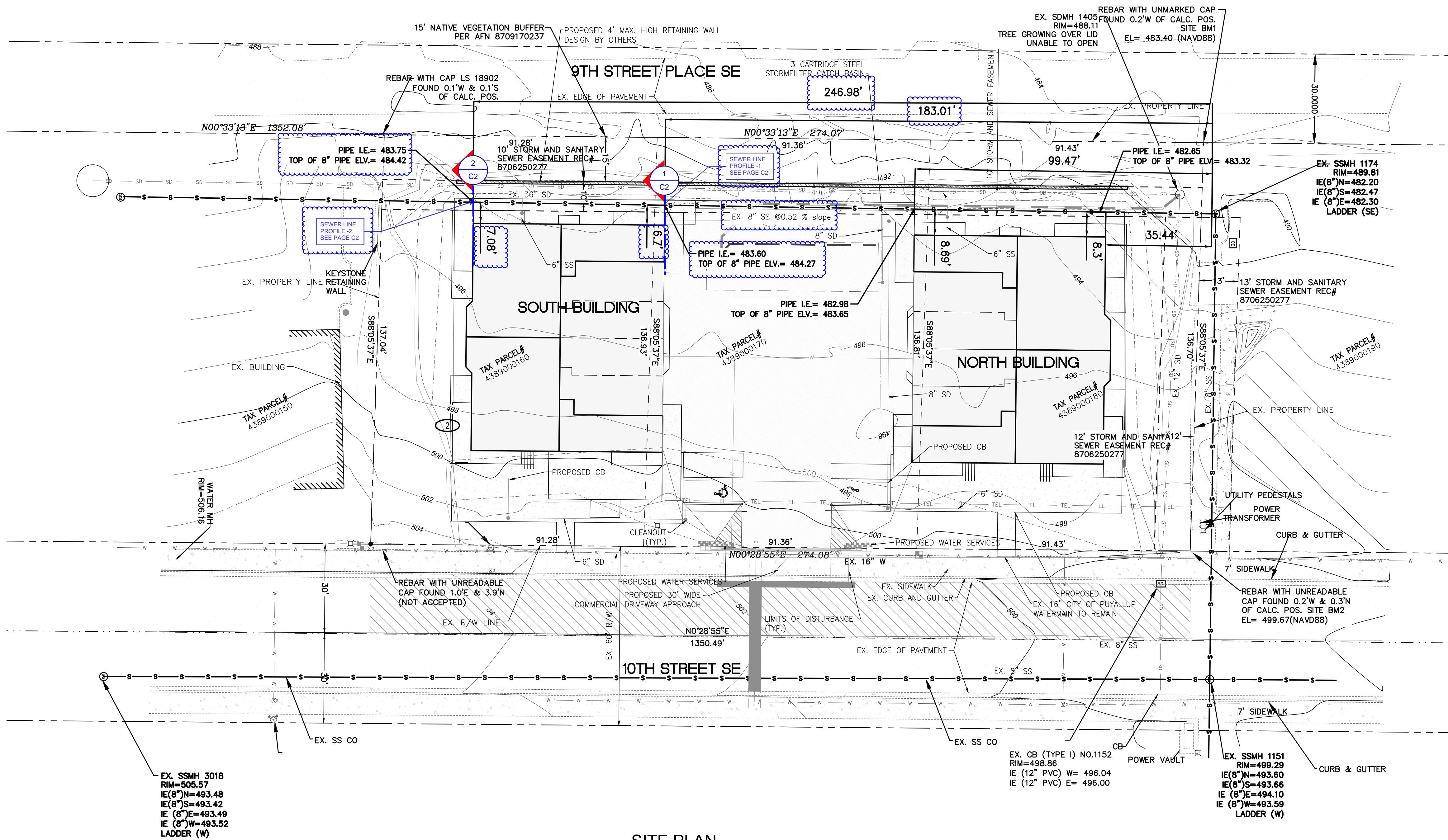


COPPERBERRY CONDOMINIUM

4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374



SITE PLAN

SCALE: 1" = 20'

RETAINING WALL DESIGN FOR SOUTH BUILDING

DEMO LEGEND:

- EXISTING ASPHALT
- EXISTING CONCRETE TO REMAIN
- EXISTING ASPHALT REMOVAL
- EXISTING CURB TO REMAIN
- EXISTING EDGE OF PAVEMENT

TESC LEGEND:

- CATCH BASIN PROTECTION
- PERIMETER PROTECTION
- CLEARING LIMITS
- SAWCUT
- CONSTRUCTION FENCE

The approval of this drawing is for the area of influence of the foundation to the existing sewer main that is west of the proposed building. It has not been reviewed for the construction of the retaining wall. See sheet C2.0 2

City of Puyallup Development & Permitting Services ISSUED PERMIT

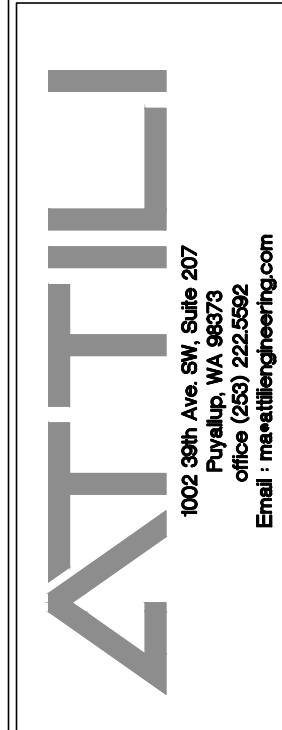
- Building
- Planning
- Engineering
- Public Works
- Fire
- Traffic

TITLE: SITE PLAN

SITE: 4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374



CLIENT: BRC Family
1002 39th Ave. SW, Ste 303
Puyallup, WA 98373



MA	DATE	BY
6-30-16		
PRICING SET	DESCRIPTION	REV.
1		

DESIGNED	MA
DRAWN	MA
CHECKED	MA
DATE	09.07.2023
SCALE	AS SHOWN

JOB No.

SHEET NO.

C1
2

APPROVED

BY: CITY OF PUYALLUP
DEVELOPMENT ENGINEERING
DATE:

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.



Know what's below.
Call before you dig.
Dial 811
Or Call 1-800-424-5555

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

COPPERBERRY CONDOMINIUM

4002, 4010, 4018 10TJH STREET E
PYUALLUP, WA. 98374

RETAINING WALL DESIGN FOR SOUTH BUILDING

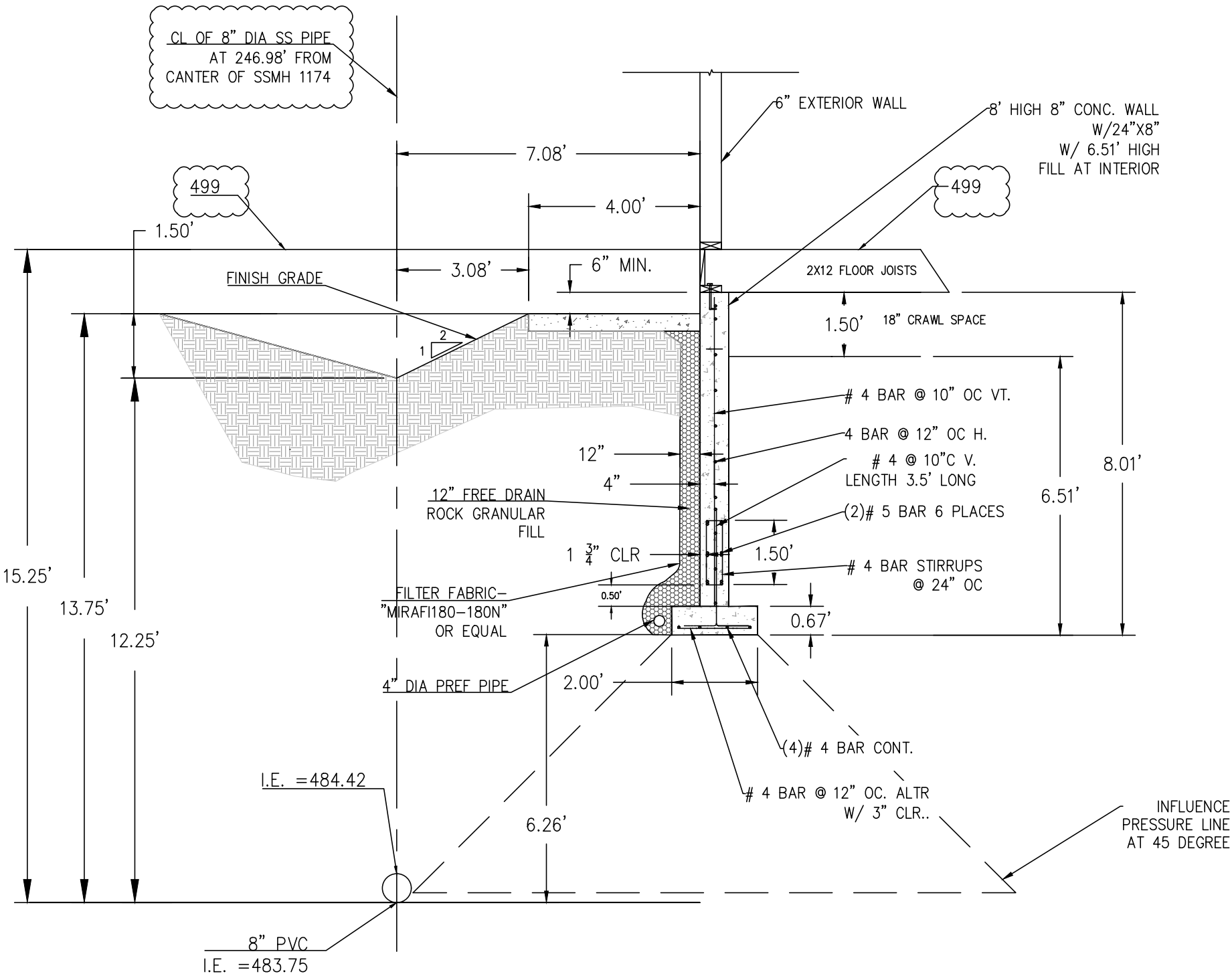
City of Puyallup
Development
Engineering
APPROVED

See permit
for additional
requirements.

Linda Lian
10/02/2023
10:33:31 AM

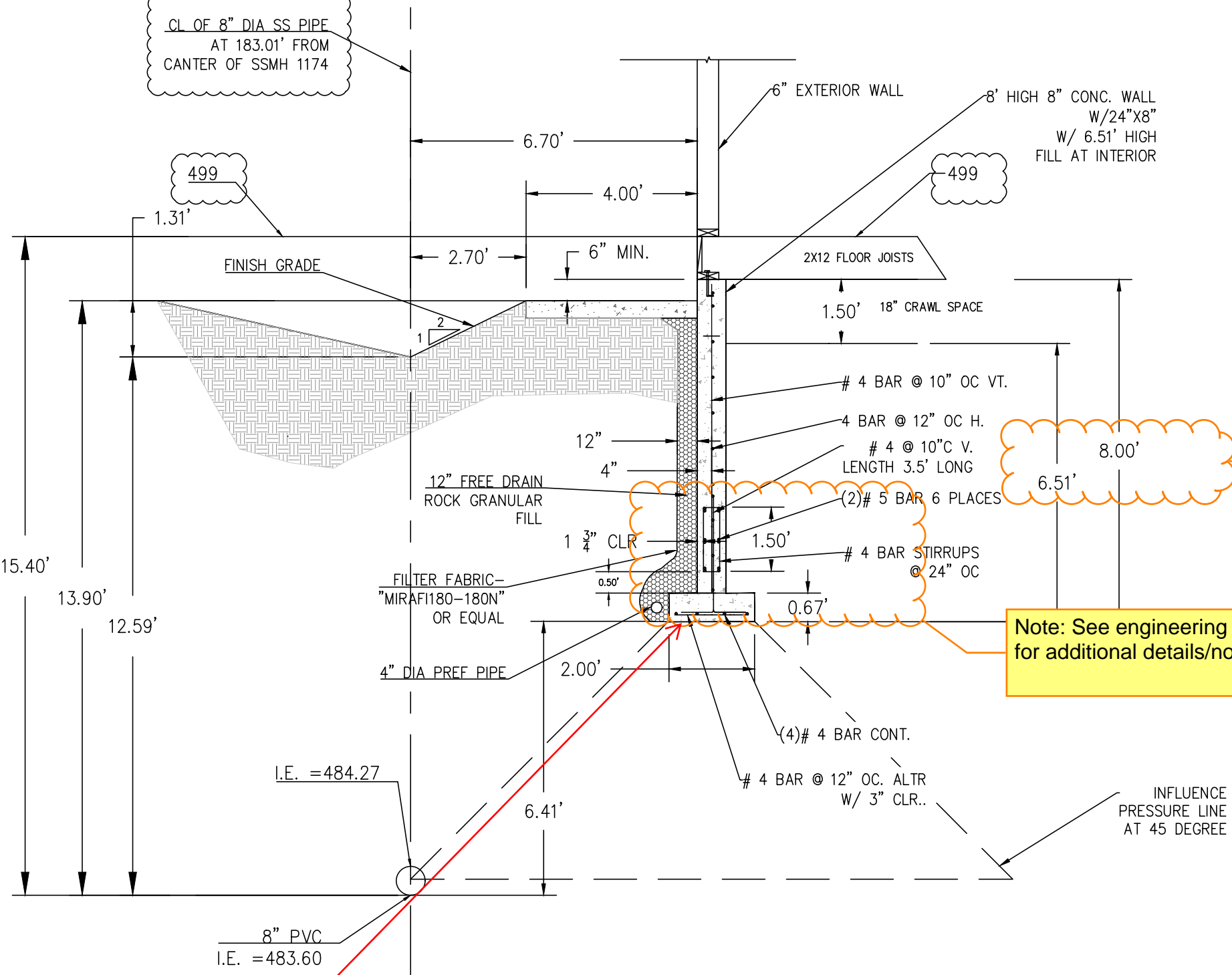


The approval of this drawing is for the area of influence of the foundation to the existing sewer main that is west of the proposed building. It is has not been reviewed for the construction of the retaining wall. See sheet C2.0 2



NORTH BUILDING PROFILE - 2

SCALE: 1"= 3'



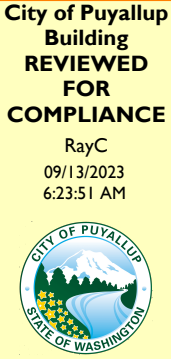
NORTH BUILDING PROFILE - 1

SCALE: 1"= 3'

PRMU20221586

Revision and engineering verification of clearance from the angle of influence, identified by the engineer.

Subject to inspection and field reports required by review comments.



Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

THE APPROVED CONSTRUCTION PLANS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

TITLE: FOUNDATION SECTION & RETAINING WALL
SITE: 4002 4010, 4018 10TJH STREET E PYUALLUP, WA. 98374



CLIENT: BRC Family
1002 39th Ave. SW, Ste 303
Puyallup, WA 98373
Email: inastillingengineering.com

ATTILIO R. BERTOLINI
1002 39th Ave. SW, Suite 207
Puyallup, WA 98373
Email: inastillingengineering.com

REV.	DESCRIPTION	DATE	BY
1	PRICING SET	6-30-16	MA

DESIGNED	MA
DRAWN	MA
CHECKED	MA
DATE	09.07.2023
SCALE	AS SHOWN

JOB No.

SHEET NO.
C2.0
2