall be at 60" AFF.
- All outlets in Car Wash area shall be GFCI with metal covers (**NOT plastic**).
- All outlets for pressure washers shall be notched at the bottom to prevent pressure washer whip from obstructing metal cover closure.
- All outlets for pressure washers shall have a 30-amp circuit with 20-amp plug with side notch in the plug. **NOTE:** Refer to Floor Plans for locations and counts.
- All pressure washer and industrial vacuum outlets shall be dedicated 30-amp circuits.
- GC to provide mechanical ventilation in car wash areas per city requirements with automated CO2 sensor. GC to supply and install push button 60-minute timer switch for car wash area exhaust fan(s) with label for quick user identification.
- GC to provide pricing for electric garage door opener power as an alternate.
- Lights in Car Wash center area shall be mounted horizontally or on a 45-degree angle or vertically as noted, with top of fixture at 72" AFF.
- GC to supply and install additional GFCI outlets in All-Gender Restroom(s) adjacent to lavatories as noted on the Architectural Plan Set.

ELECTRICAL – BUILDING CONTROLS SECURITY/EV

- Alarm system: GC to install all low voltage cable runs per Electrical Floor Plan. Trim out to be completed by EHI vendor.
- CCTV System: GC to install low voltage cabling to all camera location to Data/Telcom Room per Electrical Floor Plan.
- EV Infrastructure: GC to coordinate with tenant for future 240V/Dedicated 50-amp EV Charging Station.

MECHANICAL:

- GC to provide submittals to Enterprise Project Manager for approval for FCIC Mechanical equipment based on the requirements on this sheet and the Reflected Ceiling Plan in the Architectural Plan Set.
- All mechanical equipment must be compatible with Enterprise supplied Smart Building panel (FOIC), **NOTE:** Confirm with Enterprise Project Manager prior to hand off.
- GC to inspect, clean, service, and turn up existing rooftop or pad mounted outdoor & indoor HVAC units. Unit assessment and cleaning to be completed within 30 days of site mobilization to allow sufficient time for repairs or replacement of unit.
- GC to provide recommendations for any necessary repairs or replacement for units over 15 years old.
- GC to bid-design any necessary changes to HVAC ductwork.
- GC to plan to replace HVAC unit if the existing unit does not match intended new use by Enterprise or is aged 15+ years.

MECHANICAL - SPECIFIC TO CAR WASH AREA

- GC to provide mechanical ventilation in car wash areas per city requirements with automated CO2 sensor. GC to supply and install push button 60-minute timer switch for car wash area exhaust fan(s) with label for quick user identification.
- GC to supply and install 1-2 industrial wall mount fans on walls of car wash area to promote ventilation with push button timer switch and label for quick user identification.

FIRE PROTECTION:

- Sprinkler system is existing to remain in the existing building. GC to coordinate permit information for heads that need to be adjusted and/or added for new rooms in the Tenant Improvement.
- GC is responsible for coordination with other systems to avoid conflicts.
- GC to provide drawings with the location of heads and all audible and visible fire alarm devices, if applicable, with the design/build submittal for approval by the city, as required.

FLOORING:

- GC to provide submittals to Enterprise Project Manager for approval for FCIC Flooring Specifications on the requirements on this sheet and the Finish Schedule in the Architectural Plan Set.
- GC to review existing condition of Restroom & Break Room floor substrate and what repairs and modifications will be required for luxury vinyl plank flooring installation. **NOTE:** Floor prep to be included in bid.
- GC to supply and install silver Schluter transition strips at transitions between carpet, LVP, tile flooring and sealed concrete.
- GC to supply and install Schluter strip trim along top of wall tile or P-LAM in All-Gender Restroom(s), if specified

FLOORING - CONTINUED:

- GC to supply manufacturer recommended adhesive (FCIC) and install Enterprise supplied carpet tiles as indicated on the Floor Plan and schedules (FOIC). Install per manufacturer requirements.
- All exposed CMU interior walls to be sealed with 2 coats.
- GC to assess existing concrete floor conditions to determine finish requirements in all Car Wash areas. UCRETE coating is suggested for use on existing/non disturbed concrete in pedestrian access areas. If UCRETE is used, GC shall supply and install UCRETE coating on concrete floor per manufacturer requirements and allowing for warranty conveyance.
- GC to provide precast cement coving at all exterior floor to CMU/concrete stem wall transitions. GC to confirm scope and color with Enterprise Project Manager.
- GC to supply and install ALTRO vinyl around edges of Car Wash area where walls are framed. Recommended width 36" from wall to allow for a walk path. Where galvanized metal is being used on interior frame walls, ALTRO vinyl shall be covered up onto wall 12" underneath the galvanized panels. Refer to detail referenced on the Floor Plan.
- ALTRO vinyl does **not** require trim, but GC must ensure that ALTRO Epoxy is used to secure to concrete. Epoxy to be extended to edge of the vinyl to avoid lifting and resulting trip hazards. GC to confirm flooring vendor is certified to install ALTRO vinyl products.

PARKING LOT FINISHES, SIGNAGE AND STRIPING

- All ADA parking stall lines, symbols and loading area crosshatching to be Thermoplastic torch down (or similar). If similar product, **NOTE:** GC to provide submittal to Enterprise Project Manager for approval.
- All pedestrian walk paths and directional arrows should be Thermoplastic torch down (or similar). If similar product, **NOTE:** GC to provide submittal to Enterprise Project Manager for approval.
- All other striping shall be DOUBLE coated white unless otherwise required by City code.

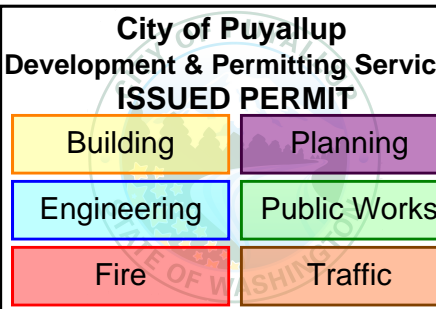
LANDSCAPING

- Wherever possible, evergreen drought tolerant plants are requested as solution. These plants would not require irrigation. Examples of these might include Boxwood and Nandina.
- GC to trim all existing landscape plants & bushes.
- GC to trim up any existing trees that overhang parking stalls to prevent overhead hazards and improve visibility.
- If existing landscape beds, GC to remove weeds and treat beds for weed prevention.
- GC to provide alternate quotes for addition of A) bark or B) river rock (or similar) in existing and new (if specified in drawings) landscape beds.



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PRCTI20221460

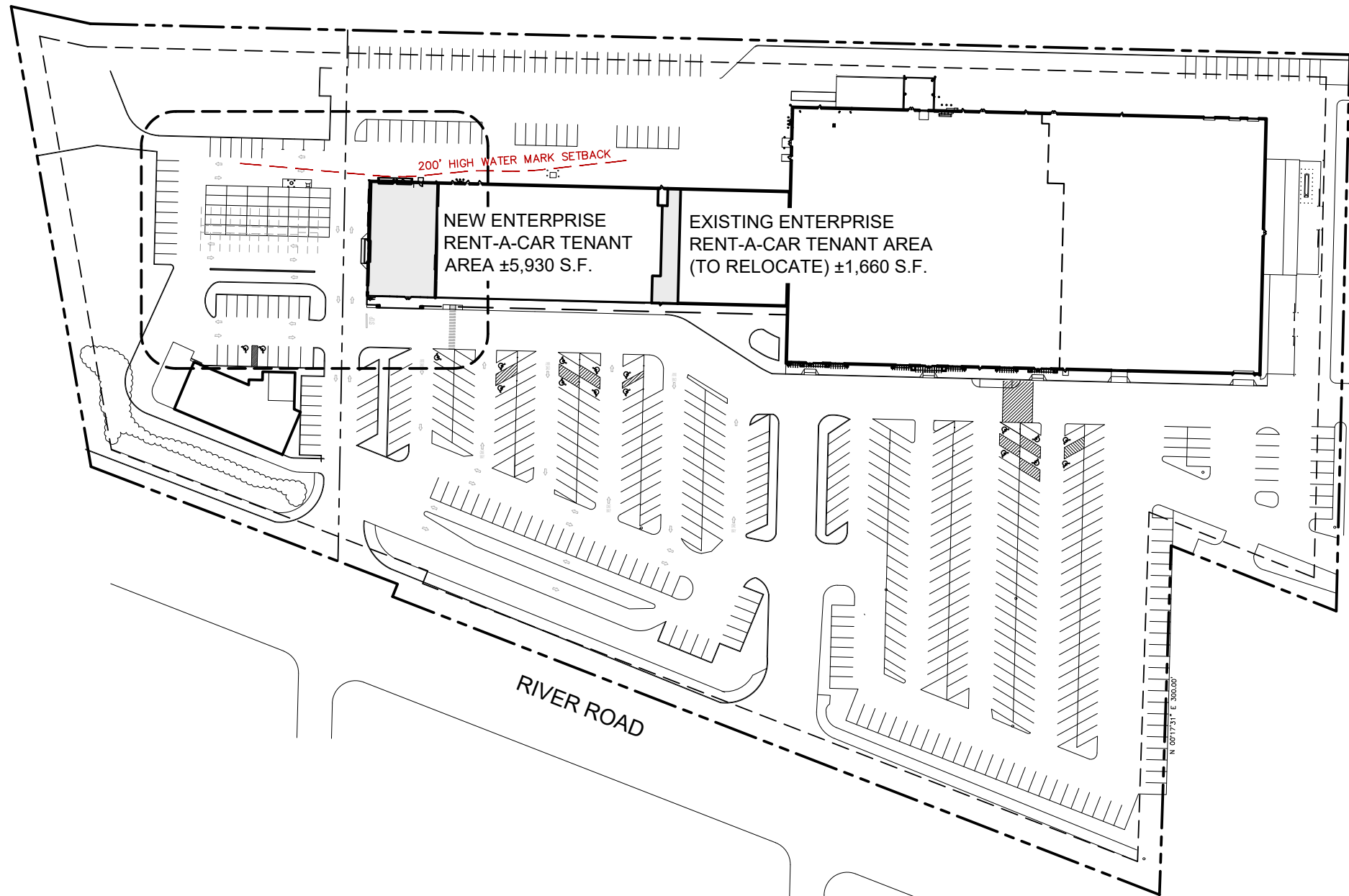


**ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT**
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
2		
3		
4		
5		
6		
ISSUE DATES		
DESIGN APPROVAL:		
PERMIT SUBMITTAL: 02/27/23		
PERMIT RECEIVED:		
BID DOCS:		
CONSTR. DOCS:		
SHEET INFORMATION		
24"x36" SCALE: AS NOTED		
PLOT DATE: 06/12/23		
CAD FILE: 20-22A02		
JOB NUMBER: 22-14		
CHECKED: TKG		
DRAWN: TKG		
STATUS:		PERMIT SET

GC & SUBCONTRACTOR
BID SPECIFICATIONS

A0.2



2 REFERENCE PLOT PLAN
NOT TO SCALE

SITE & BUILDING DATA

LEGAL DESCRIPTION:

SECTION 21 TOWNSHIP 20 RANGE 04 QUARTER 43, COM AT INTER OF N LI STATE RD #5 WITH W LI 4TH ST NW TH N 69 DEG 21 MIN 30 SEC W ALG SD N LI STATE RD #5, 570 FT TO POB TH CONT ALG SD N LI 705.72 FT TH N 20 DEG 38 MIN 30 SEC E 10 FT TH N 69 DEG 21 MIN 30 SEC W TO E LI 8TH ST NW EXT N TH N ALG SD EXT LI TO SLY LIOF INTER-CO-RIV-IMP R/W TH ELY ALG SD S LI TO A PT BEARING N 00 DEG 17 MIN 31 SEC E FROM A PT LY N 00 DEG 17 MIN 31 SEC E 300 FT & N 69 DEG 21 MIN 30 SEC W 420.19 FT FROM INTER OF N LI STATE RD #5 WITH W LI 4TH ST NW TH S 00 DEG 17 MIN 31 SEC W 468.33 FT TO A LI PARVW & 300 FT N OF N LI STATE RD #5 TH ALG SD PAR LI N 69 DEG 21 MIN 30 SEC W 149.81 FT TH S 00 DEG 17 MIN 31 SEC W 300 FT TO POB OUT OF 4-035 SEG M-0640 TJ WJ EMS

EXISTING SITE DATA:

PARCEL NUMBER: 42021-4051
JURISDICTION: CITY OF PUYALLUP
ADDRESS: 621 RIVER ROAD, PUYALLUP
RTSQQ: 04-20-21-43
PROPERTY NAME: SOUND PROPERTIES, LLC
EXISTING STRUCTURE INFO: 1979, 1 STORY, 3 BLDGS
EXISTING USES: MULTI-TENANT RETAIL
ZONING DESIGNATION: RIVER ROAD MIXED USE (RMX)
CRITICAL AREAS: NONE IDENTIFIED
GROSS SITE AREA: ±464,393 S.F. (10.66 ACRES)
WATER DISTRICT: CITY OF PUYALLUP
SEWER DISTRICT: CITY OF PUYALLUP

EXISTING BUILDING DATA:

(E) CONSTRUCTION TYPE/CLASS: TYPE VA, SPRINKLERED
(E) TOTAL BLDG FLOOR AREAS: ±128,192 S.F.
(E) BLDG 1 FLOOR AREA (FOOTPRINT): ±91,472 S.F.
(E) BLDG 2 FLOOR AREA (FOOTPRINT): ±36,600 S.F.
(E) BLDG 3 FLOOR AREA (FOOTPRINT): ±180 S.F.
(E) OCCUPANCY GROUPS: B, M, S-1, S-2
(E) OVERALL BLDG HEIGHTS: 18', 24' ENTRY PARAPET

EXISTING & PROPOSED TENANT AREAS:

EXISTING TENANT AREA TO BE RELOCATED (BLDG 2): ±1,660 S.F.
PROPOSED TENANT AREA (BLDG 2): ±5,930 S.F.
PRIOR TENANT USE (DMV LICENSING): B, BUSINESS
PROPOSED TENANT USE: B, BUSINESS
OCCUPANCY BREAKDOWN
B, CUSTOMER / EMPLOYEE AREAS: 2,100 S.F. / 150 = 14 OCC.
B, MEETING ROOM AREA: 325 S.F. / 15 = 22 OCC.
B, CAR WASH & STORAGE AREAS: 3,505 S.F. / 300 = 12 OCC.
TOTAL OCCUPANTS: 5,930 S.F. 48 OCC.

PROPOSED PARKING:

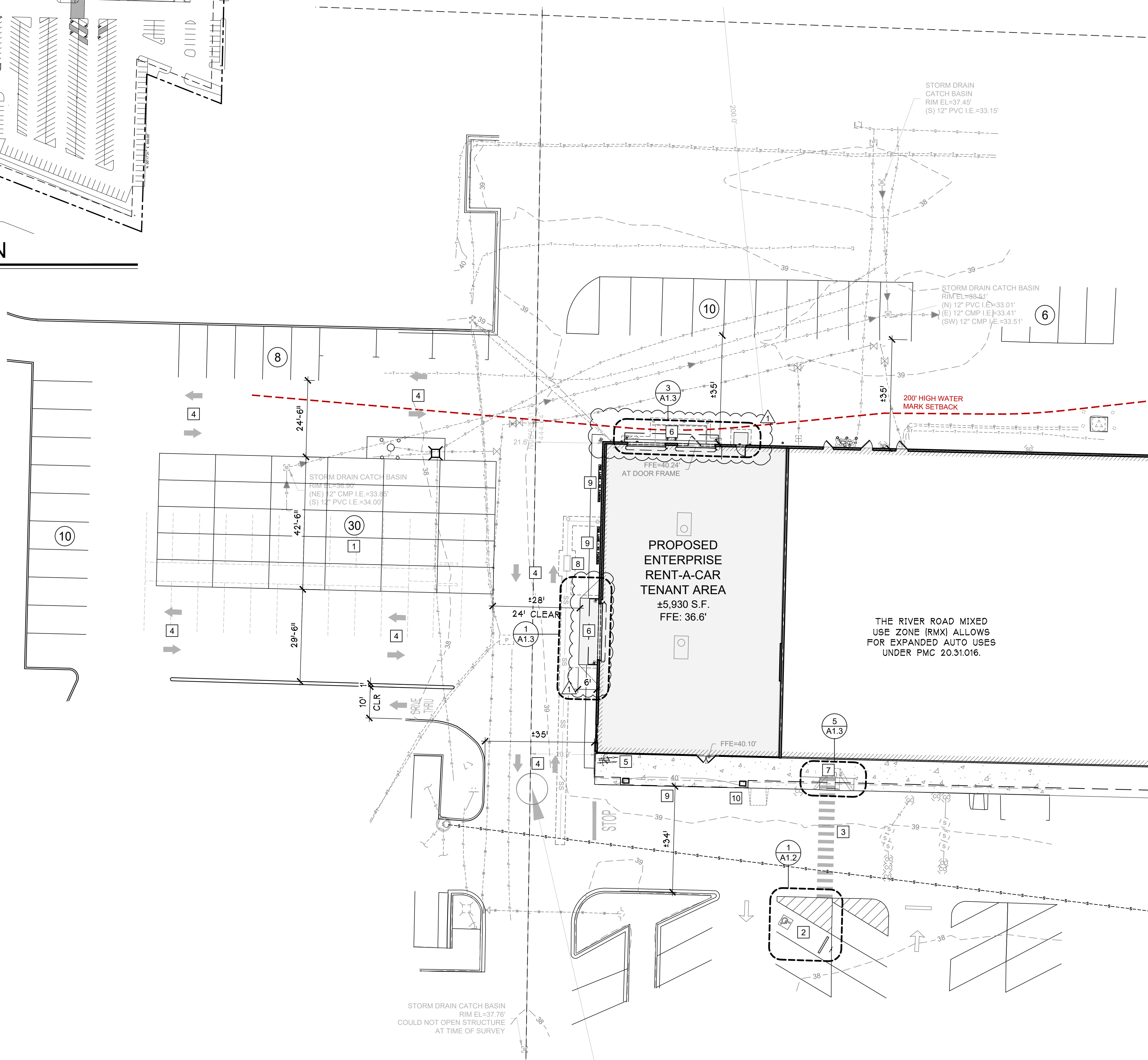
OFF-STREET PARKING ANALYSIS: PMC 20.55.010 NUMBER OF PARKING SPACES REQUIRED: (1) AUTOMOBILE SALES, BOAT SALES, RETAIL NURSERIES, AND OTHER OPEN SALES AND RENTAL YARDS, AS FOLLOWS: (B) PROPERTIES WITH 10,000 SQUARE FEET OR MORE OF OPEN SALES OR RENTAL AREA SHALL PROVIDE ONE SPACE FOR EACH 1,000 SQUARE FEET OF GROSS FLOOR AREA, PLUS FOUR SPACES, PLUS ONE SPACE FOR EACH 10,000 SQUARE FEET OF OPEN SALES OR RENTAL AREA IN EXCESS OF 10,000 SQUARE FEET.
6 STALLS TENANT AREA + 4 + 2 STALLS ±30,000 S.F. RENTAL AREA

PARKING REQUIRED:

STANDARD VEHICLE STALLS (9' x 20'): 10 STALLS
COMPACT VEHICLE STALLS (8' x 17'): 0 STALLS
VAN HANDICAP STALL (16' x 18' MIN): 1 STALLS
TOTAL CUSTOMER PARKING PROVIDED: 11 STALLS

THERE IS NO CHANGE OF USE IN THIS TENANT IMPROVEMENT AND THE PARKING IS EXISTING TO REMAIN UNDER THE ROAD PLAZA SHOPPING CENTER SHARED PARKING AGREEMENT.

PRE-APPLICATION REFERENCE NUMBER: PLPRE20220043



1 ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

OVERALL SITE AREA: ±464,393 S.F. (10.66 ACRES)

KEY NOTES

- 1 PATCH/REPAIR EXISTING ASPHALT PAVEMENT AS REQUIRED. ALL INDICATED PARKING STRIPING IS NEW, U.O.N. ALL STRIPING TO BE 2-COATS 4" WHITE PAINTED LANES AS INDICATED AND PER MIN. PARKING STALL REQUIREMENTS AS SHOWN IN SITE & BUILDING DATA, EXCLUDING THE HC PARKING STALLS.
- 2 RESTRIPE HANDICAPPED STALL, AND VERIFY/PROVIDE H.C. SIGNAGE AND WHEEL STOPS. MARKINGS TO BE TORCH-DOWN THERMOPLASTIC PER DETAIL 1 (A1.2) SEE CIVIL PLANS & SITE PLAN NOTE A.
- 3 NEW 5'-0" MIN. WIDE PEDESTRIAN PATH FROM EXISTING SIDEWALK. WALKWAY MARKINGS TO BE TORCH-DOWN THERMOPLASTIC ON ASPHALT PAVING PER DETAIL 8 (A1.2)
- 4 DIRECTIONAL ARROWS AND LINES TO BE DELINEATED WITH WHITE TORCH-DOWN THERMOPLASTIC, TYP. SEE SITE PLAN NOTE F. AND DETAIL 6 (A1.2)
- 5 NEW MIN. 2-BIKE RACK (FOIC) INSTALLED PER MFR. REQ.
- 6 NEW CONCRETE VEHICLE ACCESS RAMPS PER ENLARGED PLANS ON SHEET A1.3.
- 7 MODIFY EXISTING ADA RAMP SYSTEM PER ENLARGED PLAN ON SHEET A1.3.
- 8 APPROX. LOCATION OF NEW OIL-WATER SEPARATOR TO ATTACH TO EXISTING SANITARY SEWER. EXACT LOCATION PER GC. REFER TO CIVIL DWGS.
- 9 PROVIDE SIGNAGE "NO PARKING - FIRE LANE" AS REQUIRED PER CITY OF PUYALLUP FIRE LANE MARKING REQUIREMENTS.
- 10 EXISTING ASPHALT RAMP TO BE REMOVED.

PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

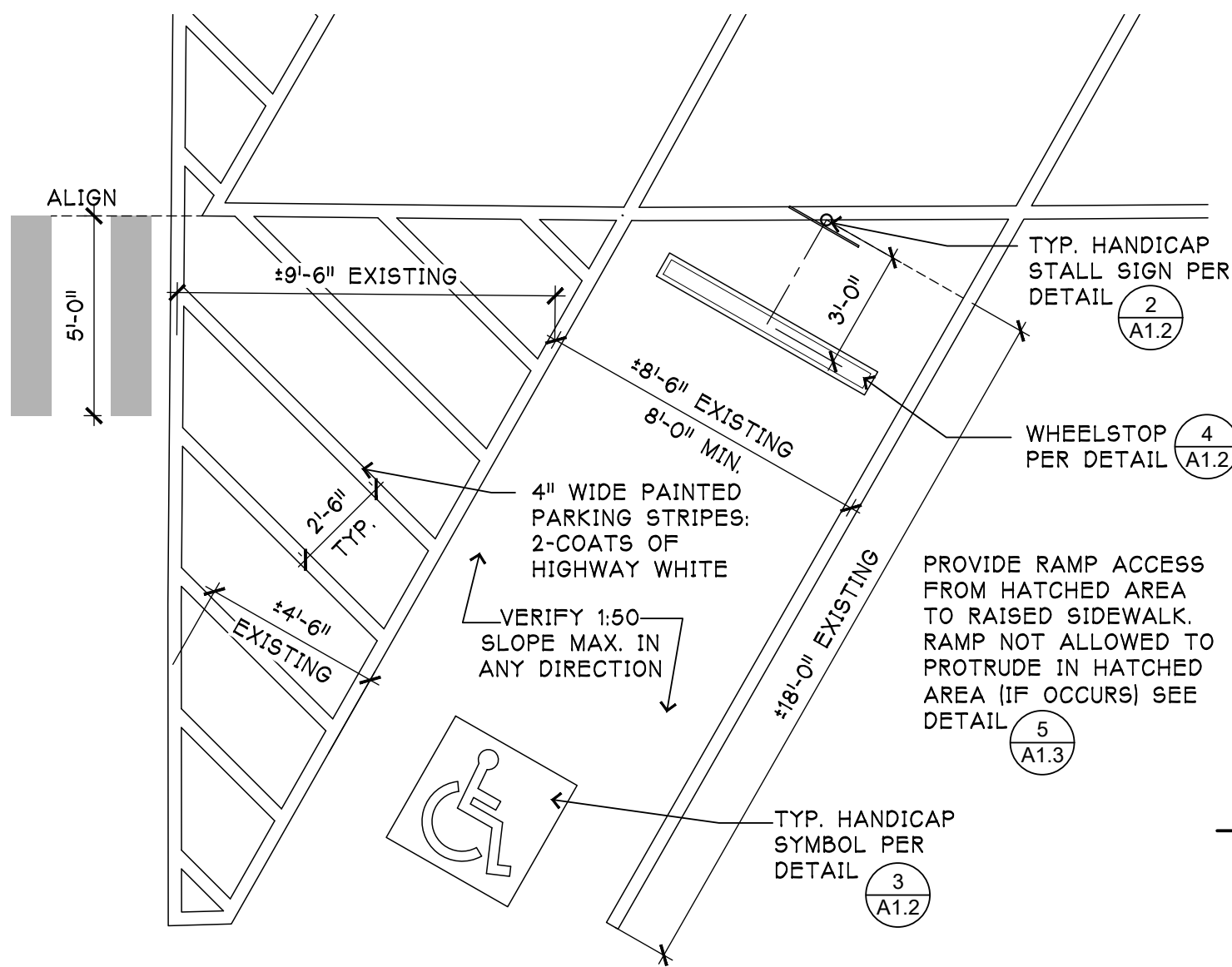
ENTERPRISE RENT-A-CAR TENANT IMPROVEMENT

EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

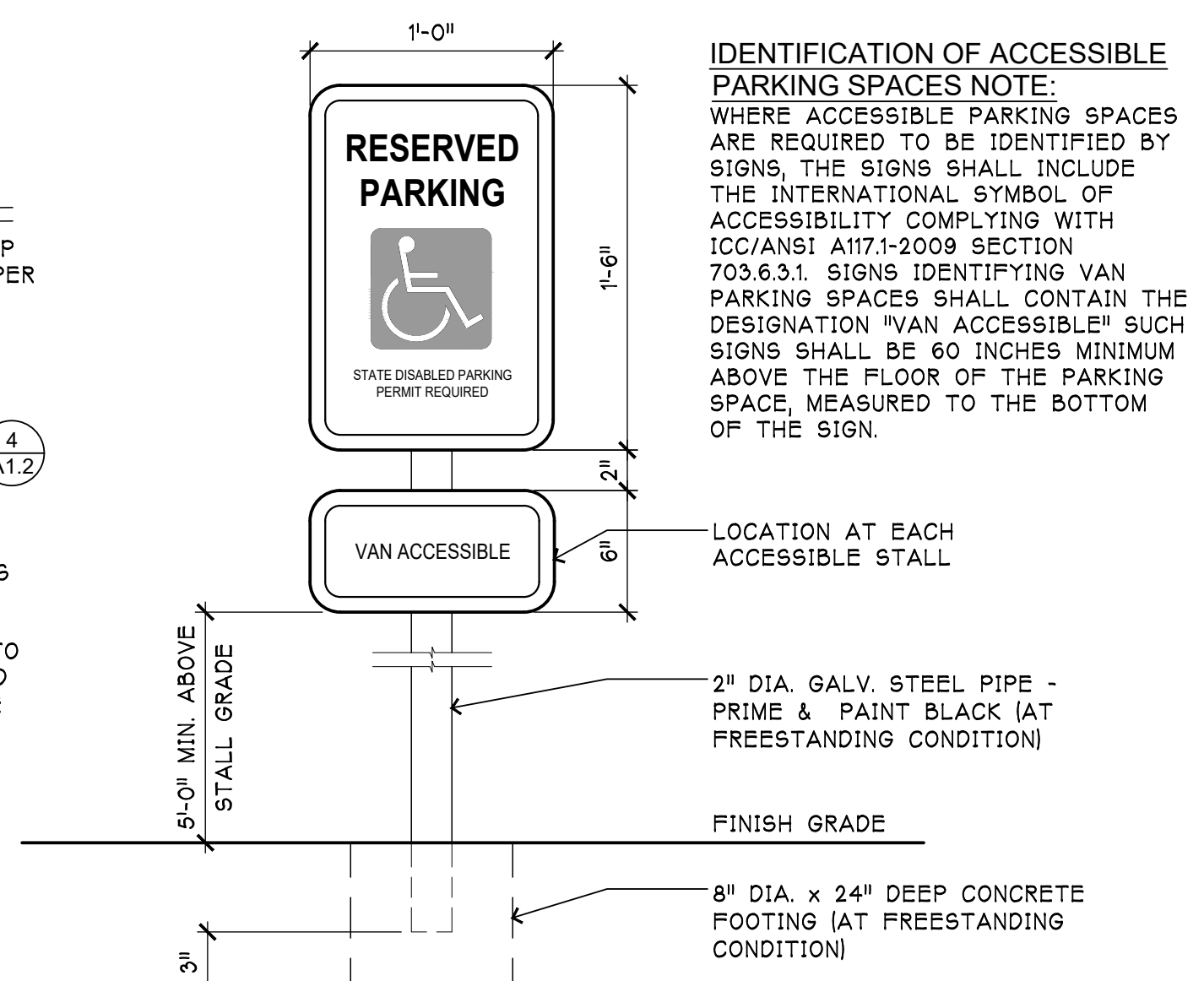
REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
ISSUE DATES		
DESIGN APPROVAL:		
PERMIT SUBMITTAL: 02/27/23		
PERMIT RECEIVED:		
BID DOCS:		
CONSTR. DOCS:		
SHEET INFORMATION		
24"x36" SCALE: AS NOTED		
PLOT DATE: 06/12/23		
CAD FILE: 22-14A11		
JOB NUMBER: 22-14		
CHECKED: TKG		
DRAWN: TKG		
STATUS: PERMIT SET		

ENLARGED SITE PLAN

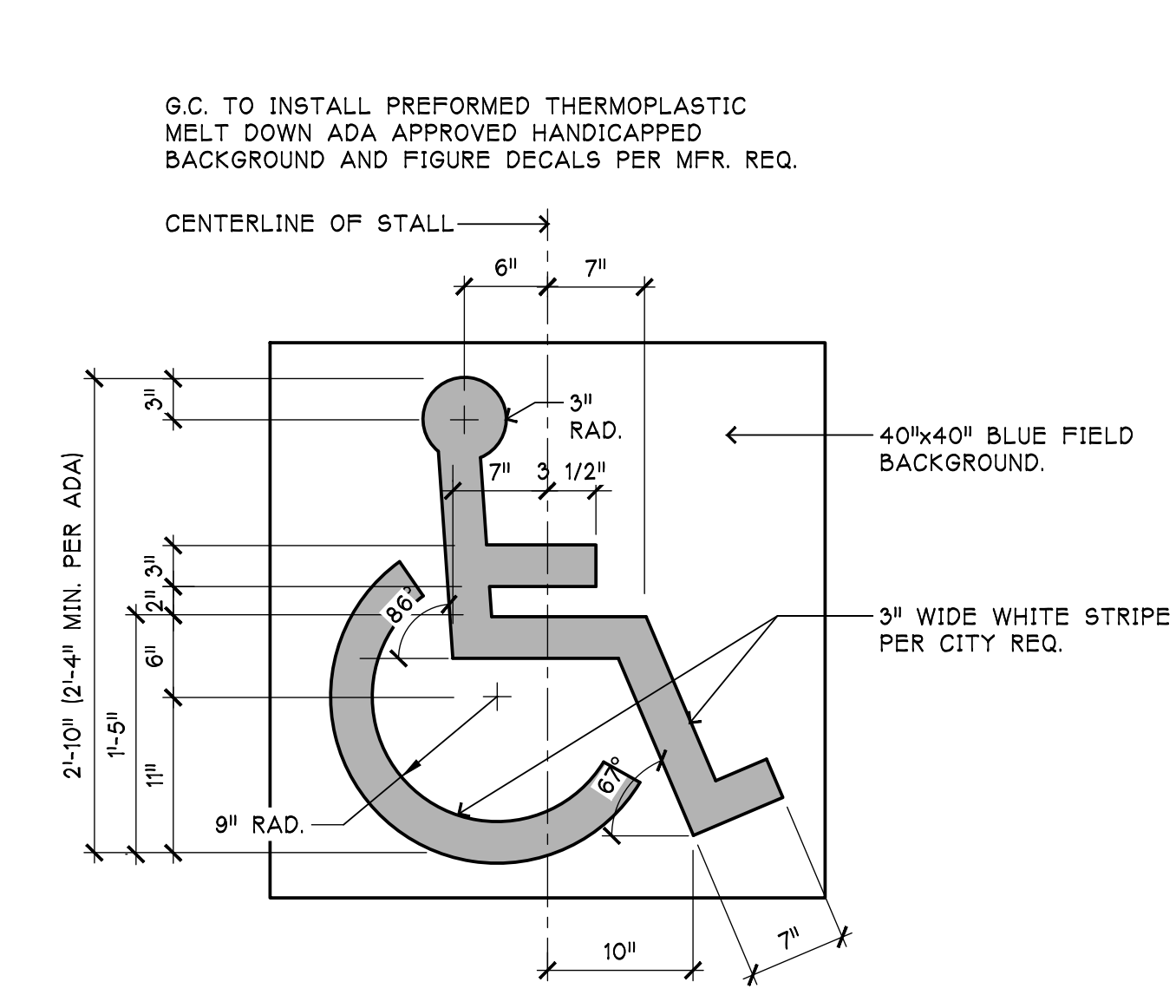
A1.1



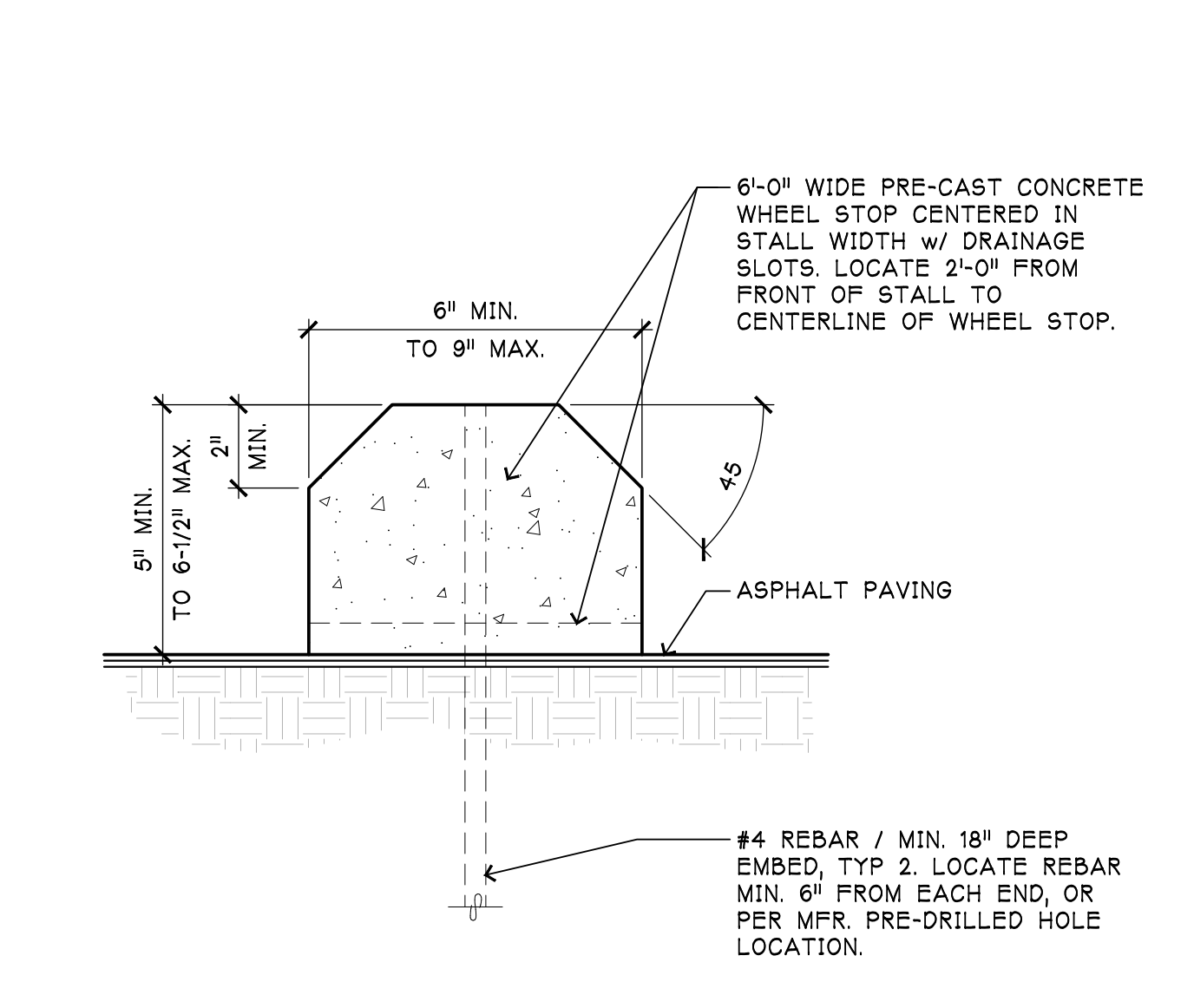
1 HANDICAP PARKING STALL
SCALE: 1/4" = 1'-0" REFER TO SITE PLAN FOR SIZE & ORIENTATION



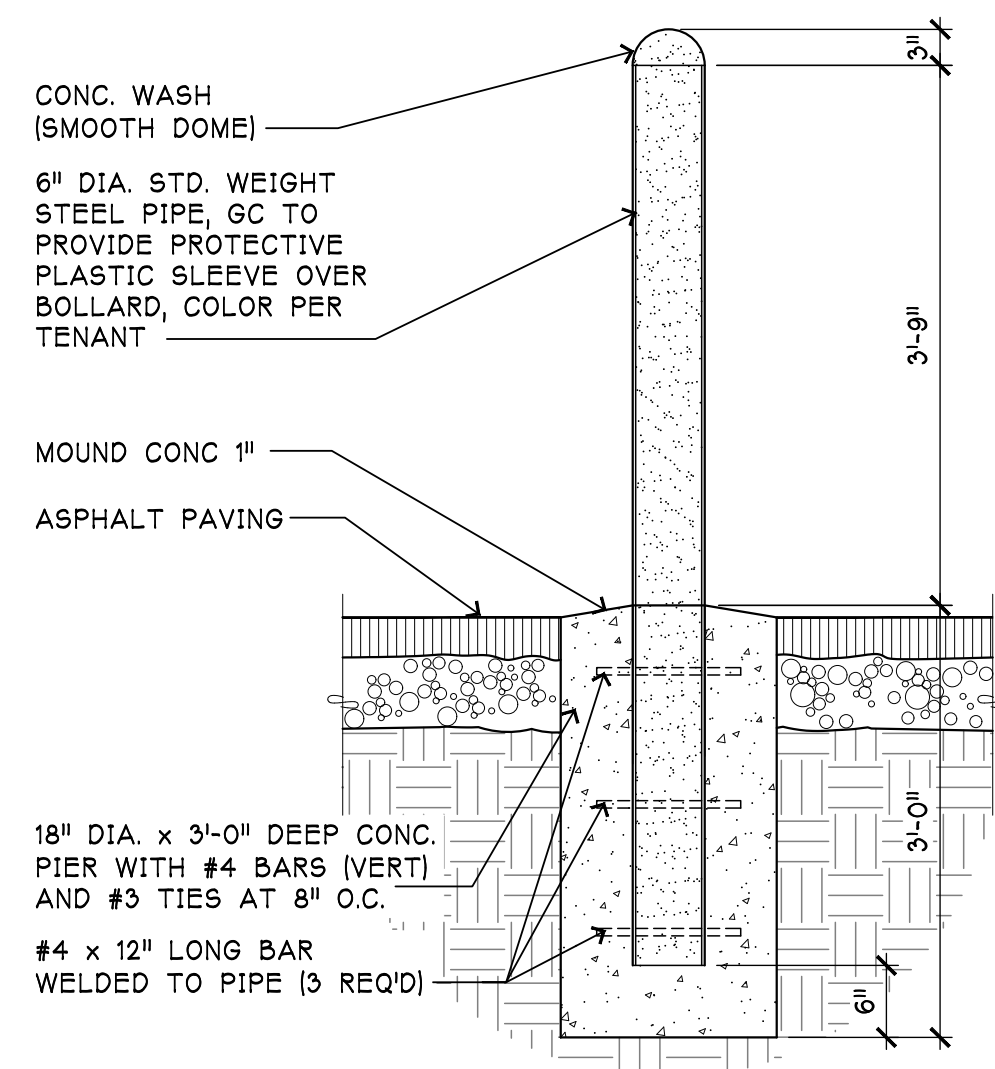
2 HANDICAPPED PARKING SIGNAGE
SCALE: 1 1/2" = 1'-0" 22-14A12



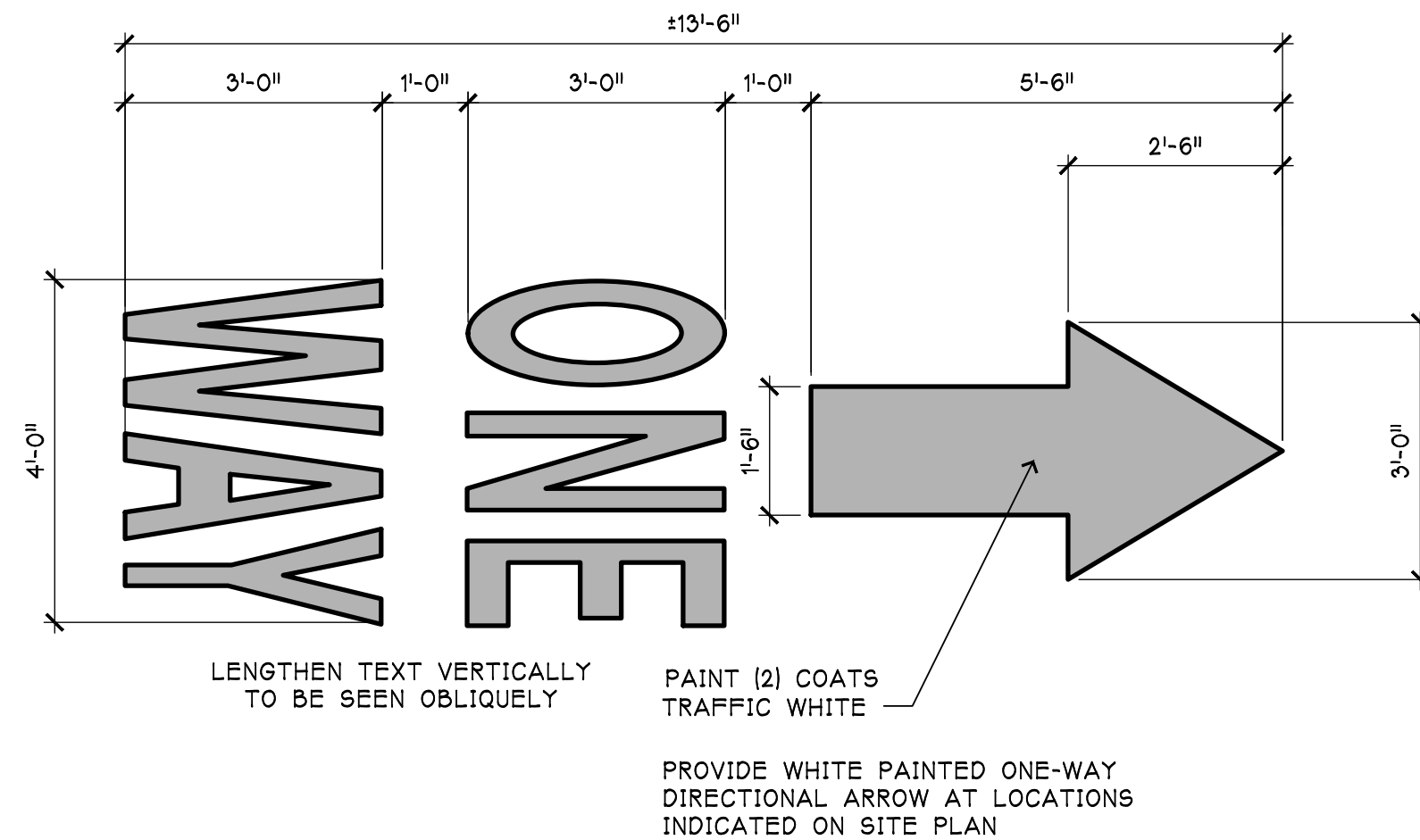
3 HANDICAP PARKING SYMBOL
SCALE: 1" = 1'-0" 22-14A12



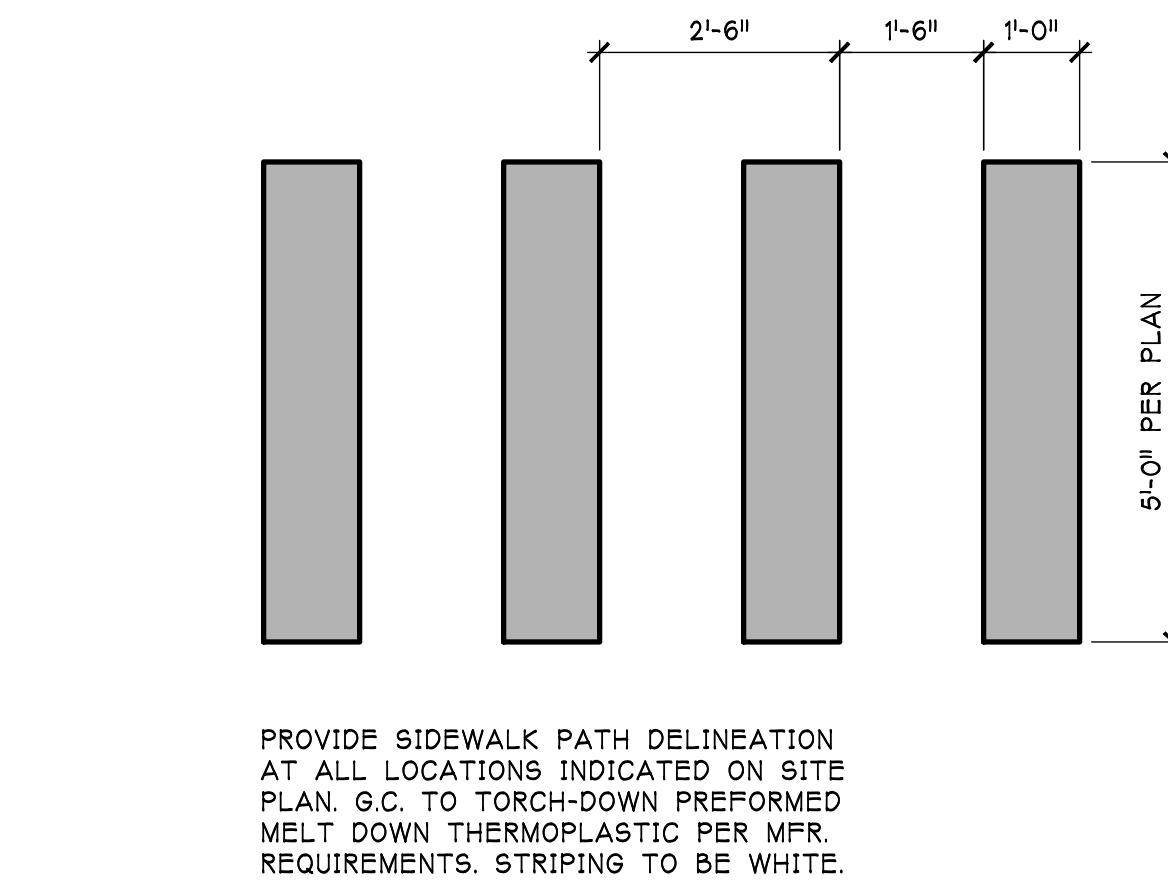
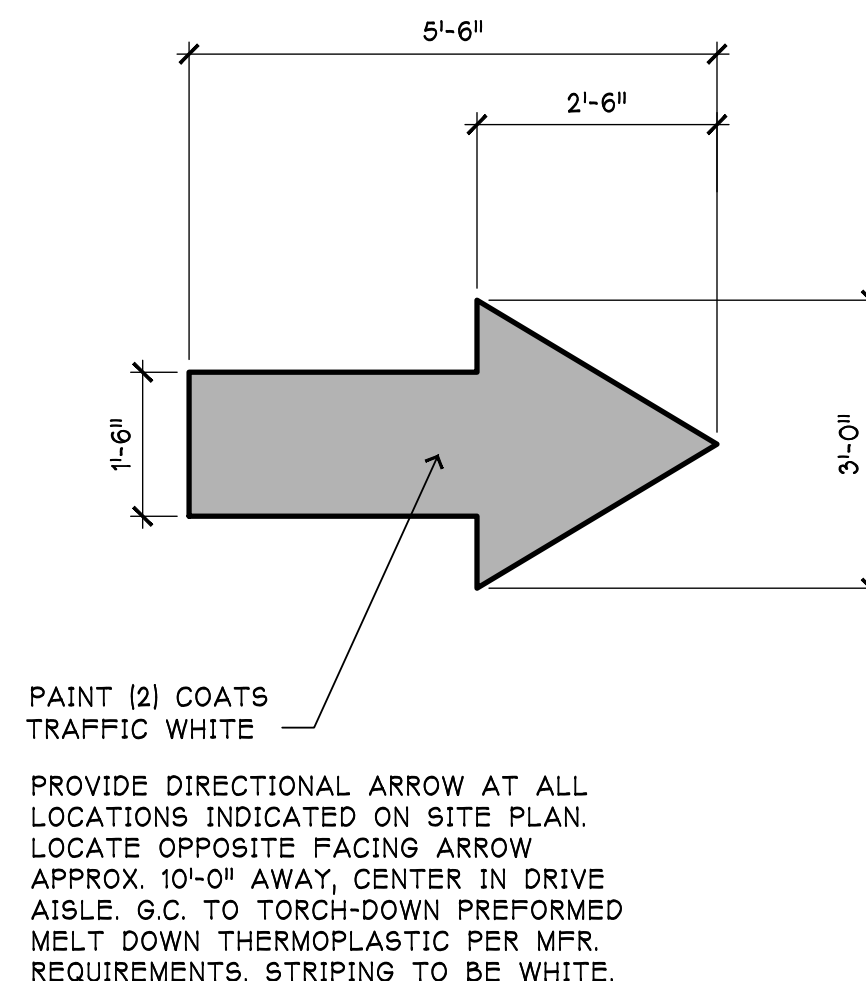
4 WHEEL STOP
SCALE: 3" = 1'-0" 22-14A12



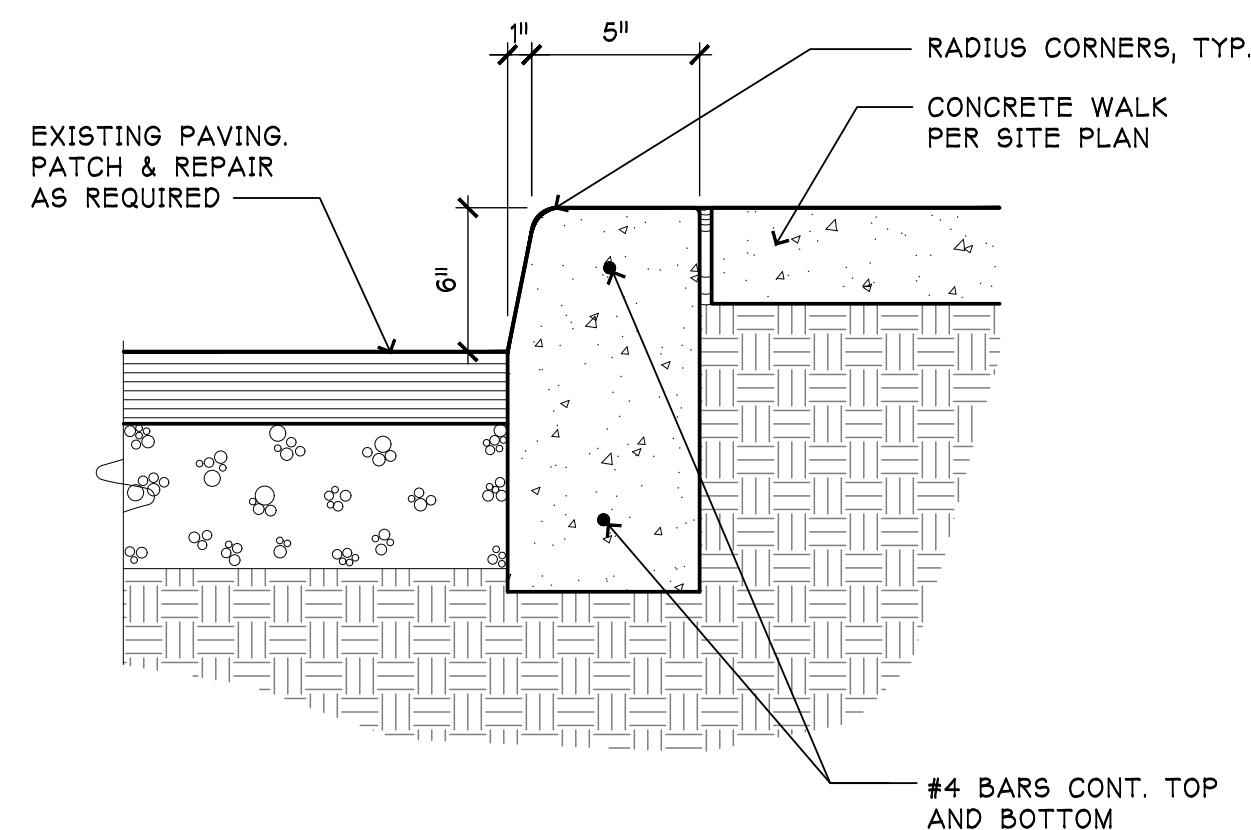
5 TYPICAL BOLLARD DETAIL
SCALE: 3/4" = 1'-0" 22-14A12



6 DIRECTIONAL ARROWS
SCALE: 1/2" = 1'-0" 22-14A12

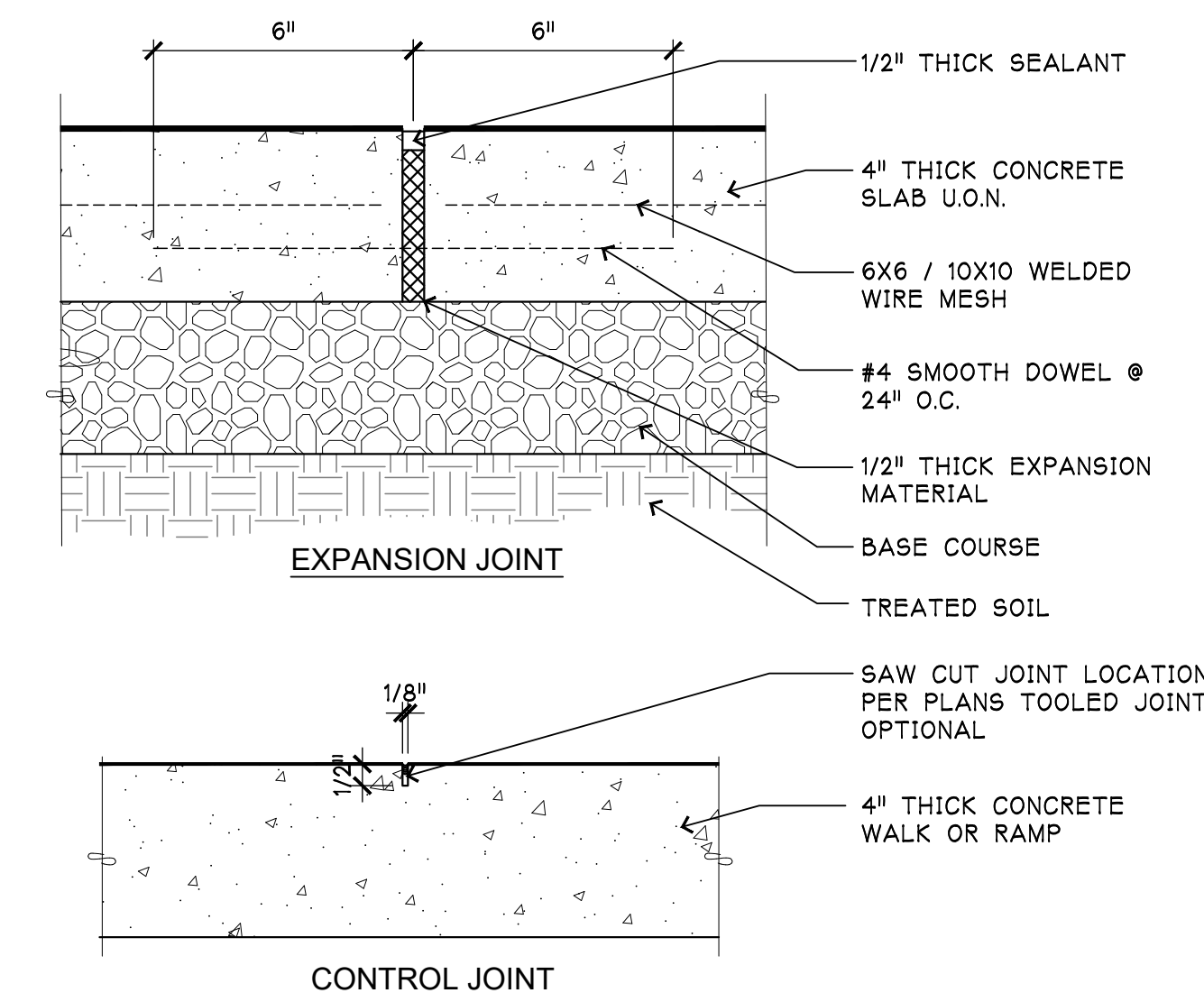


8 PEDESTRIAN PATH MARKING
SCALE: 1/2" = 1'-0" 22-14A12

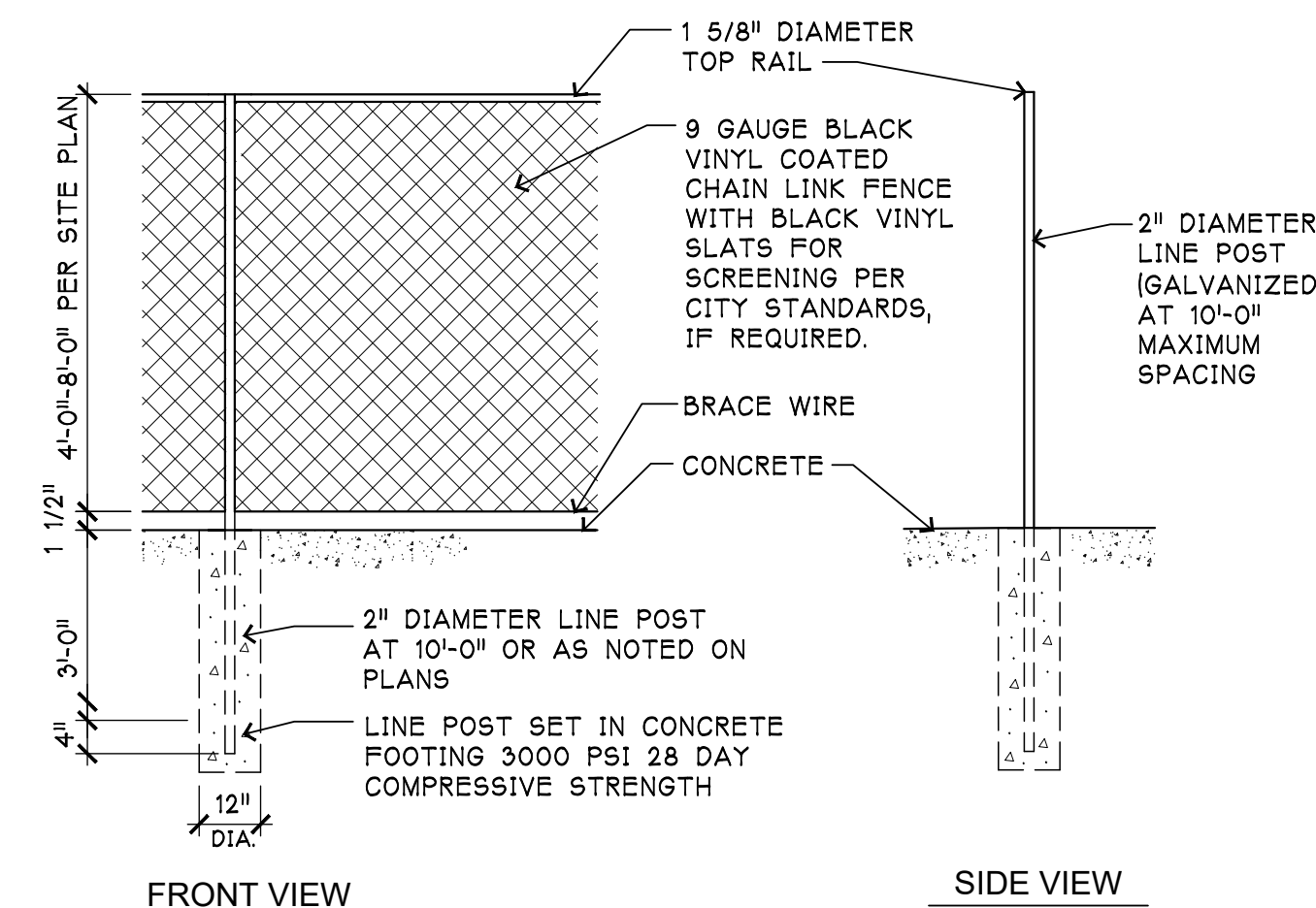


NOTES:
1. PROVIDE EXPANSION JOINTS AT 25' O.C. AND AT THE START AND FINISH OF ALL CURVED SECTIONS
2. PAINT CURBS WHERE NOTED ON SITE PLAN
3. VERIFY CURB DEPTHS AND SUB-GRADE PREPARATION PRIOR TO COMMENCING WORK.

9 TYP. CAST-IN-PLACE CONC. CURB
SCALE: 1 1/2" = 1'-0" 22-14A12



10 TYP. EXPANSION / CONTROL JOINTS
SCALE: 3" = 1'-0" 22-14A12

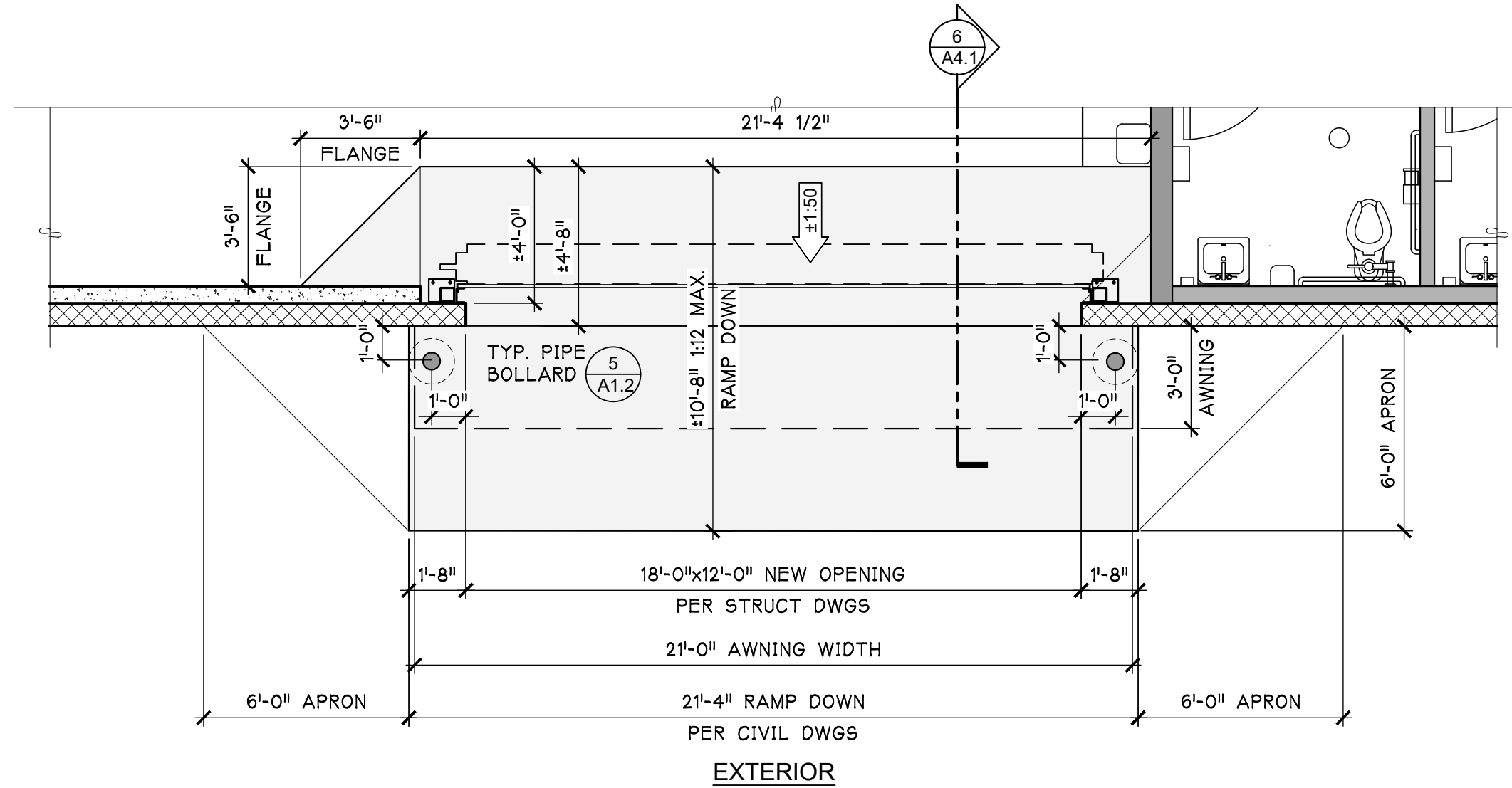


11 CHAIN LINK FENCE DETAIL
SCALE: 1/2" = 1'-0" 22-14A12

REVISIONS		
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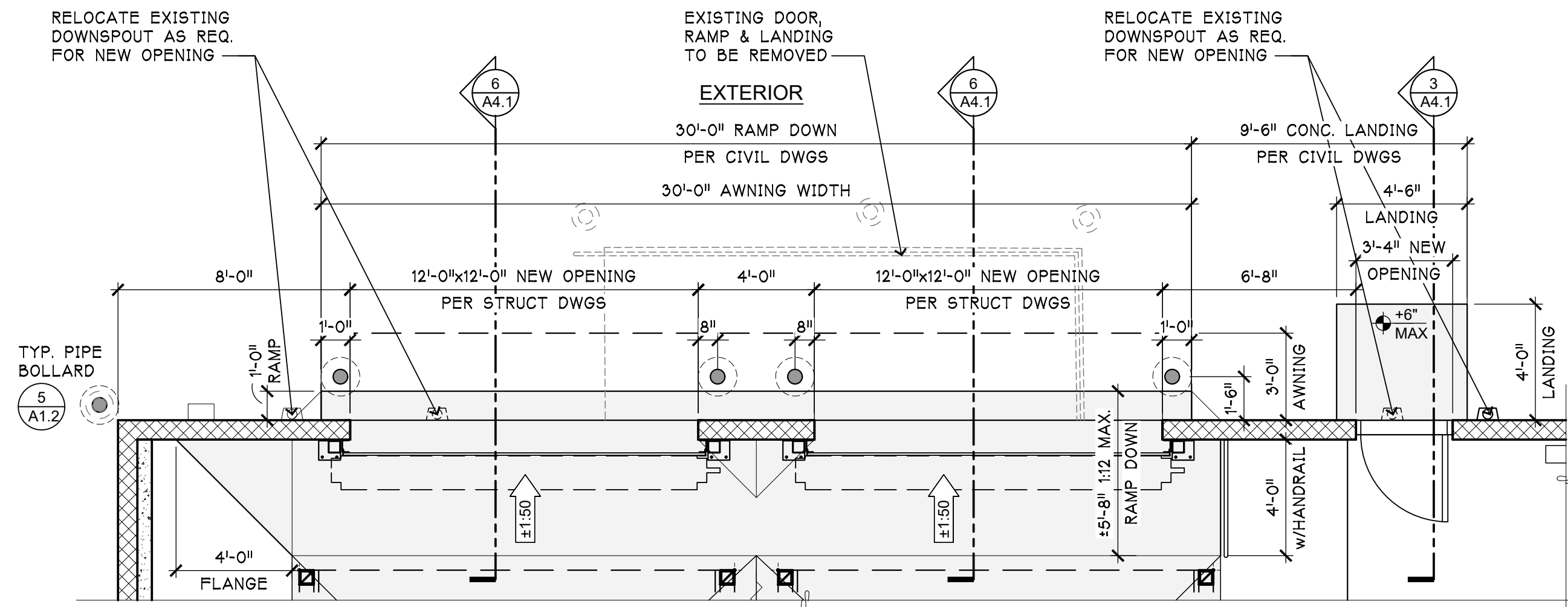
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BID DOCS:	
CONSTR. DOCS:	

SHEET INFORMATION	
24"x36" SCALE:	AS NOTED
PLOT DATE:	06/12/23
CAD FILE:	20-22A12
JOB NUMBER:	22-14
CHECKED:	TKG
DRAWN:	TKG
STATUS:	PERMIT SET



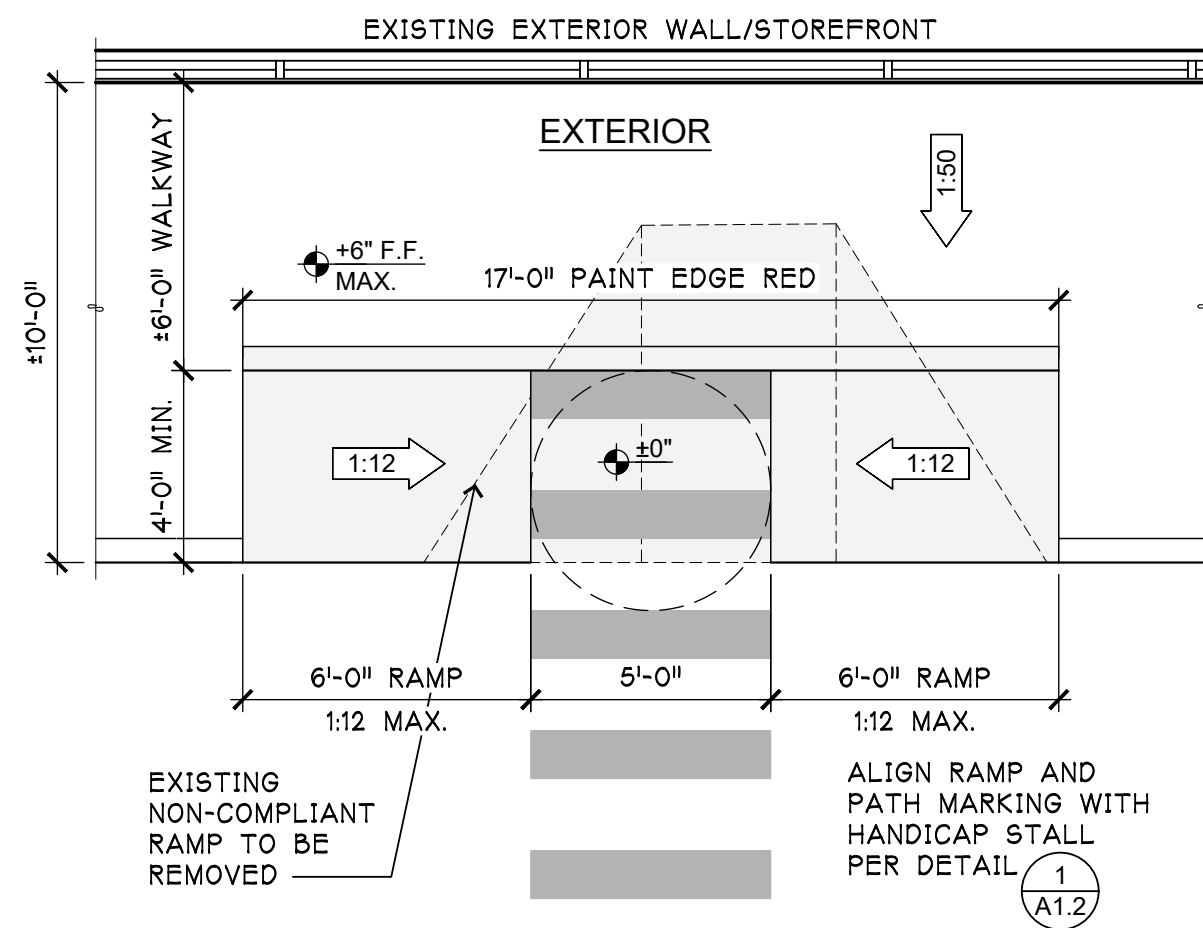
1 ENLARGED VEHICLE ACCESS RAMP DETAIL - WEST SIDE
SCALE: 1/4" = 1'-0"

22-14A13



3 ENLARGED VEHICLE ACCESS RAMP DETAIL - NORTH SIDE
SCALE: 1/4" = 1'-0"

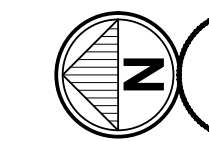
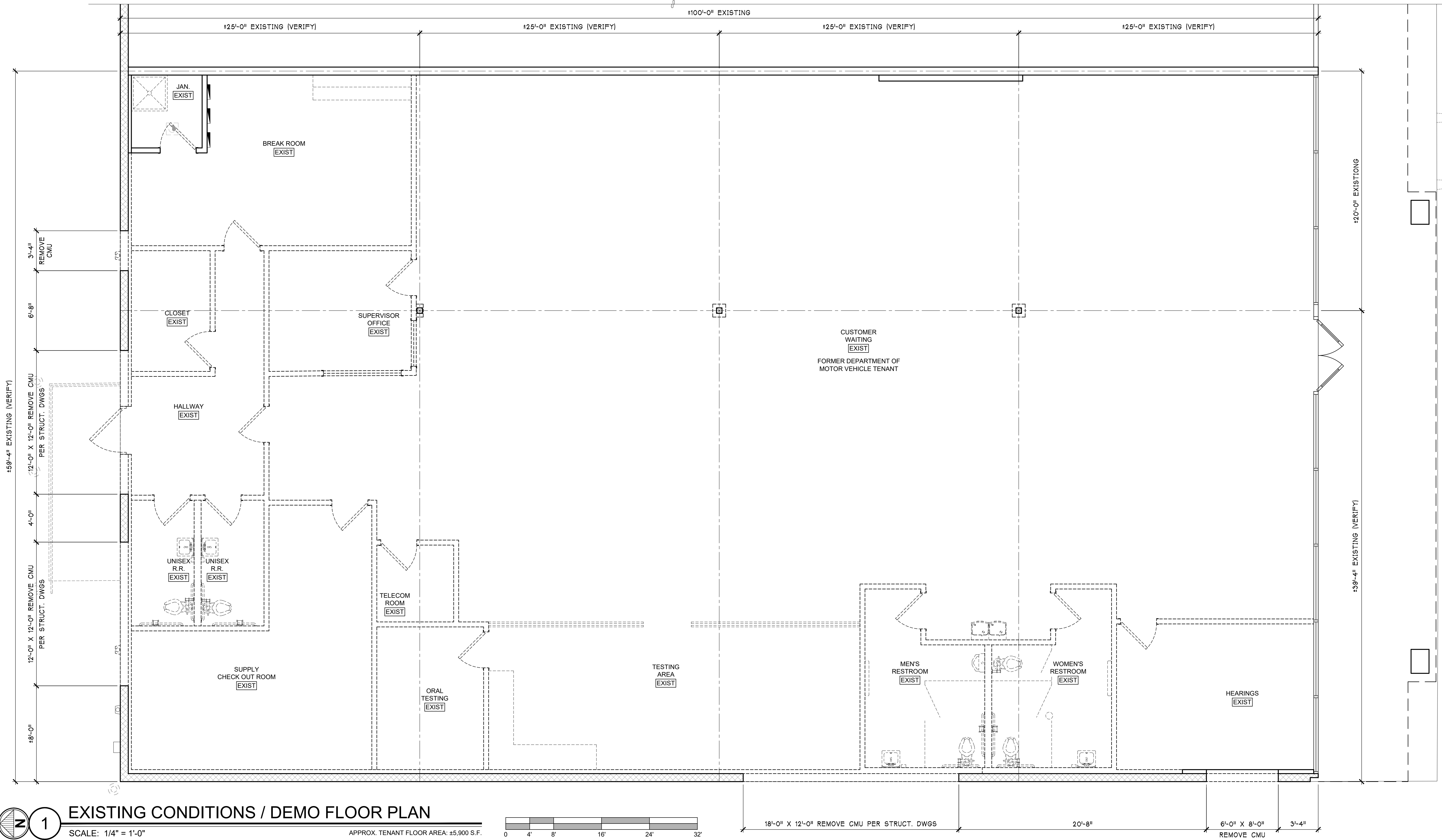
22-14A13



5 ENLARGED RAMP - SOUTH SIDE
SCALE: 1/4" = 1'-0"

22-14A13

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CAD FILE: 22-14A13		
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DRAWN: TKG		
STATUS: PERMIT SET		



1 EXISTING CONDITIONS / DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROX. TENANT FLOOR AREA: ±5,900 S.F.



EXIST CONDITIONS NOTE

GC TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF DISCREPANCIES ARE DISCOVERED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TENANT AND ARCHITECT IMMEDIATELY.

DEMOLITION NOTES

- GC TO OBTAIN DEMOLITION PERMITS IF REQUIRED BY CONSTRUCTION SCHEDULE AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
- GC SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED, ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH TENANT REQUIREMENTS AND PROCEDURES.
- AS DIRECTED BY THE TENANT, ANY DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, AND SPECIAL EQUIPMENT SHOWN TO BE RELOCATED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN.
- IN PARTITIONS TO BE REMOVED, GC TO REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANY AND TENANT.

- GC TO REMOVE ALL EXISTING MATERIALS, WHICH WOULD CAUSE RISES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE GC SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DWGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DWGS.
- ALL CONSTRUCTION, DEMOLITION AND LAND CLEARING WASTE MUST BE RECYCLED AT THE COUNTY LICENSED OR APPROVED FACILITY, OR TAKEN TO REGIONAL DISPOSAL FACILITIES.

LEVELS OF INSULATION

- ALL NEW OR REPLACED WORK TO COMPLY WITH THE 2018 WASHINGTON STATE ENERGY CODE MINIMUM REQUIREMENTS FOR PRESCRIPTIVE PERFORMANCE OPTION. FULL-HEIGHT PARTITION DEMISING WALL, INCLUDING DOORS & WINDOW, BETWEEN CAR WASH AREA AND CONDITIONED CUSTOMER/EMPLOYEE AREAS TO BE INSULATED AS AN EXTERIOR WALL PER ENVELOPE SUMMARY AND NOTES ON SHEET A7.1.
- ROOF: EXISTING TO REMAIN
NEW/REPLACED: R-38 BATT
- INTERIOR DEMISING/PARTITION WALLS: R-21 BATT WITH INTERMEDIATE FRAMING PER ENVELOPE REQUIREMENTS ON SHEET A7.1
- SLAB ON GRADE: EXISTING TO REMAIN (UNKNOWN)
- FIXED VERTICAL GLAZING (INCLUDES GLAZING IN PARTITION WALL): EXISTING TO REMAIN.
NEW: U-FACTOR 0.38, DOUBLE GLAZED, NFRG CERTIFIED. SEE SHGC NOTE ON RIGHT.
- GLAZED ENTRY DOOR: EXISTING TO REMAIN.
NEW/REPLACED: U-FACTOR 0.60, DOUBLE GLAZED, NFRG CERTIFIED. SEE SHGC NOTE ON RIGHT.

- SHGC: THE SHGC OF THE FIXED VERTICAL GLAZING AND THE ENTRY DOORS SHALL BE EQUAL TO 0.40 OR IN COMPLIANCE WITH ENERGY CODE TABLE C402.4 0-30% OF WALL AREA, PER MANUFACTURER PERFORMANCE FACTOR AND ORIENTATION.
- SWINGING OPAQUE DOOR: EXISTING TO REMAIN
NEW/REPLACED: U-FACTOR 0.37
- SWINGING OPAQUE PARTITION DOOR: U-FACTOR 0.37
- OPAQUE SECTIONAL DOOR: U-FACTOR 0.34, MIN. R-4.75, INSULATED METAL
- FOR ANY MODIFICATIONS TO INSULATION:
- EXPOSED INSUL. MATERIALS INCLUDING FACINGS AND VAPOR BARRIERS, SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25, AND A SMOKE DENSITY NOT TO EXCEED 450, AND SHALL BE IN SUBSTANTIAL CONTACT WITH THE WALL OR CEILING SURFACE.
 - PROVIDE 4 MIL WRB VAPOR BARRIER AT INTERIOR FACE OF STUDS AT ALL BATT INSULATION.

DEMO LEGEND

- EXISTING CONDITIONS LEGEND:**
(E) BUILDING CONSTRUCTION: SLAB ON GRADE w/ CMU EXTERIOR WALLS, ROOFING o/ DECK w/ JOIST ROOF FRAMING PER STRUCTURAL DWGS.
- EXISTING CONSTRUCTION TO REMAIN. PREPARE (E) SURFACES FOR NEW FINISHES.
- EXISTING DOOR TO BE REMOVED
- EXISTING SINGLE WINDOW TO BE REMOVED
- DEMOLITION OF INTERIOR NON-BEARING WALLS, DOORS AS REQ. AND REMOVAL OF UNNEEDED SYSTEMS FROM PRIOR TENANT AND ASSOCIATED PATCH/REPAIR.



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PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

**ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT**
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

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SHEET INFORMATION

24"x36" SCALE: AS NOTED

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CAD FILE: 22-14A21

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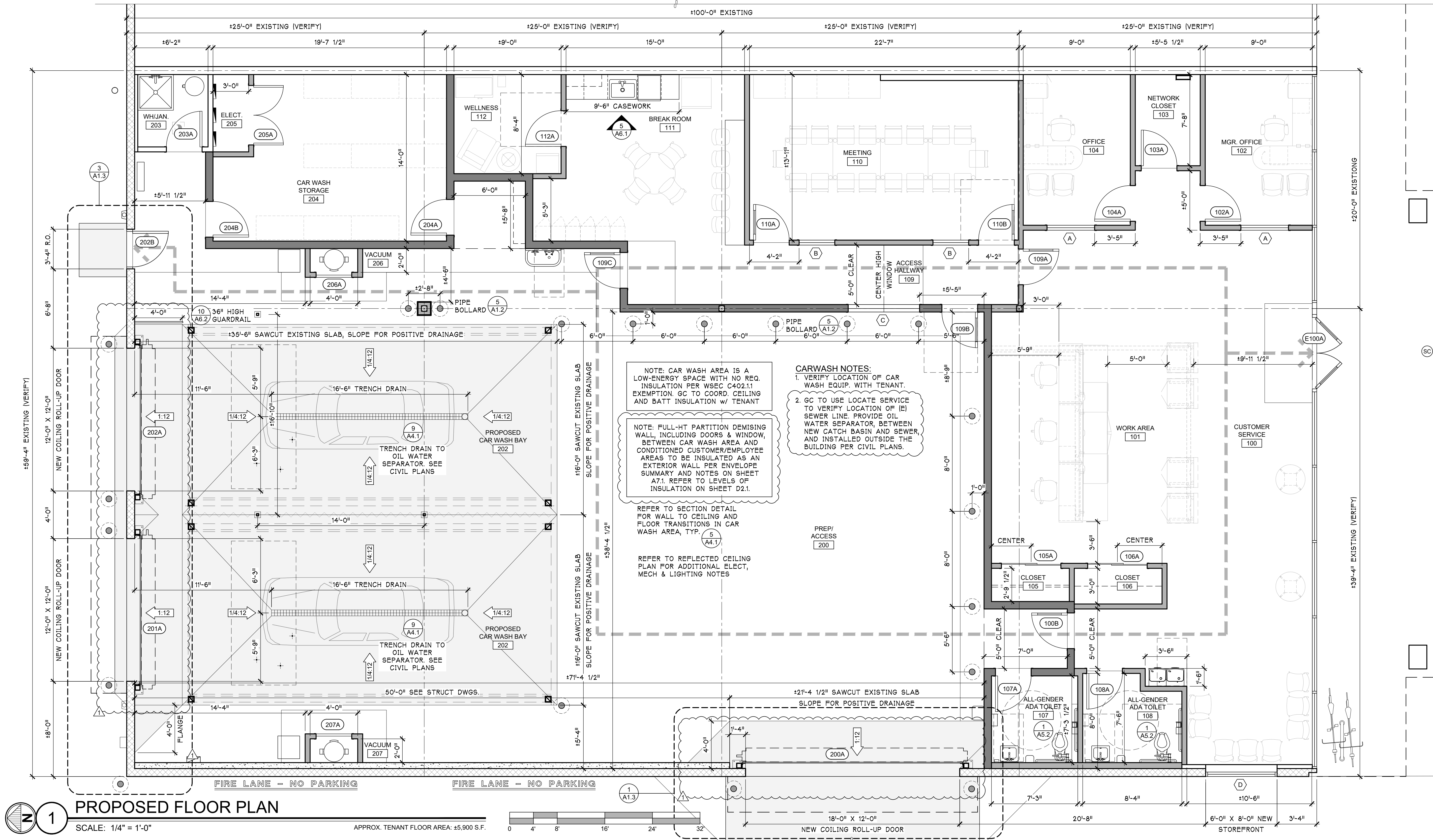
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STATUS: PERMIT SET

EXISTING CONDITIONS /
DEMO FLOOR PLAN

D2.1



FLOOR PLAN NOTES

REFER TO GC & SUBCONTRACTOR BID SPECIFICATIONS, SHEET A0.2, FOR ADDITIONAL INFORMATION & REQUIREMENTS.

- A. DO NOT SCALE DWGS, WRITTEN DIMENSIONS GOVERN. ALL DIMENSIONS ARE FROM FACE OF FOUNDATION WALL OR FACE OF GWB FINISH TO FACE OF GWB FINISH, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL WALL FINISHES. U.O.N.
- B. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE.
- C. DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. U.O.N. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT.
- D. ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQUIRED. ALL SURFACES SHALL BE ALIGNED.
- E. ALL CASEWORK TO BE FASTENED TO THE PARTITION WALL. PROVIDE BLOCKING FOR ALL MILLWORK NOT SUPPORTED BY FLOOR OR ABOVE 4'-0" HT.
- F. FINISH FLOOR REFERENCE DATUM EQUALS (10'-0").

- G. INTERIOR DOORS AT FRAMED WALLS TO BE LOCATED 4" MIN. CLEAR FROM ADJACENT WALL FINISH, U.O.N.
- H. PROVIDE GWB-WR DENGSSGLASS GOLD SUBSTRATE IN WET AREAS PER FINISH MFR. REQUIREMENTS.
- I. REFER TO TYP. MOUNTING HEIGHTS DIAGRAMS (1 A6.1, 7 A6.2)
- J. REFER TO SCHEDULE SHEET FOR REQUIRED ACCESSIBILITY SHEET INFORMATION.
- K. ALL INSTALLED FURNITURE AND CASEWORK TO MAINTAIN AN ACCESSIBLE ROUTE OF TRAVEL AND A MINIMUM CLEAR AREA OF 30"x48" IS TO BE AVAILABLE AT THE SERVICE COUNTER. THE ACCESSIBLE AREA OF COUNTER TO BE A MAXIMUM HEIGHT OF 2'-10".
- L. BREAK ROOM BASE CABINET TO BE A MAXIMUM HEIGHT OF 2'-10" A.F.F. REFER TO INTERIOR ELEVATION AND EQUIPMENT SCHEDULE.
- M. REFER TO DOOR & WINDOW SCHEDULES AND NOTES IN THIS SET FOR ADDITIONAL TENANT AND CODE REQUIREMENTS FOR DOORS AND WINDOWS.

- N. PROVIDE 10#4A-60B:C PORTABLE FIRE EXTINGUISHERS, SEMI-RECESSED MOUNT CABINET IN CUSTOMER SERVICE & NEAR BREAK ROOM AND ONE SURFACE MOUNT IN CAR WASH AREA. EXACT LOCATIONS PER FIRE MARSHAL. REFER TO SCHEDULE SHEET FOR SPECIFICATIONS AND FOR MOUNTING HEIGHT, REFER TO DETAIL (7 A6.2)
- O. AISLES SHALL BE PROVIDED AND MAINTAINED IN ALL PORTIONS OF THE BUILDING TO REQ. EXITS: 36" MIN. IN WIDTH WHEN OBSTRUCTIONS ARE PLACED ON ONE SIDE, AND 44" WHEN OBSTRUCTIONS ARE ON TWO SIDES.

CONTRACTOR NOTES

- A. GENERAL CONTRACTOR TO PULL ALL NECESSARY PERMITS.
- B. REFER TO SCHEDULE SHEET FOR INTERIOR FINISH SPECIFICATIONS, EQUIPMENT SPECIFICATIONS AND ROOM, DOOR AND WINDOW SCHEDULES. REFER TO EACH FOR SPECIFIC INFORMATION REGARDING FURNISH AND INSTALL RESPONSIBILITIES BETWEEN THE TENANT AND THE GC.

OCCUPANT LOAD SUMMARY

TENANT IMPROVEMENT RETAIL 'B' OCCUPANCY: 48 TOTAL OCCUPANTS PER BREAKDOWN ON COVER SHEET:
NUMBER OF EXITS REQUIRED: 1
COMMON PATH OF TRAVEL = < 75' PER IBC 1017.2 & 1006.2.1
NUMBER OF EXITS PROVIDED: 2
EXIT WIDTHS PROVIDED: 1'-36 INCHES & 1'-72 INCHES

- TRAVEL DISTANCE REQUIREMENTS:
- EGRESS TRAVEL DISTANCE = < 200' PER IBC TABLE 1016.1
 - COMMON PATH OF TRAVEL = < 75' PER IBC 1017.2 & 1006.2.1
 - MINIMUM DISTANCE BETWEEN EXITS SHALL BE GREATER THAN 1/3 DIAGONAL DISTANCE OF AREA SERVED.

MINIMUM CLEARANCES PER ICC/ANSI REQ:

- 60" X 60" CLEAR TO BE PROVIDED ON PULL SIDE OF ALL ACCESSIBLE DOORS, AND 48" X 48" CLEAR ON PUSH SIDE.
- 60" TURNING RADIUS TO BE PROVIDED AT ALL 90 DEGREE TURNS AND DEAD-ENDS IN ACCESSIBLE ROUTES.
- 30" X 48" CLEAR WHEELCHAIR AREA REQD. FOR FRONT ACCESS AT ACCESSIBLE LAVS AND SINKS. (9 A6.1)

FLOOR PLAN NOTES

EXISTING CONDITIONS LEGEND:

(E) BUILDING CONSTRUCTION: SLAB ON GRADE w/ CMU EXTERIOR WALLS; ROOFING o/ DECK w/ JOIST ROOF FRAMING PER STRUCTURAL DWGS.

- EXISTING CONSTRUCTION TO REMAIN. PREPARE (E) SURFACES FOR NEW FINISHES.
- EXISTING DOOR TO REMAIN.
- EXISTING STOREFRONT TO REMAIN.
- EGRESS PATH. SEE OCCUPANT LOAD SUMMARY, THIS SHEET.

SHADED WALLS INDICATE NEW WORK:

- FULL-HEIGHT (1 A6.2)
- (2 A6.2, 3 A6.2)
- (101A)
- (A)

NON-RATED INTERIOR PARTITION WALL: FULL HEIGHT; 2X6 WOOD STUDS AT 16" O.C. WITH INTERMEDIATE FRAMING AND FULL-HT R-21 BATT INSULATION IN WALL CAVITY PER LEVELS OF INSULATION NOTES ON SHEET D2.1.

6A. (U.O.N. MIN. 350S/25-30) AT 16" O.C. WITH 5/8" GWB EACH SIDE TO BOTTOM OF ACT AND GRID ABOVE. PROVIDE 6" M.S. IN RESTROOM TOILET WALL. PROVIDE ACOUSTIC BATT INSULATION IN WALLS.

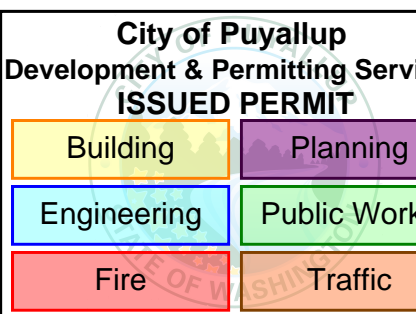
NEW EXTERIOR AND INTERIOR DOORS: REFER TO DOOR SCHEDULE AND WALL SECTIONS. SEE FLOOR PLAN NOTE F AND DETAILS (2 A4.1, 3 A4.1, 8 A4.1, 5 A4.1, 4 A4.1, 6 A4.2)

NEW EXTERIOR AND INTERIOR WINDOWS: REFER TO WINDOW SCHEDULE AND WALL SECTIONS. SEE DTLS (4 A4.1, 6 A4.2)



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PRCTI20221460



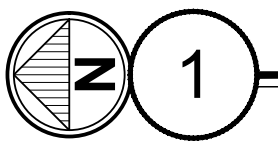
**ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT**
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

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PROPOSED ENLARGED
FLOOR PLAN

A2.1



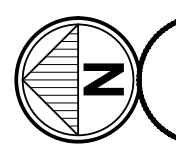
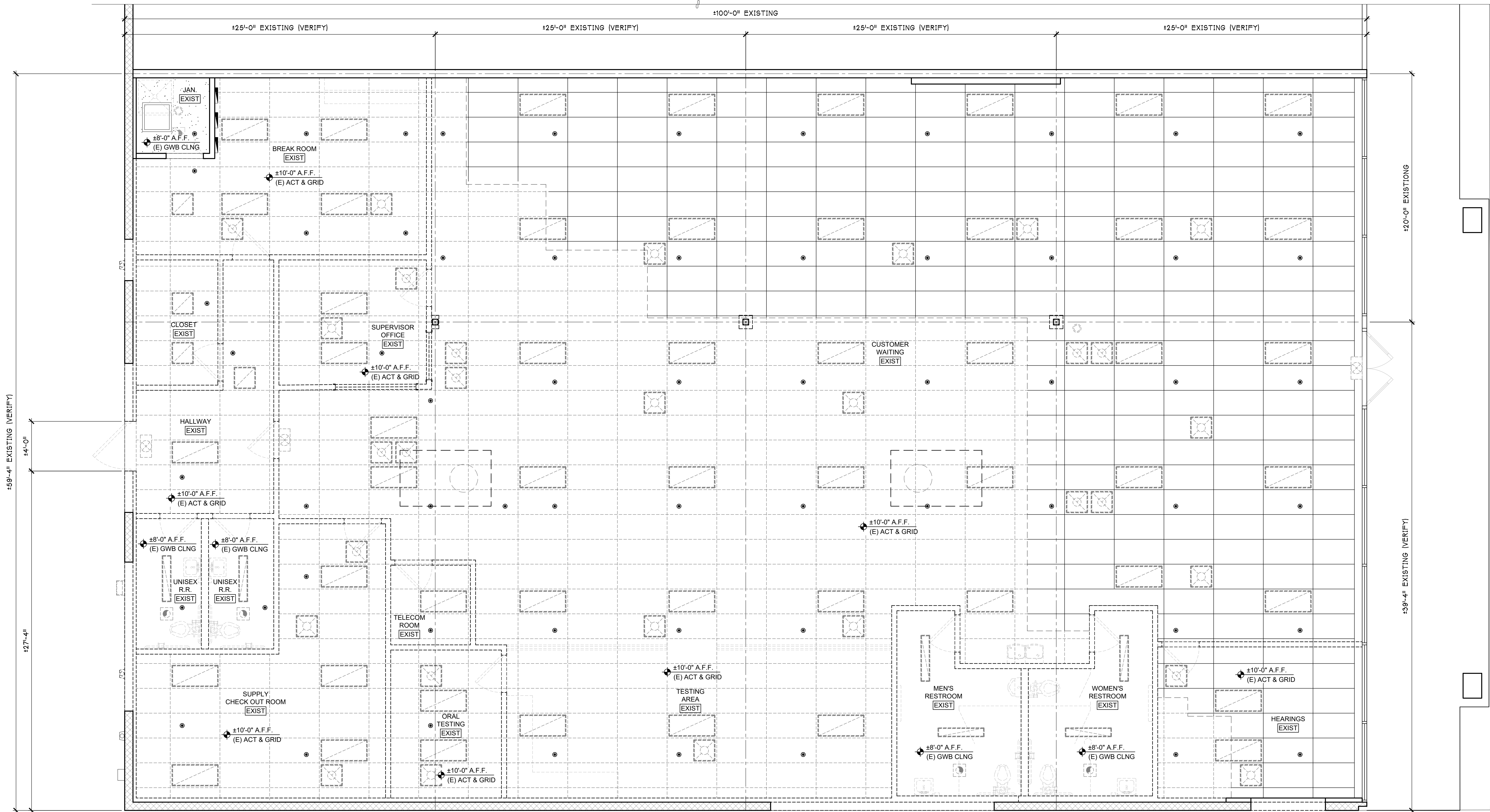
SCALE: 1/4" = 1'-0"

APPROX. TENANT FLOOR AREA: ±5,900 S.F.

A horizontal bar divided into segments of 4, 8, 16, 24, and 32 feet. The segments are shaded in a repeating pattern of white, gray, white, gray, and white.

 APPROX. LOCATION FOR BACKFLOW PREVENTION VAL

A2.2

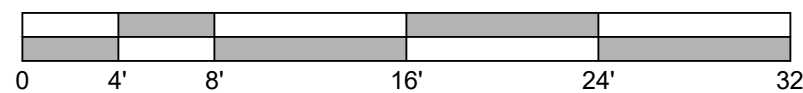


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EXISTING / DEMO REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

APPROX. TENANT FLOOR AREA: ±5,900 S.F.



FIRE SPRINKLER NOTES

SPRINKLER SYSTEM IS EXISTING TO REMAIN IN THE EXISTING BUILDING. GC TO COORDINATE ANY PERMIT INFORMATION FOR HEADS THAT NEED TO BE ADJUSTED AND/OR ADDED FOR NEW ROOMS IN THE TENANT IMPROVEMENT.

- GC IS RESPONSIBLE FOR COORDINATION WITH OTHER SYSTEMS TO AVOID CONFLICTS.
- GC TO PROVIDE DRAWINGS WITH THE LOCATION OF HEADS AND ALL AUDIBLE AND VISIBLE FIRE ALARM DEVICES, IF APPLICABLE, WITH THE DESIGN/BUILD SUBMITTAL FOR APPROVAL BY THE CITY, AS REQUIRED.

EXIST CONDITIONS NOTE

GC TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IF DISCREPANCIES ARE DISCOVERED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TENANT AND ARCHITECT IMMEDIATELY.

DEMOLITION NOTES

- GC TO OBTAIN DEMOLITION PERMITS IF REQUIRED BY CONSTRUCTION SCHEDULE AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE.
 - GC SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED, ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH TENANT REQUIREMENTS AND PROCEDURES.
 - AS DIRECTED BY THE TENANT, ANY DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES, AND SPECIAL EQUIPMENT SHOWN TO BE RELOCATED, SHALL BE CLEAN AND FREE OF DEFECTS, PROTECTED, SAVED AND REUSED AS DIRECTED HEREIN.
 - IN PARTITIONS TO BE REMOVED, GC TO REMOVE AND CAP ALL OUTLETS, SWITCHES, WIRES, THERMOSTATS, ETC., TO THEIR SOURCE. REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANY AND TENANT.
- GC TO REMOVE ALL EXISTING MATERIALS, WHICH WOULD CAUSE RISES OR DEPRESSIONS IN NEW FLOORING SURFACE, SUCH AS FASTENERS, OUTLET CORES, COVER PLATES, RESILIENT FLOOR COVERINGS, CARPET, CARPET PAD, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.. ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE GC SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
 - DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DWGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DWGS.
 - ALL CONSTRUCTION, DEMOLITION AND LAND CLEARING WASTE MUST BE RECYCLED AT THE COUNTY LICENSED OR APPROVED FACILITY, OR TAKEN TO REGIONAL DISPOSAL FACILITIES.

EXISTING / DEMO CEILING LEGEND

	EXISTING 2'x4' SUSPENDED ACOUSTIC CEILING TILE AND GRID TO REMAIN. PATCH AND REPAIR/REPLACE AS REQUIRED PER PROPOSED REFLECTED CEILING PLAN.
	EXISTING 2'x4' SUSPENDED ACOUSTIC CEILING TILE AND GRID TO BE REMOVED. PREPARED EXISTING OPEN CEILING FOR NEW WORK.
	EXISTING 2'x4' OR 1'x4' LED LOW-PROFILE SURFACE MOUNTED OR WIRE HUNG FIXTURE, TO BE REMOVED OR REPLACED
	6' LED RECESSED CAN LIGHT TO BE REMOVED.
	TENANT STANDARD RECESSED CEILING FAN IN RESTROOM(S) TO BE REMOVED.
	EXISTING UNIVERSAL CEILING OR WALL MOUNTED LED EXIT SIGN TO BE RELOCATED. GC TO VERIFY WORKING ORDER AND REPLACE, AS REQ.
	OWNER STANDARD MECHANICAL DIFFUSER AND GRILLE TO BE REMOVED/REPLACED PER MECHANICAL DWGS.
	OWNER STANDARD MECHANICAL RETURN AND GRILLE TO BE REMOVED/REPLACED PER MECHANICAL DWGS.
	EXISTING EXTERIOR SURFACE MOUNTED WALL PACK TO BE RELOCATED/REPLACED.
	EXISTING ROOF DRAIN TO BE RELOCATED. REFER TO SHEET A1.3.
	APPROX. LOCATION OF EXISTING SPRINKLER HEAD. REFER TO PROPOSED REFLECTED CEILING PLAN.

Separate electrical permit is required with Washington State Department of Labor & Industries. Call 1-800-647-0982

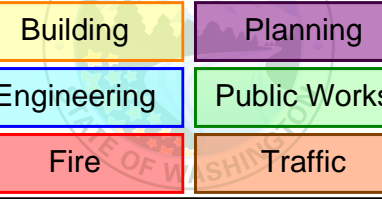
TWO EXISTING ROOF MOUNTED HEAT PUMP HVAC UNITS ARE EXISTING TO REMAIN. REFER TO MECHANICAL DWGS INCLUDED IN THIS SET.



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PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT



**ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT**
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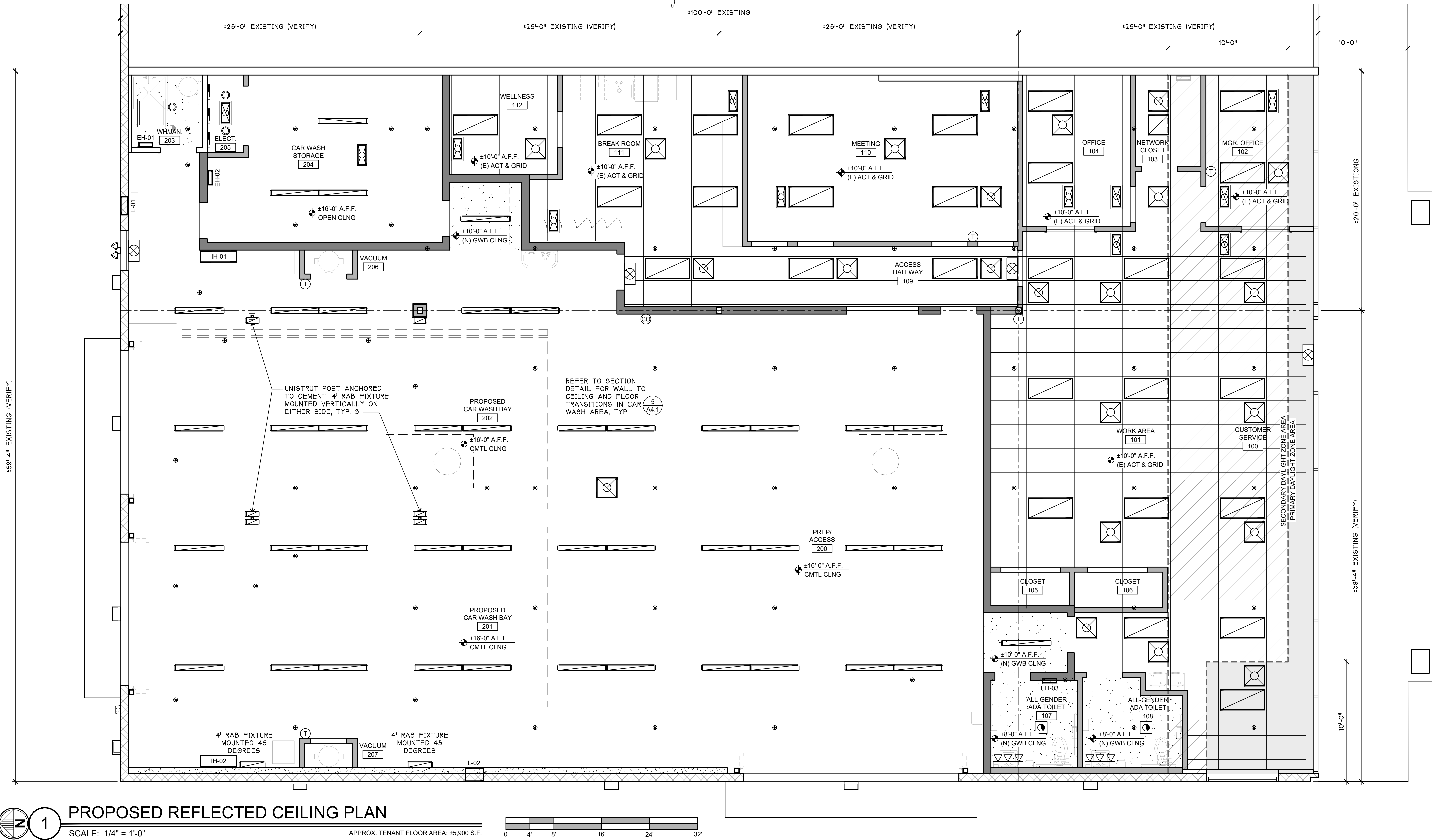
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EXISTING / DEMO
REFLECTED CEILING PLAN

D2.3



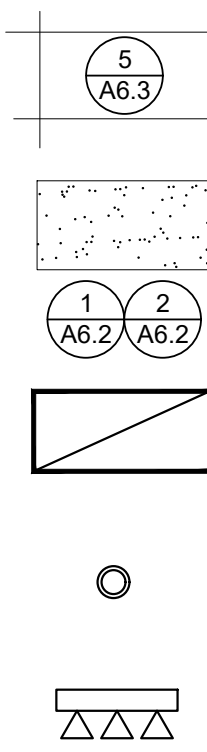
CEILING & LIGHTING NOTES

REFER TO GC & SUBCONTRACTOR BID SPECIFICATIONS, SHEET A0.2, FOR ADDITIONAL INFORMATION & REQUIREMENTS.

- A. THE PROPOSED INTERIOR END EXTERIOR LIGHTING SHOWN ON THIS PLAN IS FOR REFERENCE ONLY TO INDICATE THE DESIGN INTENT. GC TO VERIFY THE LIGHTING LAYOUT MEETS WITH APPLICABLE CODE REQUIREMENTS AND CONTACT ARCHITECT AND TENANT OF ANY DISCREPANCIES OR MODIFICATIONS.
- ESTIMATED UNIT LIGHTING POWER ALLOWANCE (LPA) SPACE-BY-SPACE BREAKDOWN BASED ON NET INTERIOR S.F. REFER TO 2018 WSEC LIGHTING COMPLIANCE FORM SUBMITTED WITH THIS PROJECT AND ON SHEET A7.1.
- B. LIGHTING DESIGN INCLUDING DAYLIGHTING ZONE CONTROL, REDUCTION AND SHUT-OFF CONTROLS AND SENSORS ARE TO BE IN CONFORMANCE WITH THE 2018 WSEC.
- ALTERATIONS WHICH REPLACE MORE THAN 50% OF THE LUMINAIRES ARE TO COMPLY WITH LIGHTING CONTROLS, PER WSEC C503.6. INTERIOR AND EXTERIOR LIGHTING CONTROLS, SENSORS, AND ALL OTHER METHODS OF COMPLIANCE COVERED IN ELECTRICAL POWER AND LIGHTING SYSTEMS TO BE IN COMPLIANCE WITH 2018 WSEC. SEE 2018 WSEC LIGHTING COMPLIANCE FORM, SHEET A7.1.

- C. COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO ENSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC., NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED ON ARCHITECTS DWGS.
- D. PERIMETER CEILING ANGLE, WHERE OCCURS, SHALL BE INSTALLED TIGHT TO VERTICAL SURFACES, FREE FROM CURVES, BREAKS OR OTHER IRREGULARITIES AND PAINTED TO MATCH CEILING FINISH.
- E. FURNISH AND INSTALL ALL ASSOCIATED TRIM AND SEISMIC BRACING AS REQUIRED.
- F. LIGHT FIXTURES, AND OTHER CEILING ELEMENTS SHALL BE CENTERED IN THE 2'X4' SECTION OF INDIVIDUAL CEILING TILES U.O.N.
- G. PROVIDE CEILING ACCESS AS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE, AND MATCH ADJACENT CEILING FINISH U.O.N.

- H. ALL SPECIFIC INFORMATION CONCERNING INSTALLATION FOR VARIOUS ABOVE-CEILING ELEMENTS ARE TO BE DESIGN BUILD, DOCUMENTATION BY OTHERS (PERMITTED SEPARATELY).
- I. INSTALL NEW LIGHT FIXTURES WITH PROTECTIVE FILM OR SIMILAR COVER OVER LOUVER, LENS, BAFFLE, ETC. TO AVOID FIXTURE SOILING OR DAMAGE, FIXTURES SHALL BE MAINTAINED CLEAN AND AS NEW, ALL LAMPS SHALL BE NEW AT PROJECT COMPLETION.
- J. OCCUPANCY SENSORS ARE REQUIRED IN SPACES 300 SQUARE FEET OR LESS THAT ARE ENCLOSED BY FLOOR-TO-CEILING HEIGHT PARTITION WALLS INCLUDING BUT NOT LIMITED TO: CLASSROOMS/LECTURE/TRAINING ROOMS, CONFERENCE/ MEETING/MULTIPURPOSE ROOMS, COPY/PRINT ROOMS, LOUNGES, EMPLOYEE LUNCH AND BREAK ROOMS, PRIVATE OFFICES, RESTROOMS, STORAGE ROOMS, JANITORIAL CLOSETS, LOCKER ROOMS, WAREHOUSE SPACES.



EXISTING 2'X4' SUSPENDED ACOUSTIC CEILING TILE AND GRID. PATCH AND REPAIR/REPLACE AS REQUIRED. REFER TO FINISH SCHEDULE AND DETAIL FOR SEISMIC BRACING.

6" METAL STUDS AND TRACKS AT NEW HARD CEILING FRAMING, 20 GA. AT 16" O.C. W/ 5/8" GWB ON UNDERSIDE OF CEILING PER DETAILS.

2'X4 OR 1'X4 LED LOW-PROFILE SURFACE MOUNTED OR WIRE HUNG FIXTURE, 53W LED (5,600 LUMENS) EQUIVALENT. FIXTURE SUPPLIED BY TENANT, INSTALLED BY CONTRACTOR (FOIC).

6" LED RECESSED CAN LIGHT, (1) 16.5W LED (840 LUMENS) WITH EXTERIOR HOUSING PER TENANT SPEC.

WALL MOUNTED LIGHT FIXTURE ABOVE LAV, (3) 12W A-19 LED (3,750 LUMENS) DESIGN HOUSE AUBREY SATIN NICKEL, MODEL #556209 OR APPROVED EQ.

CEILING LEGEND

- TENANT STANDARD 100 CFM RECESSED CEILING FAN IN RESTROOM, 50 CFM MIN.
- UNIVERSAL CEILING OR WALL MOUNTED LED EXIT SIGN, 3W LED (80 LUMENS). COORD. SPEC. WITH TENANT.
- OWNER STANDARD MECHANICAL DIFFUSER AND GRILLE AT 10'-0" A.F.F. REFER TO MECHANICAL DWGS.
- OWNER STANDARD MECHANICAL RETURN GRILLE AT 10'-0" A.F.F. REFER TO MECHANICAL DWGS.
- NEW OR REPLACED EXTERIOR SURFACE MNT HIGH PERFORMANCE LED COMMERCIAL FIXTURE, KT-WPLED55-MI-8C5B-VDIM WALL PACK 55W LED (6,023 LUMENS) OR APPROVED EQ. (FOIC).
- NEW OR REPLACED MOTION SENSOR LIGHTING OLF LED SECURITY MOTION SENSOR FLOODLIGHT, OR APPR. EQ. FIXTURE SUPPLIED AND INSTALLED BY TENANT.

- 4" WET LIGHT FIXTURE, RAB SHARK-4-50W/DK, 50W (5,161 LUMENS) OR APPROVED EQ. MOUNT LIGHTS ALONG PERIMETER ON WALL, CENTERLINE OF FIXTURE AT 60" A.F.F. AND AT 90 ANGLE, U.O.N. CEILING MOUNT AT 80" A.F.F. IN OPEN AREA(S), UNLESS OTHERWISE REQUESTED BY TENANT. (FOIC)
- APPROX. LOCATION OF EXISTING SPRINKLER HEAD, GC TO MODIFY AS REQUIRED FOR NEW WALL LOCATIONS & CEILING HEIGHT.
- APPROX. LOCATION FOR THE OCCUPANCY SENSOR. OCCUPANCY SENSORS TO BE ON 24/7. SEE NOTE J.
- APPROX. LOCATION FOR THE SMOKE ALARM

9679
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PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Planning

Engineering

Public Works

Fire

Traffic

ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

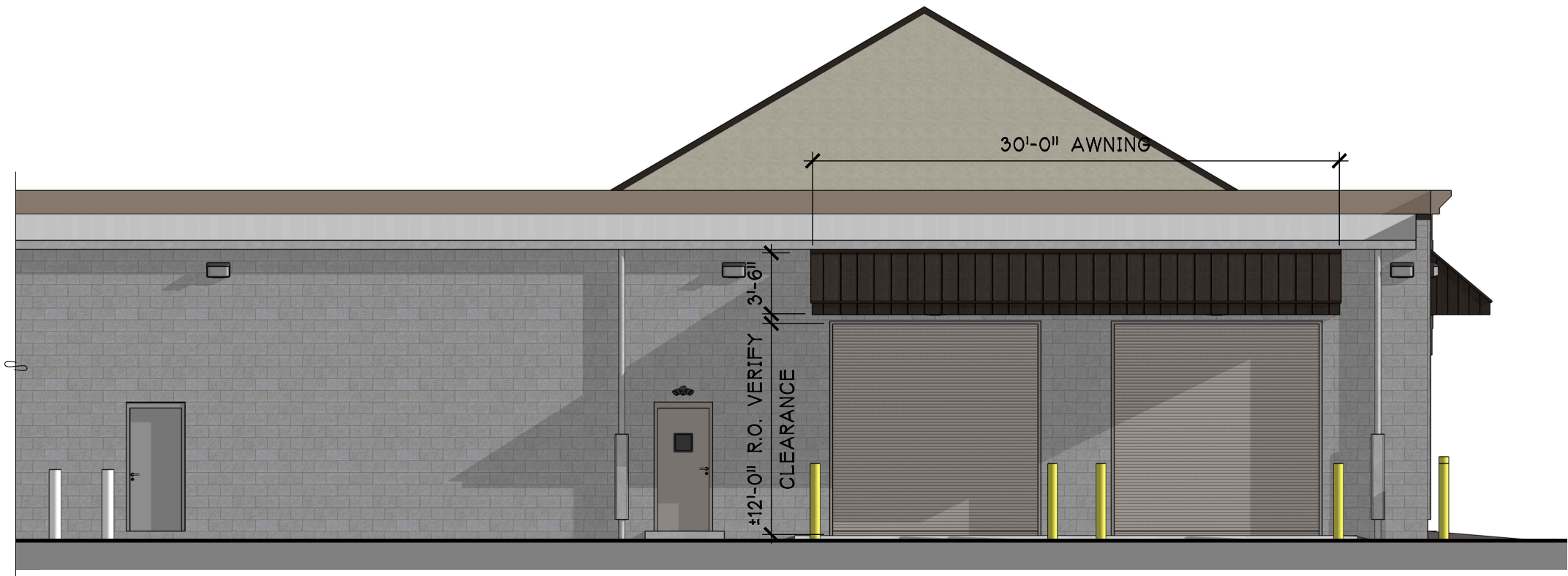
REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
2		
3		
4		
5		

ISSUE DATES	
DESIGN APPROVAL:	
PERMIT SUBMITTAL:	02/27/23
PERMIT RECEIVED:	
BID DOCS:	
CONSTR. DOCS:	
SHEET INFORMATION	
24"X36" SCALE:	AS NOTED
PLOT DATE:	06/12/23
CAD FILE:	22-14A21
JOB NUMBER:	22-14
CHECKED:	TKG
DRAWN:	TKG
STATUS:	PERMIT SET

PROPOSED REFLECTED
CEILING PLAN
A2.3



3D RENDERING NOTE:
ADJACENT TENANT STOREFRONT AND
LANDSCAPING IS SHOWN DIAGRAM-
MATICALLY TO INDICATE DESIGN
INTENT. ADJACENT SITE CONDITIONS
AND IMPROVEMENTS NOT SHOWN.



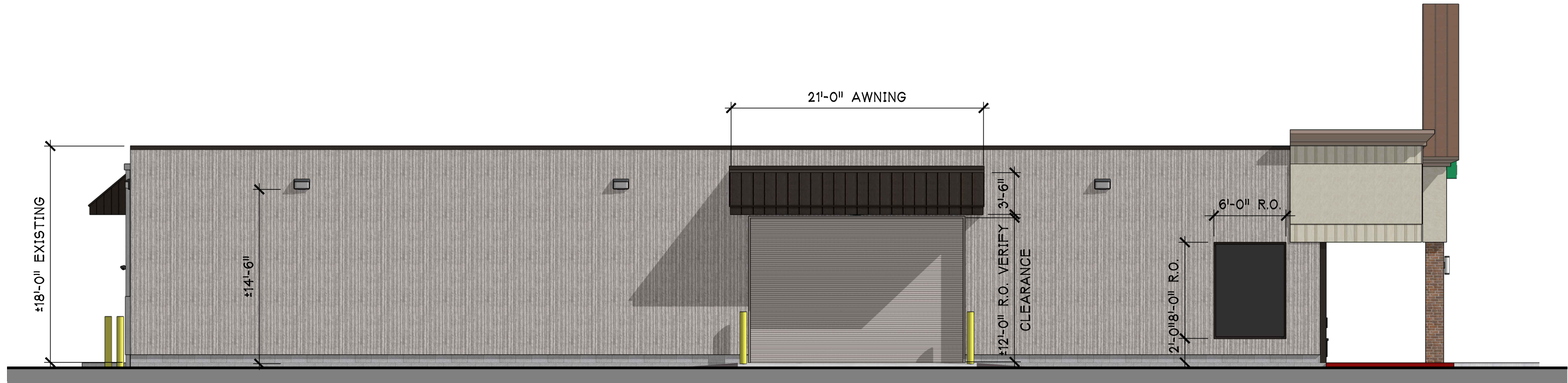
A PARTIAL NORTH FACING



B PARTIAL SOUTH FACING

TENANT IMPROVEMENT NOTE:
OVERALL EXISTING BUILDING SHELL IS
EXISTING TO REMAIN. SCOPE OF WORK
INCLUDES NEW PAINT, NEW WINDOW
AND NEW COILING ROLL-UP DOORS AND
AWNINGS PER FLOOR PLAN.

TENANT SIGNAGE NOTE:
PROPOSED TENANT SIGNAGE IS FOR
REFERENCE, ONLY TO INDICATE DESIGN
INTENT. BUILDING SIGNAGE UNDER
SEPARATE PERMIT. EXACT SIZE PER
CITY REQUIREMENTS.



C WEST FACING

1 SCHEMATIC PERSPECTIVES & EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



POSSIBLE NEW PAINT SCHEME



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PRCTI20221460

City of Puyallup Development & Permitting Services ISSUED PERMIT			
Building	Planning	Fire	Traffic
Engineering	Public Works		

**ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT**
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

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PRELIMINARY SCHEMATIC
ELEVATIONS & PERSPECTIVES

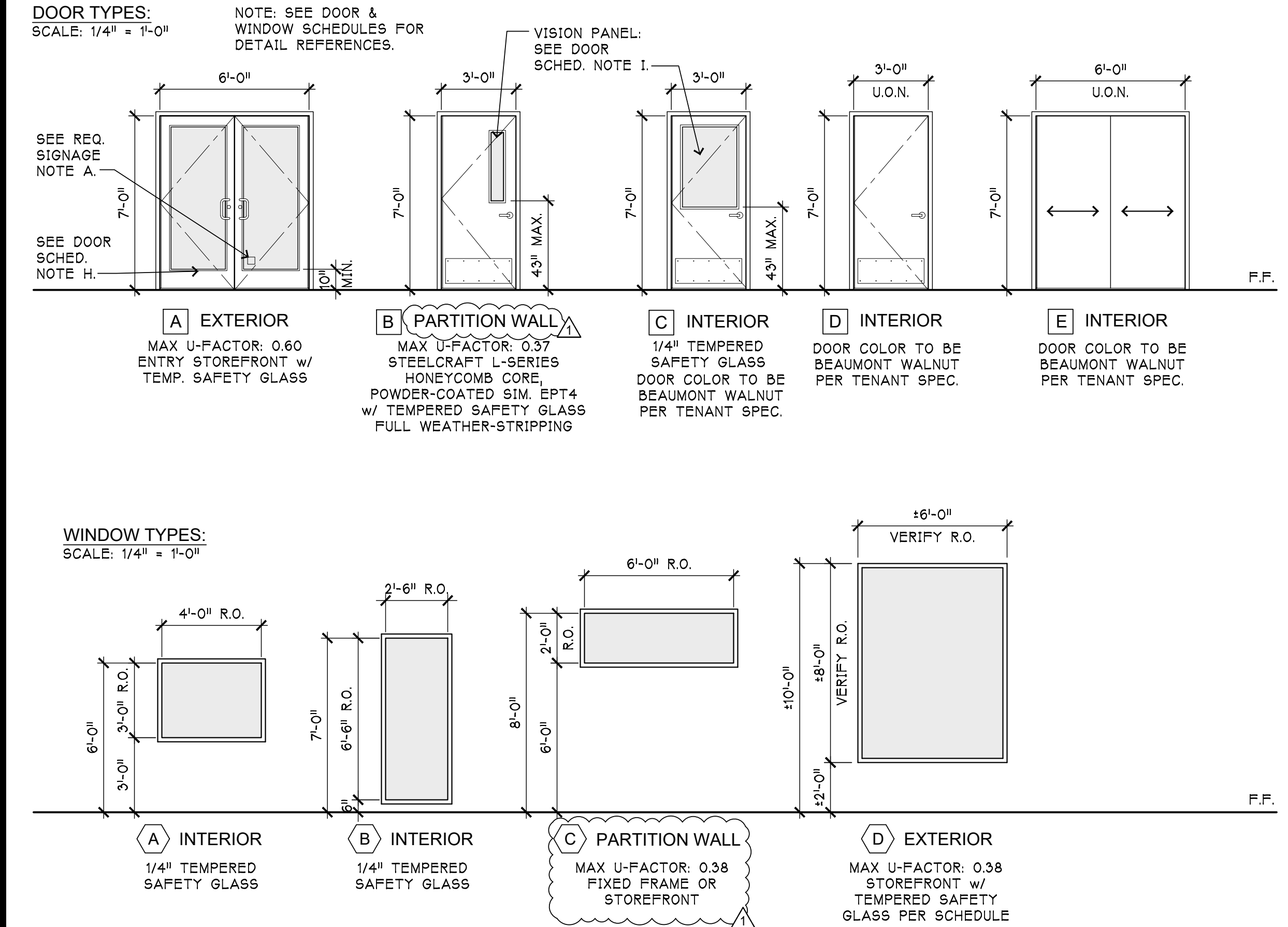
A3.1

FIXTURE & EQUIPMENT SCHEDULE 01 SEE FLOOR PLAN & ENLARGED ELEVATIONS FOR LOCATION(S)									
TENANT IMPROVEMENT				ROUGH-IN REQ.			FURN / INSTALL BY		
NO	QTY	DESCRIPTION	MFR/STYLE, PRODUCT NO	ELECT	PLMB	GAS	FCIC	FOIC	NIC
P-01	2	ADA WHITE ELONGATED TOILET w/FLUSHOMETER*	AMERICAN STD MADERA 3043.001 ADA FLOWISE	X	X		X		
02	2	ADA WHITE OPEN WATER CLOSET SEAT	AMERICAN STD 5901.100 ADA						
03	2	TOILET SEAT COVER DISPENSER	REUSE EXISTING					X	
04	2	TOILET PAPER ROLL DISPENSER	REUSE EXISTING					X	
05	2	ELECTRIC HAND DRYER	FAST DRY HK-JA SERIES, HK-JA05	X			X		
06	2	WALL MOUNTED SOAP DISPENSER	GO-JO 800 ML BLACK BAG-IN-BOX				X		
07	2	GRAB BAR SET (VERTICAL AND HORIZONTAL)	REUSE EXISTING						
P-02	2	ADA WALL MOUNTED LAV (WITH PIPE INSULATION)	LUCERNE 0356.015 4" HOLE SPACING OR EQ*		X		X		
09	2	ADA BATTERY POWER HAND WASHING FAUCET SET	SLOAN OPTIMA PLUS, EBF-85-4-BDM	X	X		X		
10	2	SS FRAMED MIRROR	REUSE EXISTING				X		
11	2	WASTE RECEPTAL	PER TENANT SPEC						X
12	2	ALL-GENDER RESTROOM SIGN (1 ADA)	PER GC, COORD. WITH TENANT				X		
P-03	1	BREAK RM ADA S.S. SINGLE BOWL SINK & DRAIN	AMERICAN STD COLONY 25X22, 3-HOLE OR EQ.		X		X		
14	1	BREAK RM ADA FAUCET SET	AMERICAN STD MONTERREY 6540.170, 8"		X		X		
15	1	BREAK RM REFRIGERATOR	TENANT STANDARD - BLACK	X	X		X		
16	1	BREAK RM MICROWAVE	TENANT STANDARD	X	X		X		
17	1	BREAK RM PAPER TOWEL DISPENSER	BOBRICK, B-29744				X		
18	1	BREAK RM LIQUID SOAP DISPENSER	GO-JO 800 ML BLACK BAG-IN-BOX					X	
19	1	BREAK RM ADA BUILT-IN DISHWASHER	PER GC - BLACK SPECIAL ORDER	X	X		X		
20	LOT	BREAK RM CORKBOARDS	PER TENANT					X	
P-05	1	H-LO DRINKING FOUNTAIN	ELKAY ELZSL8WSLK		X		X		
22	LOT	10#4A-60B-C MOUNTED FIRE EXTINGUISHER*	J.L. SERIES 1015F10 OR APPR. EQUAL				X		
23	LOT	4'-0" HIGH 2" EA. SIDE S.S. CORNER GUARD	PER GC				X		
24	LOT	ROLLER SHADES	3G MERMET E-SCREEN 7510 CHARCOAL					X	
25	LOT	POSTER FRAMES	PER TENANT					X	
26	1	SAFE	PER TENANT					X	
27	6	SS 3-HOOK STRIP	BOBRICK, B-232					X	
28	6	SS HOOK DOOR FLANGE	BOBRICK, B-682					X	
29	1	6-GAL CAPACITY WALL-MNT MINI WATER HEATER	ELECTRIC TANKLESS PER TENANT SPEC	X	X		X		
30	1	WELLNESS ROOM COMPACT REFRIGERATOR	PER TENANT SPEC.	X				X	
31	6	EMPLOYEE LOCKERS	PER TENANT SPEC.					X	
32	1	BIKE RACK FOR TWO BIKES	PER GC				X		
33	1	ADA PARKING STALL SIGN POST (PER SITE PLAN)	FLEX POST OR SIMILAR				X		
34	LOT	CONCRETE FILLED BOLLARDS	6" EXTERIOR & INTERIOR				X		

- EQUIPMENT NOTES:**
- THE NEW WATER HEATER LOCATION WILL REQUIRE COMPLIANCE WITH THE ENERGY AND MECHANICAL CODES FOR INSULATION AND EFFICIENCY.
- ELECTRICAL NOTES:**
- HAND DRYERS SHALL BE MOUNTED WITH BOTTOM OF HAND DRYER AT 44" AFF. ROUGH IN BOX SHOULD BE PLAED ACCORDINGLY. SEE SPEC SHEETS FOR DETAILS.
 - GC TO INSTALL ELECTRICAL OUTLETS IN DATA CLOSET NEXT TO/SURROUNDED BY EQUIPMENT BACKERBOARD, (4) DEDICATED 4-PLEX OUTLETS REQUIRED AT 48" AFF.
 - GC TO RUN DATA CABLES AND OUTDOOR-RATED ETHERNET CABLES IN SEAL TIGHT FLEX CONDUIT FROM BUILDING DMARC TO DATA CLOSET. CONFIRM LAYOUT WITH EHI PM.
- PLUMBING NOTES:**
- GC TO PROVIDE SUBMITTALS TO EHI PM FOR APPROVAL FOR FCIC PLUMBING FIXTURES. REFER TO EHI SPEC BOOK AND ARCHITECTURAL SCHEDULES FOR DETAILS.
 - GC TO ENSURE DISHWASHER IS ADA COMPLIANT. ADA DISHWASHER IS SHORTER AND REQUIRED TO FIT UNDER EHI CASEWORK. NOTE: THESE CAN HAVE EXTENDED LEAD TIMES.
 - GC TO PROVIDE WATER SUPPLY/HOOK UP FOR REFRIGERATOR.
 - SHUT OFF VALVE WITH ACCESS PANEL & LABEL NEAR TOILET REQUIRED.

WINDOW / GLAZING SCHEDULE A SEE FLOOR PLAN FOR LOCATION(S)									
TENANT IMPROVEMENT				TOTAL			FURN / INSTALL BY		
NO	QTY	GLASS (THK X W X H)	MANUFACTURER	PRODUCT TYPE	FRAME FINISH/COLOR	(TGA SF)	MAX-FACT.	REF DETL	REMARKS/LOCATION
A	2	1/4" X 4'-0" X 3'-6"	TIMELY OR APPR. EQ.	FIXED, H.M. FRAME	H.M./PRE-FIN. BLACK	N/A	N/A	6/A6.2	
B	2	1/4" X 2'-6" X 3'-6"	TIMELY OR APPR. EQ.	FIXED, H.M. FRAME	H.M./PRE-FIN. BLACK	N/A	N/A	6/A6.2	
C	1	1/4" X 6'-0" X 2'-0"	TIMELY OR STOREFRONT	4-1/2" FIXED ALUM.	H.M./PRE-FIN. BLACK	12	0.38	6/A6.2	
D	1	1/4" X 6'-0" X 8'-0"	STOREFRONT	4-1/2" FIXED ALUM.	ALUM. MATCH EXIST.	48	0.38	4/A4.1	
SUM EXTERIOR WINDOW TGA:						60			

- WINDOW SCHEDULE NOTES - TENANT IMPROVEMENT:**
- INTERIOR METAL WINDOW FRAMES TO BE BLACK PRE-FINISHED TIMELY METAL FRAMES, TA-8 CASING IN BLACK SC103, U.O.N.



ROOM FINISH SCHEDULE									
TENANT IMPROVEMENT		FLOOR		WALL		CEILING		REMARKS/LOCATION	
ROOM NO	ROOM NAME	BASE	NORTH	SOUTH	EAST	WEST			
100	CUSTOMER SERVICE	CPT1/WOMT	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
101	WORK AREA	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
102	BRANCH MANAGER OFFICE	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID	PT3 ACCENT WALL PER PLAN	
103	SERVER/TELCOM/ELECT	CONC	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
104	AREA MANAGER OFFICE	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID	PT3 ACCENT WALL PER PLAN	
105	COAT CLOSET	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
106	COAT CLOSET	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
107	ALL-GENDER RESTROOM	CTF1	CTB1	CTW1, PT5*	CTW1, PT5*	CTW1, PT5*	(N) GWB-WR, PT5	*USE GWB-WR IN WET AREAS	
108	ALL-GENDER RESTROOM	CTF1	CTB1	CTW1, PT5*	CTW1, PT5*	CTW1, PT5*	(N) GWB-WR, PT5	*USE GWB-WR IN WET AREAS	
109	ACCESS HALLWAY	LVP1/WOMT	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		
110	MEETING ROOM	CPT1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID	PT3 ACCENT WALL PER PLAN	
111	EMPLOYEE BREAK ROOM	LVP1	RB1	GW/B, PT1	GW/B, PT1	GW/B-WR, PT1	(E) ACT & GRID	PT3 ACCENT WALL PER PLAN	
112	WELLNESS ROOM	LVP1	RB1	GW/B, PT1	GW/B, PT1	GW/B, PT1	(E) ACT & GRID		

- ROOM SCHEDULE NOTES - TENANT IMPROVEMENT:**
- USE LIGHT ORANGE PEEL TEXTURE FOR GWB WALLS UNLESS OTHERWISE NOTED. NO TEXTURE ON WALL WHERE GRAPHIC IS TO BE INSTALLED IN CUSTOMER SERVICE AREA.
 - COORDINATE ACCENT COLOR LOCATIONS WITH TENANT.
 - GC TO PROVIDE SUBMITTALS TO EHI PM FOR APPROVAL FOR FCIC FLOORING SPECIFICATIONS.
 - GC TO REVIEW EXISTING CONDITION OF FLOOR SUBSTRATE IN BUILDINGS AND WHAT REPAIRS AND MODIFICATIONS WILL BE REQUIRED FOR ALL FLOORING INSTALLATION.
 - GC TO SUPPLY AND INSTALL SLIVER SCHLUTER TRANSITION STRIPS AT TRANSITIONS BETWEEN CARPET, LVP, TILE FLOORING, AND SEALED CONCRETE.
 - GC TO SUPPLY AND INSTALL SCHLUTER STRIP TRIM ALONG TOP OF WALL TILE OR P-LAM IN ALL-GENDER RESTROOM(S), IF SPECIFIED.
 - GC TO SUPPLY MANUFACTURER RECOMMENDED ADHESIVE (FCIC) AND INSTALL FLOORING PER MANUFACTURER REQ.
 - GC TO SUPPLY AND INSTALL 4" BLACK VINYL COVE BASE IN CARPETED, TILED, AND VINYL FLOORING AREAS, INCLUDING ALL ADHESIVES AND NECESSARY TRANSITION PIECES.

TENANT IMPROVEMENT		MFR/STYLE, PRODUCT NO		FURN / INSTALL BY			REMARKS/LOCATION	
ABBREV	DESCRIPTION			FCIC	FOIC	NIC		
FLOOR								
CONC	CONCRETE, SEALED (WHERE OCCURS)	LUSTERSEAL OR APPR. EQ. ROOM FINISH		X				
WOMT	4'X6' ADA COMPLIANT RECESSED WALL-OFF MAT	VODALAND CITY TEXTILE OR APPROVED EQ.		X			PER GC RECOMMENDATION	
CPT1	CARPET TILE (MAIN FIELD)	KINETEX 1838 STIPPLE, QUARTER TURN			X			
CTF1	CERAMIC FLOOR TILE 12" X12", TENANT SPEC, GROUT BY GC	1/32" GROUT LINE, EPOXY LATACRETE SPECTRA LOCK GROUT		X	X		GROUT COLOR MIDNIGHT #22	
LVP1	LUXURY VINYL PLANK	ODYSSEY EIR CAPETOWN, GLUE DOWN LVP INSTALLED PER MFR			X			
BASE								
CTB1	COVED CERAMIC TILE BASE 6" WITH COVED BASED, BLACK	PER GC-1/32" GROUT LINE, LATACRETE SPECTRA LOCK GROUT		X			GROUT COLOR MIDNIGHT #22	
RB1	4" CONTINUOUS RUBBER BASE	SHAW BLACK VINYL WITH 1/4" COVE BASE		X				
RB2	6" CONTINUOUS RUBBER BASE (RESTROOMS)	SHAW BLACK VINYL WITH 1/4" COVE BASE				X		
WALLS/SUBSTRATE								
PLM3*	PLASTIC LAMINATE WAINSCOT (RESTROOMS) - OR -	WILSONART RAW COTTON 4947-38 FINE VELVET TEXTURE FINISH				X	CONFIRM WITH TENANT	
CTW1	SUBWAY CERAMIC TILE 3"X6" RUNNING JNTS (NOT STACKED)	1/32" GROUT LINE- LATACRETE SPECTRALOCK EPOXY GROUT		X			GROUT COLR LT PEWTER #90	
GW/B	5/8" GYPSUM BOARD	PER GC		X				
GW/B-WR	5/8" WATER RESISTANT DENSGLASS GOLD	PER GC - IN ALL WET AREAS		X				
INTERIOR PAINT - NOT ALL PAINT COLORS WILL BE USED ON THIS PROJECT - COORD. WITH TENANT								
PT1	FIELD PAINT - LIGHT BEIGE	SHERWIN WILLIAMS, MODERATE WHITE SW6140		X				
PT2	ACCENT WALL PAINT - LIGHT GREEN (WHERE OCCURS)	SHERWIN WILLIAMS, UPHILL SW1428		X			LOCATION PER TENANT	
PT3	ACCENT WALL PAINT - LIGHT BLUE	SHERWIN WILLIAMS, ATMOSPHERIC SW6505		X				
PT4	ACCENT PAINT AND TRIM - BLACK	SHERWIN WILLIAMS, TRICORN BLACK SW6258		X				
PT5	RESTROOM WALLS & CEILING	SHERWIN WILLIAMS, EXTRA WHITE SW7006 OR SW 7007		X			CONFIRM WITH TENANT	
CEILING - NOT ALL CEILING FINISHES WILL BE USED ON THIS PROJECT - COORD. WITH TENANT								
GW/B	5/8" GYPSUM BOARD	PER GC		X				
ACT	2X4 ACOUSTIC CEILING TILE AND GRID	ARMSTRONG 1766 OR 1761 FINE FISSURED SECOND LOOK II OR EQ.		X				
CASEWORK								
PLM1	PLASTIC LAMINATE COUNTERTOP & BACKSPLASH	WILSONART CHARCOAL VELVET 15504		X			CONFIRM WITH TENANT	
PLM2	PLASTIC LAMINATE CABINET FACE & DOORS	WILSONART DRIFT CEDAR Y0815		X				
MEL1	MELAMINE CASEWORK INTERIOR	PER CABINET MFR, WHITE		X				
TK1	TOE KICK AT CABINET BASE	BLACK RUBBER COVE BASE TO MATCH FLOORING COVE BASE		X				
HW1	CASEWORK PULLS	RICHELEAU BAR PULLS OR SIMILAR ADA COMPLIANT					BRUSHED NICKEL	
SS1	SOLID SURFACE OR PLASTIC LAMINATE AT WINDOW SILLS	COLOR: BLACK, SPEC & LOCATION PER TENANT		X			CONFIRM WITH TENANT	

- FLOOR NOTES:**
- PROVIDE NECESSARY ADHESIVES AND EDGE SCHUTLER TRANSITION STRIPS AS REQUIRED AT FLOORING.
- WALL/SUBSTRATE NOTES:**
- RUN PLM3 BEHIND RB1 BASE IN RESTROOMS, IF SPECIFIED. COVE SEAL DIRECT TO FLOORING. PROVIDE NECESSARY ADHESIVES AND EDGE TRANSITION STRIPS AS REQ AT PLM3 WALL.
 - SCHLUTER TRIM STRIP REQUIRED AT CERAMIC TILE TRANSITIONS FROM WALL TO FLOOR.
 - SCHLUTER TRIM STRIP REQUIRED ALONG TOP OF CTW1 SUBWAY TILE OR PLM3 IN RESTROOMS.
 - IF WALL SWIPE IS INDICATED, WALL SHALL BE PREPPED (SMOOTH FINISH) FOR APPLICATION OF A VINYL WALL GRAPHIC.
- INTERIOR PAINT NOTES:**
- SHERWIN WILLIAMS PAINT TO BE PRO MAR 200 LATEX, EGG SHELL OR SATIN FINISH, RESTROOM TO BE SEMI-GLOSS.
 - USE LIGHT ORANGE PEEL TEXTURE FOR GWB WALLS UNLESS OTHERWISE NOTED.
 - ALL-GENDER RESTROOM WALLS SHALL BE PAINTED WITH SEMI-GLOSS LATEX PAINT.
- CEILING NOTES:**
- REFER TO REFLECTED CEILING PLAN FOR LIGHTING AND MECHANICAL SPECIFICATIONS.
 - CEILINGS TO BE PAINTED WHITE (TYPICAL), MECHANICAL GRILLS TO BE PAINTED SAME COLOR AS CEILING.
- EXTERIOR FINISH NOTES:**
- SHERWIN WILLIAMS PAINT TO BE PRO MAR 200 LATEX, SATIN FINISH U.O.N., OR MATCH EXISTING ADJACENT FINISH. EXTERIOR SCOPE OF WORK TBD.
 - ALL ADA PARKING STALL LINES, SYMBOLS & LOADING AREA CROSSHATCHING TO BE THERMOPLASTIC TORCH DOWN (OR SIM). GC TO PROVIDE SUBMITTAL FOR EHI APPROVAL.
 - ALL PEDESTRIAN WALK PATHS AND DIRECTIONAL ARROWS SHOULD BE THERMOPLASTIC TORCH DOWN (OR SIMILAR). GC TO PROVIDE SUBMITTAL FOR EHI APPROVAL.
 - ALL OTHER STRIPING SHALL BE DOUBLE COATED WHITE UNLESS OTHERWISE SPECIFIED BY CODE.

DOOR SCHEDULE 101A SEE FLOOR PLAN FOR LOCATION(S)									
TENANT IMPROVEMENT		DOOR		FRAME		FIRE GLASS		HDMR	
NO	SIZE (W X H)	MATERIAL	THK	TYPE	MATERIAL/COLOR	SIZE	RAT'G	TYPE	TYPE
E100A	PR 3'-0" X 7'-0" SWING	4-1/2" STOREFRONT	1-3/4"	A	ALUM. CLEAR ANOD	MFR	N/A	TEMP	TENANT
100B	3'-0" X 7'-0" SWING	PWDR CT. SIM. EPT4	1-3/4"	B	H.M./PRE-FIN. EPT4	2"	N/A	TEMP	TRILGY
102A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
103A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	TRILGY
104A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
105A	PR 2'-6" X 7'-0" SLIDING	LEGACY S.C. WOOD	1-3/4"	E	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
106A	PR 2'-6" X 7'-0" SLIDING	LEGACY S.C. WOOD	1-3/4"	E	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
107A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
108A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
109A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	C	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
109B	3'-0" X 7'-0" SWING	PWDR CT. SIM. EPT4	1-3/4"	B	H.M./PRE-FIN. EPT4	2"	N/A	TEMP	TRILGY
109C	3'-0" X 7'-0" SWING	PWDR CT. SIM. EPT4	1-3/4"	B	H.M./PRE-FIN. EPT4	2"	N/A	TEMP	TRILGY
110A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	C	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
110B	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	C	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS
112A	3'-0" X 7'-0" SWING	LEGACY S.C. WOOD	1-3/4"	D	H.M./PRE-FIN. BLACK	2"	N/A	TEMP	MARKS

- DOOR SCHEDULE NOTES - TENANT IMPROVEMENT:**
- INTERIOR METAL DOOR FRAMES TO BE BLACK PRE-FINISHED TIMELY METAL FRAMES, TA-8 CASING IN BLACK SC103, U.O.N.
 - GC TO COORDINATE HARDWARE ON NEW & EXISTING DOORS WITH ENTERPRISE PROJECT MANAGER. REFER TO HARDWARE SCHEDULE NOTES, THIS SHEET.
 - GC TO PROVIDE SUBMITTALS TO EHI PM FOR APPROVAL FOR FCIC HARDWARE BASED ON ARCHITECTURAL PLAN SET SCHEDULES.
 - VERTICAL RE-LITE WINDOWS IN WALLS NEXT TO INTERIOR DOORS SHALL MATCH THE HEIGHT OF DOOR FRAME, IF SPECIFIED.
 - INTERIOR DOORS SHALL BE PRE-FINISHED SOLID CORE LEGACY DOORS, COLOR: BEAUMONT WALNUT.
 - GC TO PROVIDE AND INSTALL 12" STAINLESS STEEL/BRUSHED ALUMINUM KICKPLATES ON THE PUSH SIDE OF ALL DOORS.
 - GC TO SUPPLY AND INSTALL DOOR STOPS ON WALLS FOR ALL DOORS ROCKWOOD 409 US32D (SATIN OR BRUSHED STAINLESS FINISH).
 - DOOR RE-LIGHT CUT IN FRAMES TO BE BLACK, NOT BROWN.
 - MARKS/P-DEAD HARDWARE IS PASSAGE WITH SEPARATE DEADBOLT/THUMB TURN. TRILGY/DEAD IS TRILGY WITH SEPARATE KEYED DEADBOLT.
 - INTERIOR DOOR HARDWARE TO BE SINGLE-ACTION LEVER RELEASE MARKS USA 275 SERIES, GRADE 2 IN SATIN CHROME, U.O.N.
 - HM DOORS TO BE POWDER COATED- NOT FIELD PAINTED, STEELCRAFT L-SERIES, HONEYCOMB CORE, TEMPERED SAFETY GLASS, FULL WEATHER STRIPPING.

GENERAL SCHEDULE NOTES

GENERAL SCHEDULE NOTES:

A. FIELD VERIFY EXISTING FRAME SIZES.

B. LOCATIONS OF SAFETY GLAZING: OPENINGS WITH A VERTICAL EDGE WITHIN 24" OF A DOOR OPENING AND THE BOTTOM EDGE BELOW 60" A.F.F., AND:

OPENINGS MEETING ALL OF THE FOLLOWING:

- BOTTOM EDGE LESS THAN 18" FROM FLOOR.
- TOP EDGE GREATER THAN 36" ABOVE FLOOR.
- GLASS AREA GREATER THAN 9 SQUARE FEET.
- WALKING SURFACE WITHIN 36" OF THE GLASS UNIT.

OTHER LOCATIONS AS REQUIRED BY THE IBC, AS REQUIRED FOR STRENGTH, OR AS RECOMMENDED BY THE GLASS MFR.

DOOR SCHEDULE NOTES:

A. REFER TO FLOOR PLANS, SHEET A2.1 FOR ADDITIONAL DOOR AND HARDWARE NOTES.

B. MAIN ENTRY DOORS SHALL HAVE A KEY LOCKING DEVICE. THERE SHALL BE A READILY VISIBLE DURABLE SIGN ADJACENT TO THE DOORWAY STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS NOT LESS THAN 1" HIGH ON A CONTRASTING BACKGROUND. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.

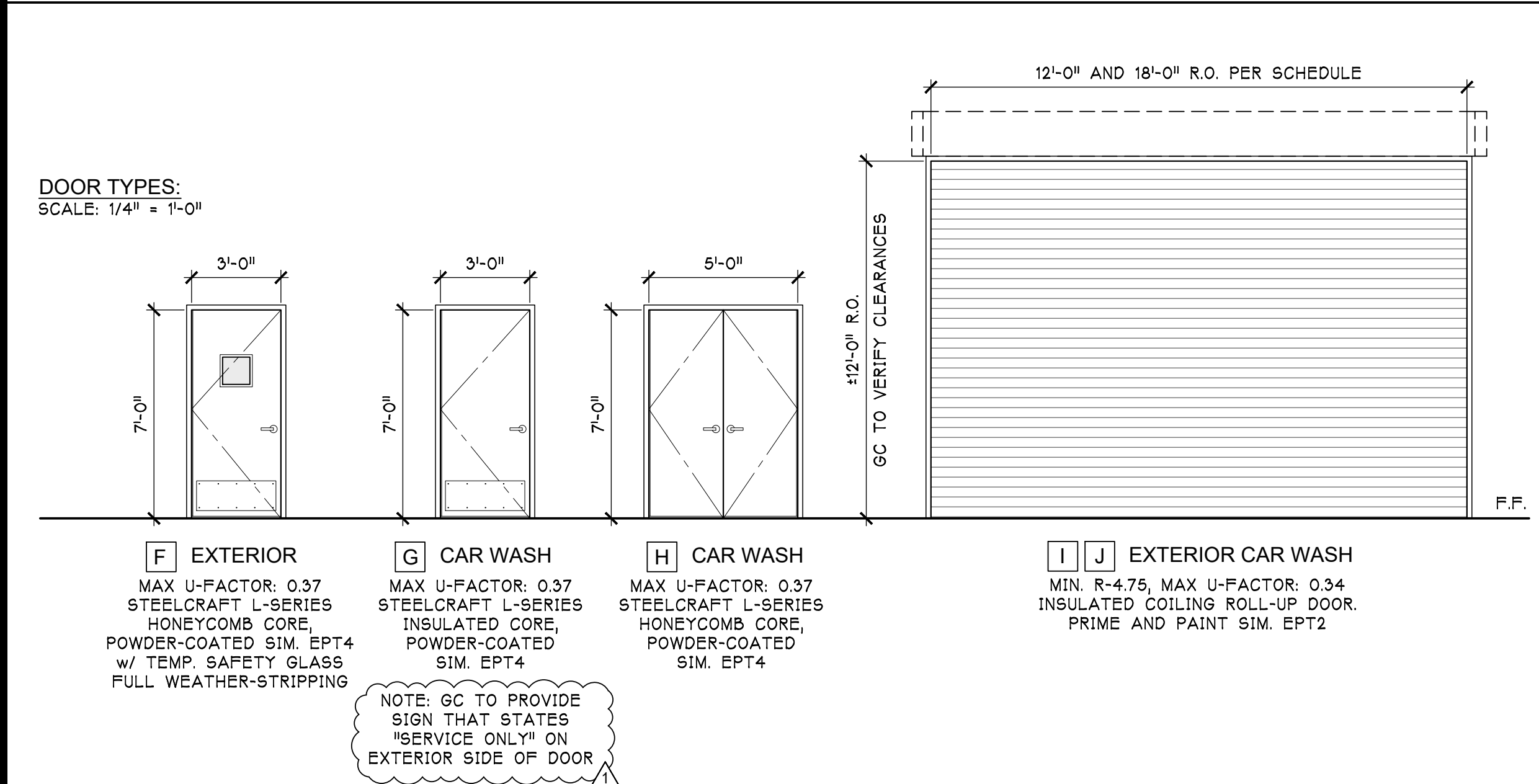
C. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF

FIXTURE & EQUIPMENT SCHEDULE - CAR WASH AREAS										SEE FLOOR PLAN & ENLARGED ELEVATIONS FOR LOCATION(S)
NEW CAR WASH AREAS										
NO	QTY	DESCRIPTION	MFR/STYLE, PRODUCT NO	ROUGH-IN REQ. ELECT PLUMB GAS	FCIC	FOIC	NIC	REMARKS/LOCATION		
40	2	INDUSTRIAL VACUUM	JE ADAMS 9225 COMMERCIAL VAC, 40 AMP	X			X	DEDICATED 30AMP CIRCUIT		
41	2	PRESSURE WASHER (VERIFY QUANTITY)	LANDA ZEF2-14024D OR APPR. EQUAL	X	X			DEDICATED 30AMP CIRCUIT		
44	1	JANITOR MOP SINK & FAUCET SET	REUSE EXISTING	X		X				
45	1	50-GAL WATER HEATER (SEE NOTE BELOW)	PROMAX ELECTRIC WATER HEATER, ENT-50	X	X			SEE DETAIL 9/A6.2		
46	2	GARAGE DOOR OPENERS	PER GC	X		X				
48	LOT	LED WALL LIGHTS (PER RCP)	RAB SHARK4-50W/D10	X			X	MOUNTED AT 60" AFF		
49	LOT	GFCI OUTLETS WITH METAL COVERS (PER ELECT PLAN)	PER GC	X		X		MOUNTED AT 60" AFF		
50	LOT	MECHANICAL VENTILATION (PER CITY REQ.)	PER GC	X		X		PER CITY REQUIREMENTS		
51	2	CAR WASH VENTILATION FANS	24" WALL MOUNT INDUSTRIAL FAN	X		X		LOCATION TBD-PER ENT PM		
P-06	1	WALL MOUNTED EMERGENCY EYEWASH	GUARDIAN - G1750P W/ G62020 TMV		X		X	UPSTREAM FROM BACKFLOW		
TD-01	2	TRENCH/FLOOR DRAIN TO OIL-WATER SEPARATOR	SPEC PER GC. REFER TO CIVIL PLANS		X			SEE DETAIL 8/A4.1		

- EQUIPMENT NOTES:**
- THE NEW WATER HEATER LOCATION WILL REQUIRE COMPLIANCE WITH THE ENERGY AND MECHANICAL CODES FOR INSULATION AND EFFICIENCY.
- ELECTRICAL NOTES:**
- GC TO PROVIDE ELECTRICAL CONNECTION AND ADDITIONAL ON/OFF WALL SWITCH FOR EACH INDUSTRIAL VACUUM. NOTE: THIS WILL BE COMPLETED NEAR PROJECT COMPLETION AND MAY REQUIRE RETURN TRIP TO JOB SITE BY ELECTRICIAN.
 - CAR WASH LIGHTS ON CEILING IN CAR WASH AREAS TO BE CONTROLLED BY MOTION SENSOR.
 - CAR WASH LIGHTS ON WALLS IN CAR WASH AREAS TO BE CONTROLLED BY PUSH BUTTON 60-MIN TIMER SWITCH.
 - ALL OUTLETS FOR PRESSURE WASHERS SHALL BE NOTCHED AT THE BOTTOM TO PREVENT PRESSURE WASHER WHIP FROM OBSTRUCTING METAL COVER CLOSURE.
 - ALL OUTLETS FOR PRESSURE WASHERS SHALL HAVE A 20-AMP PLUG WITH SIDE NOTCH IN THE PLUG. REFER TO FLOOR PLANS FOR LOCATIONS AND COUNTS.
 - LIGHTS ON CAR WASH WALLS SHALL BE MOUNTED HORIZONTALLY OR ON A 45-DEGREE ANGLE AT 72" AFF.
 - GC TO SUPPLY AND INSTALL ADDITIONAL GFCI OUTLETS IN ALL-GENDER RESTROOM(S) ADJACENT TO LAVATORIES AS NOTED ON THE ARCHITECTURAL PLAN SET.
 - GC TO SUPPLY ELECTRICAL OUTLETS AS NEEDED FOR HEAT TAPE REQUIRED ON SURFACE MOUNTED PIPES IN WASH BAY GARAGE.
- PLUMBING NOTES:**
- CAR WASH BUILDING: HOSE BIBS TO CONTAIN 4-SPLIT OUTLETS WITH SIMPLE LEVER VALVE CONTROL.
 - THE SUPPLY LINE SHALL HAVE AN ISOLATED SHUT-OFF VALVE IN THE LINE PRIOR TO THE SPLIT HOSE BIBS AS SHOWN IN SPEC SHEETS.
 - HOSE BIB ENDS TO ACCOMMODATE SCREW ON HOSE CONNECTION.
 - HOSE BIBS TO TERMINATE AT 60" AFF.
 - BACKFLOW VALVE TO BE IN CAR WASH BUILDING AS NOTED ON CAR WASH FLOOR PLAN. EXACT LOCATION TO BE CONFIRMED WITH EHI PM.
 - ALL SURFACE MOUNTED PIPES IN WASH BAY SHALL BE HEAT TAPED FOR FREEZE PROTECTION.
 - LOCATE WALL MOUNTED EMERGENCY EYEWASH CLOSE TO BACKFLOW.

DOOR SCHEDULE - CAR WASH AREAS											(101A)	SEE FLOOR PLAN FOR LOCATION(S)				
NEW CAR WASH AREAS		DOOR			FRAME		FIRE GLASS		HDWR		REF	FURN / INSTALL BY			REMARKS/LOCATION	
NO	SIZE (W X H)	MATERIAL	THK	TYPE	MATERIAL/COLOR	SIZE	RATING	TYPE	TYPE	LOCK	CLSR	DETL	FCIC	FOIC		NIC
200A	18'-0" X 12'-0" COILING	INSUL MTL, SIM EPT2	MFR.	J	PER MFR. SIM EPT2	MFR	N/A	N/A	TENANT	MFR		2/A4.1	X			COILING ROLL-UP DOOR
201A	12'-0" X 12'-0" COILING	INSUL MTL, SIM EPT2	MFR.	I	PER MFR. SIM EPT2	MFR	N/A	N/A	TENANT	MFR		2/A4.1	X			COILING ROLL-UP DOOR
202A	12'-0" X 12'-0" COILING	INSUL MTL, SIM EPT2	MFR.	I	PER MFR. SIM EPT2	MFR	N/A	N/A	TENANT	MFR		2/A4.1	X			COILING ROLL-UP DOOR
202B	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT2	1-3/4"	F	H.M./PRE-FIN EPT2	2"	N/A	TEMP	TRILOGY	DEAD	X	3/A4.1	X			SEE NOTE ON DOOR TYPES
203A	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	G	H.M./PRE-FIN EPT4	2"	N/A	TEMP	MARKS	P-DEAD	X	5/A6.2	X			WH/JANITOR
204A	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	G	H.M./PRE-FIN EPT4	2"	N/A	TEMP	TRILOGY	LOCK	X	5/A6.2	X			TO STORAGE ROOM
204B	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	G	H.M./PRE-FIN EPT4	2"	N/A	TEMP	TRILOGY	LOCK	X	5/A6.2	X			TO STORAGE ROOM
205A	PR 2'-6" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	H	H.M./PRE-FIN EPT4	2"	N/A	TEMP	TRILOGY	LOCK	X	5/A6.2	X			ELECTRICAL ROOM
206A	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	G	H.M./PRE-FIN EPT4	2"	N/A	TEMP	MARKS	PASS	X	5/A6.2	X			VACUUM - INSULATED
207A	3'-0" X 7'-0" SWING	PWDR CT, SIM EPT4	1-3/4"	G	H.M./PRE-FIN EPT4	2"	N/A	TEMP	MARKS	PASS	X	5/A6.2	X			VACUUM - INSULATED

- DOOR SCHEDULE NOTES - CAR WASH AREAS:**
- GC TO COORDINATE HARDWARE ON NEW DOORS WITH ENTERPRISE PROJECT MANAGER. REFER TO HARDWARE SCHEDULE NOTES, THIS SHEET.
 - GARAGE DOORS IN CAR WASH BAYS - BOTH DOOR AND FRAME TO BE DARK BEIGE IN COLOR NOTE. GC TO PROVIDE SUBMITTAL TO ENTERPRISE PM FOR APPROVAL.
 - GC TO PROVIDE PRICING FOR ELECTRIC GARAGE DOOR OPENERS.
 - THRESHOLDS AT DOORS FROM WET AREAS TO DRY AREAS SHALL BE SEALED AND CAULKED TO PREVENT FLOOR WATER TRAVEL BETWEEN THE AREAS.
 - MARKS/P-DEAD HARDWARE IS PASSAGE WITH SEPARATE DEADBOLT/THUMB TURN. TRILOGY/DEAD IS TRILOGY WITH SEPARATE KEYPED DEADBOLT.
 - INTERIOR DOOR HARDWARE TO BE SINGLE-ACTION LEVER RELEASE MARKS USA 275 SERIES, GRADE 2 IN SATIN CHROME, U.O.N.



ROOM FINISH SCHEDULE - CAR WASH AREAS										
NEW CAR WASH AREAS			WALL							REMARKS/LOCATION
ROOM NO	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CEILING		
200	PREP/ACCESS	CONC	VNVL AT INT	CMUJ	CMTL SYSTEM	CMTL SYSTEM	CMUJ	CMTL SYSTEM	USE CMTL AT FRAME WALLS	
201	CAR WASH BAY	EPXY/VNVL	VNVL AT INT	CMUJ	CMTL SYSTEM	CMTL SYSTEM	CMUJ	CMTL SYSTEM	USE CMTL AT FRAME WALLS	
202	CAR WASH BAY	EPXY/VNVL	VNVL AT INT	CMUJ	CMTL SYSTEM	CMTL SYSTEM	CMUJ	CMTL SYSTEM	USE CMTL AT FRAME WALLS	
203	W/H/JANITOR	CONC	PER TENANT	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	(E) GWB, PT1		
204	CAR WASH STORAGE	CONC	PER TENANT	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	OPEN ABOVE		
205	ELECTRICAL	CONC	PER TENANT	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1		
206	VACUUM CLOSET	EPXY/VNVL	VNVL AT INT	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	WALL SKIN - CMTL OR SIM	
207	VACUUM CLOSET	EPXY/VNVL	VNVL AT INT	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	GWB-WR, PT1	WALL SKIN - CMTL OR SIM	

- ROOM SCHEDULE NOTES - CAR WASH AREA:**
- CAR WASH FLOOR TO BE BROOM FINISH.
 - VACUUM CLOSET WALL SKIN TO BE WATERPROOFED WITH FRP (INTERIOR) AND CMTL ON EXTERIOR.
 - FLOOR BASE MATERIAL PER TENANT APPROVAL IN CAR WASH AREAS.

FINISH SPECIFICATIONS - CAR WASH AREAS									
NEW CAR WASH AREAS			FURN / INSTALL BY			REMARKS/LOCATION			
ABBREV	DESCRIPTION	MFR/STYLE, PRODUCT NO	FCIC	FOIC	NIC				
FLOOR									
CONC	CONCRETE, SEALED (WHERE OCCURS)	LUSTERSEAL OR APPR. EQ. BROOM FINISH IN CAR WASH AREAS	X						PER TENANT SPEC.
EPXY	EPOXY FLOORING & COVE BASE SYSTEM	UCRETE HP OR DP- PER GC RECOMMENDATION	X						
VYNL	HEAVY DUTY SHEET VYNL FLOORING/TRANSITION	ALTRO WALKWAY 20, COLOR DOLPHIN VM2010	X						
BASE									
VYNL	12" HEAVY DUTY SHEET VYNL COVE BASE	ALTRO WALKWAY 20, COLOR DOLPHIN VM2010, NO EDGE TRIM	X						MANUFACTURER ADHESIVE PER TENANT SPEC.
EPXY	EPOXY FLOORING & COVE BASE SYSTEM	UCRETE HP OR DP - PER GC RECOMMENDATION				X			
WALLS/SUBSTRATE									
CMTL	CORRUGATED WHITE METAL PANELS (CAR WASH)	PER GC, COORD. WITH TENANT. USE GALV. SCREWS	X						SEAL SEAMS w/ SILICON CLK
GWB-WR	5/8" WATER RESISTANT DENSGLASS GOLD	PER GC - IN ALL WET AREAS	X						
INTERIOR PAINT									
PT1	FIELD PAINT	SHERWIN WILLIAMS, MODERATE WHITE SW6140, SATIN	X						PER TENANT SPEC.
CEILING									
GWB-WR	5/8" TYPE 'X' WATER RESISTANT DENSGLASS GOLD	PER GC - 1-HOUR RATED TRUSS SYSTEM	X						SEAL SEAMS w/ SILICON CLK
CMTL	CORRUGATED WHITE METAL PANELS (CAR WASH)	PER GC, COORD. WITH TENANT. USE GALV. SCREWS	X						

- INTERIOR FINISH NOTES - CAR WASH AREA:**
- USE SW EXTERIOR GRADE SEMI-GLOSS SUPERPAINT IN CAR WASH PAINTED WALL & CEILING AREAS (WHERE OCCURS).
 - REFER TO REFLECTED CEILING PLAN FOR LIGHTING AND MECHANICAL SPECIFICATIONS
 - CEILINGS TO BE PAINTED WHITE (TYPICAL). MECHANICAL GRILLS TO BE PAINTED SAME COLOR AS CEILING (WHERE OCCURS)
 - ALTRO FLOORING TO HAVE NO EDGE TRIM. ADHESIVE TO RUN TO EDGE OF PRODUCT TO PREVENT LIFT

BUILDING & LIGHTING CONTROLS									
BUILDING CONTROLS									
NO	QTY	DESCRIPTION	MFR/STYLE, PRODUCT NO	ROUGH-IN REQ. ELECT LOW VOLT	FURN / INSTALL BY FCIC FOIC NIC	REMARKS/LOCATION			
BC01	1	SMART BUILDING PANEL (SBP)	RELIABLE CONTROLS	X	X	X			TI NETWORK ROOM
BC02	1	TILIGHTING CONTROL PANEL (LCP)	RELIABLE CONTROLS	X			X		TI NETWORK ROOM
BC03	1	CAR WASH LIGHTING CONTROL PANEL (LCP)	RELIABLE CONTROLS	X			X		CAR WASH STORAGE
BC04	LOT	HVAC CONTROLS HARDWARE	RELIABLE CONTROLS	X	X		X		SEE CONTROLS PLAN
BC05	1	THERMOSTAT	RELIABLE CONTROLS	X			X		SEE CONTROLS PLAN
BC06	LOT	CCTV CAMERAS	PER TENANT, CABLING ONLY, NO EQUIPMENT	X			X		SEE CCTV PLAN
BC07	LOT	INTRUSION DETECTION SYSTEM (IDS) CABLING	PER TENANT, CABLING ONLY, NO EQUIPMENT	X			X		SEE IDS PLAN
BC08	1	BUILDING SIGN CONTROLS	LOCATION PER TENANT, LED SIGN ON PHOTOCCELL	X		X			DEDICATED CIRCUIT
BC09	LOT	POLE SIGN CONTROLS	LOCATION PER TENANT, LED SIGN ON PHOTOCCELL	X			X		DEDICATED CIRCUIT
BC10	2	EV CHARGING STATION	PER TENANT	X	X		X		CONFIRM LOC. WITH TENANT

- BUILDING CONTROL NOTES (NOT ALL NOTES MAY APPLY TO THIS PROJECT):**
- ALL LOW VOLTAGE CABLING TO BE LABELED AT NETWORK CLOSET TERMINATION.
 - GC TO INSTALL POWER TO ALL SIGN LOCATIONS. SIGNAGE TO ALL BE ON 1 DEDICATED AND CONTROLLED CIRCUIT. COORDINATE LOCATIONS WITH EHI PM.
 - EXTERIOR LIGHTS TO BE ON THEIR OWN DEDICATED AND CONTROLLED CIRCUIT WITH CENTRAL PHOTO CELL.
 - LOT LIGHTS TO BE ON THEIR OWN DEDICATED AND CONTROLLED CIRCUIT WITH CENTRAL PHOTO CELL.
 - ALL IDS WIRING TO BE RAN TO NETWORK ROOM PER PLAN.
 - IDS SYSTEM TRIM OUT TO BE COMPLETED BY EHI VENDOR.
 - GC TO RUN LOW VOLTAGE CABLES FROM CAR WASH BUILDING/AREA TO DATA CLOSET IN MAIN OFFICE/ BUILDING.
 - CCTV CAMERA INSTALL AND TRIM OUT TO BE COMPLETED BY EHI VENDOR.
 - GC TO SUPPLY AND INSTALL 2 PLYWOOD BACKERBOARDS IN DATA CLOSET FOR EQUIPMENT MOUNTING. NOTE: GC TO CONFIRM WALL LOCATION WITH EHI PM PRIOR TO INSTALLATION.
 - ALL LOW VOLTAGE WIRING TO HAVE 5' TAIL AT BOTH TERMINATION ENDS, TO BE WRAPPED FOR ELECTRICAL INSPECTION.

LIGHTING CONTROLS									
NO	QTY	DESCRIPTION	MFR/STYLE, PRODUCT NO	ROUGH-IN REQ. ELECT LOW VOLT	FURN / INSTALL BY FCIC FOIC NIC	REMARKS/LOCATION			
LC01	LOT	EXTERIOR BUILDING LIGHTS	RAB WALL PACKS PER TENANT SPEC	X			X		SEE REFLECTED CLNG PLAN
LC02	LOT	PARKING LOT POLE LIGHTS	RAB POLE LIGHTS PER TENANT SPEC	X			X		
LC03	LOT	INTERIOR CAR WASH AREA LIGHTS	RAB SWISH2X4-39ND10 OR SWISH2X2-29/D10	X			X		SEE REFLECTED CLNG PLAN
LC04	LOT	EMERGENCY EXIT LIGHTS AND SIGNS	PER GC	X			X		SEE REFLECTED CLNG PLAN
LC05	LOT	INTERIOR LED CAN LIGHTS W/ WHITE CEILING CUFF	RAB - C6R12/18/249FAUNWV	X			X		SEE REFLECTED CLNG PLAN
LC06	LOT	EXTERIOR LED CAN LIGHTS W/ BLACK TRIM CUFF	RAB - C6R12/18/249FAUNVM	X			X		SEE REFLECTED CLNG PLAN
LC07	2	24" RESTROOM VANITY LIGHT	LITHONIA FMVCCLS MVL02 30K35K40K 90CRI KR M6	X			X		SEE REFLECTED CLNG PLAN
LC08	16	WASH BAY/STORAGE CEILING LIGHTS	SHARK8-100W/D10	X			X		SEE REFLECTED CLNG PLAN
LC09	7	WASH BAY SIDE LIGHTS	SHARK4-100W/D10 (5) OR SHARK8-100W/D10 (2)	X			X		SEE REFLECTED CLNG PLAN

- LIGHTING CONTROL NOTES (NOT ALL NOTES MAY APPLY TO THIS PROJECT):**
- GC TO CONFIRM SITE CONDITIONS MATCH EHI LIGHTING PLAN AND SPEC SHEETS.
 - GC TO PROVIDE 24-HOUR LIGHT (NON-SWITCHED) IN CUSTOMER SERVICE AREA AND BACK HALLWAY TO ONE FIXTURE.
 - EMERGENCY BALLAST ON 24-HOUR LIGHTS NOT REQUIRED UNLESS SPECIFIED BY CODE.
 - LIGHTS IN MANAGER OFFICE(S), ALL-GENDER RESTROOM(S) AND BREAK ROOM(S) TO BE CONTROLLED BY OCCUPANCY SENSOR LIGHT SWITCH.
 - GC TO SUPPLY AND INSTALL ALL OUTLET COVERS AND SWITCHES AS NEEDED, COLOR WHITE.
 - RESTROOM, BREAKROOM AND CAR WASH EXHAUST FANS AND LIGHTING TO BE ON SEPARATE SWITCHES WITH PUSH BUTTON TIMERS.
 - PLEASE REFER TO ELECTRICAL PLANS AND CONTROLS SCHEDULE FOR LIGHTING CONTROLS.
 - ALL LIGHTS, FANS, AND EXHAUST ON TIMER SWITCHES SHALL BE PUSH BUTTON TIMER SWITCHES AND LABELED FOR WITH ADDITIONAL LABELING QUICK IDENTIFICATION BY USERS.
 - LIGHTS IN WASH BAY STORAGE ROOM & ALCOVES ON OCCUPANCY SENSOR.
 - LIGHTS IN ELECTRICAL CLOSET TO BE ON SWITCH.
 - JANITORIAL CLOSET LIGHT ON OCCUPANCY SENSOR.
 - OFFICE AREA LIGHTS ON OCCUPANCY SENSOR FOR BREAK ROOM, WELLNESS ROOM, MANAGER OFFICES, RESTROOMS, NETWORK CLOSET, & COAT CLOSETS.
 - MAIN OFFICE, HALLWAY AND CONFERENCE ROOM LIGHTS ON SWITCHES.

- ## GENERAL SCHEDULE NOTES
- GENERAL SCHEDULE NOTES:**
- FIELD VERIFY EXISTING FRAME SIZES.
 - LOCATIONS OF SAFETY GLAZING: OPENINGS WITH A VERTICAL EDGE WITHIN 24" OF A DOOR OPENING AND THE BOTTOM EDGE BELOW 60" A.F.F., AND:

OPENINGS MEETING ALL OF THE FOLLOWING:
1. BOTTOM EDGE LESS THAN 18" FROM FLOOR.
2. TOP EDGE GREATER THAN 36" ABOVE FLOOR.
3. GLASS AREA GREATER THAN 9 SQUARE FEET.
4. WALKING SURFACE WITHIN 36" OF THE GLASS UNIT.
- OTHER LOCATIONS AS REQUIRED BY THE IBC, AS REQUIRED FOR STRENGTH, OR AS RECOMMENDED BY THE GLASS MFR.

- DOOR SCHEDULE NOTES:**
- REFER TO FLOOR PLANS, SHEET A2.1 FOR ADDITIONAL DOOR AND HARDWARE NOTES.
 - MAIN ENTRY DOORS SHALL HAVE A KEY LOCKING DEVICE. THERE SHALL BE A READILY VISIBLE DURABLE SIGN ADJACENT TO THE DOORWAY STATING, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED." THE SIGN SHALL BE IN LETTERS NOT LESS THAN 1" HIGH ON A CONTRASTING BACKGROUND. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
 - EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
 - BARRIER FREE ENTRANCE REQUIREMENTS: LANDINGS AT DOORS SHALL BE NOT LESS THAN 60 INCHES IN WIDTH AND IN LENGTH ON THE DOOR SWING SIDE. FLOOR AND/OR LANDING ADJACENT TO DOOR SHALL BE NOT MORE THAN 1/2" INCH LOWER THAN THE THRESHOLD OF THE DOORWAY.
 - EXTERIOR LANDINGS SHALL NOT SLOPE MORE THAN 1/4 INCH PER FOOT.
 - NEW SWING DOORS TO BE LOCATED 4" OFF ADJACENT PARTITIONS TO ALLOW FOR DOOR TRIM, U.O.N.
 - ALL DOORS IN EGRESS PATH TO PROVIDE FREE EGRESS.
 - DOOR SURFACE: DOOR SURFACES WITHIN 10 INCHES OF THE FLOOR, MEASURED VERTICALLY, SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAFFED.

- VISION LITES: DOORS AND SIDELITES ADJACENT TO DOORS CONTAINING ONE OR MORE GLAZING PANELS THAT PERMIT VIEWING THROUGH THE PANELS SHALL HAVE THE BOTTOM OF AT LEAST ONE PANEL ON EITHER THE DOOR OR AN ADJACENT SIDELITE 43 INCHES MAXIMUM ABOVE THE FLOOR.

- HARDWARE SCHEDULE NOTES:**
- ALL DOOR HARDWARE SHALL BE SINGLE ACTION, LEVER RELEASE TYPE HARDWARE. MARKS USA 175 SERIES GRADE 2 IN SATIN CHROME PASSAGE SET ON ALL INTERIOR DOORS EXCEPT RESTROOM(S). RESTROOM DOOR TO HAVE PRIVACY LOCKSET, UNLESS OTHERWISE NOTED ON SCHEDULE. REFER TO FLOOR PLAN FOR RH OR LH SWING.
 - PROVIDE FULL WEATHER-STRIPPING ON EXTERIOR DOORS.
 - ALL CLOSERS TO BE LOCATED ON INTERIOR OF THE SPECIFIED ROOM. DOOR CLOSURES TO BE INSTALLED ON ALL EXTERIOR AND INTERIOR DOORS, EXCEPT FOR THE MGR. OFFICE(S).
 - 12" STAINLESS STEEL/BRUSHED ALUMINUM KICKPLATES TO BE PROVIDED ON THE PUSH SIDE OF ALL DOORS, UNLESS OTHERWISE REQUESTED BY TENANT.
 - DOOR STOPS TO BE ADDED ON WALLS FOR ALL DOORS, ROCKWOOD 409 U532D, SATIN OR BRUSHED STAINLESS FINISH.
 - GC AND TENANT TO COORDINATE ALL DOOR AND CABINET HARDWARE. ALL DOOR HARDWARE TO COMPLY WITH ADA GUIDELINES.

- REQUIRED INTERIOR SIGNAGE:**
- ACCESSIBLE ENTRANCES: ACCESSIBLE BUILDING ENTRANCES SHALL BE IDENTIFIED WITH STANDARD SIGNS AND DIRECTIONAL SIGNS THAT COMPLY WITH ICC/ANSI SECTION 704 AND ARE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IS REQUIRED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE. THE SYMBOL IS TO BE A WHITE FIGURE ON BLUE BACKGROUND (COLOR NO. 15090) IN FEDERAL STANDARD 595A
 - BRAILLE: CONTRACTED GRADE 2 BRAILLE IS TO BE USED WHEREVER BRAILLE IS REQUIRED. DOTS TO BE .01 INCH ON CENTERS IN EACH CELL WITH .02 INCH SPACE BETWEEN CELLS. DOTS ARE RAISED A MIN. OF .0025 INCH ABOVE THE BACKGROUND.
 - CHARACTERS: LETTERS AND NUMBERS ON SIGNS ARE TO HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1, AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10. WHEN RAISED OR RECESSED CHARACTERS OR SYMBOLS ARE USED, THEY ARE TO BE RAISED OR RECESSED A MIN. 1/32 INCH AND ARE TO BE SANS SERIF TYPE FONT. RAISED CHARACTERS ARE TO BE AT LEAST 5/8 INCH HIGH AND RECESSED CHARACTERS AND SYMBOLS ARE TO HAVE A 1/4 INCH MIN. STROKE WIDTH.

- FURNISH / INSTALL BY LEGEND:**
- FCIC: FURNISHED BY CONTRACTOR, INSTALLED BY CONTRACTOR
FOIC: FURNISHED BY OWNER/TENANT, INSTALLED BY CONTRACTOR
NIC: NOT IN CONTRACT (ALL FURNITURE SHOWN ON DWGS IS NIC)

9679 REGISTERED ARCHITECT
Theresa K. Greene
THERESA K. GREENE
STATE OF WASHINGTON

TG | ARCHITECT
commercial & residential architecture

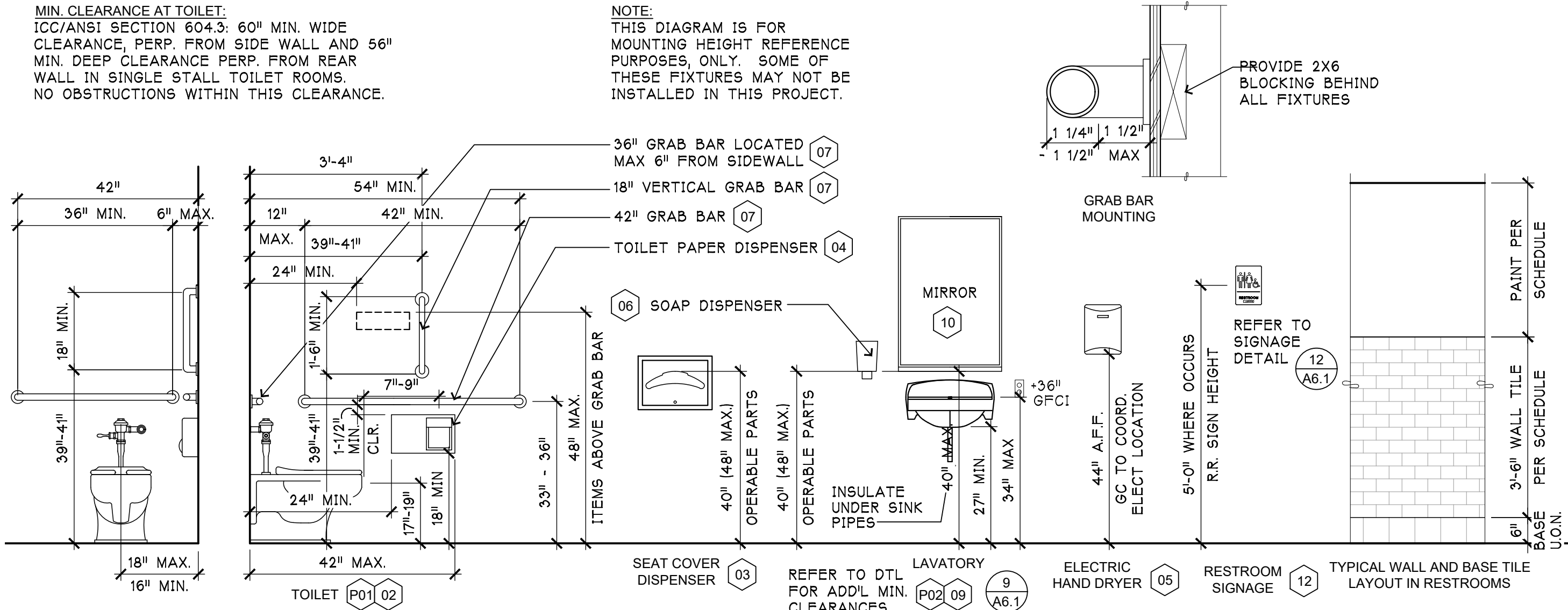
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PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

MIN. CLEARANCE AT TOILET:
ICC/ANSI SECTION 604.3: 60" MIN. WIDE
CLEARANCE, PERP. FROM SIDE WALL AND 56"
MIN. DEEP CLEARANCE PERP. FROM REAR
WALL IN SINGLE STALL TOILET ROOMS.
NO OBSTRUCTIONS WITHIN THIS CLEARANCE.

NOTE:
THIS DIAGRAM IS FOR
MOUNTING HEIGHT REFERENCE
PURPOSES, ONLY. SOME OF
THESE FIXTURES MAY NOT BE
INSTALLED IN THIS PROJECT.



1 TYPICAL MOUNTING HEIGHTS DIAGRAM - RESTROOM FIXTURES

SCALE: 1/2" = 1'-0"

ILLUSTRATED FOR REQ. CLEARANCES. REFER TO FLOOR PLAN FOR LAYOUT.

3 TYP. UNISEX RESTROOM PLAN

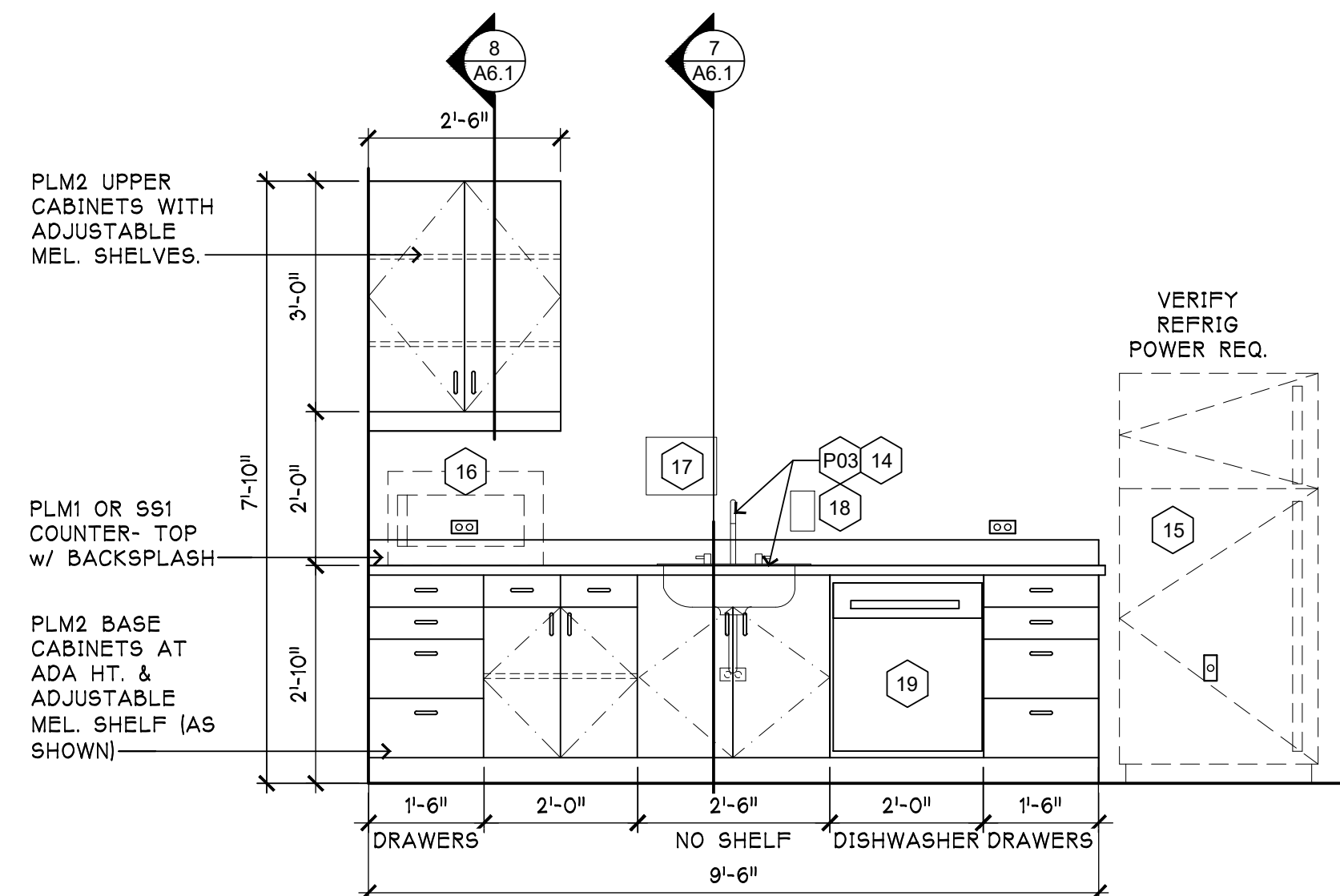
SCALE: 1/2" = 1'-0"

22-14A52

4 UNISEX RESTROOM ELEV

SCALE: 1/4" = 1'-0"

REFER TO DETAIL 1, THIS SHEET FOR FIXTURE MOUNTING HEIGHTS



5 BREAK ROOM INTERIOR ELEVATION

SCALE: 1/2" = 1'-0"

22-14A52

7 BREAK ROOM BASE CABINET

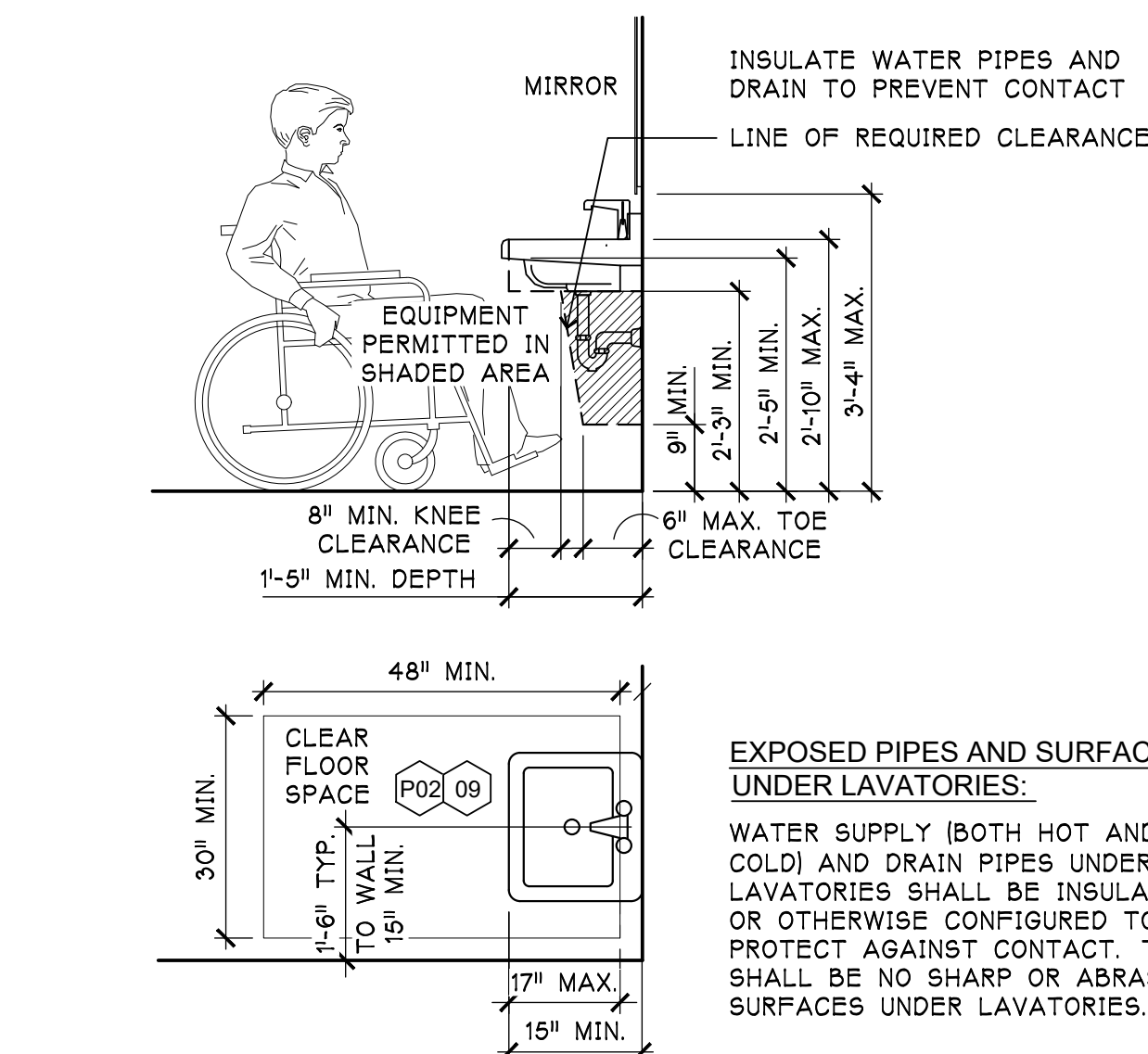
SCALE: 1" = 1'-0"

22-14A52

8 BREAK ROOM UPPER CABINET

SCALE: 1" = 1'-0"

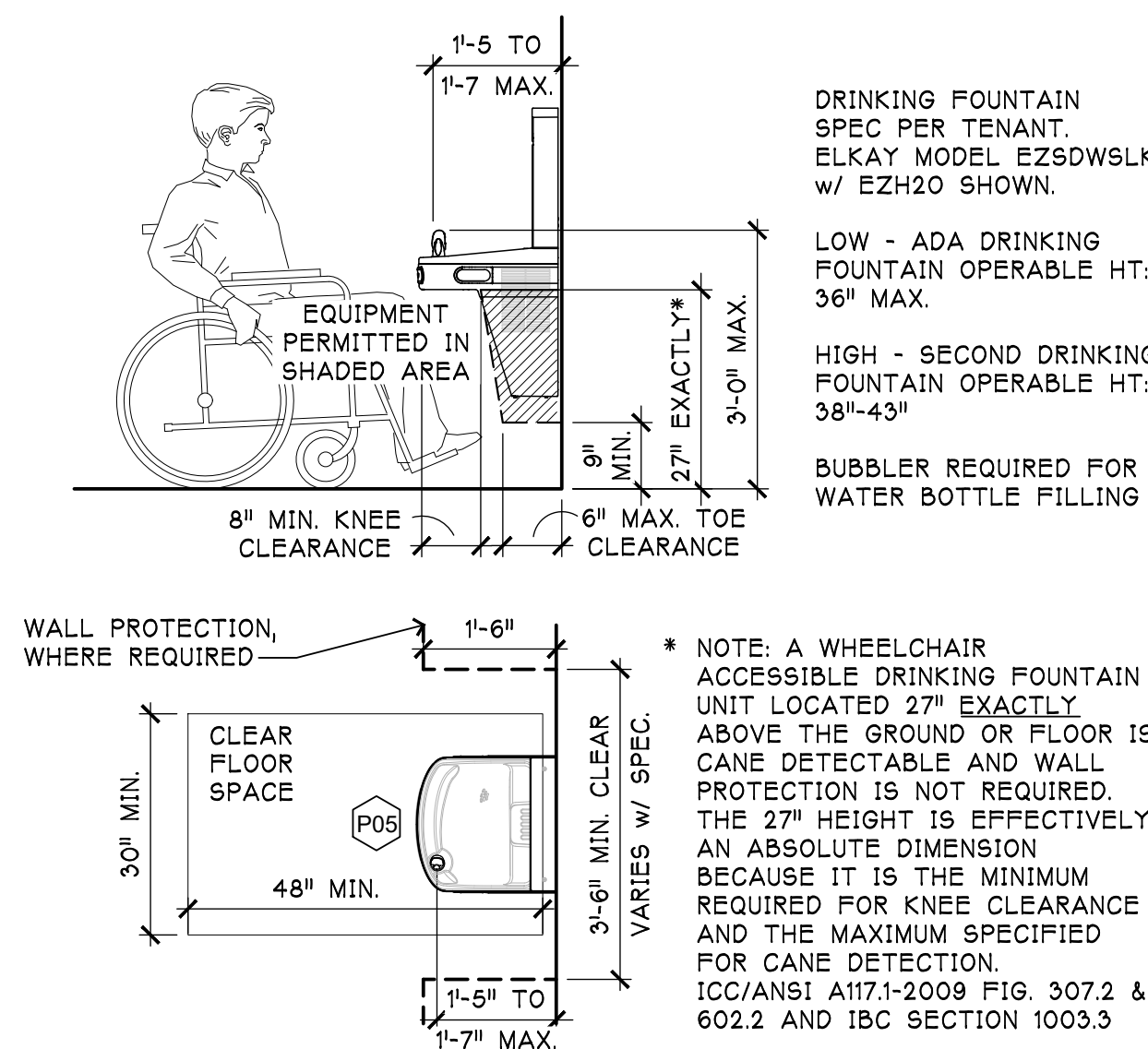
22-14A52



9 LAV CLEARANCES

SCALE: 1/2" = 1'-0"

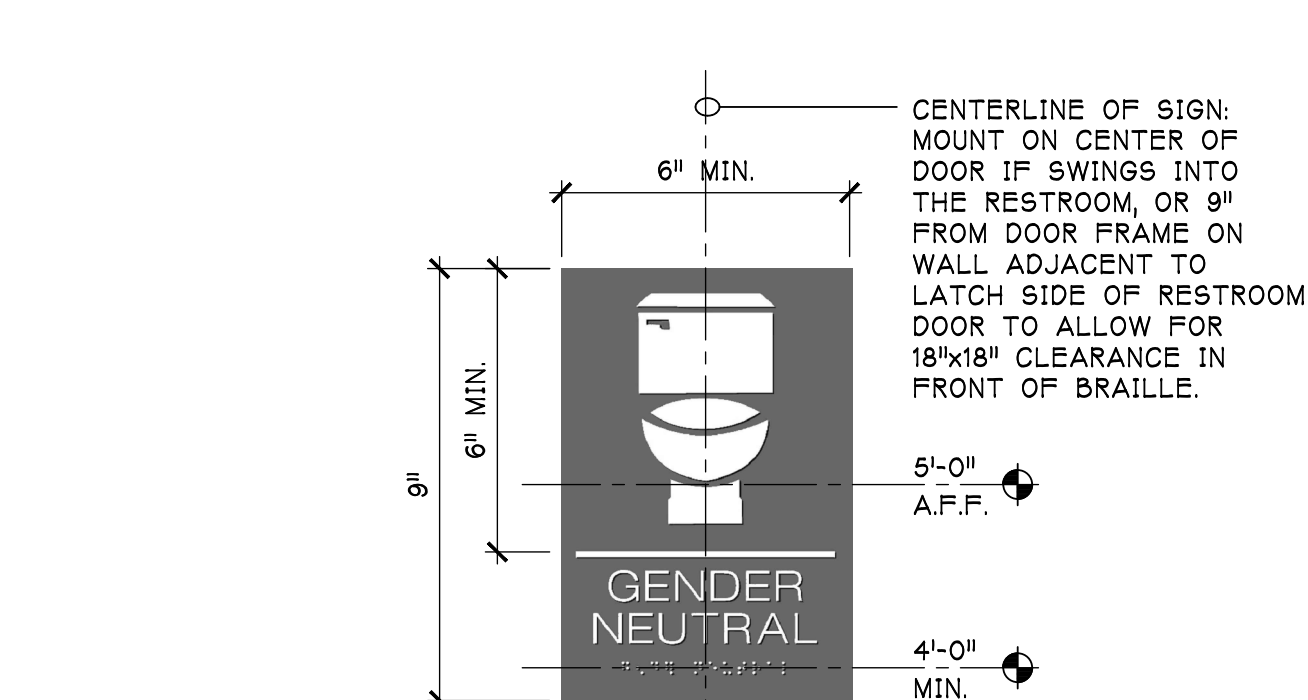
22-14A52



10 DRINKING FOUNTAIN CLEARANCES

SCALE: 1/2" = 1'-0"

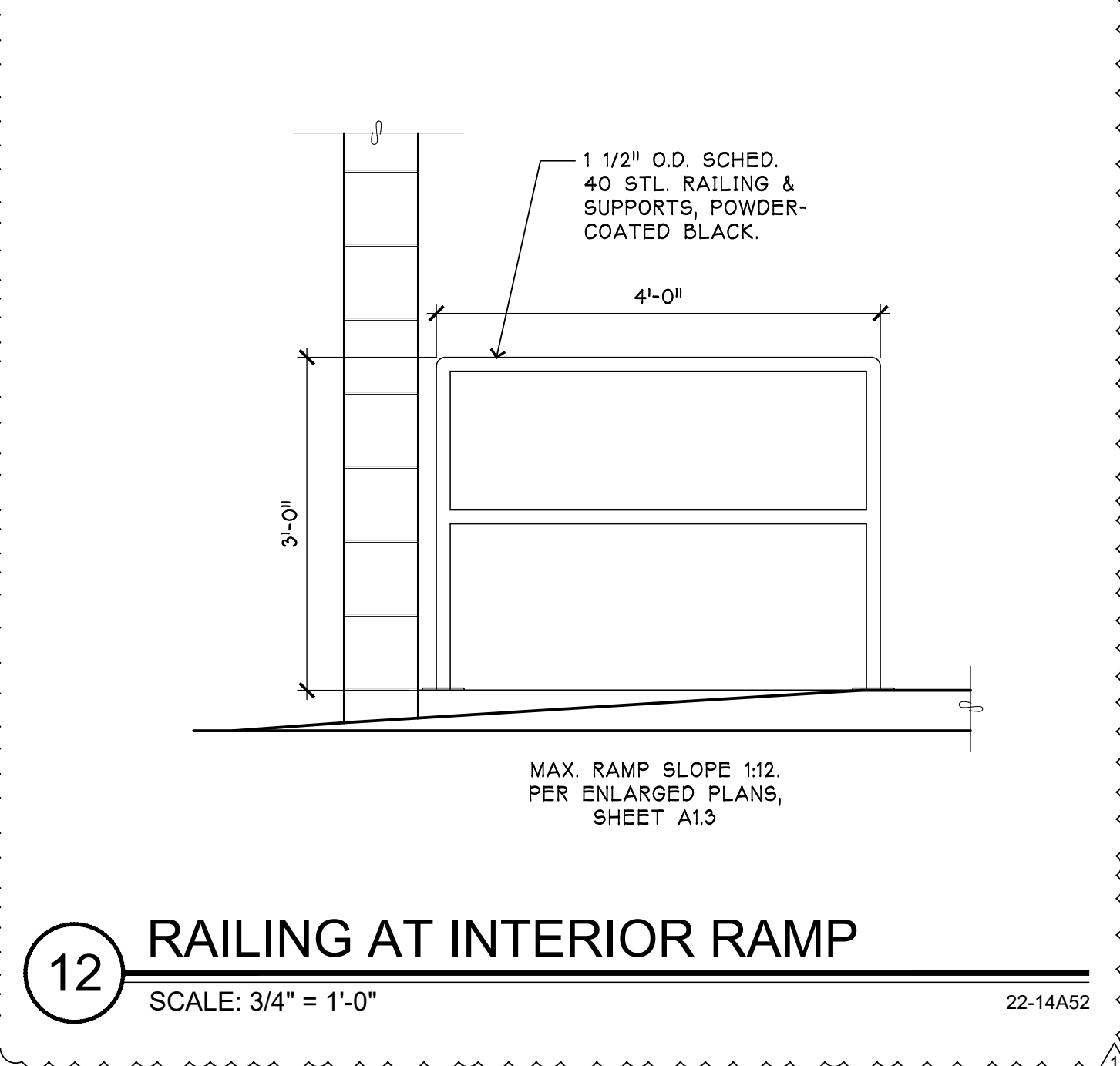
22-14A52



11 TYPICAL ADA RESTROOM SIGNAGE

SCALE: 3" = 1'-0"

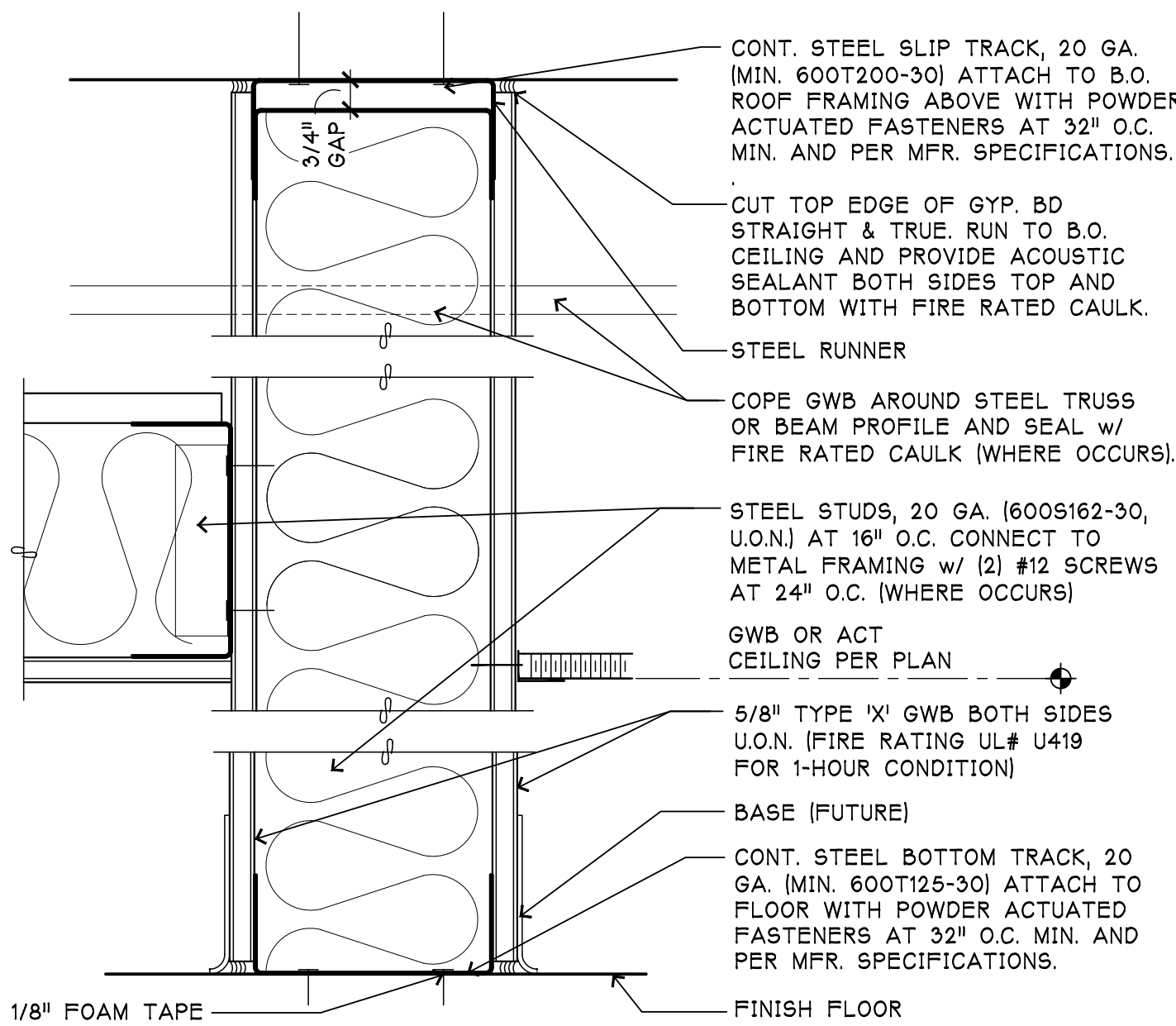
22-14A52



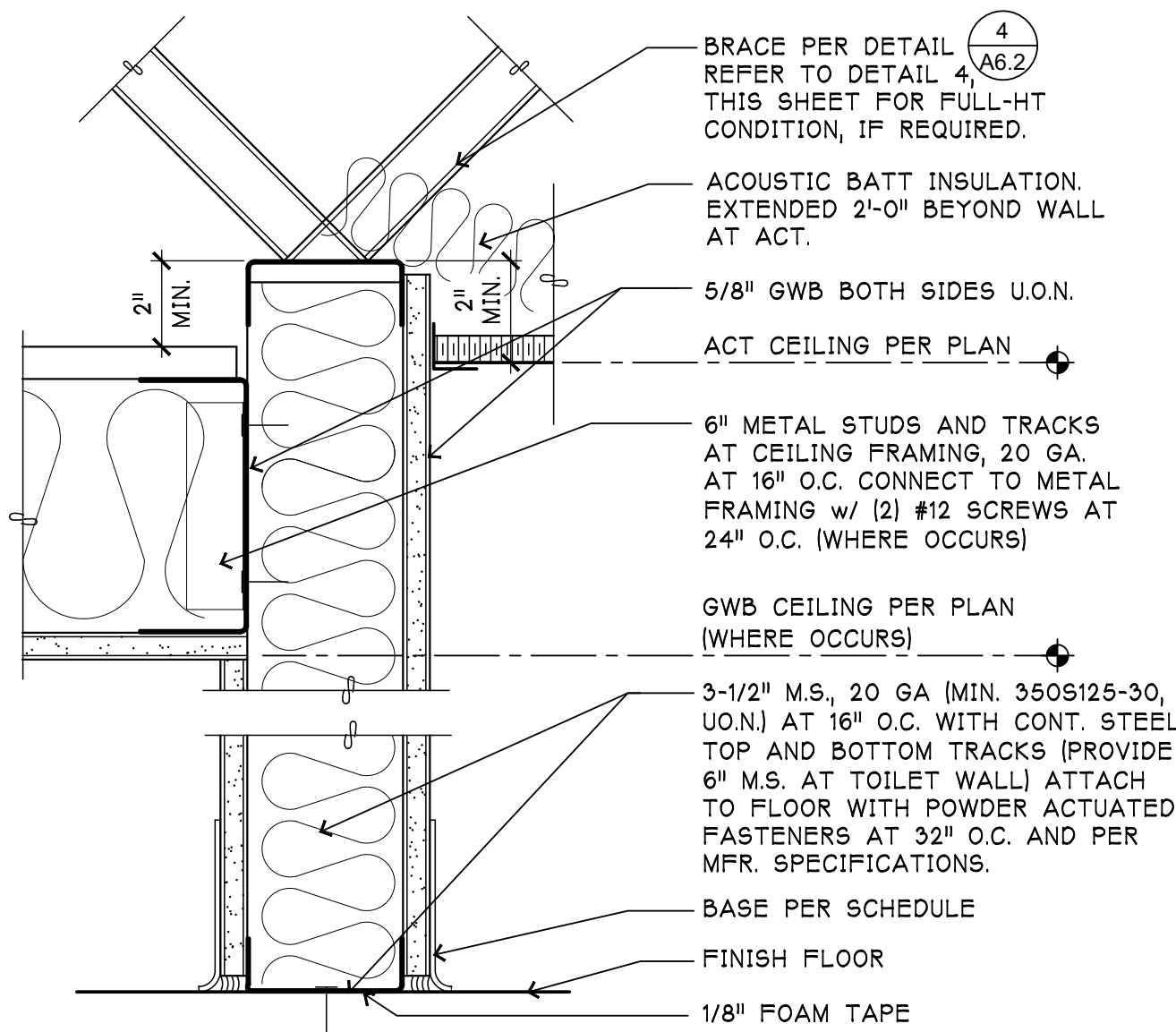
12 RAILING AT INTERIOR RAMP

SCALE: 3/4" = 1'-0"

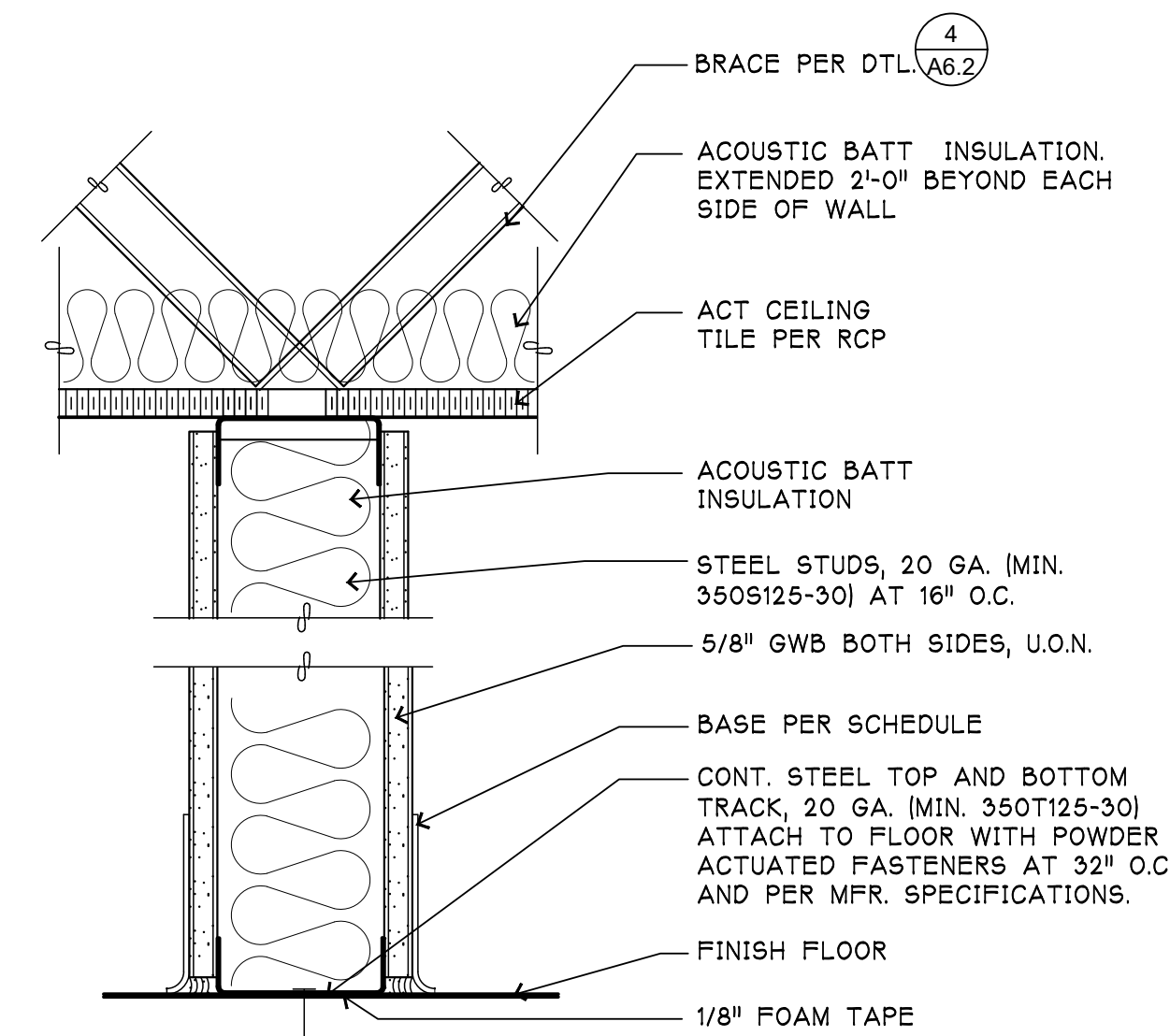
22-14A52



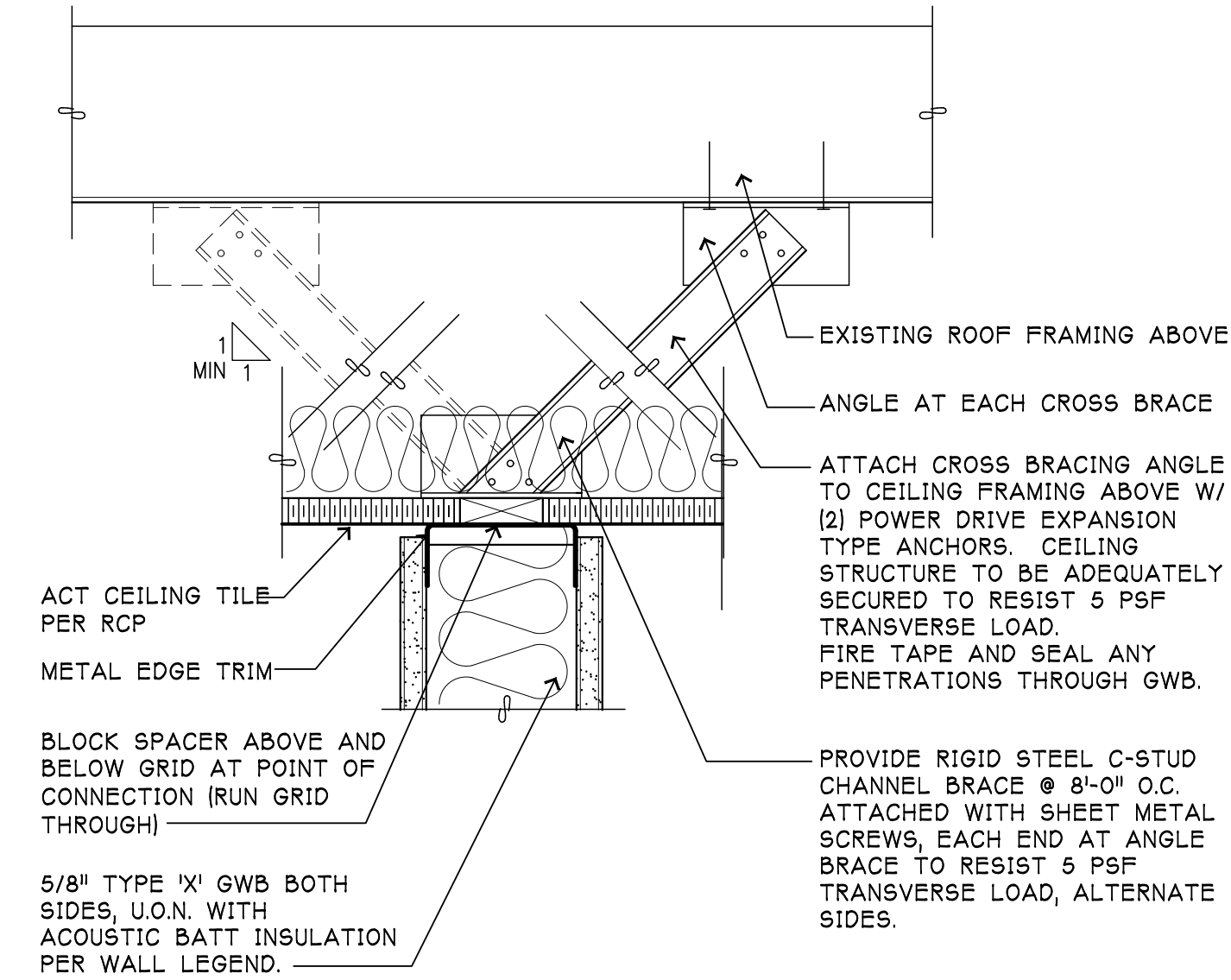
1 FULL-HEIGHT PARTITION WALL
SCALE: 3" = 1'-0"
22-14A53



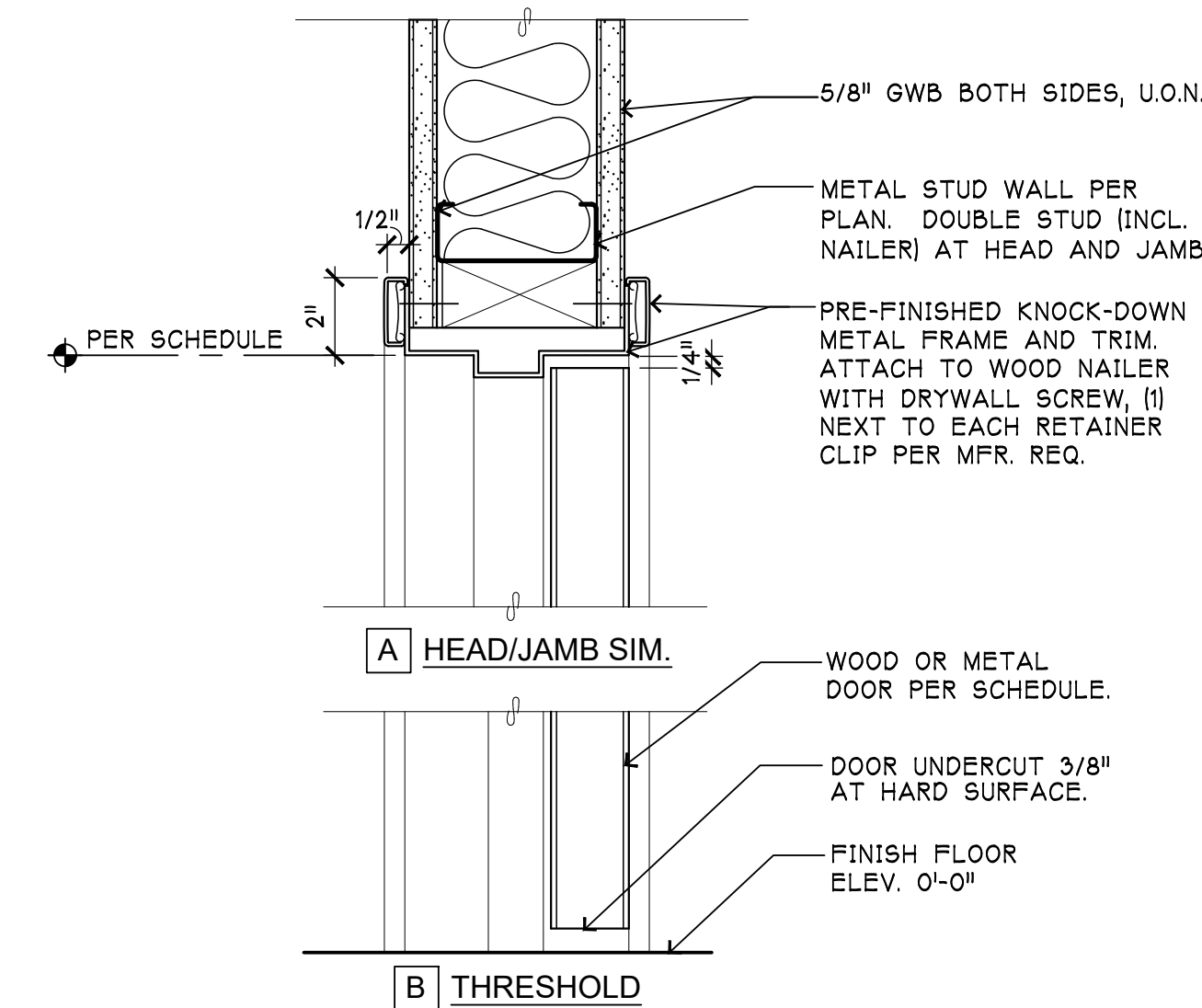
2 PARTITION WALL AT GWB CEILING
SCALE: 3" = 1'-0"
22-14A53



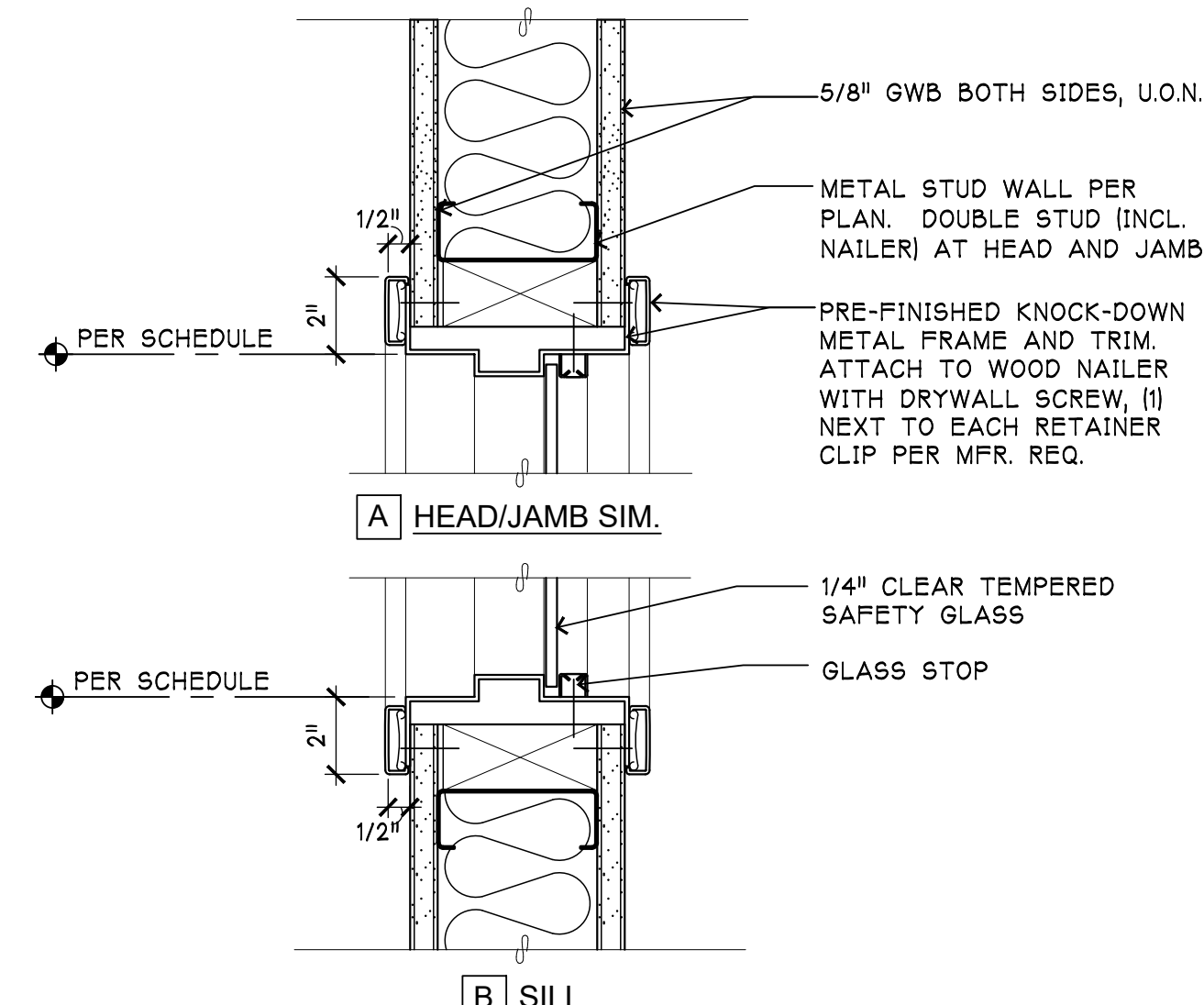
3 GRID-HEIGHT PARTITION WALL
SCALE: 3" = 1'-0"
22-14A53



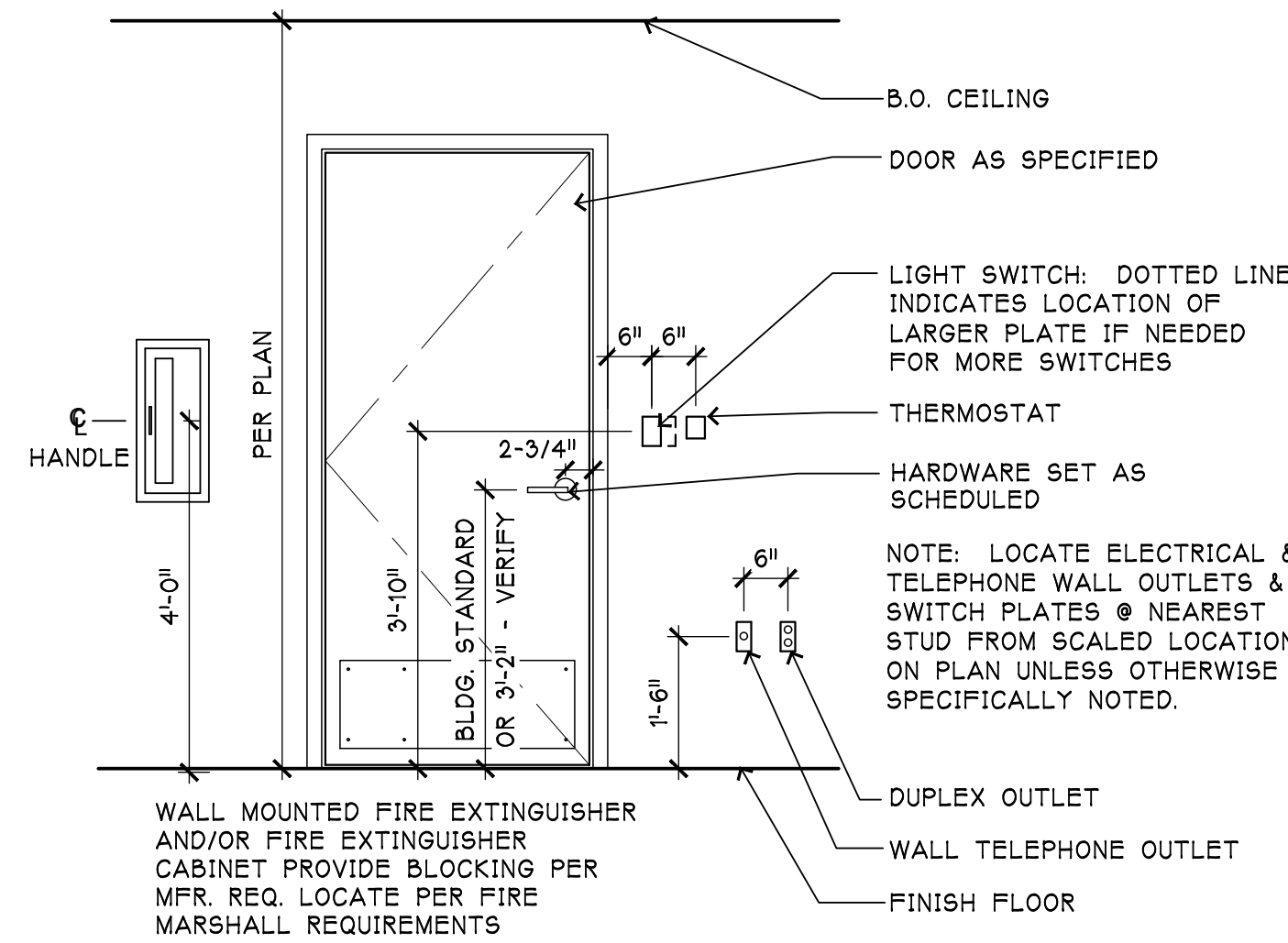
4 CLNG HT PARTITION HEAD BRACING
SCALE: 3" = 1'-0"
22-14A53



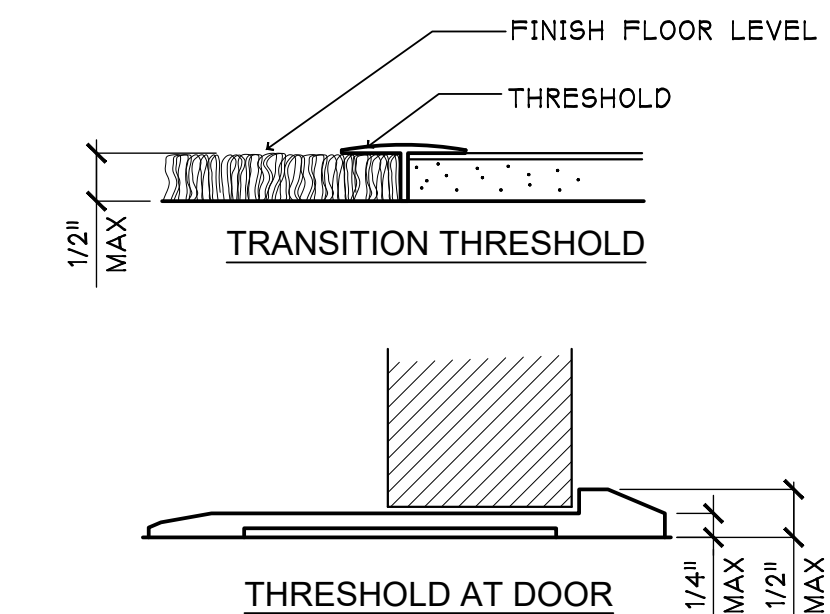
5 INTERIOR DOOR
SCALE: 3" = 1'-0"
22-14A53



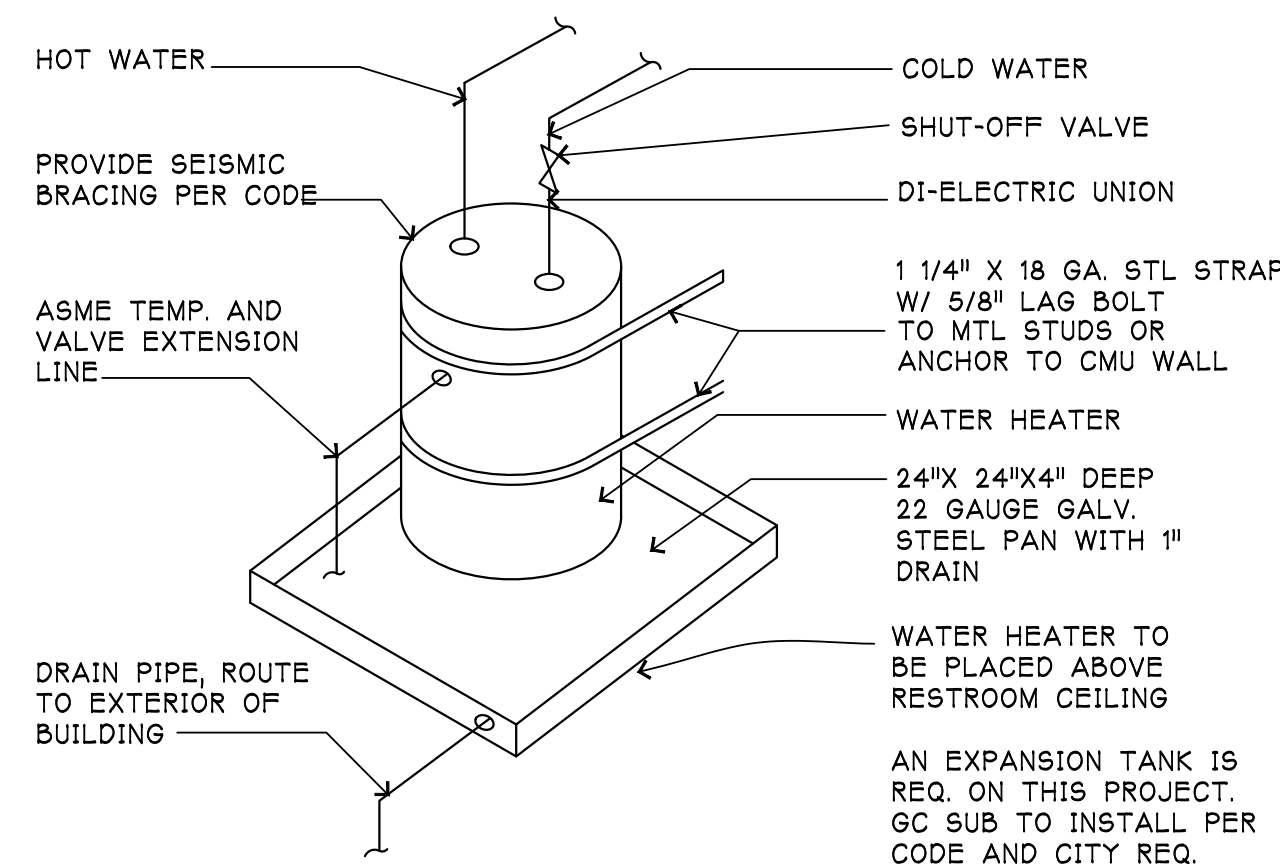
6 INTERIOR WINDOW
SCALE: 3" = 1'-0"
22-14A53



7 TYP. MOUNTING HEIGHTS DIAGRAM
SCALE: 1/2" = 1'-0"
22-14A53



8 TYP. THRESHOLD
NOT TO SCALE
22-14A53



NOTES: PIPING IS DIAGRAMMATIC ONLY. FIELD VERIFY ACTUAL CONDITIONS. ANCHOR OR SUPPORT WATER HEATER TO BUILDING STRUCTURE TO RESIST SEISMIC FORCES PER UPC.

GC TO INSTALL WATER HEATER SEISMIC BRACING WITH APPROVED COMMERCIALLY AVAILABLE STRAPPING KITS OR PER COUNTY AND WA STATE HEALTH DEPARTMENT GUIDELINES AND PROCEDURES.

9 WATER HEATER BRACING
SCALE: 1" = 1'-0"
22-14A53

REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
2		
3		
4		
5		

ISSUE DATES	
DESIGN APPROVAL:	
PERMIT SUBMITTAL:	02/27/23
PERMIT RECEIVED:	
BID DOCS:	
CONSTR. DOCS:	

SHEET INFORMATION	
24"x36" SCALE:	AS NOTED
PLOT DATE:	06/12/23
CAD FILE:	22-14A62
JOB NUMBER:	22-14
CHECKED:	TKG
DRAWN:	TKG
STATUS:	PERMIT SET

1. SUSPENDED CEILING SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE PRESCRIPTIVE PROVISIONS OF THE MOST CURRENT 401 FIELD TECHNICAL INFO BULLETIN "SUSPENSION SYSTEMS FOR ACoustICAL LAY-IN CEILINGS, SEISMIC DESIGN CATEGORIES D, E, & F" FROM THE NORTHWEST WALL AND CEILING BUREAU. VISIT WEBSITE AT: <http://www.nwcb.org/sites/default/files/resources>
2. PROVIDE CROSS-BRACING FOR SUSPENDED ACOUSTICAL CEILING SYSTEM @ 12'-0" O.C. BOTH WALLS WITH NO. 12 GAUGE WIRES PER ASTM C635 AND ASTM C636.
3. THE HORIZONTAL RESTRAINT POINTS FOR THE LATERAL FORCE BRACING SHALL BE PLACED NOT MORE THAN 12' O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6' FROM EACH WALL.
4. TO FACILITATE INSTALLATION, MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBER AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE OTHER TWO WALLS IN SUCH WAY AS TO BE INDEPENDENT OF THE WALL STRUCTURE AND SHALL BE BRACED BY LATERAL FORCE BRACING AT 12' O.C. MAXIMUM.
5. ACOUSTICAL CEILING SYSTEMS SHALL COMPLY WITH IBC 803.9.
6. FOR AREAS EXCEEDING 1,000 S.F., HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURE ABOVE SHALL BE PROVIDED.
7. FOR AREAS EXCEEDING 2,500 S.F., A SEISMIC SEPARATION JOINT SHALL BE PROVIDED.
8. ALL PENETRATIONS SHALL HAVE A 2" OVERSIZE RING TO PROVIDE FREE MOVEMENT OF AT LEAST 1" IN ALL DIRECTIONS.
9. ALL CABLE TRAY AND ELECTRICAL CONDUITS SHALL BE SUPPORTED SEPARATELY OF THE CEILING.



TYPE OF USE		MINIMUM MANEUVERING CLEARANCES	
APPROACH DIRECTION	DOOR SIDE	(A) PERPENDICULAR TO DOORWAY	(B) PARALLEL TO DOORWAY (BEYOND LATCH UNLESS NOTED)
FROM FRONT	PULL	60 INCHES	18 INCHES
FROM FRONT	PUSH	48 INCHES	0 INCHES (3)
FROM HINGE SIDE	PULL	60 INCHES	36 INCHES
FROM HINGE SIDE	PULL	54 INCHES	42 INCHES
FROM HINGE SIDE	PUSH	42 INCHES (1)	22 INCHES BEYOND HINGE SIDE (3)
FROM LATCH SIDE	PULL	48 INCHES (2)	24 INCHES
FROM LATCH SIDE	PUSH	42 INCHES (3)	24 INCHES



4

SCALE: 1/4" = 1'-0"

20-22A53

5

NOT TO SCALE

22-14A54

TG | ARCHITECT
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City of Puyallup
Development & Permitting Service
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-4051

REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG
△		
△		
△		
△		
△		

ISSUE DATES	
DESIGN APPROVAL:	
PERMIT SUBMITTAL:	02/27/23
PERMIT RECEIVED:	
BID DOCS:	
CONSTR. DOCS:	

SHEET INFORMATION	
24"x36" SCALE:	AS NOTED
PLOT DATE:	06/12/23
CAD FILE:	22-14A63
JOB NUMBER:	22-14
CHECKED:	TKG
DRAWN:	TKG
STATUS:	PERMIT SET

MISC. INTERIOR DETAILS

ENVELOPE COMPLIANCE SUMMARY

2018 WSEC Compliance Forms for Commercial Buildings including Group R2, R3 & R4 over 3 stories and all R1

Administered by: ©2023 NEEA, All rights reserved

Project & Applicant Information

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

For Building Department Use:

Date: Jun 12, 2023

Project Address

733 River Road
Puyallup, WA 98371

Applicant Name

Theresa Greene

Applicant Phone

425-830-3245

Applicant Email

tg.architect@comcast.net

For questions about this report, contact WSEC Commercial Technical Support at 360-539-5300 or via email at com.techsupport@waenergycodes.com

General Occupancy

All Commercial

General Building Use Type(s)

Services, General

Building Cond. Floor Area

5,930

Project Scope

Alteration

Space Conditioning Categories

Fully Conditioned

Project Cond. Floor Area

5,930

Envelope Project Description

Interior Tenant Improvement including new car washing area and three (3) new sectional doors for vehicle access into the building, and one (1) new storefront window.

Floors Above Grade

1

Compliance Method

Compliance Method 1 - General

Envelope Compliance Scope and Method

Scope

Space Conditioning Category

Compliance Method

WWR/SRR per Category

UA Calculation Adjustment

Fenestration Alternates

Compliance Verification

Alteration

Fully Conditioned

Prescriptive

22.19% / 0%

No Calculation Adjustments allowed

COMPLIES

Air Barrier Testing

Air barrier testing included in project scope

Air Barrier Comments

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

Date

Jun 12, 2023

Scope & Space Conditioning

ALTERATION - FULLY CONDITIONED

Compliance Verification

COMPLIES

Window-to-wall Ratio

22.19%

Skylight-to-roof-ratio

0%

Vertical Fenestration Alternate

Opaque Envelope Assemblies

Walls

Location in Documents

Assembly ID

Assembly Location

Cavity

Continuous (% penetration)

Insulated Wall Furring

U-Factor

Net Area (SF)

Wood-framed and other - Commercial

Levels of Insulation, Sheet D2.1, Floor Plan A2.1

Table C402.4

Interior partition

R-21

R-0 (< 0.04%)

U-0.054

1,792

Which insulation code target does wall comply with?: R-21 Cavity + Intermediate Framing

U-Factor Source: WSEC Appendix A

Wall Framing Type (Standard, Inter., Advanced): Intermediate

Framing Depth: 2x6

Framing Spacing: 16" o.c.

Is this assembly exterior or interior?: Interior partition

Is assembly new, upgraded or unaltered existing?: New assembly

Fenestration & Opaque Door Assemblies

Opaque Doors

Location in Documents

Assembly ID

Assembly Location

Door Insulation

U-Factor

Rough Opening (SF)

Swinging

Levels of Insulation, Sheet D2.1, Schedules, Sheet A5.1

Table C402.4

Interior partition

U-Factor Source: WSEC Appendix A

Is this assembly exterior or interior?: Interior partition

Is assembly new, upgraded or unaltered existing?: New assembly

Vertical Fenestration

Location in Documents

Assembly ID

Assembly Location

Orientation

Shading (PF)

Fenestration SHGC

Fenestration U-Factor

Rough Opening (SF)

Fixed - Class AW or site built

Levels of Insulation, Sheet D2.1, Floor Plan A2.1

Table C402.4

Interior partition

South/East/West Facing

PF < 0.2

SHGC<0.38

U<0.38

12

Is this assembly exterior or interior?: Interior partition

Is assembly new, upgraded or unaltered existing?: New assembly

Fixed - Class AW or site built

Levels of Insulation, Sheet D2.1, Schedules, Sheet A5.1

Table C402.4

Exterior

South/East/West Facing

PF < 0.2

SHGC<0.38

U<0.38

48

U-Factor & SHGC Source: WSEC Appendix A

U-Factor Source Description:

Is this assembly exterior or interior?: Exterior

Is assembly new, upgraded or unaltered existing?: New assembly

LIGHTING COMPLIANCE SUMMARY

2018 WSEC Compliance Forms for Commercial Buildings including Group R2, R3 & R4 over 3 stories and all R1

Administered by: ©2023 NEEA, All rights reserved

Project & Applicant Information

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

For Building Department Use:

Date: Feb 27, 2023

Project Address

733 River Road
Puyallup, WA 98371

Applicant Name

Theresa Greene

Applicant Phone

425-830-3245

Applicant Email

tg.architect@comcast.net

For questions about this report, contact WSEC Commercial Technical Support at 360-539-5300 or via email at com.techsupport@waenergycodes.com

General Occupancy

All Commercial

General Building Use Type

Services, General

Building Cond. Floor Area

5,930

General Project Types

Alteration

New Building or Addition Lighting Scope

Alteration Lighting Scope

Interior Lighting Exterior Lighting

Project Cond. Floor Area

5,930

Lighting Project Description

Project Cond. Floor Area

5,930

Floors Above Grade

1

Compliance Method

Compliance Method 1 - General

Lighting Compliance Scope and Method

Project Type

Interior / Exterior (interior includes both interior & parking)

Luminaire Replacement Scope

Compliance Method

LPA Calculation Adjustment

Compliance Verification

Alteration

Interior Lighting

50% or more replaced

Space by space

No Calculation Adjustments allowed

COMPLIES

Alteration

Exterior Lighting

50% or more replaced

Not applicable to exterior

COMPLIES

Additional Efficiency Options Included

Enhanced lighting controls credit

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

Date

Feb 27, 2023

Lighting Power Calculation

ALTERATION - INTERIOR LIGHTING (50% or more replaced)

Compliance Verification

COMPLIES

Compliance Method

Space by space

LPA Calculation Adjustment

none

Interior Lighting Power Allowance - Space by Space

General Space Type

Specific Space Type

Ceiling Height (Ft)

Gross Interior Area (SF)

LPA (Watts/SF)

Total Watts Allowed (SF x LPA x 1)

Total Proposed Watts (LPD + Display LPD)

Compliance Status

Conference/meeting/multipurpose

General

320

0.97

310

Lounge/breakroom

General

395

0.59

233

Office

Enclosed less than 250 sf

310

0.74

229

Restroom

General

130

0.63

82

Workshop

General sales

3,075

1.26

3,875

Retail

Smaller hand-carried items

1,020

1.05

1,071

Warehouse/storage area

680

0.69

469

Totals

6,269

4,487

COMPLIES

Proposed Lighting Power Density

Fixture Type

Fixture ID

Quantity of Fixtures (#F)

Watts or Wattage Limit per Fixture (WpF)

Total Linear Feet (LF)

Watts per Linear Foot (WpLF)

Total Watts Proposed (#F x WpF) or (LF x WpLF)

Individual Fixtures

Troffer

2X4 LED Recessed

27

53

1,431

Troffer

2X4 LED Recessed

7

53

371

Recessed downlight

6" Recessed Can Light

3

17

51

Suspended

4" Wet Light RAB SHARK

51

50

2,550

Wall-mounted

Restroom Lav Fixture

2

36

72

Other fixture type

Exit Sign w/90 minute Battery Backup

4

3

12

Proposed Total LPD

4487

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

Date

Feb 27, 2023

Proposed Fixtures Details

ALTERATION - INTERIOR LIGHTING (50% or more replaced)

Fixture Type/Application

Fixture ID

Location in Documents

Lamp Type

New or Existing-to-Remain

Individual Fixtures

Troffer

2X4 LED Recessed

A2.3

LED

New

Fixture Description: 2X4 LED Recessed Troffer

Are these fixtures located within a daylight zone?: No

Do these fixtures require specific application lighting controls?: None required

Troffer

2X4 LED Recessed

A2.3

LED

New

Fixture Description: 2X4 LED Recessed Troffer

Are these fixtures located within a daylight zone?: Yes, controls provided

Daylight zone location(s): Sidelit daylight zones (primary and/or secondary)

Dimming method: Continuous dimming

Do these fixtures require specific application lighting controls?: None required

Recessed downlight

6" Recessed Can Light

A2.3

LED

New

Fixture Description: 6" Recessed Can Light

Are these fixtures located within a daylight zone?: No

Do these fixtures require specific application lighting controls?: None required

Suspended

4" Wet Light RAB SHARK

A2.3

LED

New

Fixture Description: 4" Wet Light RAB SHARK

Are these fixtures located within a daylight zone?: No

Do these fixtures require specific application lighting controls?: None required

Wall-mounted

Restroom Lav Fixture

A2.3

LED

New

Fixture Description: Restroom Lav fixture

Are these fixtures located within a daylight zone?: No

Do these fixtures require specific application lighting controls?: None required

Other fixture type

Exit Sign w/90 minute Battery Backup

A2.3

LED

New

Fixture Description: Exit Light

Are these fixtures located within a daylight zone?: No

Do these fixtures require specific application lighting controls?: None required

Project Title

Enterprise Rent-A-Car Tenant Improvement - 2018 WSEC

Date

Feb 27, 2023

Lighting Power Calculation

ALTERATION - EXTERIOR LIGHTING (50% or more replaced)

Compliance Verification

COMPLIES

Exterior Lighting Zone

ZONE 3

Base Site Allowance

500

Exterior Tradable Lighting Power Allowance

Tradable Surface

Tradable Surface Sub-Type

Surface Area (SF)

LPA (Watts/SF)

Linear Feet (LF)

LPA (Watts/LF)

Total Watts Allowed (LPA x SF) or (LPA x LF)

Total Tradable Proposed Watts

Tradable Compliance Status

Building entrances and exits

Vehicle entrances & exits

42

21

882

Base Site Allowance

500

Totals

1,382

440

COMPLIES

Proposed Tradable Lighting Power Density

Fixture Type

Fixture ID

Tradable Surface Type

Quantity of Fixtures (#F)

Watts or Wattage Limit per Fixture (WpF)

Total Linear Feet (LF)

Watts per Linear Foot (WpLF)

Total Watts Proposed (#F x WpF) or (LF x WpLF)

Individual Fixtures

Wall-mounted

Exterior Wall-Pack

Building entrances and exits - Vehicular entrances & exits

8

55

440

Tradable Proposed Total

440

LTG-SUM PROJECT NOTES

PER 2018 WSEC LIGHTING COMPLIANCE NOTES - LIGHTING, MOTOR, AND ELECTRICAL PERMIT CHECKLIST:

1. PER C405.2.2: METHOD OF AUTOMATIC SHUT-OFF CONTROL: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE THE METHOD OF AUTOMATIC SHUT-OFF CONTROL DURING UNOCCUPIED PERIODS (OCCUPANCY SENSOR, TIME SWITCH OR DIGITAL TIMER SWITCH) FOR ALL LIGHTING ZONES OR WHICH TIME SWITCH CONTROL EXCEPTION APPLIES

2. PER C405.2.1, C405.2.1.1: OCCUPANCY SENSOR CONTROLS: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE THE SPACES SERVED BY OCCUPANCY SENSORS AND WHETHER OCCUPANCY SENSOR CONTROLS ARE CONFIGURED TO BE MANUAL-ON, AUTOMATIC 50%-ON, OR SERVE A SPACE ELIGIBLE FOR AUTOMATIC 100%-ON PER EXCEPTION. OCCUPANCY SENSORS ARE REQUIRED IN SPACES 300 SQUARE FEET OR LESS THAT ARE ENCLOSED BY FLOOR-TO-CEILING HEIGHT PARTITIONS INCLUDING BUT NOT LIMITED TO: CLASSROOMS/LECTURE/TRAINING ROOMS, CONFERENCE/MEETING/MULTIPURPOSE ROOMS, COPY/PRINT ROOMS, LOUNGES, EMPLOYEE LUNCH AND BREAK ROOMS, PRIVATE OFFICES, RESTROOMS, STORAGE ROOMS, JANITORIAL CLOSETS, LOCKER ROOMS, WAREHOUSE SPACES.

3. PER C405.2.4.2, C405.2.4.3: DAYLIGHT ZONES - SIDELIGHT: SEE REFLECTED CEILING PLAN, SHEET A2.2 FOR PRIMARY AND SECONDARY SIDELIGHT DAYLIGHT ZONE AREAS SERVED BY DAYLIGHT RESPONSIVE CONTROLS, INCLUDING AREAS OF EACH ZONE. REFER TO ENV-SUM NOTE 6 ON SHEET A5.2 REGARDING ADDITIONAL REQ. REGARDING PRESCRIPTIVE MAXIMUM VERTICAL FENESTRATION AREA WITH DAYLIGHT ZONES AND CONTROLS.

4. PER C405.2.4: DAYLIGHT RESPONSIVE CONTROLS: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE THE LIGHTING LOAD REDUCTION METHOD - CONTINUOUS DIMMING, OR STEPPED DIMMING THAT PROVIDES AT LEAST TWO EVEN STEPS BETWEEN 0%-100% OF RATED POWER. DAYLIGHT SENSING CONTROLS ARE TO BE CONFIGURED TO COMPLETELY SHUT OFF ALL CONTROLLED LIGHTS IN THE LIGHTING ZONE. GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE MANUAL LIGHTING CONTROL AND APPLICABLE AUTOMATIC LIGHTING CONTROL.

5. PER C405.4.2.2: SPACE-BY-SPACE METHOD: THE REQUIRED WSEC COMPLIANCE FORM HAS BEEN COMPLETED AND SUBMITTED WITH THIS PERMIT. GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE A TOTAL PROPOSED WATTAGE THAT DOES NOT EXCEED MAXIMUM ALLOWED WATTAGE.

6. PER C405.2.7: EXTERIOR LIGHTING CONTROLS: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE THE EXTERIOR LIGHTING PLANS AND FIXTURE SCHEDULES THE AUTOMATIC LIGHTING CONTROL METHOD, CONTROL SEQUENCE, AND LOCATIONS SERVED FOR BUILDING FACADE AND LANDSCAPE LIGHTING. INDICATE AUTOMATIC CONTROLS SHUT OFF LIGHTING AS A FUNCTION OF DAWN/DUSK AND FIXED OPENING/CLOSING TIME. FOR ALL OTHER EXTERIOR LIGHTING, INDICATE AUTOMATIC CONTROLS SHUT OFF LIGHTING AS A FUNCTION OF AVAILABLE DAYLIGHT; INCLUDE CONTROL SEQUENCE THAT ALSO REDUCES LIGHTING POWER BY AT LEAST 30% BETWEEN 12AM-6AM, OR FROM 1 HOUR AFTER CLOSING TO 1 HOUR BEFORE OPENING, OR BASED UPON MOTION SENSOR.

7. PER C405.2.5 (LISTED AFTER C405.2.7): AREA CONTROLS - MASTER CONTROL, SWITCHES AND CIRCUIT POWER LIMIT: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INDICATE LOCATION(S) OF MASTER CONTROL SWITCH(ES) INTENDED TO CONTROL MULTIPLE INDEPENDENT SWITCH(ES); CIRCUIT BREAKER MAY NOT BE USED AS A MASTER CONTROL SWITCH. VERIFY THAT NO 20 AMP CIRCUIT CONTROLLED BY A SINGLE SWITCH OR AUTOMATIC CONTROL IS LOADED BEYOND 80%.

8. PER C405.5.2: TOTAL CONNECTED EXTERIOR LIGHTING POWER: GC TO VERIFY THAT ELECTRICAL PERMIT PLANS INCLUDE ALL LUMINAIRES IN LIGHTING FIXTURE SCHEDULE; INDICATE FIXTURE TYPES, LAMPS, BALLASTS, AND MANUFACTURER'S RATED WATTS PER FIXTURE AND COORDINATE WITH THE REFLECTED CEILING PLAN, SHEET A2.3. IF APPLICABLE, IDENTIFY EXTERIOR APPLICATIONS ELIGIBLE FOR LIGHTING POWER EXEMPTION ON PLANS AND IN COMPLIANCE FORMS; INDICATE EXCEPTION APPLIED, INDICATE THAT EXEMPT EXTERIOR LIGHTING IS CONTROLLED INDEPENDENTLY FROM NON-EXEMPT EXTERIOR LIGHTING; INCLUDE EXCEPTION CLAIMED FOR EACH FIXTURE OR GROUP OF FIXTURES UNDER EXCEPTION CATEGORY.

9. PER C103.6.3: PROJECT CLOSE OUT DOCUMENTATION REQUIREMENTS: PROJECT CLOSE OUT DOCUMENTATION IS REQUIRED INCLUDING WSEC LIGHTING COMPLIANCE FORMS AND CALCULATIONS THAT DOCUMENT ALL INTERIOR AND EXTERIOR LIGHTING AREA AND / OR SURFACE TYPES, LIGHTING POWER ALLOWANCES AND INSTALLED DENSITIES.

ENV-SUM PROJECT NOTES

PER 2018 WSEC ENVELOPE COMPLIANCE NOTES - BUILDING PERMIT CHECKLIST:

1. PER C303.1.1, C303.1.2: INSULATION IDENTIFICATION: GC TO VERIFY THAT IDENTIFICATION MARK SHALL BE APPLIED TO ALL INSULATION MATERIALS AND INSULATION INSTALLED SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION.

2. PER C303.1.3, C402.4.3: FENESTRATION PRODUCT RATING: FENESTRATION PRODUCTS SHALL BE LABELED WITH RATED U-FACTOR, SHGC, VT, AND LEAKAGE RATING. U-FACTORS, SHGC AND VT VALUES ARE INDICATED IN FENESTRATION SCHEDULES.

3. PER C303.1.1, C402.2.1: GENERAL INSULATION INSTALLATION: REFER TO SECTIONS AND DETAILS ON SHEETS A4.1 THROUGH A4.5 FOR INSTALLATION METHODS, THICKNESS, DENSITIES AND CLEARANCES TO ACHIEVE THE INTENDED R-VALUE OF ALL INSULATION MATERIALS. WHERE TWO OR MORE LAYERS OF RIGID INSULATION WILL BE USED, EDGE JOINTS BETWEEN LAYERS ARE TO BE STAGGERED.

4. PER C402.2.4, C303.2.1: ABOVE/BELOW GRADE WALL INSULATION: WALL AND CRAWL SPACE INSULATION IS PRESCRIPTIVE PERFORMANCE. THE METHOD OF FRAMING FOR WOOD CONSTRUCTION IS STANDARD (STD).

5. PER C103.6.3: PROJECT CLOSE OUT DOCUMENTATION REQ: PROJECT CLOSE OUT DOCUMENTATION IS REQUIRED INCLUDING APPLICABLE WSEC ENVELOPE COMPLIANCE FORMS AND CALCULATIONS, AND FENESTRATION NFRC RATING CERTIFICATES.

REVISIONS

NO.

DATE

BY

06/12/23

BLDG

ISSUE DATES

DESIGN APPROVAL:

PERMIT SUBMITTAL: 02/27/23

PERMIT RECEIVED:

BID DOCS:

CONSTR. DOCS:

SHEET INFORMATION

24"x36" SCALE: AS NOTED

PLOT DATE: 06/12/23

CAD FILE: 22-14A1

JOB NUMBER: 22-14

CHECKED: TKG

DRAWN: TKG

STATUS: PERMIT SET

2018 WSEC LTG & ENV COMPLIANCE SUMMARY FORMS

A7.1

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City of Puyallup
Development & Permitting Services
ISSUED PERMIT

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Planning

Engineering

Public Works

Fire

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ENTERPRISE RENT-A-CAR
TENANT IMPROVEMENT
EXISTING TENANT IN THE RIVER ROAD PLAZA SHOPPING CENTER
733 RIVER ROAD
PUYALLUP, WA 98371
PIERCE COUNTY APN: 042021-14051

REVISIONS		
NO.	DATE	BY
1	06/12/23	BLDG

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