

The approval of this drawing is for the area of influence of the foundation to the existing sewer main that is west of the proposed building. It has not been reviewed for the construction of the retaining wall. See sheet C2.0

COPPERBERRY CONDOMINIUM

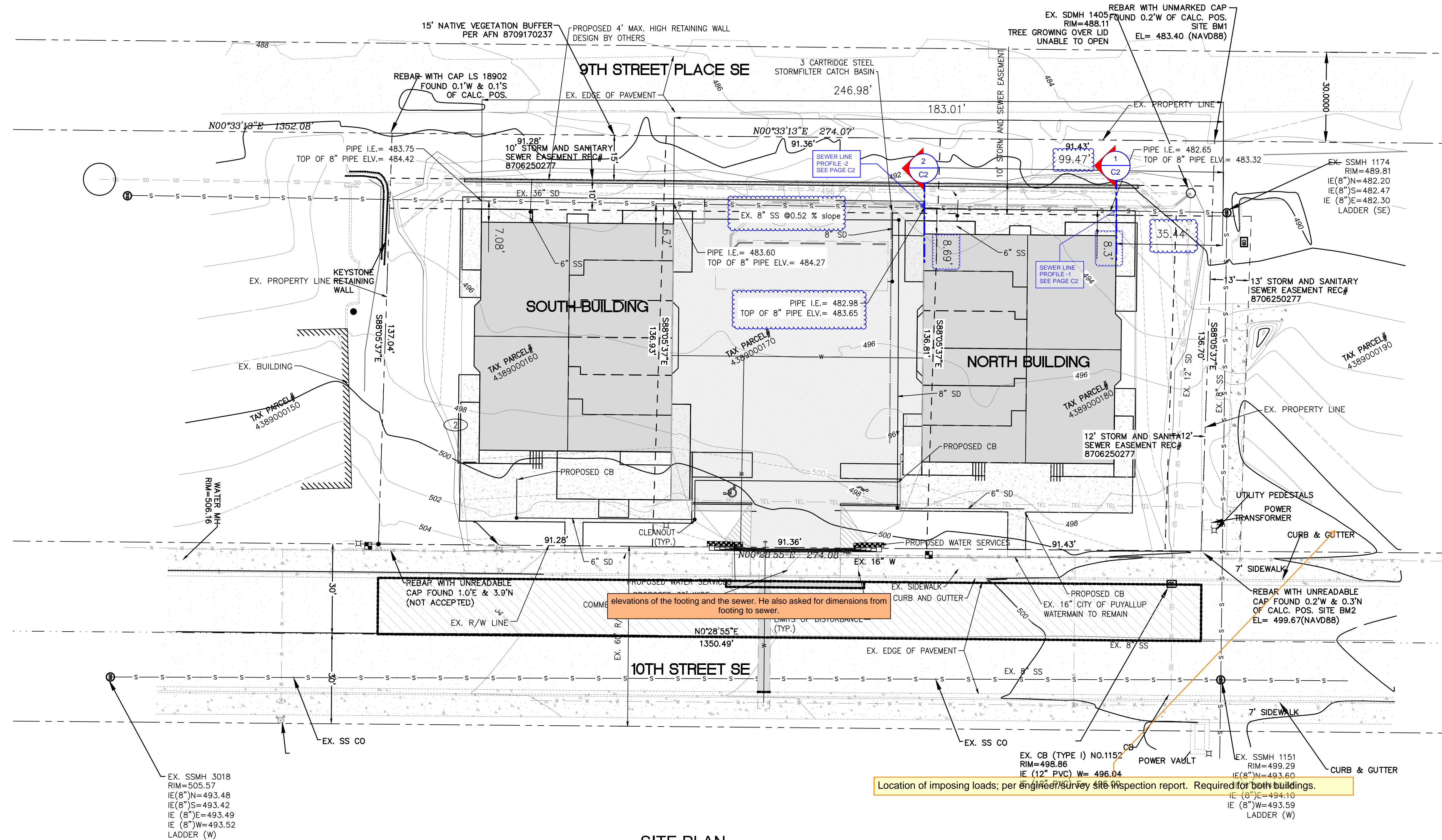
4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374

DEMO LEGEND:

- EXISTING ASPHALT
- EXISTING CONCRETE TO REMAIN
- EXISTING ASPHALT REMOVAL
- EXISTING CURB TO REMAIN
- EXISTING EDGE OF PAVEMENT

TESC LEGEND:

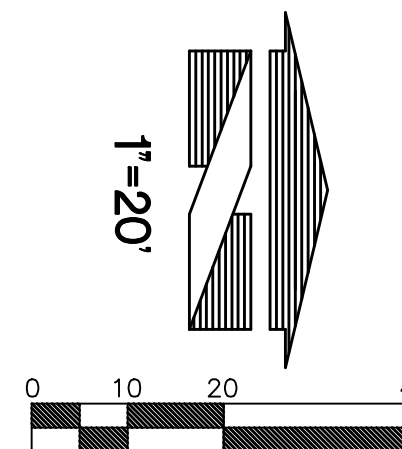
- CATCH BASIN PROTECTION
- PERIMETER PROTECTION
- CLEARING LIMITS
- SAWCUT
- CONSTRUCTION FENCE



SITE PLAN

SCALE: 1" = 20'

RETAINING WALL DESIGN FOR NORTH BUILDING

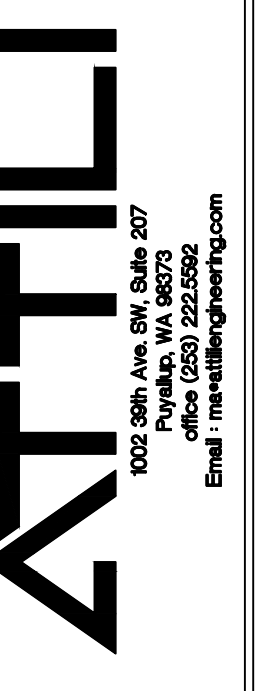


TITLE: SITE PLAN

SITE: 4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374



CLIENT: **BRC Family**
1002 39th Ave. SW, Ste. 303
Puyallup, WA 98373



**City of Puyallup
Development & Permitting Services
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

REV	DESCRIPTION	DATE	BY
1			

APPROVED

BY: _____
CITY OF PYUALLUP
DEVELOPMENT ENGINEERING

DATE: 09.07.2023

SCALE: AS SHOWN

NOTE: THIS APPROVAL IS VOID AFTER 90 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

DESIGNED	MA
DRAWN	MA
CHECKED	MA
DATE	09.07.2023
SCALE	AS SHOWN

JOB No. _____

SHEET NO.
C1
2

811 Know what's below.
Call before you dig.
Dial 811
Or Call 1-800-424-5555

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

**City of Puyallup
Development
Engineering
APPROVED**

See permit
for additional
requirements.

Linda Lian
10/02/2023
10:33:31 AM



The approval of this drawing is for the area of influence of the foundation to the existing sewer main that is west of the proposed building. It has not been reviewed for the construction of the retaining wall. See sheet C2.0 2

COPPERBERRY CONDOMINIUM

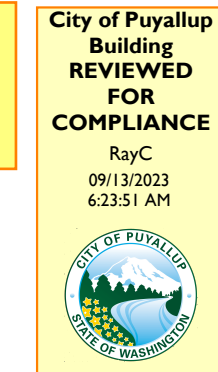
4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374

RETAINING WALL DESIGN FOR NORTH BUILDING

PRMU20221586

Revision and engineering verification of clearance from the angle of influence, identified by the engineer.

Subject to inspection and field reports required by review comments.



Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

THE APPROVED CONSTRUCTION PLANS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

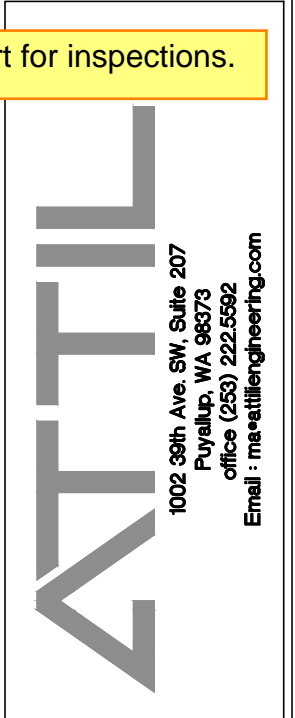
**City of Puyallup
Development & Permitting Services
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

TITLE: FOUNDATION SECTION & RETAINING WALL
SITE: 4002, 4010, 4018 10TJH STREET E PYUALLUP, WA. 98374



CLIENT: **BRC Family**
1002 39th Ave SW, Ste 303
Puyallup, WA 98373

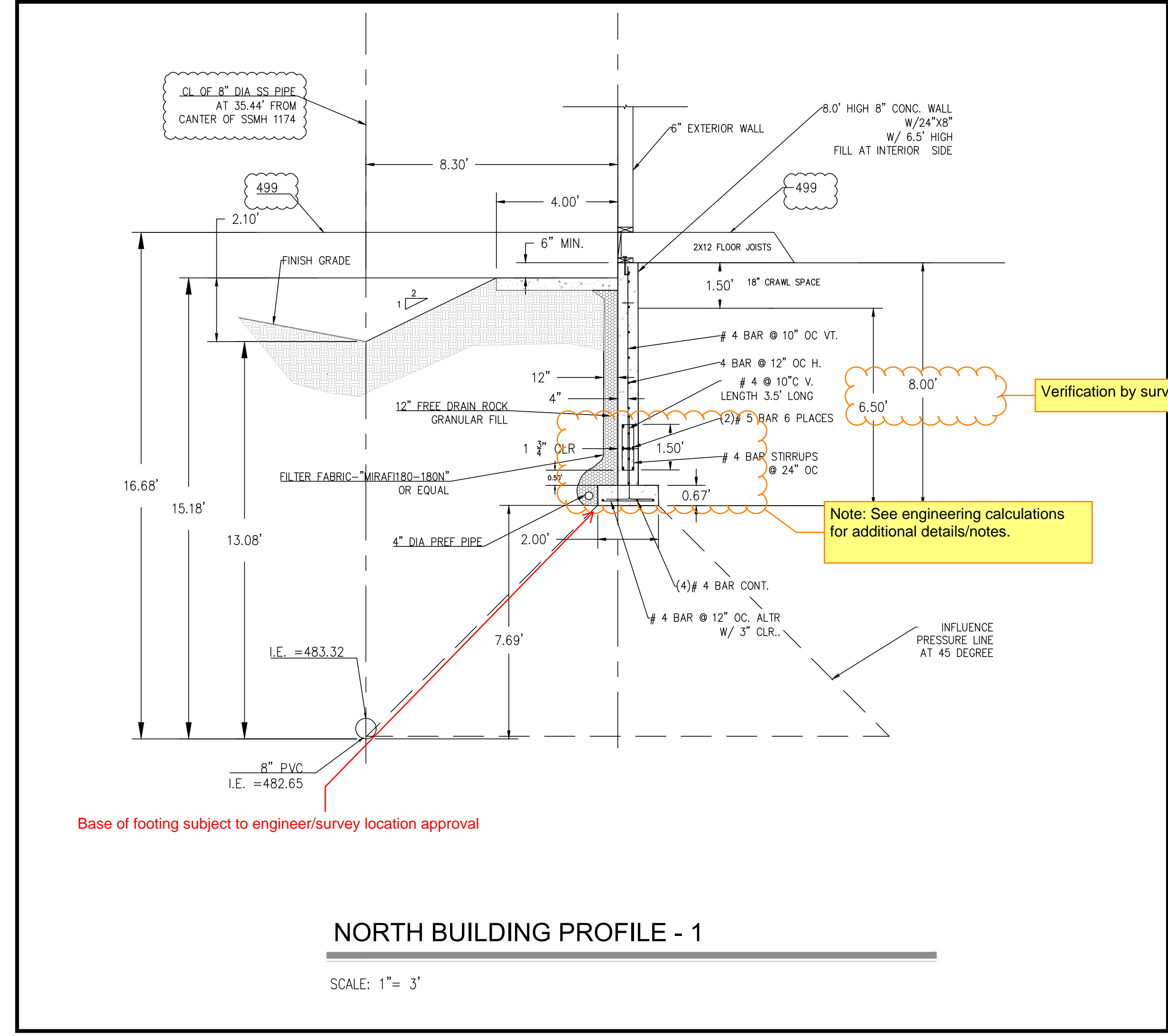
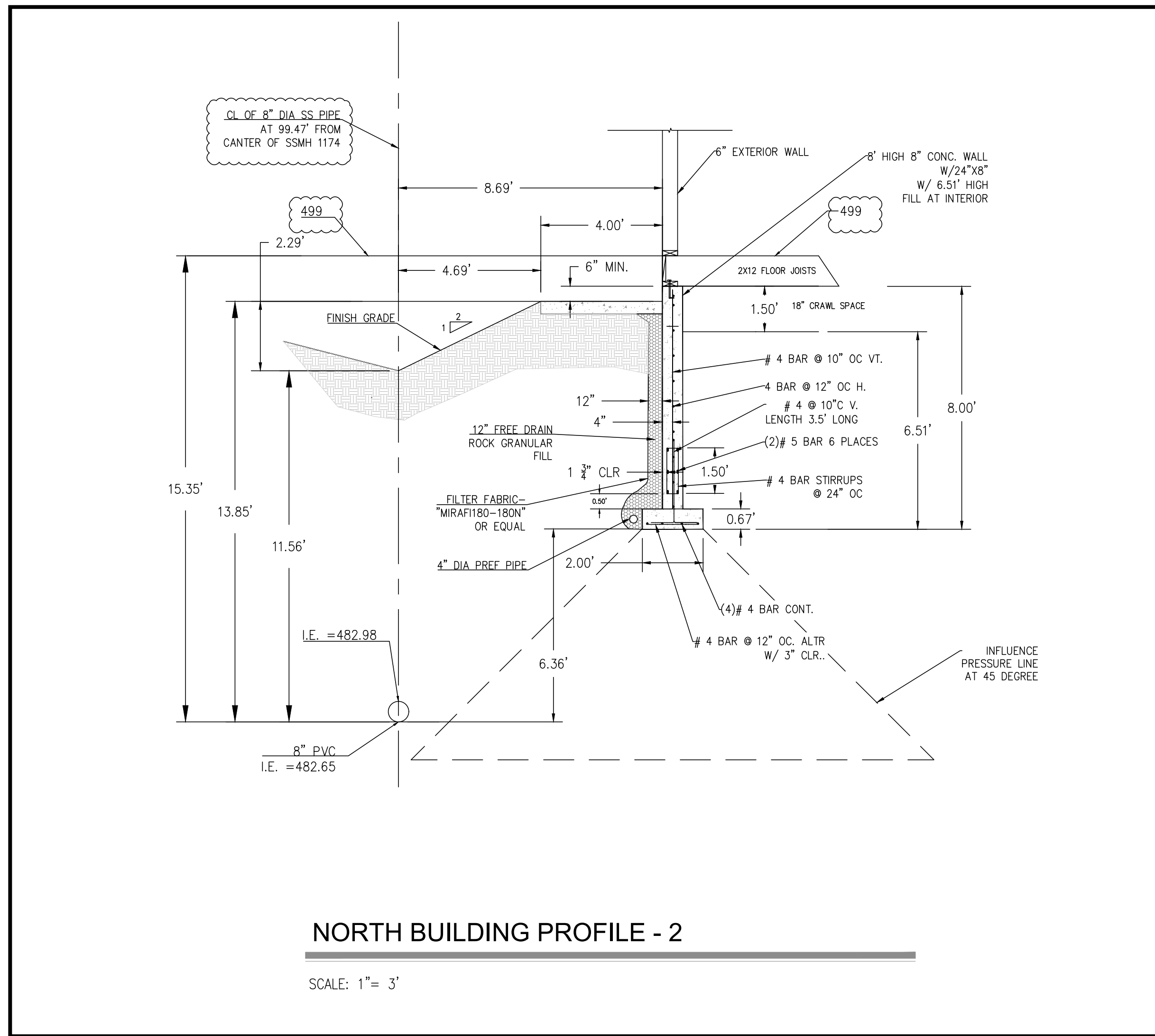


REV.	DESCRIPTION	DATE	BY
1			

DESIGNED MA
DRAWN MA
CHECKED MA
DATE 09.07.2023
SCALE AS SHOWN

JOB No.

SHEET NO.
C2.0
2



Verification by survey and provide report for inspections.

Note: See engineering calculations for additional details/notes.