

GENERAL SITE NOTES:

- THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
- INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
- PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
- TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
- CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL ON ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK. A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES, CURB, SIDEWALK, STRUCTURES, CONCRETE PADS AND ANY OTHER ABOVE GROUND PERMANENT STRUCTURE DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS, INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

MONUMENT PROTECTION NOTE:

CONTRACTOR SHALL FIELD LOCATE ALL MONUMENTS WITHIN THE AREA OF DISTURBANCE PRIOR TO CONSTRUCTION AND PROTECT FROM DISTURBANCE/DESTRUCTION TO THE MAXIMUM EXTENT FEASIBLE. IF IT IS NECESSARY TO REMOVE OR REPLACE A MONUMENT DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION HAVING AUTHORITY (ROW 58.24.040) AND BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES PRIOR TO DISTURBANCE, DESTRUCTION, OR RELOCATION (WAC 332-120). APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR AND MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES:

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060
(206) 902-1190

UTILITY PROTECTION NOTE:

APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS. CONTRACTOR TO COORDINATE WITH PURVEYOR AND USE EXTREME CAUTION WHEN EXCAVATING ON-SITE, UNTIL EXISTING GAS AND POWER SERVICE LOCATIONS ARE CONFIRMED, CONTRACTOR TO ORDER INDEPENDENT UTILITY LOCATES (INCLUDING GAS AND POWER) FOR THE FULL SCOPE OF WORK PRIOR TO CONSTRUCTION OR ANY GROUND DISTURBING ACTIVITIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-Holing THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 48 HOURS IN ADVANCE AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CITY OF PUYALLUP - GENERAL NOTES:

- ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS. REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF, CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
- A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
- ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY.
- THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.
- POWER, STREET LIGHT, CABLE, AND TELEPHONE LINES SHALL BE IN A TRENCH LOCATED WITHIN A 10-FOOT UTILITY EASEMENT ADJACENT TO RIGHT-OF-WAY. ALL RIGHT-OF-WAY CROSSINGS SHALL HAVE A MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES (SEWER, WATER, AND STORM) OF 5 FEET.
- ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSE PROFESSIONAL CIVIL ENGINEER.
- DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAR OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
- CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
- A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF ECOLOGY, SOUTHWEST REGION OFFICE AT (360)407-6300.
- ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.

SOILS REPORT NOTES:

- THE FOLLOWING SOILS REPORT FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

GEOTECHNICAL ENGINEERING STUDY
ARCO AMPM REFUELING STATION
1402 S MERIDIAN AVENUE
PUYALLUP, WASHINGTON 98371
DATED MAY 6, 2022

KRAZAN & ASSOCIATES, INC.
825 CENTER STREET, STE A
TACOMA, WASHINGTON 98409
PHONE: (253) 939-2500

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, DETENTION VAULT, AND PAVING CONSTRUCTION.

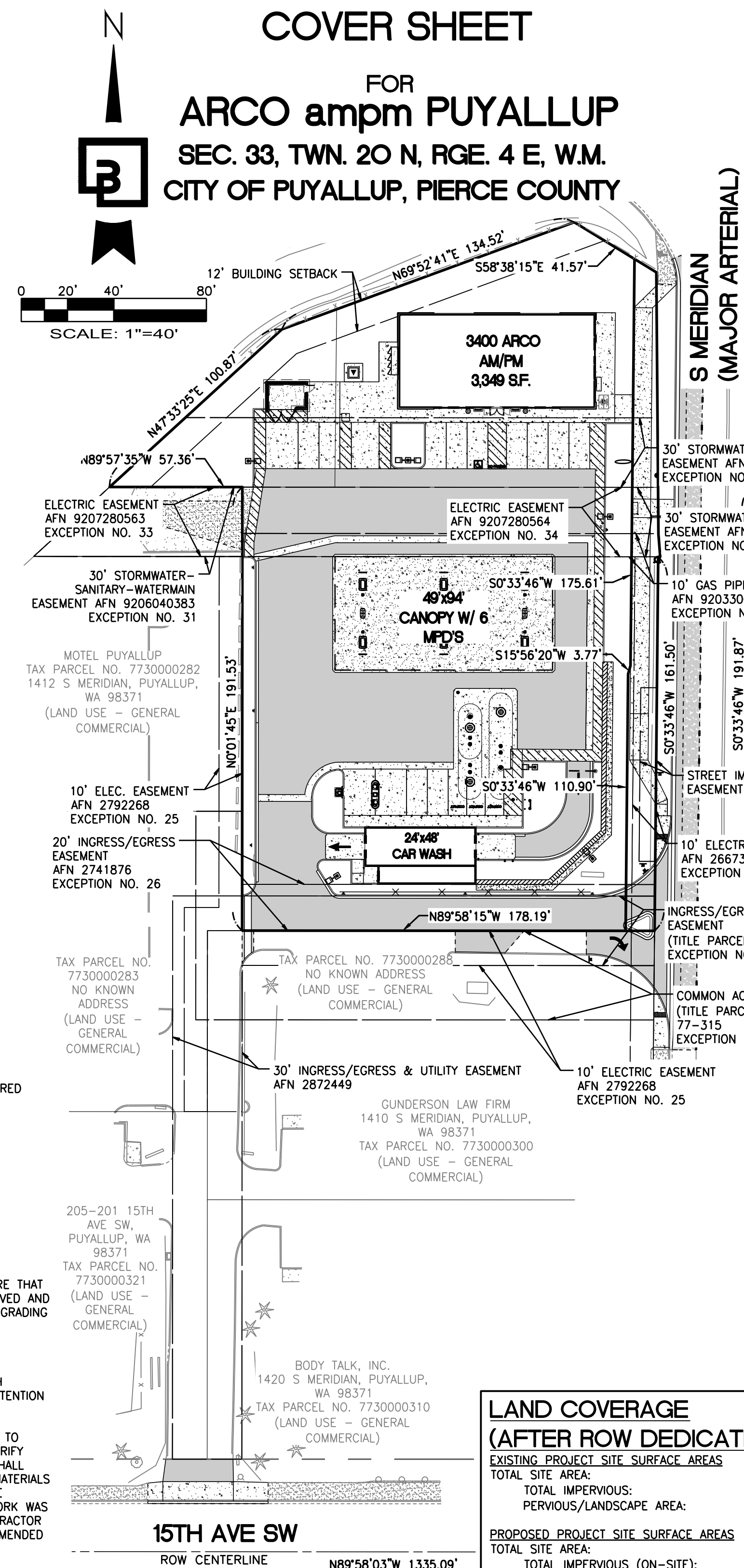
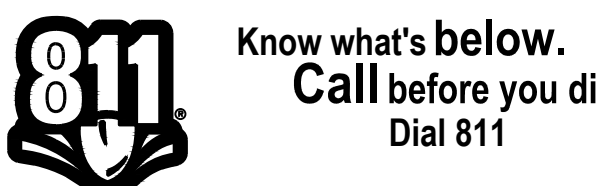
- ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC.

- A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS DOCUMENTING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATION OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO THE SATISFACTION OF THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL PROVISIONS FOR SOILS INSPECTIONS AS RECOMMENDED WITHIN THE SOILS REPORT. AT A MINIMUM, THIS INCLUDES THE OBSERVATIONS OF THE FOLLOWING BY A SOILS ENGINEER:
 - A. OVER-EXCAVATION RECOMMENDATIONS
 - B. PLACEMENT OF STRUCTURAL FILL MATERIAL BENEATH PAVEMENT
 - C. SUBGRADE PREPARATION OF STRUCTURAL FOOTINGS
 - D. EXCAVATION FOR UNDERGROUND STORAGE TANKS AND STORMWATER FACILITIES

- THE CONTRACTOR SHALL QUALIFY ANY LIMITATIONS TO SOILS INSPECTIONS WITHIN BID PROPOSAL.

Mark-up Legend

	Building Review
	Engineering Review
	Fire Review
	Planning Review
	Public Works Review
	Traffic Review



COVER SHEET
FOR
ARCO ampm PUYALLUP
SEC. 33, TWN. 20 N, RGE. 4 E, W.M.
CITY OF PUYALLUP, PIERCE COUNTY

SHEET SET

- CIVIL:
 EN1.0 - COVER SHEET
 EN2.0 - DEMOLITION PLAN
 EN2.1 - TESC PLAN
 EN2.2 - TESC NOTES AND PROFILES
 EN2.3 - TESC NOTES AND DETAILS
 EN2.4 - TESC DETAILS

SURVEY
 1 OF 2 - ALTA & NSPS LAND TITLE SURVEY
 2 OF 2 - ALTA & NSPS LAND TITLE SURVEY

APPLICANT/DEVELOPER

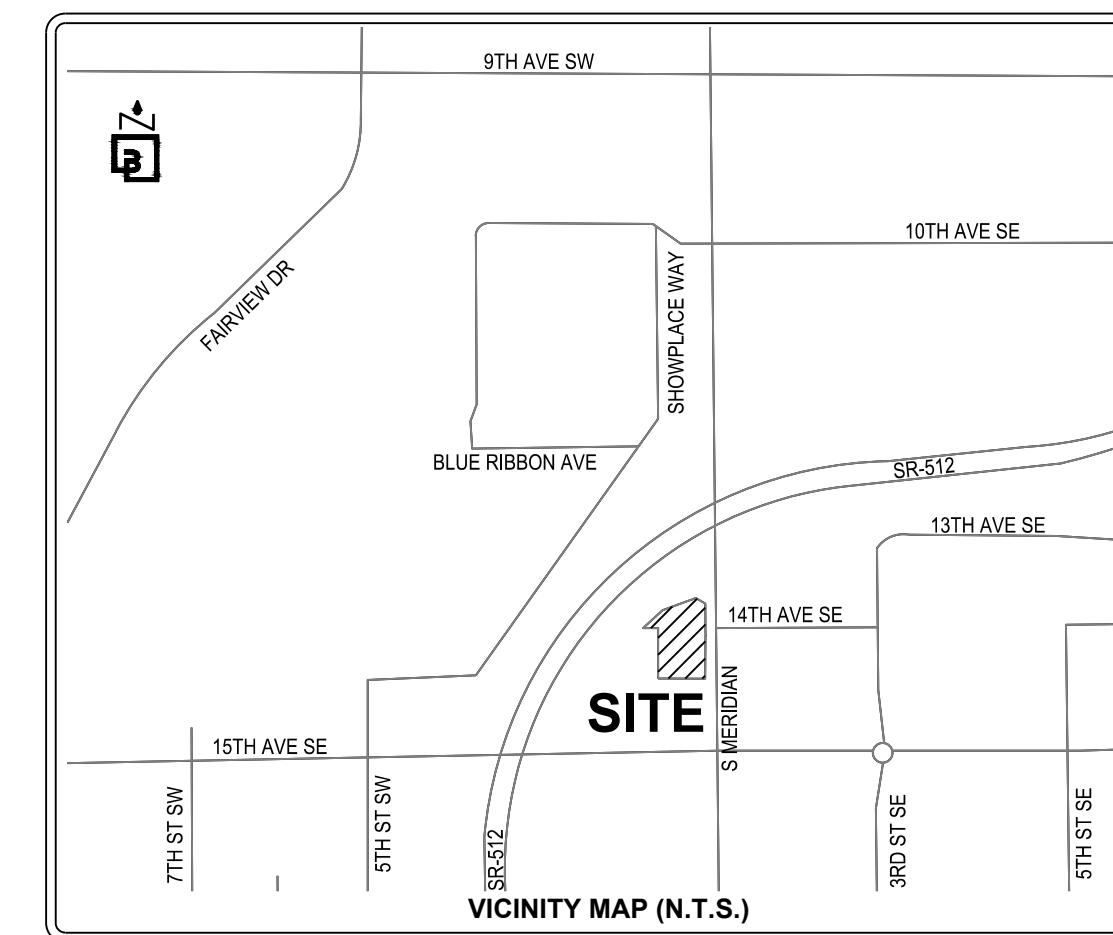
BP FUELS, NA
 P.O. BOX 696049
 SAN ANTONIO, TX 78269-9931
 CONTACT: RANDALL ARNOLD
ENGINEER/SURVEYOR
 BARGHAUSEN CONSULTING ENGINEERS, INC.
 18215 72ND AVE. SOUTH
 KENT, WA 98032
 TEL: (425) 251-6222
 FAX: (425) 251-8782
 CONTACT: CHRIS JENSEN, P.E./DAVE WILLIAMS

ARCHITECT

BARGHAUSEN CONSULTING ENGINEERS, INC.
 18215 72ND AVE. SOUTH
 KENT, WA 98032
 TEL: (425) 251-6222
 FAX: (425) 251-8782
 CONTACT: DAN GOALWIN, R.A.

GEOTECHNICAL ENGINEER:

KRAZAN & ASSOCIATES, INC.
 825 CENTER STREET, STE A
 TACOMA, WASHINGTON 98409
 PHONE: (253) 939-2500
 CONTACT: VIJAY CHAUDHARY



SURVEY INFORMATION

HORIZONTAL DATUM - BASIS OF BEARINGS:
 NAD 83/2011 WASHINGTON STATE COORDINATE SYSTEM, SOUTH ZONE, ESTABLISHED BY GPS OBSERVATION UTILIZING THE WASHINGTON STATE REFERENCE NETWORK. THE BASIS OF BEARINGS IS N 00°33'46"E BETWEEN THE FOUND 2" BRASS DISK AT THE INTERSECTION OF S. MERIDIAN & 15TH AVE SW AND THE FOUND 2" IRON PIPE W/TACK IN MONUMENT CASE AT THE INTERSECTION OS S. MERIDIAN & THE ON/OFF RAMP TO SR 512.

VERTICAL DATUM
 VERTICAL DATUM FOR THIS SURVEY IS NAVD88 ESTABLISHED FROM WSDOT MONUMENT ID NO. 247. ELEVATION = 80.449' (NAVD88)

LOT AREA
 52,078± SF (1.20± AC)

ADDRESS
 1402 S. MERIDIAN, PUYALLUP, WA 98371

TAX PARCEL NUMBER
 773000-028-1 & 773000-028-8: TITLE PARCEL A
 773000-003-1 & 773000-002-1: TITLE PARCEL B

- REFERENCE SURVEYS:
- PIERCE COUNTY SHORT PLAT OF MERIDIAN CENTER - AFN 77-315 (1977)
 - PLAT OF SOURWINE'S ACRE LOTS - VOL. 8 PLATS, PAGE 10 (1905)
 - PIERCE COUNTY SHORT PLAT - AFN 8706101381 (1987)
 - WSDOT SR 512 96TH ST TO JCT. SR 167, DATED MAY 23, 1968

DATE OF SURVEY:
 THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 22, 2022. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MARCH OF 2022.

FLOOD INFORMATION:
 FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FIRM (FLOOD INSURANCE RATE MAP) MAP NO. 53053C0341E PANEL 341 OF 1375, DATED MARCH 7, 2017, THE SUBJECT PROPERTY IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING INFORMATION:
 (A ZONING REPORT WAS NOT FURNISHED FOR THIS SITE)

LEGAL DESCRIPTION
 (PER ABOVE REFERENCED TITLE REPORT)
 PARCEL A: (773000-028-1 & 773000-028-8)
 LOT 1 AND THE NORTH 15 FEET OF THE EAST 178.33 FEET OF "COMMON ACCESS TRACT A", OF PIERCE COUNTY WASHINGTON, FORMERLY BEING DESCRIBED AS THE NORTH 161.5 FEET OF THE WEST 178.33 FEET OF THE EAST 188.33 FEET OF LOT 20, SOURWINE'S ACRE LOTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF PIERCE COUNTY, WASHINGTON;
 TOGETHER WITH THAT PORTION OF 14TH AVENUE SW, VACATED BY ORDINANCE NO. 2304 ABUTTING THEREON AND ATTACHED THERETO, RECORDED UNDER RECORDING NO. 9206040385.
 PARCEL A1:
 RIGHTS TO USE THAT PORTION OF THE WITHIN DESCRIBED PROPERTY LYING WITHIN COMMON ACCESS TRACT "A" OF SIDE SHORT PLAT, FOR INGRESS, EGRESS, AND INSTALLATION AND MAINTENANCE OF UTILITIES, AS SET FORTH AND DELINEATED ON PIERCE COUNTY SHORT PLAT NO. 77-315;
 EXCEPT ANY PORTION LYING WITHIN PARCEL A ABOVE.
 PARCEL A2:
 AN EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN DOCUMENTS ENTITLED "STATUTORY WARRANTY DEED" AS RECORDED UNDER RECORDING NUMBERS 2741876 AND 2792268.
 PARCEL B: (773000-003-1 & 773000-002-1)
 LOT 2, SOURWINE'S ACRE LOTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF PIERCE COUNTY, WASHINGTON;
 EXCEPT THAT PORTION LYING WITHIN STATE HIGHWAY NO. SR-512, 96TH STREET TO JUNCTION SR-167;
 TOGETHER WITH THAT PORTION OF 14TH AVENUE SW, VACATED BY ORDINANCE NO. 2304 ABUTTING THEREON AND ATTACHED THERETO, RECORDED UNDER RECORDING NO. 9206040385. SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

B

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
 barghausen.com

NO.	DATE	REVISION DESCRIPTION

1/12/24

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm FUEL CANOPY w/ 6 MPD'S

SITE ADDRESS:
1402 S. MERIDIAN
 @ HIGHWAY 512
 PUYALLUP, WASHINGTON

FACILITY #TBD

DESIGNED BY: JDF ALLIANCE #800:
 CHECKED BY: AW BP REP:
 DRAWN BY: JDF ALLIANCE PM:
 VERSION: PROJECT NO.:
21730

APPROVED

BY _____
 CITY OF PUYALLUP
 DEVELOPMENT ENGINEERING

DATE _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.
 THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
 FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

LAND COVERAGE (AFTER ROW DEDICATION)

EXISTING PROJECT SITE SURFACE AREAS	EXISTING	PROPOSED
TOTAL SITE AREA:	48,776 SF (1.12 AC)	48,776 SF (1.12 AC)
TOTAL IMPERVIOUS:	45,936 SF (1.05 AC)	36,774 SF (0.843 AC)
PERVIOUS/LANDSCAPE AREA:	2,840 SF (0.065 AC)	12,002 SF (0.277 AC)

STORMWATER IMPERVIOUS AREA TABLE

ON-SITE (AFTER DEDICATION)

PROPOSED IMPERVIOUS SURFACES	36,774 SF (0.84 AC)
ROOF CANOPY (COLLECTED)	10,106 SF (0.23 AC)
CURBS/ASPHALT/CONCRETE (COLLECTED)	26,668 SF (0.61 AC)
PROPOSED LANDSCAPING	12,002 SF (0.28 AC)
TOTAL AREA	48,776± SF (1.120± AC)

OFFSITE (ADJACENT PROPERTY)

REPLACED ASPHALT DRIVEWAY SECTION (COLLECTED)	741 SF (0.017 AC)
EXISTING IMPERVIOUS SURFACE (COLLECTED, BYPASS TRADE-OFF)	2,284 SF (0.052 AC)
TOTAL AREA	3,025 SF (0.069 AC)

NOTE: WWHM CALCS ONLY INCLUDE AREA REQUIRED TO PROVIDE BYPASS TRADE OFF.

ESTIMATED EARTHWORK QUANTITIES:

CUT: 7,400 CY (EXPORT)
FILL: 3,600 CY (IMPORT)
AREA TO BE DISTURBED = 1.28 AC

EARTHWORK CALCULATIONS

CUT	FILE SITE PREP:	FILL	
SITE PREP:	3,200 CY	SITE PREP:	3,600 CY
UST EXCAVATION:	1,000 CY		
VAULT EXCAVATION:	3,200 CY		
TOTAL:	7,400 CY	TOTAL:	3,600 CY

EARTHWORK QUANTITIES ARE APPROXIMATE AND HIGHLY DEPENDENT ON SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. TOTAL DOES NOT ASSUME RE-USE OF EXISTING SOILS. CONTRACTOR SHOULD PERFORM INDEPENDENT ESTIMATE FOR BIDDING.

	EXISTING	PROPOSED	EXISTING	PROPOSED
CURB AND GUTTER			STORM LINE	SD
BARRIER CURB			CATCH BASIN TYPE 1	
CONCRETE			CATCH BASIN TYPE 2	
ASPHALT			SANITARY SEWER LINE	
PAINT STRIPING			SANITARY SEWER MANHOLE	
DIRECTIONAL ARROW			CLEANOUT (AS NOTED)	
SAWCUT			POWER OVERHEAD	P (OH) / P(oh)
BOLLARD			POWER UNDERGROUND	P (UG) / P(ug)
SIGN			POWER METER	
BUILDING LINE			UTILITY POLE	
CONTOURS	-432	-432	JUNCTION BOX (TYPE 1,2,3)	
WATER LINE			LUMINAIRE	
FIRE HYDRANT			YARD LIGHT	
WATER METER			TELEPHONE	
WATER VALVE			GAS	
FIRE DEPARTMENT CONN.			GAS METER	
POST INDICATOR VALVE			GAS VALVE	
PEDESTRIAN ACCESS PATH			PROPERTY LINE	
FENCE				

⑦ - DEMOLITION CONSTRUCTION NOTES:

- DEMOLISH EXISTING BUILDING. DISPOSE OF OFF-SITE.
- DEMOLISH EXISTING BARRIER CURB. DISPOSE OF OFF-SITE.
- DEMOLISH EXISTING ASPHALT/CONCRETE PAVEMENTS. DISPOSE OF OFF-SITE.
- REMOVE EXISTING GRAVEL. CONFIRM REUSE WITH GEOTECH ENGINEER.
- REMOVE EXISTING UNDERGROUND POWER LINE AND DISPOSE OF OFF-SITE.
- REMOVE EXISTING UNDERGROUND TELECOMMUNICATIONS LINE AND DISPOSE OF OFF-SITE. COORDINATION REMOVAL WITH PURVEYOR.
- REMOVE GAS LINE AND DISPOSE OF OFF-SITE. COORDINATION REMOVAL WITH PURVEYOR.
- REMOVE EXISTING LOT LIGHTS AND DISPOSE OF OFF-SITE.
- PROTECT EXISTING UNDERGROUND POWER, ASSOCIATED JUNCTION BOX, AND POWER VAULT TO REMAIN.
- REMOVE EXISTING FENCE AND DISPOSE OF OFF-SITE.
- REMOVE EXISTING STORM STRUCTURES. DISPOSE OF OFF-SITE.
- PROTECT EXISTING TREE TO REMAIN. SEE TREE PROTECTION NOTE THIS SHEET.
- PROTECT EXISTING CURB/CURB AND GUTTER TO REMAIN.
- PROTECT EXISTING UNDERGROUND TELECOMMUNICATION LINE TO REMAIN.
- PROTECT EXISTING SANITARY SEWER LINE AND ASSOCIATED STRUCTURE TO REMAIN.
- PROTECT EXISTING STORM STRUCTURES AND PIPING TO REMAIN.
- PROTECT EXISTING POWER VAULT TO REMAIN.
- PROTECT EXISTING SIGN TO REMAIN.
- PROTECT EXISTING FIRE HYDRANT TO REMAIN.
- PROTECT EXISTING WATER MAIN TO REMAIN.
- PROTECT EXISTING GAS LINE, GAS VALVE, AND ASSOCIATED PIPING TO REMAIN.
- REMOVE EXISTING ROCKS AND DISPOSE OF OFF-SITE.
- REMOVE EXISTING WHEEL STOPS (TYP.) AND DISPOSE OF OFF-SITE.
- PROTECT EXISTING BILLBOARD TO REMAIN.
- REMOVE WATER SERVICE AND DISPOSE OF OFF-SITE. INSTALL BRASS PLUG AT WATER MAIN TO ABANDON.
- REMOVE EXISTING FENCE POST. DISPOSE OF OFF-SITE.
- REMOVE EXISTING MONITORING WELL. DISPOSE OF OFF-SITE. CONTRACTOR TO PROTECT ALL EXISTING MONITORING WELLS TO THE MAXIMUM EXTENT FEASIBLE. MODIFICATION TO ANY EXISTING MONITORING WELL MUST BE COORDINATED WITH ARCO'S MONITORING WELL PROGRAM. ALL EXISTING MONITORING WELLS TO BE REMOVED OR ABANDONED SHALL BE PER D.O.E. STANDARDS. CONTRACTOR SHALL PROVIDE A LICENSED DRILL CONTRACTOR TO APPLY FOR M.O.I. W/D.O.E. TO DECOMMISSION WELL AND SUBMIT PROOF OF COMPLETED ABANDONMENT PRIOR TO OCCUPANCY/PERMIT FINAL.
- REMOVE EXISTING STORM PIPING. DISPOSE OF OFF-SITE.
- REMOVE AND RELOCATE EXISTING TELEPHONE CABINET. CONTRACTOR TO COORDINATE AND CONFIRM SCOPE OF WORK WITH PURVEYOR.
- EXISTING SIGN TO BE RE-INSTALLED. FINAL LOCATION TO BE APPROVED WITH ROW INSPECTOR.
- REMOVE EXISTING GAS METER AND DISPOSE OF OFF-SITE. COORDINATION REMOVAL WITH PURVEYOR.
- REMOVE EXISTING POWER METER AND DISPOSE OF OFF-SITE. COORDINATION REMOVAL WITH PURVEYOR.
- REMOVE EXISTING SANITARY SIDE SEWER AND DISPOSE OF OFF-SITE. CUT AND CAP AT MAIN.
- PROTECT EXISTING WHEEL STOPS TO REMAIN.
- PROTECT EXISTING LOT LIGHT TO REMAIN.
- REMOVE EXISTING FIRE HYDRANT AND DISPOSE OF OFF-SITE. INSTALL BRASS PLUG AT WATER MAIN TO ABANDON.

DEMOLITION NOTES:

- ALL PAVEMENTS, SLABS, GROUND COVER, UTILITIES, ETC., INSIDE LIMITS OF DISTURBANCE SHALL BE REMOVED UNLESS OTHERWISE SHOWN ON THE PLANS.
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH THE VARIOUS UTILITY COMPANIES ON REQUESTING DISCONNECTIONS, REMOVALS AND/OR RELOCATION OF EXISTING SERVICE.
- CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND CONSTRUCTION APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL REPLACE ALL EXISTING CURB, PAVEMENT AND/OR LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL, PRIOR TO CONSTRUCTION OR REMOVAL OF IMPROVEMENTS, FIELD VERIFY AND CONFIRM LIMITS OF DEMOLITION AS WELL AS EXISTING UTILITIES AND IMPROVEMENTS TO REMAIN.

TREE PROTECTION NOTE:

EXISTING TREES TO REMAIN SHALL BE PROTECTED. CONTRACTOR TO ENSURE NO DAMAGE ON TREE ROOT ZONES OCCUR. CONTRACTOR TO INSTALL/IMPLEMENT TREE PROTECTION MEASURES AS NECESSARY.

TEMPORARY EXCAVATION SLOPE NOTE:

CONTRACTOR TO ENSURE TEMPORARY SLOPES HAVE A MAXIMUM SLOPE INCLINATION OF 1.5H:1V. CONTRACTOR TO REFER TO THE GEOTECHNICAL ENGINEERING STUDY PREPARED BY KRAZEN & ASSOCIATES, INC. DATED MAY 6, 2022 FOR EXCAVATION AND SLOPE REQUIREMENTS.

DUST CONTROL NOTES:

CONTRACTOR SHALL DETERMINE THE APPLICABILITY OF DUST CONTROL AND APPLY APPROPRIATE DUST CONTROL MEASURES AS NEEDED.

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- SWEEP DAILY (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP STREETS DAILY (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

DEMOLITION PLAN
FOR
ARCO ampm PUYALLUP
SEC. 33, TWN. 20 N, RGE. 4 E, W.M.
CITY OF PUYALLUP, PIERCE COUNTY

NOTIFICATION REQUIREMENT NOTE:

PROPOSED DEVELOPMENT INCLUDES WORK ON ADJACENT PARCELS. CONTRACTOR TO CONFIRM WITH BP FUELS FOR ANY RESTRICTIONS, TEMPORARY EASEMENTS OR AGREEMENTS FOR CONSTRUCTION, PROPER NOTIFICATION TIMING, AND PHASING CONSIDERATIONS TO LIMIT DISTURBANCE TO ADJACENT PROPERTY OWNERS.

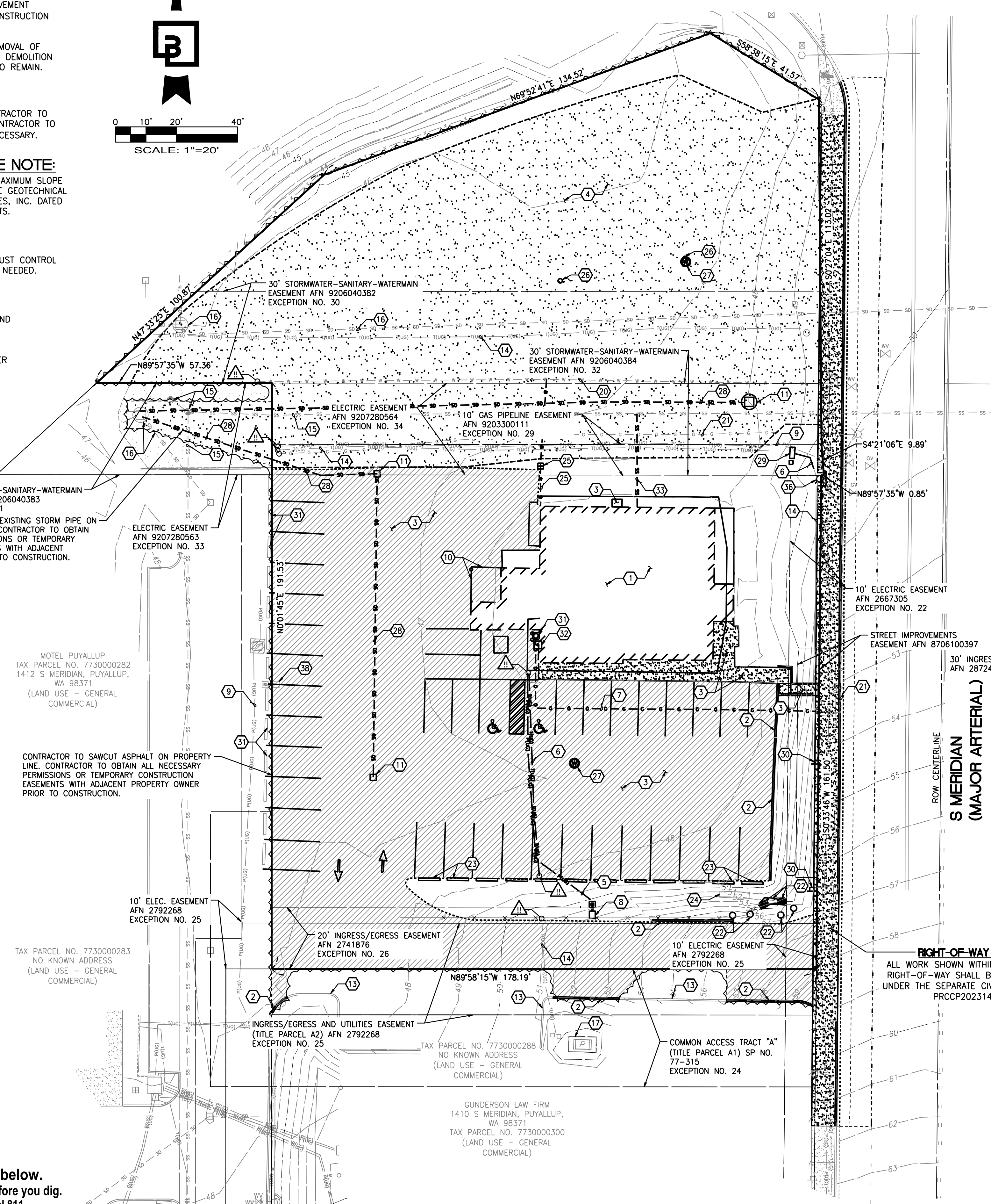
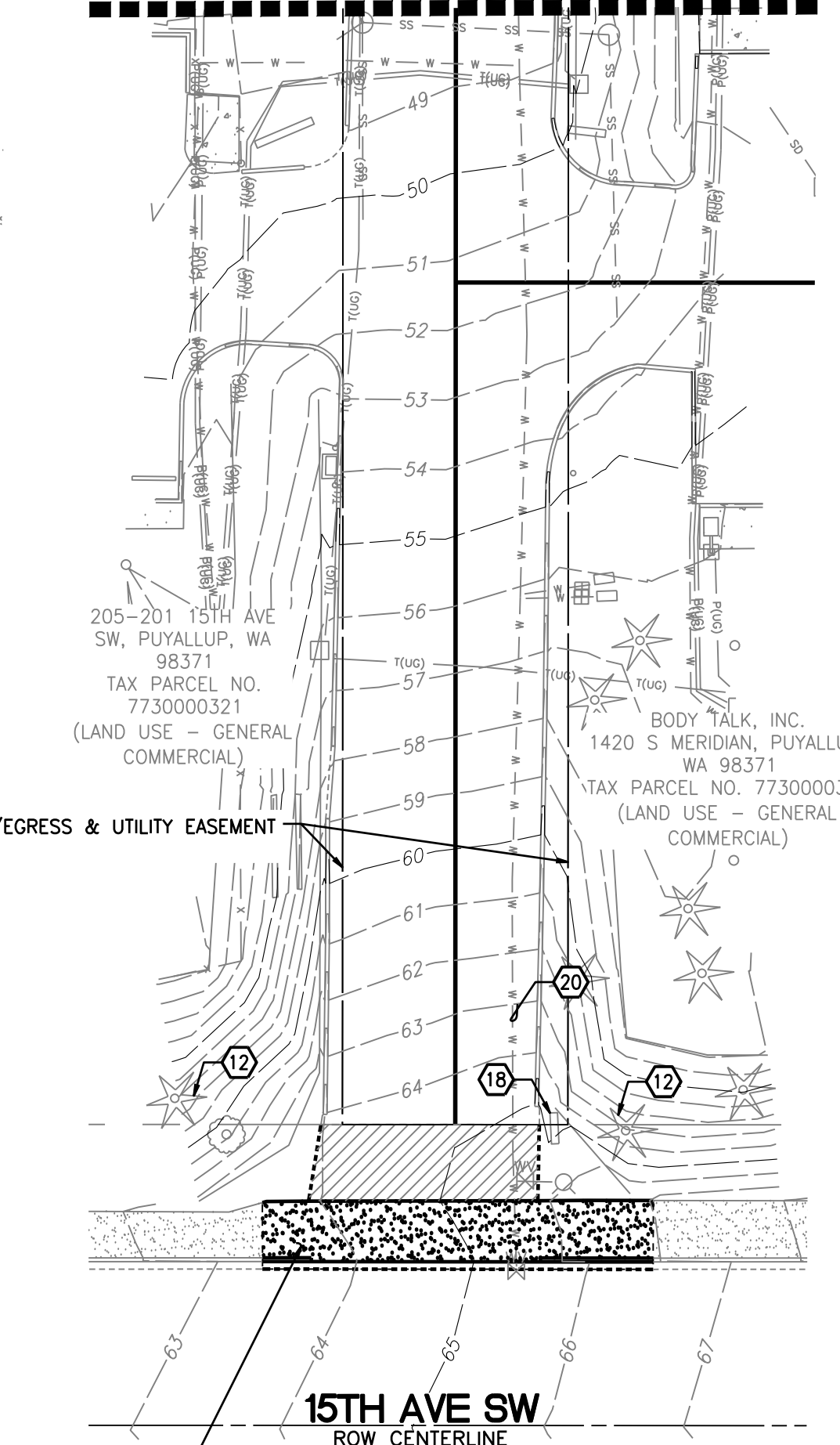
DEMO LEGEND:

- CONCRETE TO BE REMOVED
- ASPHALT TO BE REMOVED
- CURB TO BE REMOVED
- SAWCUT LINE
- LIMITS OF DISTURBANCE

CONSTRUCTION SEQUENCE:

- HOLD A PRECONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
- CONSTRUCT PERIMETER DITCHES, SILT FENCES, AND OTHER DEVICES.
- CONSTRUCT PROTECTION DEVICES FOR CRITICAL AREAS AND SIGNIFICANT TREES PROPOSED FOR RETENTION. SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CONSTRUCT STORM DRAINAGE RETENTION/DETENTION FACILITIES. PROVIDE EMERGENCY OVERFLOW AS APPLICABLE.
- ALL DITCHES AND SWALE DIRECT ALL SURFACE WATER TO THE RETENTION/DETENTION AND SEDIMENTATION POND AS CLEARING AND GRADING PROGRESSES. NO UNCONTROLLED SURFACE WATER SHALL BE ALLOWED TO LEAVE THE SITE. CLEARLY STATE AT WHAT POINT GRADING ACTIVITIES CAN BEGIN.
- IDENTIFY EROSION CONTROL MEASURES WHICH REQUIRE REGULAR MAINTENANCE.

MATCHLINE - SEE LEFT FOR CONTINUATION



UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UTILITY PROTECTION NOTE:

APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS. CONTRACTOR TO COORDINATE WITH PURVEYORS AND USE EXTREME CAUTION WHEN EXCAVATING ON-SITE. UNTIL EXISTING GAS AND POWER SERVICE LOCATIONS ARE CONFIRMED, CONTRACTOR TO ORDER INDEPENDENT UTILITY LOCATES (INCLUDING GAS AND POWER) FOR THE FULL SCOPE OF WORK PRIOR TO CONSTRUCTION OR ANY GROUND DISTURBING ACTIVITIES.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 48 HOURS IN ADVANCE AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

811 Know what's below. Call before you dig. Dial 811

MATCHLINE - SEE RIGHT FOR CONTINUATION

CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

B

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION

SEAL: **ALEX WHITE**
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
1/12/24

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 6 MPD's

SITE ADDRESS:
1402 S. MERIDIAN
@ HIGHWAY 512
PUYALLUP, WASHINGTON

FACILITY #TBD

DESIGNED BY: JDF ALLIANCE 2800:
CHECKED BY: AW BP REPM:
DRAWN BY: JDF ALLIANCE PM:
VERSION: PROJECT NO.:
21730

APPROVED

BY: **CITY OF PUYALLUP**
DEVELOPMENT ENGINEERING

DATE: _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

DRAWING TITLE:
DEMOLITION PLAN

SHEET NO.:
EN2.0

TESC CONSTRUCTION NOTES:

- INSTALL SILTATION FENCE PER CITY OF PUYALLUP STANDARD DETAIL 02.03.02 AROUND PERIMETER OF SITE TO PREVENT SILT-LADEN RUNOFF FROM LEAVING SITE. ADJUST LOCATION AS DIRECTED BY THE CITY INSPECTOR. SEE DETAIL 6/EN2.4.
- INSTALL CATCH BASIN INSERTS IN ALL CATCH BASINS LOCATED ON-SITE PER BMP C220-INLET PROTECTION OF THE 2019 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (2019 SWMMWW). SEE DETAIL 3/EN2.4.
- APPROXIMATE LOCATION OF CONSTRUCTION STAGING AREA. CONTRACTOR TO USE THIS AREA FOR TEMPORARY STOCKPILE STORAGE AND CONCRETE WASHOUT PER 2019 SWMMWW BMP C154-CONCRETE WASHOUT AREA. SEE DETAIL 4/EN2.4. ADJUST SIZE AND LOCATION OF AREA AS NEEDED DURING CONSTRUCTION.
- INSTALL CONSTRUCTION ENTRANCE PER CITY OF PUYALLUP STANDARD DETAIL 05.01.01. ADJUST LOCATION AS NEEDED OR AS DIRECTED BY THE CITY INSPECTOR. SEE DETAIL 5/EN2.4.
- INSTALL TEMPORARY CONSTRUCTION FENCE AND SITE ACCESS GATE (6' HIGH-CHAIN LINK WITH LOCKING DEVICE) AT TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 4/EN2.3.
- APPROXIMATE LIMITS OF DISTURBANCE.
- APPROXIMATE LOCATION OF TEMPORARY SEDIMENT TRAP PER 2019 SWMMWW BMP C240. MINIMUM REQUIRED SURFACE AREA FOR SEDIMENT TRAP IS 1,000 SF MIN. CONTRACTOR TO ENSURE SEDIMENT TRAP LENGTH TO WIDTH RATIO OF 3:1. SEE DETAIL 1/EN2.4. TOP ELEVATION: 44.00. BOTTOM ELEVATION: 42.00.
- APPROXIMATE LOCATION OF TEMPORARY "V" DITCH. SEE DETAIL 5/EN2.3.
- APPROXIMATE LOCATION OF TEMPORARY ROCK CHECK DAM, PER 2019 SWMMWW BMP C207. SEE DETAIL 2/EN2.4.
- INSTALL CATCH BASIN INSERTS IN ALL CATCH BASINS LOCATED WITHIN DRIVE AISLES PER WSDOT STANDARD DETAIL 1-40.20-00. CONTRACTOR TO ALSO INSTALL CATCH BASIN INSERTS IN ANY CATCH BASIN LOCATED WITH 500' OF THE JOB SITE. SEE DETAIL 2/EN2.3.
- APPROXIMATE LOCATION OF DEWATERING EXTRACTION POINT (TYP. OF 12). REFER TO COMPLETE DEWATERING PLAN PREPARED BY BENDER, LLC.
- DEWATERING WATER TO BE DISCHARGED TO THE SANITARY SEWER. REFER TO COMPLETE DEWATERING PLAN PREPARED BY BENDER, LLC.

EROSION CONTROL NOTES:

- ALL NECESSARY EQUIPMENT AND MATERIALS SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID INSTALLATION OF EROSION AND SEDIMENT CONTROL BMPs WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
- ADEQUATE EROSION AND SEDIMENT CONTROL AND PERIMETER PROTECTION BEST MANAGEMENT PRACTICE MEASURES MUST BE INSTALLED AND MAINTAINED.
- CONTRACTOR TO IMPLEMENT SLOPE STABILIZATION MEASURES AS NECESSARY FOR EXPOSED SLOPES DURING CONSTRUCTION. MEASURES CAN INCLUDE TEMPORARY AND PERMANENT SEEDING PER DOE BMP C120.

DUST CONTROL NOTES:

- CONTRACTOR SHALL DETERMINE THE APPLICABILITY OF DUST CONTROL AND APPLY APPROPRIATE DUST CONTROL MEASURES AS NEEDED.
- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
 - WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
 - COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
 - SWEEP DAILY (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
 - SWEEP STREETS DAILY (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

SOIL STABILIZATION AND REVEGETATION:

- EXPOSED AREAS AND SOIL STOCKPILES MUST BE STABILIZED ACCORDING TO THE FOLLOWING SCHEDULE:
- FROM APRIL 1 TO OCTOBER 31 ALL DISTURBED AREAS AT FINAL GRADE AND ALL EXPOSED AREAS THAT ARE SCHEDULED TO REMAIN UNWORKED FOR MORE THAN 30 DAYS SHALL BE STABILIZED WITHIN 10 DAYS.
 - FROM NOVEMBER 1 TO MARCH 31 ALL EXPOSED SOILS AT FINAL GRADE SHALL BE STABILIZED IMMEDIATELY USING PERMANENT OR TEMPORARY MEASURES. EXPOSED SOILS WITH AN AREA GREATER THAN 5,000 SQUARE FEET THAT ARE SCHEDULED TO REMAIN UNWORKED FOR MORE THAN 24 HOURS AND EXPOSED AREAS OF LESS THAN 5,000 SQUARE FEET THAT WILL REMAIN UNWORKED FOR MORE THAN SEVEN (7) DAYS SHALL BE STABILIZED IMMEDIATELY.

UTILITY POTHOLING NOTE:

THE CIRCLED LOCATIONS ARE REQUIRED TO BE POTHOLED. VERIFY VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITY AND/OR POTENTIAL CONFLICTS WITH EXISTING UTILITIES. POTHOLING SHALL BE PERFORMED PRIOR TO INSTALLING ANY PROPOSED UTILITIES. CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. OF ANY CONFLICTS.

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 48 HOURS IN ADVANCE AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

TEMPORARY SHORING AND DEEP EXCAVATION NOTE:

TANK AND STORM FACILITY EXCAVATIONS SHALL BE PER OSHA REQUIREMENTS. TANK AND STORM FACILITY EXCAVATIONS THAT REQUIRE SHORING SHALL BE ENGINEERED AND PERMITTED SEPARATELY AND SHALL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

TEMPORARY CONSTRUCTION DEWATERING NOTE:

TEMPORARY CONSTRUCTION DEWATERING MAY BE REQUIRED DURING EXCAVATION AND CONSTRUCTION OF THE PROPOSED DETENTION VAULT AND USTS. CONTRACTOR SHALL REFER TO TEMPORARY DEWATERING PLAN PREPARED BY OTHERS.

TEMPORARY SEDIMENT TRAP DISCHARGE TESTING NOTE:

STORMWATER FROM THE TEMPORARY SEDIMENT TRAP MAY NOT BE DISCHARGED INTO THE MS4 WITHOUT PRIOR TESTING FROM THE ON-SITE CECIL OR GEOTECHNICAL ENGINEER PER THE CONSTRUCTION STORMWATER GENERAL PERMIT STORMWATER PREVENTION PLAN.

SOIL AMENDMENT NOTE:

ALL SOIL DISTURBED FOR LANDSCAPE AREA SHALL BE AMENDED PER CITY OF PUYALLUP STANDARD DETAIL 1.02.08A. REFER TO DETAIL 3/EN2.3.

TREE PROTECTION NOTE:

EXISTING TREES TO REMAIN SHALL BE PROTECTED. CONTRACTOR TO ENSURE NO DAMAGE ON TREE ROOT ZONES OCCUR. CONTRACTOR TO INSTALL/IMPLEMENT TREE PROTECTION MEASURES AS NECESSARY.

TEMPORARY EXCAVATION SLOPE NOTE:

CONTRACTOR TO ENSURE TEMPORARY SLOPES HAVE A MAXIMUM SLOPE INCLINATION OF 1.5H:1V. CONTRACTOR TO REFER TO THE GEOTECHNICAL ENGINEERING STUDY PREPARED BY KRAZAN & ASSOCIATES, INC. DATED MAY 6, 2022 FOR EXCAVATION AND SLOPE REQUIREMENTS.

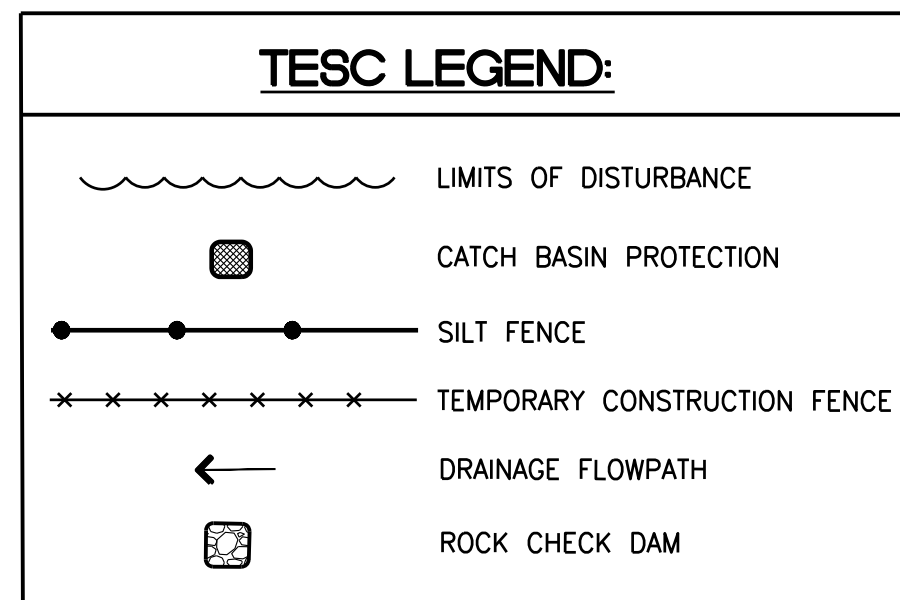
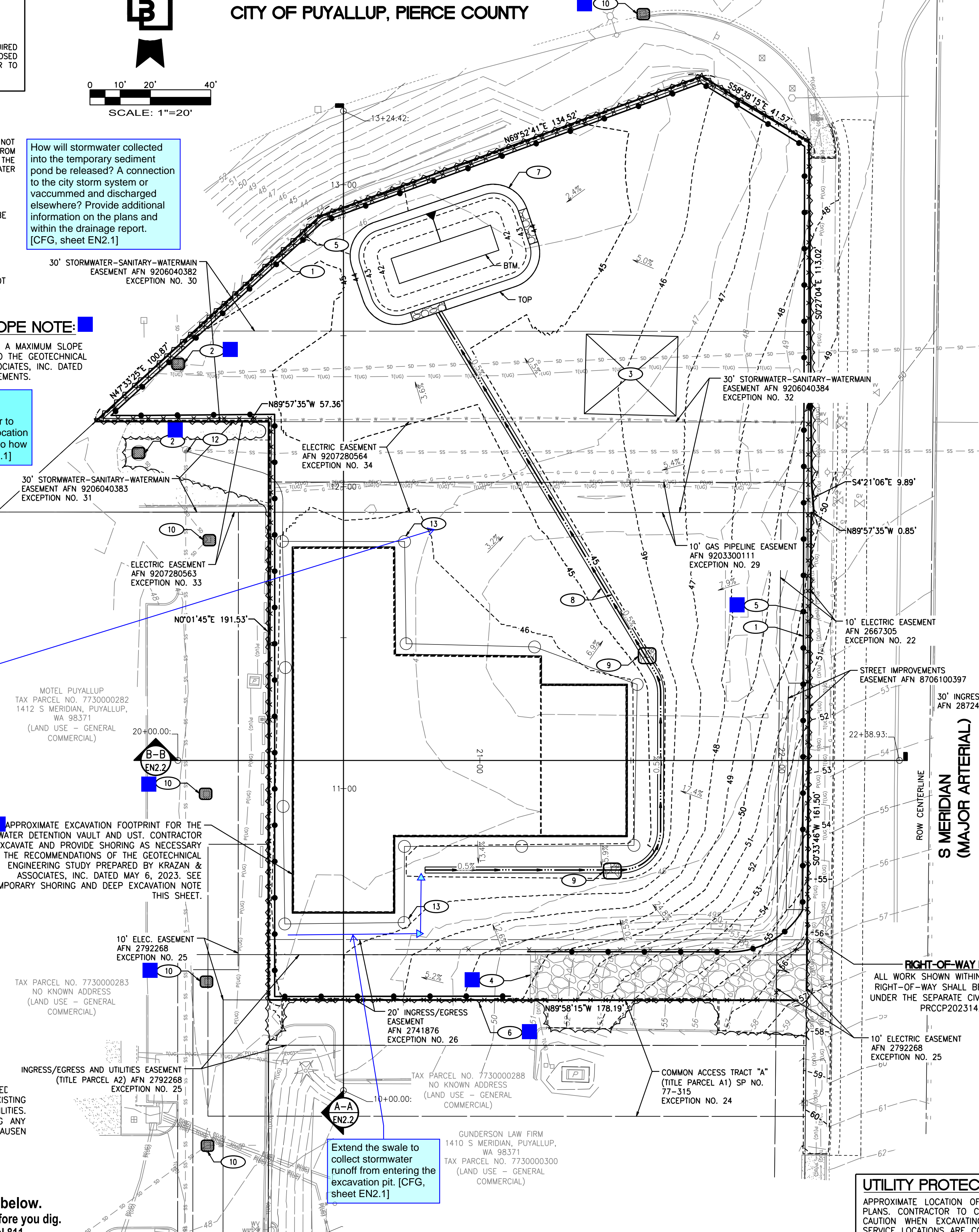
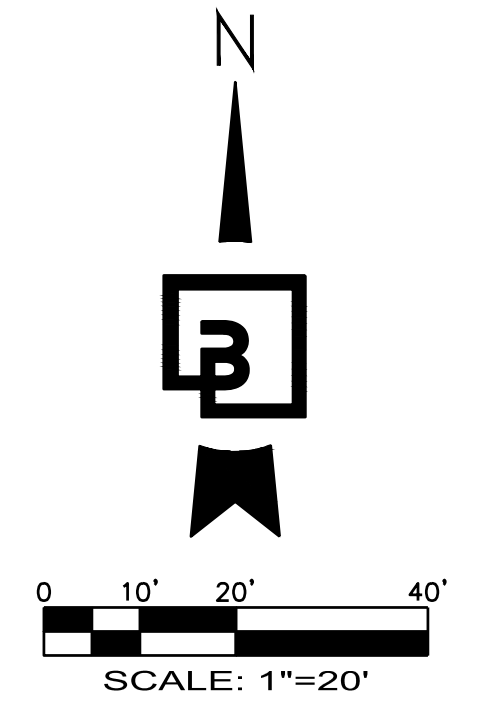
How will stormwater collected into the temporary sediment pond be released? A connection to the city storm system or vacuummed and discharged elsewhere? Provide additional information on the plans and within the drainage report. [CFG, sheet EN2.1]

The city does not allow groundwater to be discharged to sanitary sewer unless all other methods are infeasible. Pump the groundwater to baker tanks for storage/discharge. Show the location of the tanks on the plans and make a note as to how the water will be discharged. [CFG, sheet EN2.1]

Callout 13 appears to be callout 11 which is depicting the dewatering wells. Revise accordingly. [CFG, sheet EN2.1]

TESC PLAN

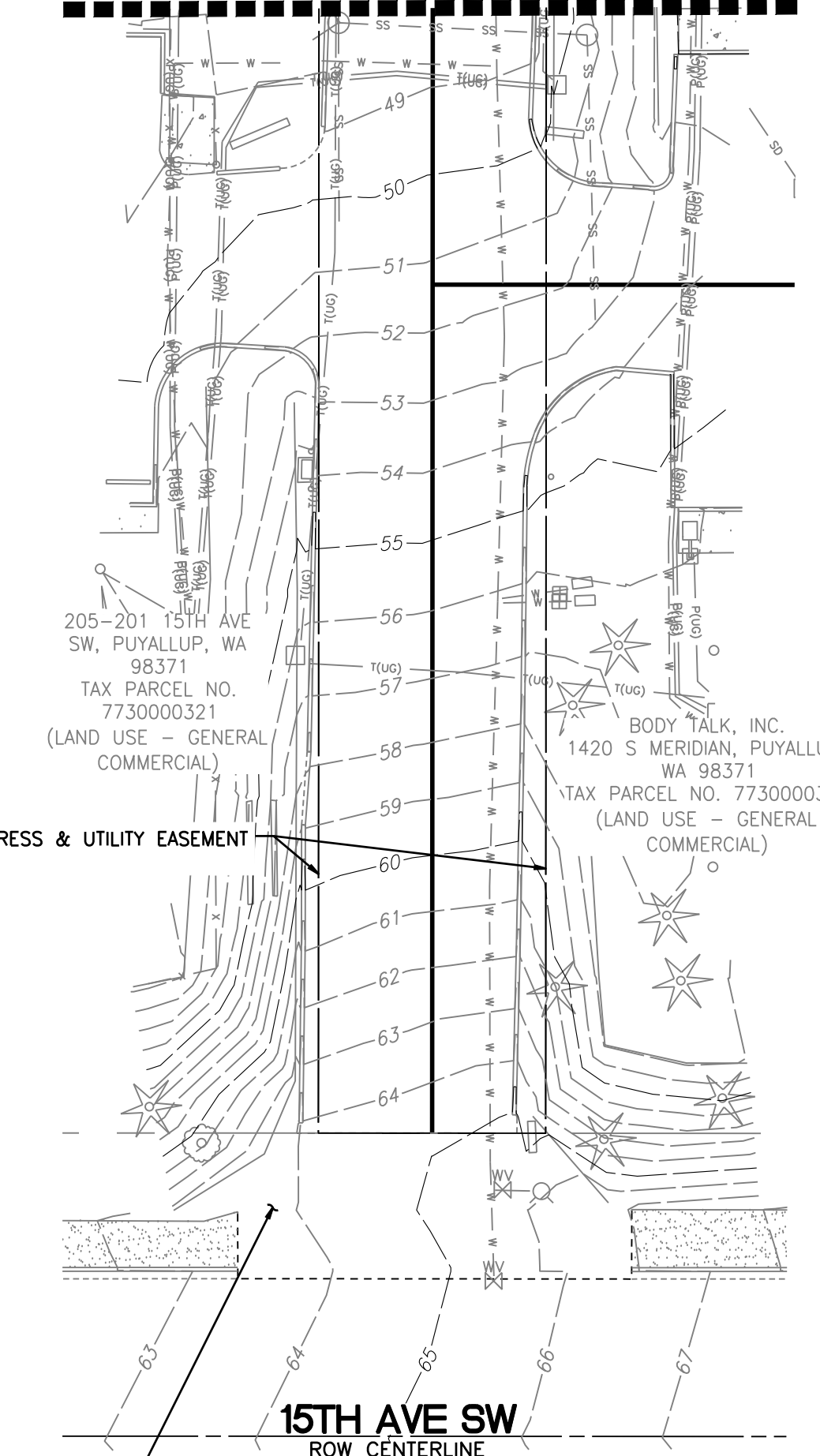
FOR
ARCO ampm PUYALLUP
SEC. 33, TWN. 20 N, RGE. 4 E, W.M.
CITY OF PUYALLUP, PIERCE COUNTY



CONSTRUCTION SEQUENCE:

- HOLD A PRECONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
- CONSTRUCT PERIMETER DITCHES, SILT FENCES, AND OTHER DEVICES.
- CONSTRUCT PROTECTION DEVICES FOR CRITICAL AREAS AND SIGNIFICANT TREES PROPOSED FOR RETENTION.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CONSTRUCT STORM DRAINAGE RETENTION/DETENTION FACILITIES. PROVIDE EMERGENCY OVERFLOW AS APPLICABLE.
- ALL DITCHES AND SWALE DIRECT ALL SURFACE WATER TO THE RETENTION/DETENTION AND SEDIMENTATION POND AS CLEARING AND GRADING PROGRESSES. NO UNCONTROLLED SURFACE WATER SHALL BE ALLOWED TO LEAVE THE SITE. CLEARLY STATE AT WHAT POINT GRADING ACTIVITIES CAN BEGIN.
- IDENTIFY EROSION CONTROL MEASURES WHICH REQUIRE REGULAR MAINTENANCE.

MATCHLINE - SEE LEFT FOR CONTINUATION



RIGHT-OF-WAY NOTE

ALL WORK SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED UNDER THE SEPARATE CIVIL PERMIT NO. PRCCP20231423

UTILITY PROTECTION NOTE:

APPROXIMATE LOCATION OF EXISTING GAS SERVICE IS SHOWN ON THESE PLANS. CONTRACTOR TO COORDINATE WITH PURVEYOR AND USE EXTREME CAUTION WHEN EXCAVATING ON-SITE, UNTIL EXISTING GAS AND POWER SERVICE LOCATIONS ARE CONFIRMED. CONTRACTOR TO ORDER INDEPENDENT UTILITY LOCATES (INCLUDING GAS AND POWER) FOR THE FULL SCOPE OF WORK PRIOR TO CONSTRUCTION OR ANY GROUND DISTURBING ACTIVITIES.

CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION

ALEX WHITE
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
1/12/24

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 6 MPD's

SITE ADDRESS:
1402 S. MERIDIAN
@ HIGHWAY 512
PUYALLUP, WASHINGTON

FACILITY #TBD

DESIGNED BY: JDF ALLIANCE 2800:
CHECKED BY: AW BP REP:
DRAWN BY: JDF ALLIANCE PM:
VERSION: PROJECT NO:
21730

APPROVED

BY: CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE:

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

DRAWING TITLE:
TESC PLAN

SHEET NO:
EN2.1

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Dial 811

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GEOTECHNICAL RECOMMENDATIONS

THE FOLLOWING NOTES HAVE BEEN REFERENCED FROM THE REPORT TITLED "GEOTECHNICAL ENGINEERING INVESTIGATION" DATED MAY 6, 2022, PREPARED BY KRAZAN & ASSOCIATES, INC. REFER TO THE COMPLETE REPORT FOR ALL EARTHWORK REQUIREMENTS.

SITE PREPARATION:
GENERAL SITE CLEARING SHOULD INCLUDE REMOVAL OF TOPSOIL MATERIAL, ASPHALTIC CONCRETE, ABANDONED UTILITIES, AND STRUCTURES INCLUDING FOUNDATIONS, SLABS, RUBBLE, AND TRASH, DOWN TO NATIVE SUITABLE SOILS. IN ADDITION, ANY BURIED STRUCTURES, SUCH AS GREASE TRAPS, SEPTIC TANKS, UNDERGROUND STORAGE TANKS, DEBRIS PITS, CESSPOOLS, OR SIMILAR STRUCTURES, SHOULD BE COMPLETELY REMOVED AND BACKFILLED WITH STRUCTURAL FILL. THE UNDOCUMENTED FILL AND THE NATIVE VERY LOOSE SANDS AND VERY SOFT TO MEDIUM STIFF ORGANIC SILT/PEAT, CLAY, AND SANDY OR CLAYEY SILT ENCOUNTERED IN OUR FIELD EXPLORATIONS ARE CONSIDERED UNSUITABLE FOR SUPPORT OF THE AM/PM BUILDING, FUEL CANOPY STRUCTURE, CAR WASH STRUCTURE, FLOOR SLABS AND EXTERIOR SLABS-ON-GRADE, AND PAVEMENT LOADS.

BASED ON THE SHALLOW GROUNDWATER LEVELS ENCOUNTERED IN OUR EXPLORATIONS CONDUCTED IN MARCH 2022, TEMPORARY DEWATERING MEASURES WILL LIKELY BE REQUIRED TO CONDUCT THE OVER-EXCAVATION OF UNSUITABLE SOILS, ESPECIALLY IF CONSTRUCTION TAKES PLACE DURING THE "WET WEATHER" SEASON.

KRAZAN & ASSOCIATES RECOMMEND THE UNDOCUMENTED FILL AND UNSUITABLE NATIVE SOILS BE OVER-EXCAVATED TO A DEPTH OF AT LEAST 2 FEET BELOW THE FOOTING BEARING LEVEL FOR SHALLOW FOUNDATIONS OR THE PLANNED SUBGRADE ELEVATION FOR SLABS-ON-GRADE OR PAVEMENTS. DEEPER EXCAVATIONS MAY BE REQUIRED IF SOFT AND YIELDING SOIL CONDITIONS ARE EXPOSED AT THE BOTTOM OF THE OVER-EXCAVATION. A LAYER OF ROCK SPALLS SHALL BE PLACED ON THE EXCAVATION BOTTOM AND TAMPED IN-PLACE TO PROVIDE A STABLE WORKING SURFACE FOR PLACEMENT OF STRUCTURAL FILL. KRAZAN & ASSOCIATES RECOMMEND A HIGH-STRENGTH GEOTEXTILE SEPARATION FABRIC, SUCH AS MIRAFI 600X OR EQUIVALENT, THEN BE PLACED OVER THE ROCK SPALLS. AFTER THE FABRIC IS PLACED, THE AREA SHOULD BE FILLED TO THE PLANNED PAVEMENT SUBGRADE ELEVATION WITH STRUCTURAL FILL. THE STRUCTURAL FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY (ASTM D1557) AND TO WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT. IN-PLACE DENSITY TESTS SHOULD BE PERFORMED TO VERIFY PROPER MOISTURE CONTENT AND ADEQUATE COMPACTION LEVELS ARE ACHIEVED IN THE STRUCTURAL FILL. AN EXISTING RESTAURANT BUILDING IS LOCATED WITHIN THE EASTERN CENTRAL PORTION OF THE PROPERTY WHERE THE CANOPY AND FUEL PUMPS ARE PLANNED, AND EXTENDS INTO PART OF THE PROPOSED AREA OF THE FUTURE USTS. THE DEBRIS FROM DEMOLITION OF THE EXISTING BUILDING SHOULD BE HAULED OFF-SITE. AS-BUILT RECORDS FOR THE EXISTING BUILDING WERE NOT AVAILABLE AT THE TIME OF THIS REPORT. ASSUMING THE RESTAURANT IS SUPPORTED ON A SHALLOW FOUNDATION SYSTEM, THEN EXISTING CONCRETE FOOTINGS SHOULD BE COMPLETELY REMOVED WITHIN THE FOOTPRINT OF THE CANOPY STRUCTURE, AND TO A DEPTH OF AT LEAST 1-FOOT BELOW THE PLANNED SUBGRADE ELEVATION IN NEW PAVEMENT OR EXTERIOR SLAB-ON-GRADE AREAS. IF THE EXISTING BUILDING IS PILE SUPPORTED, THE TYPE AND LOCATION OF THE PILES WILL NEED TO BE EVALUATED PRIOR TO OR DURING CONSTRUCTION AS INFORMATION BECOMES AVAILABLE TO DETERMINE IF THE PILES SHOULD BE LEFT IN-PLACE, OR PARTIALLY OR COMPLETELY REMOVED. KRAZAN & ASSOCIATES SHOULD BE ONSITE FULL-TIME DURING THE DEMOLITION ACTIVITIES TO DOCUMENT THAT ALL BELOW-GRADE STRUCTURES HAVE BEEN PROPERLY REMOVED AND BACKFILLED WITH PROPERLY PLACED AND COMPACTED STRUCTURAL FILL, AND THAT THE RESULTING DEBRIS FROM THE DEMOLITION ACTIVITIES HAS BEEN HAULED OFF-SITE AND NOT RE-USED AS FILL AT ANY LOCATION ON THE PROPERTY.

WET SEASON
DURING WET WEATHER CONDITIONS, SUBGRADE STABILITY PROBLEMS AND GRADING DIFFICULTIES MAY DEVELOP DUE TO THE EXCESS MOISTURE, DISTURBANCE OF SENSITIVE SOILS, SHALLOW GROUNDWATER LEVELS, AND/OR THE PRESENCE OF PERCHED GROUNDWATER. CONSTRUCTION DURING EXTENDED PERIODS OF WET WEATHER COULD RESULT IN THE NEED TO REMOVE WET DISTURBED SOILS IF THEY CANNOT BE SUITABLY COMPACTED DUE TO ELEVATED MOISTURE CONTENTS. THE PREPARED SUBGRADE SHOULD BE PROTECTED FROM CONSTRUCTION TRAFFIC AND SURFACE WATER SHOULD BE DIVERTED AROUND THE PREPARED SUBGRADE. SOILS THAT HAVE BECOME UNSTABLE MAY REQUIRE OVER-EXCAVATION, OR DRYING AND RECOMPACTION. SELECTIVE DRYING MAY BE ACCOMPLISHED BY SCARIIFYING OR WINDROWING SURFICIAL MATERIAL DURING EXTENDED PERIODS OF DRY, WARM WEATHER (TYPICALLY DURING THE SUMMER MONTHS). IF THE SOILS CANNOT BE DRIED BACK TO A WORKABLE MOISTURE CONDITION, REMOVAL OF THE UNSTABLE SOILS OR THE USE OF REMEDIAL MEASURES MAY BE REQUIRED. THESE REMEDIAL MEASURES COULD INCLUDE PLACEMENT OF A BLANKET OF ROCK SPALLS TO PROTECT THE EXPOSED SUBGRADE AND CONSTRUCTION TRAFFIC AREAS. THE LATERAL EXTENT AND DEPTH OF ROCK SPALLS, IF REQUIRED, SHOULD BE DETERMINED BASED ON EVALUATION OF THE NEAR SURFACE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION. GENERAL PROJECT SITE WINTERIZATION SHOULD CONSIST OF THE PLACEMENT OF AGGREGATE BASE AND THE PROTECTION OF EXPOSED SOILS DURING THE CONSTRUCTION PHASE.

GROUNDWATER:
POREWATER PRESSURE DISSIPATION TESTS CONDUCTED ON MARCH 30, 2022 IN THE CPTS INDICATED A GROUNDWATER LEVEL RANGING BETWEEN 1.2 TO 3.7 FEET BGS. SHALLOW GROUNDWATER WAS ALSO ENCOUNTERED IN THE TEST PITS; HOWEVER, AFTER WAITING 3 HOURS THE WATER LEVEL WAS STILL RISING SO THE TEST PITS WERE BACKFILLED FOR SAFETY REASONS. TWO MONITORING WELLS INSTALLED BY OTHERS, ONE NEAR CPT-1 AND THE OTHER NEAR CPT-4, INDICATED WATER LEVELS AT 1.6 AND 1.5 FEET BGS. A MANHOLE COVER FOR THE COMMUNICATIONS LINE AT THE NORTHEAST SIDE OF THE SITE WAS REMOVED DURING OUR MARCH 28, 2022 SITE VISIT AND THE WATER LEVEL WAS MEASURED AT A DEPTH OF ABOUT 5.5 FEET BG.
DEWATERING
SUMP PIT AND PUMPING METHODS MAY BE ABLE TO HANDLE GROUNDWATER ENCOUNTERED IN SHALLOW EXCAVATIONS DEPENDING ON THE TIME OF YEAR CONSTRUCTION TAKES PLACE, THE PLANNED EXCAVATION DEPTH, AND THE SOILS ENCOUNTERED WITHIN THE EXCAVATION. THE TEST PITS CONDUCTED FOR THIS EXPLORATION ENCOUNTERED GROUNDWATER AS SHALLOW AS 1.5 FEET BGS, AND CAVE-IN OF THE PIT SIDEWALLS OCCURRED IN THE VERY LOOSE TO LOOSE SOILS AT ABOUT THE LEVEL GROUNDWATER WAS ENCOUNTERED. DEEPER EXCAVATIONS, SUCH AS FOR INSTALLATION OF THE USTS, WILL REQUIRE MORE A MORE AGGRESSIVE DEWATERING METHOD, SUCH AS WELL POINTS. TO MAINTAIN THE STABILITY OF THE EXCAVATION BOTTOM, GROUNDWATER LEVELS SHOULD BE DRAWN DOWN A MINIMUM OF 2 FEET BELOW THE LOWEST PORTION OF THE EXCAVATION. THE GROUNDWATER LEVEL SHOULD BE MAINTAINED BELOW THE RECOMMENDED LEVEL UNTIL THE BACKFILL HAS BEEN PLACED AND COMPACTED.

TEMPORARY EXCAVATIONS
THE ONSITE SOILS HAVE VARIABLE FRICTION AND COHESION STRENGTHS, THEREFORE THE SAFE ANGLES TO WHICH THESE MATERIALS MAY BE CUT FOR TEMPORARY EXCAVATIONS IS VARIABLE, AS THE SOILS MAY BE PRONE TO CAVING AND SLOPE FAILURES IN TEMPORARY EXCAVATIONS DEEPER THAN ABOUT 2 FEET OR AT THE LEVEL WHERE GROUNDWATER IS ENCOUNTERED. TEMPORARY EXCAVATIONS IN THE FILL MATERIAL AND UNDERLYING NATIVE SOILS SHOULD BE SLOPED NO STEEPER THAN 2H:1V (HORIZONTAL TO VERTICAL) WHERE ROOM PERMITS. DEPENDING ON SITE SOIL AND GROUNDWATER CONDITIONS, IT MAY BE NECESSARY TO FLATTEN THE SIDE SLOPES OF THE EXCAVATION AND LOWER THE GROUNDWATER LEVEL AS NECESSARY TO ACHIEVE STABLE CONDITIONS. SLOPE CUTS INTO EXCAVATIONS GREATER THAN 20 FEET IN DEPTH SHOULD BE DESIGNED BY A PROFESSIONAL ENGINEER FOR THE CONTRACTOR.

UTILITY TRENCHING AND BACKFILL
THE ONSITE UNDOCUMENTED FILL AND NATIVE SOILS ARE CONSIDERED UNSUITABLE FOR RE-USE AS TRENCH BACKFILL. STRUCTURAL FILL SHOULD BE USED AS BACKFILL. TRENCH BACKFILL LIFTS SHOULD BE PLACED IN EQUAL MEASURES ON EACH SIDE OF THE UTILITY PIPE TO THE TOP OF THE PIPE. TRENCH BACKFILL LIFTS SHOULD NOT EXCEED 8 INCHES IN LOOSE THICKNESS PRIOR TO COMPACTION, WITH THE EXCEPTION THAT THE FIRST LIFT PLACED OVER THE PIPE MAY BE UP TO 14 INCHES IN LOOSE THICKNESS. EACH LIFT OF

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 48 HOURS IN ADVANCE AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

TRENCH BACKFILL SHOULD BE MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF ITS OPTIMUM MOISTURE CONTENT AND COMPACTED TO THE REQUIRED RELATIVE DENSITY PRIOR TO PLACEMENT OF ADDITIONAL LIFT LIFTS. A FIRM AND UNYIELDING SUBGRADE (I.E. BEARING SOILS AT BOTTOM OF TRENCH) SHOULD ALLOW FOR THE PROPER PLACEMENT OF SUBSURFACE UTILITIES. IF UNSTABLE SOILS ARE ENCOUNTERED AT THE UTILITY TRENCH BOTTOM, WE RECOMMEND PLACEMENT OF GEOTEXTILE AND QUARRY ROCK (ROCK SPALLS) ON THE BOTTOM OF UTILITY TRENCHES PRIOR TO PLACEMENT OF PIPE BEDDING TO PROVIDE A STABLE SUBGRADE FOR PLACEMENT OF THE PIPE BEDDING, UTILITY, AND TRENCH BACKFILL. THE THICKNESS OF THE ROCK SPALL LAYER WILL DEPEND ON THE INSTABILITY OF THE SUBGRADE SOILS AT THE TIME OF EXCAVATION. PIPE BEDDING SHOULD BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATION.

STRUCTURAL FILL
BASED ON THE FIELD EXPLORATION, THE UNDOCUMENTED FILL AND NATIVE SOIL THAT WILL BE ENCOUNTERED WITHIN ROUGHLY THE UPPER 10 FEET DURING SITE DEVELOPMENT ARE CONSIDERED UNSUITABLE FOR RE-USE AS STRUCTURAL FILL MATERIAL DUE TO THEIR HIGH FINES CONTENT (PERCENT SILT AND/OR CLAY MATERIAL PASSING THE NO. 200 SIEVE), AS WELL AS ORGANIC CONTENT FOR THE SHALCAR MUCK ENCOUNTERED IN OUR EXPLORATIONS. THESE SOILS ARE CONSIDERED EXTREMELY MOISTURE-SENSITIVE AND WILL LIKELY DISTURB EASILY IN WET CONDITION.

IMPORTED FILL MATERIAL SHOULD BE ALL-WEATHER STRUCTURAL FILL CONSISTING OF WELL-GRADED GRAVEL OR A SAND AND GRAVEL MIXTURE WITH A MAXIMUM GRAIN SIZE OF 3 INCHES AND LESS THAN 5 PERCENT FINES (MATERIAL PASSING THE U.S. STANDARD NO. 200 SIEVE). STRUCTURAL FILL MAY ALSO CONSIST OF CRUSHED ROCK, ROCK SPALLS, OR CONTROLLED DENSITY FILL (CDF).

ALL STRUCTURAL FILL MATERIAL SHOULD BE SUBMITTED FOR APPROVAL TO THE GEOTECHNICAL ENGINEER AT LEAST 48 HOURS PRIOR TO DELIVERY TO THE SITE. FILL SOILS SHOULD BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES LOOSE THICKNESS, MOISTURE-CONDITIONED AS NECESSARY (MOISTURE CONTENT OF SOIL SHALL NOT VARY BY MORE THAN ±2 PERCENT OF ITS OPTIMUM MOISTURE CONTENT), AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY BASED ON ASTM TEST METHOD D1557 (MODIFIED PROCTOR). IN-PLACE DENSITY TESTS SHOULD BE PERFORMED ON ALL STRUCTURAL FILL TO DOCUMENT PROPER MOISTURE CONTENT AND ADEQUATE COMPACTION LEVELS HAVE BEEN ATTAINED. ADDITIONAL FILL LIFTS SHOULD NOT BE PLACED IF THE PREVIOUS LIFT DID NOT MEET THE COMPACTION REQUIREMENTS OR IF SOIL CONDITIONS ARE NOT CONSIDERED STABLE. PLACING SEVERAL LIFTS OF FILL AND THEN POTHOLES DOWN TO EACH LIFT TO CONDUCT COMPACTION TESTING IS NOT ACCEPTABLE, AND WILL REQUIRE COMPLETE REMOVAL OF THE FILL DOWN TO THE FIRST LIFT. PONDING OR JETTING THE SOIL IS NOT AN APPROVED METHOD OF SOIL COMPACTION

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LOADED WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS, AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE. FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES

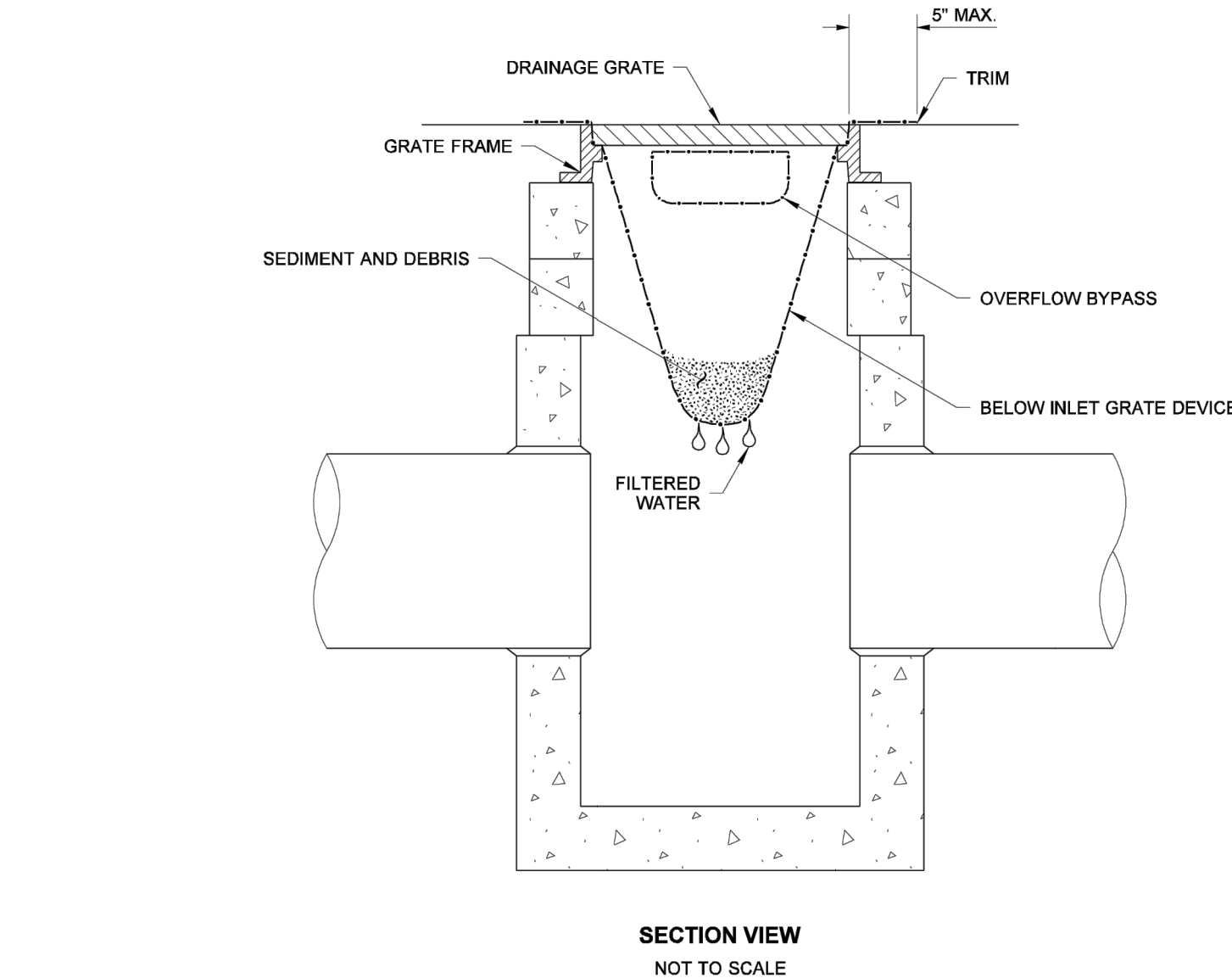
DESIGNED BY: ERIKEN/ANONIDA	CHECKED BY: LINDA LAIN	APPROVED BY: COLLEEN BARBER	DATE: 05.02.24
SCALE: AS SHOWN	DATE APPROVED: 05/02/2024	SCALE: 11	CITY STANDARD: 05.02.01

1 CITY OF PUYALLUP NOTES
EN2.3 SCALE: NTS

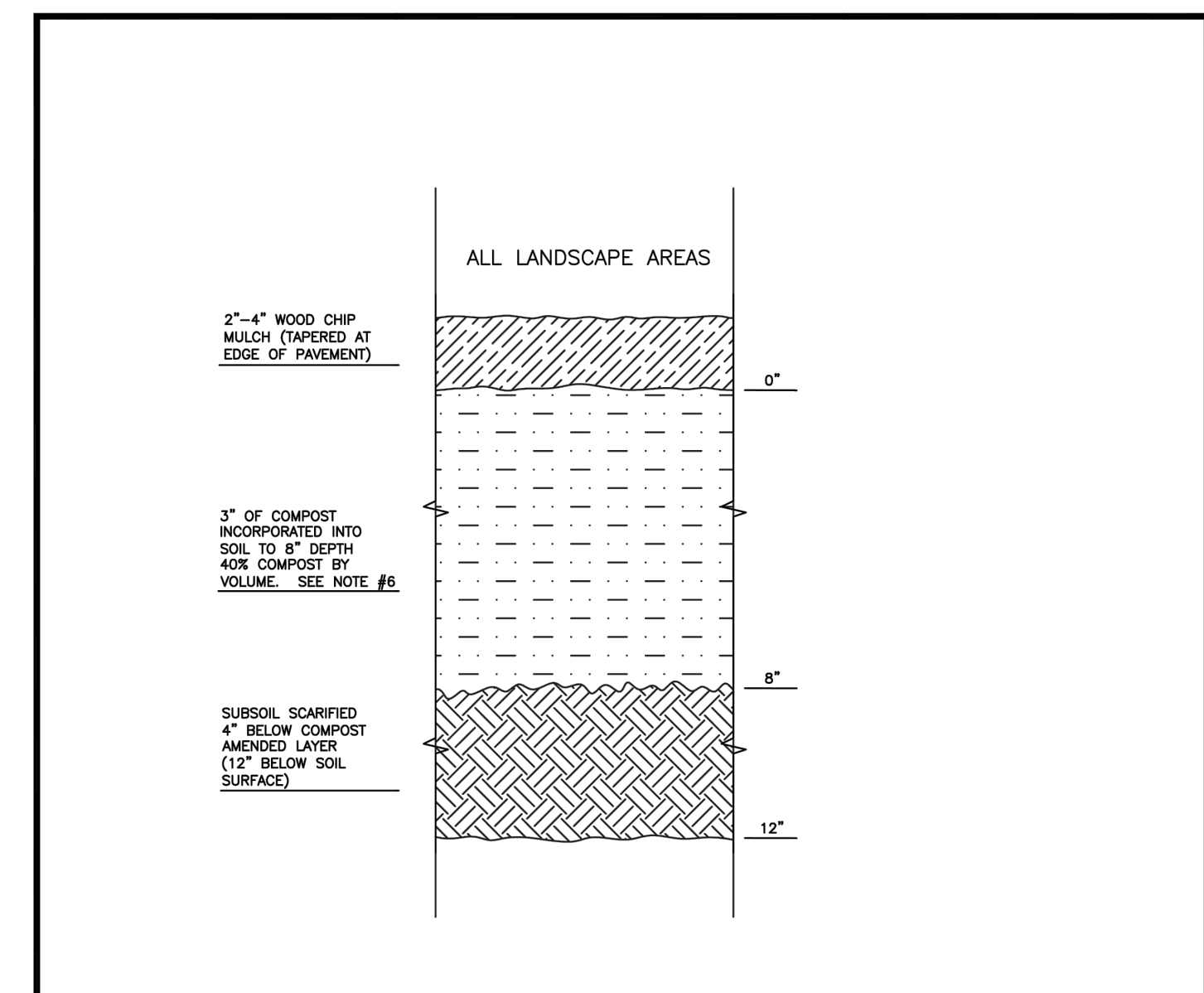
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TESC NOTES AND DETAILS

FOR
ARCO ampm PUYALLUP
SEC. 33, TWN. 20 N, RGE. 4 E, W.M.
CITY OF PUYALLUP, PIERCE COUNTY



2 STORM DRAIN INLET PROTECTION
EN2.3 SCALE: NTS



- NOTES:**
- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
 - SUBSOIL SHOULD BE SCARIFFED (LOOSENE) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFFING WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER. SEE NOTE BELOW REGARDING PLANTING STEPS FOR STREET TREES.
 - COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
 - PLANTING BEDS SHALL RECEIVE 3 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 4 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL. (8" OF LOOSE WOOD CHIPS AT THE TIME OF PLANTING TO ALLOW SETTLING TO 4").
 - SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METENS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.
 - SEE SECTION 8.2(8) OF THE VMS FOR SOIL AMENDMENT AND INSTRUCTION PROCEDURES FOR STREET TREE PLANTER STRIPS. ALL STREET TREE PLANTER STRIPS SHALL RECEIVE 40% COMPOST AMENDED SOIL TO THE FULL DEPTH OF THE STREET TREE ROOTBALL.

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

SOIL AMENDMENT AND DEPTH

DESIGNED BY: LINDA LAIN	CHECKED BY: CHRIS BEALE	APPROVED BY: COLLEEN BARBER	DATE: 01.02.2024
SCALE: AS SHOWN	DATE APPROVED: 01/02/2024	SCALE: 11	CITY STANDARD: 01.02.084

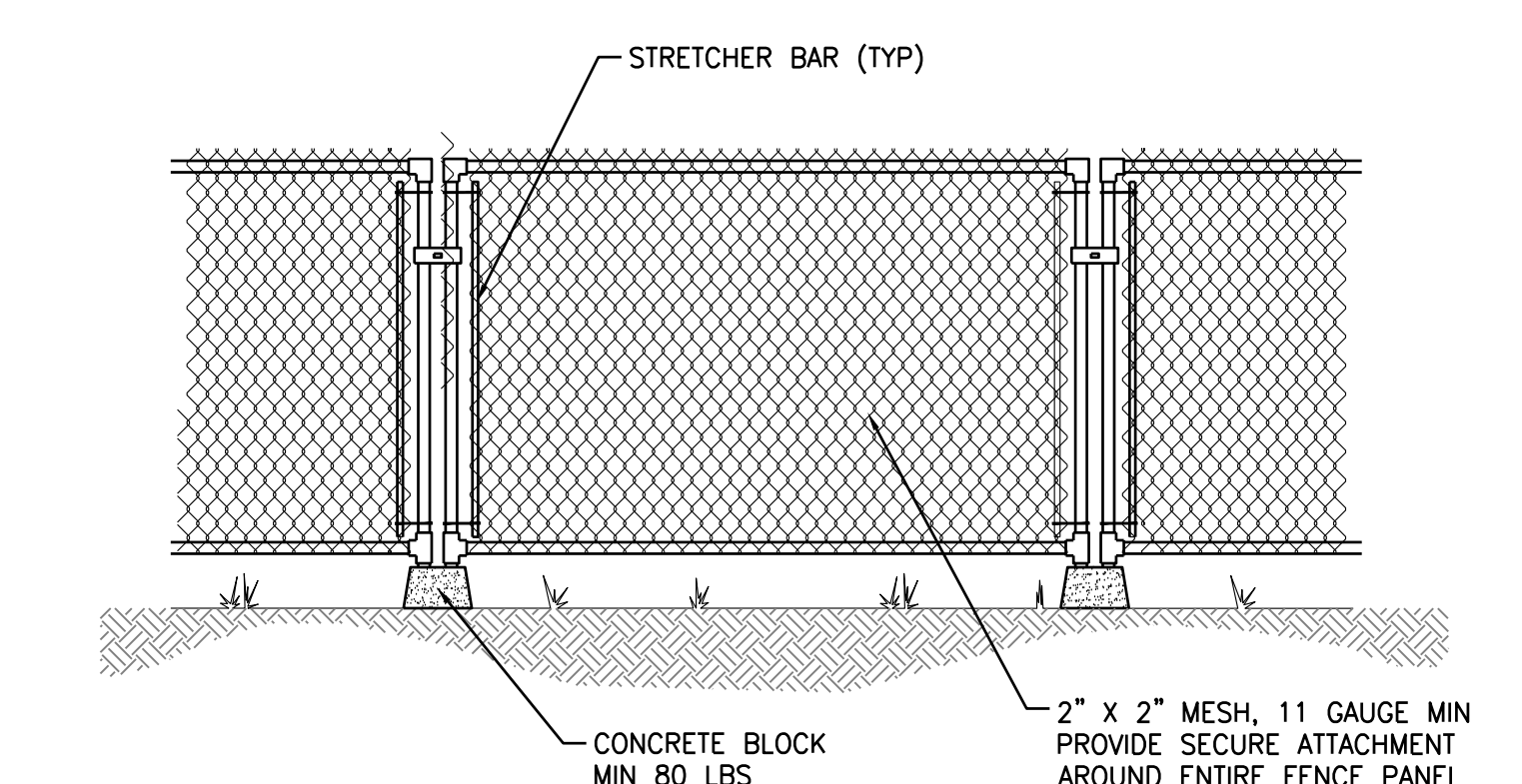
3 SOIL AMENDMENT AND DEPTH
EN2.3 SCALE: NTS

NOTES

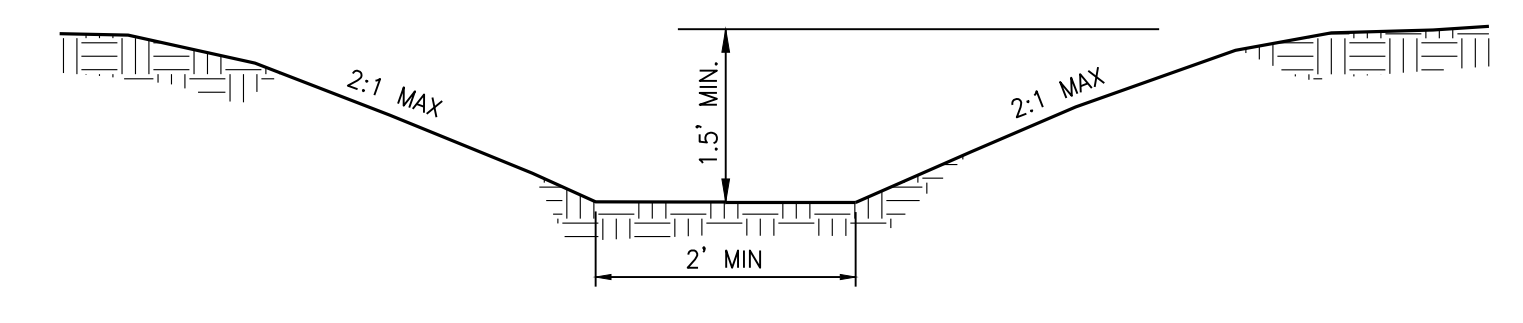
- Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
- The BIGD shall have a built-in high-flow relief system (overflow bypass).
- The retrieval system must allow removal of the BIGD without spilling the collected material.
- Perform maintenance in accordance with Standard Specification 8-01.3(15).

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
MARK W. MAURER
CERTIFICATE NO. 000598

STORM DRAIN INLET PROTECTION
STANDARD PLAN I-40.20-00
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 09-20-07
STATE DESIGN ENGINEER
Washington State Department of Transportation



4 TEMPORARY CONSTRUCTION FENCE
EN2.3 SCALE: NTS



5 TEMPORARY "V" DITCH
EN2.3 SCALE: NTS

APPROVED

BY: _____ CITY OF PUYALLUP DEVELOPMENT ENGINEERING
DATE: _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

CLIENT: **bp**

ARCO
BP WEST COAST PRODUCTS, LLC

B

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION DESCRIPTION

ALEX WHITE
STATE OF WASHINGTON
21088771
REGISTERED PROFESSIONAL ENGINEER
1/12/24

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 6 MPD'S

SITE ADDRESS:
1402 S. MERIDIAN
@ HIGHWAY 512
PUYALLUP, WASHINGTON

FACILITY #TBD

DESIGNED BY: JDF
CHECKED BY: AW
DRAWN BY: JDF
VERSION: -
PROJECT NO.: 21730

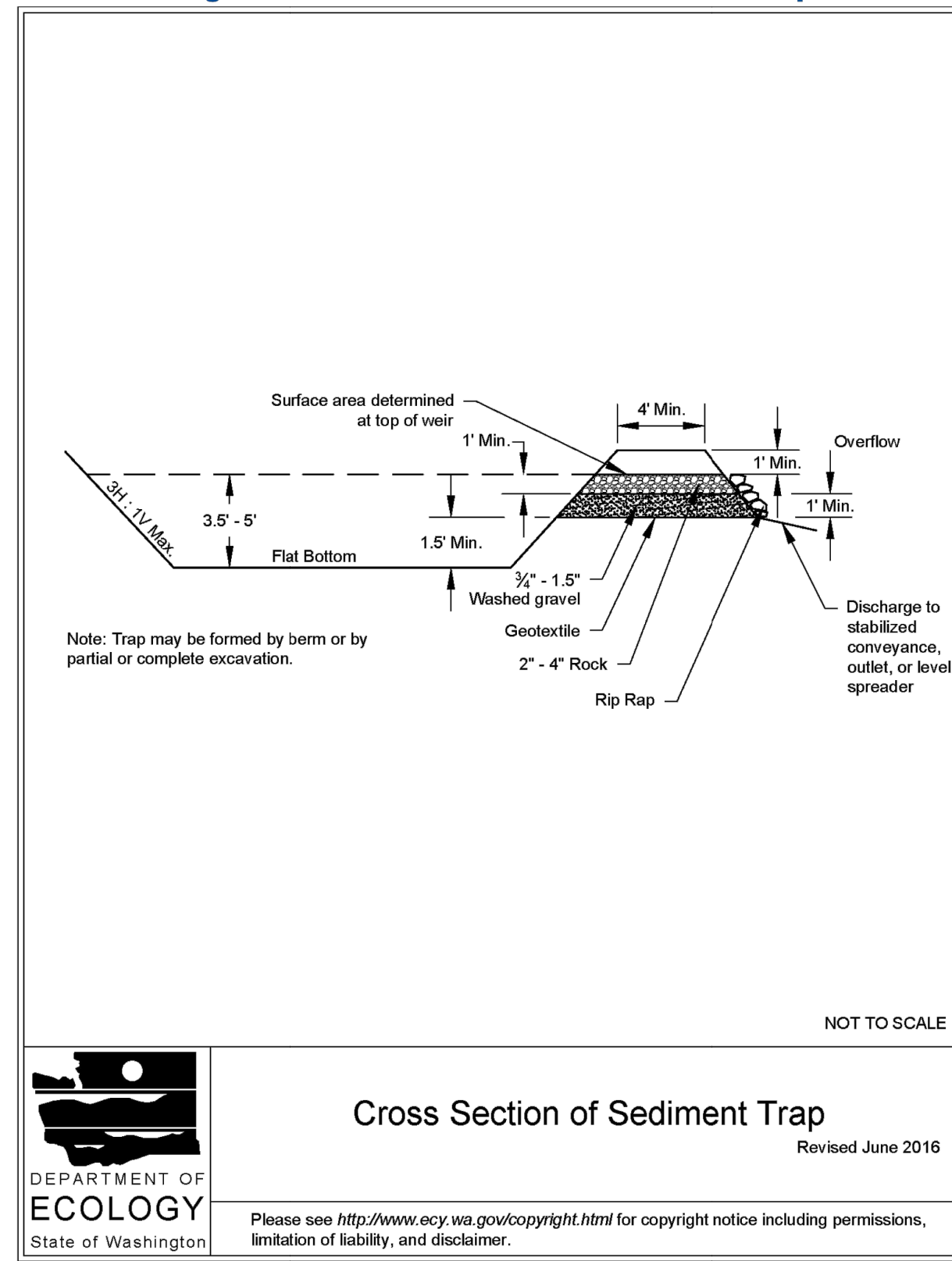
DRAWING TITLE:
TESC NOTES AND DETAILS

EN2.3

TESC DETAILS

FOR
ARCO ampm PUYALLUP
SEC. 33, TWN. 20 N, RGE. 4 E, W.M.
CITY OF PUYALLUP, PIERCE COUNTY

Figure II-3.26: Cross Section of Sediment Trap

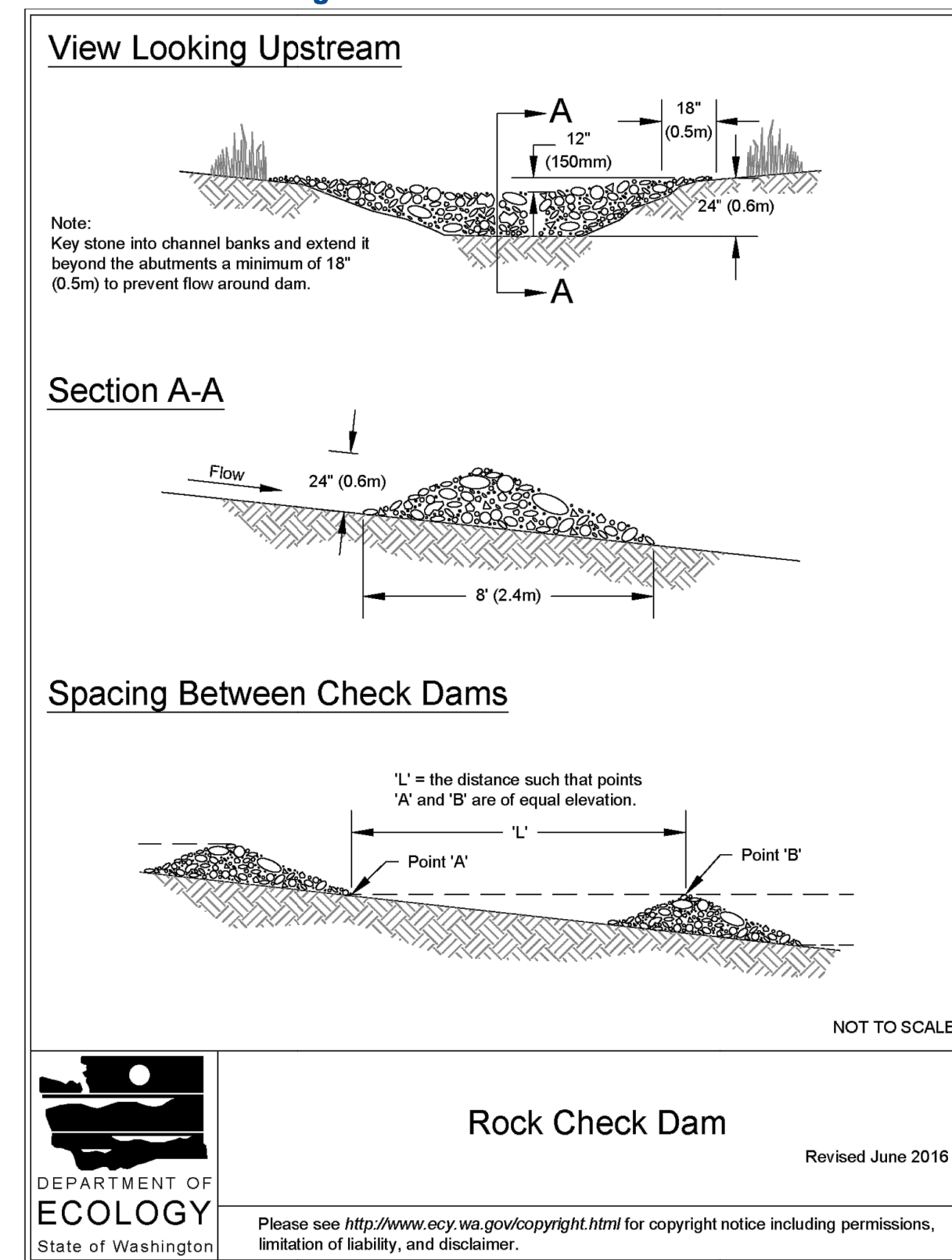


1
EN2.4 **SEDIMENT TRAP**
SCALE: NTS

Include Figure II-3.27 Sediment Trap Outlet or alternative detail. [CFG, sheet EN2.4]

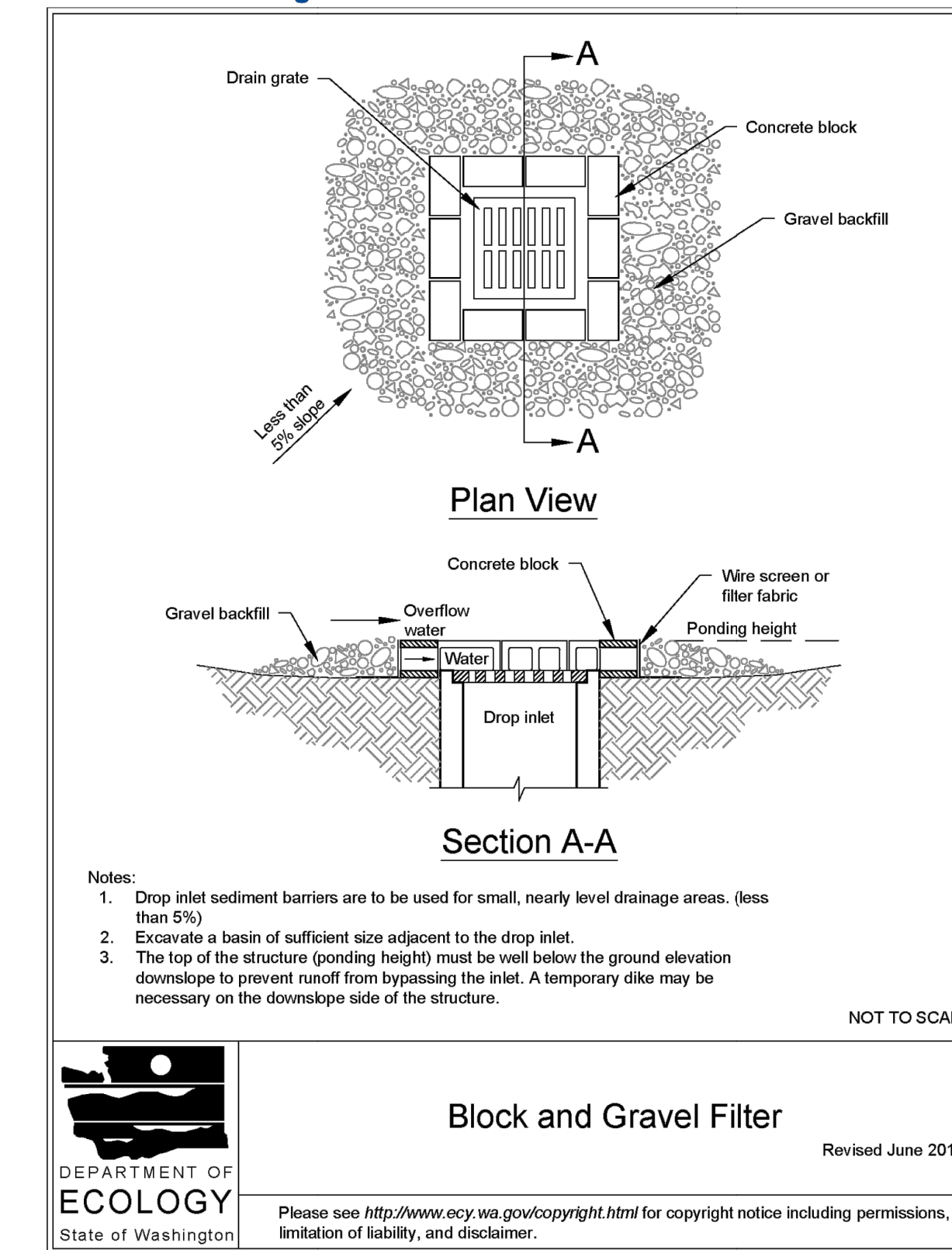
Provide a detail for the proposed dewatering wells. [CFG, sheet EN2.4]

Figure II-3.16: Rock Check Dam



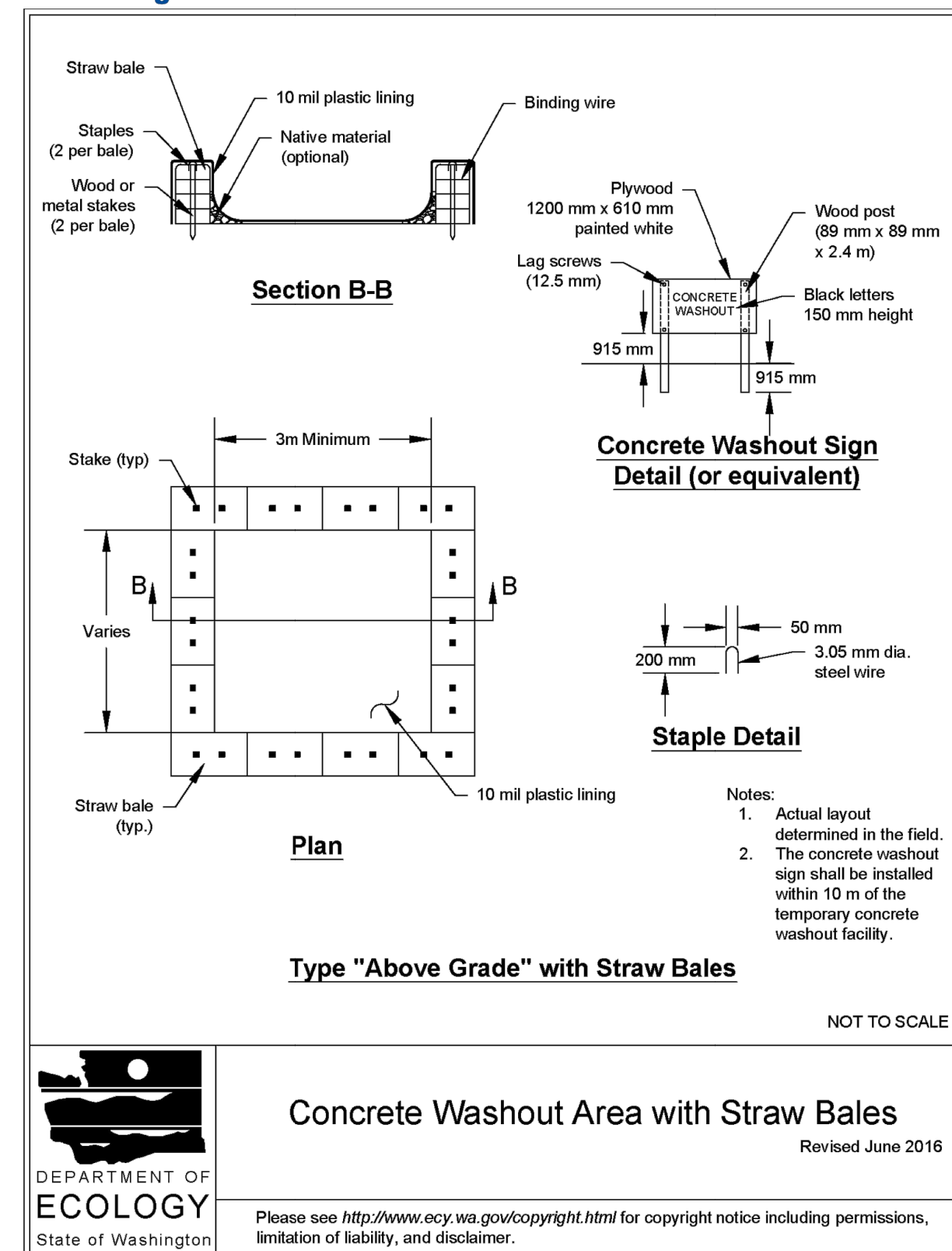
2
EN2.4 **ROCK CHECK DAM**
SCALE: NTS

Figure II-3.17: Block and Gravel Filter



3
EN2.4 **INLET PROTECTION**
SCALE: NTS

Figure II-3.8: Concrete Washout Area with Straw Bales



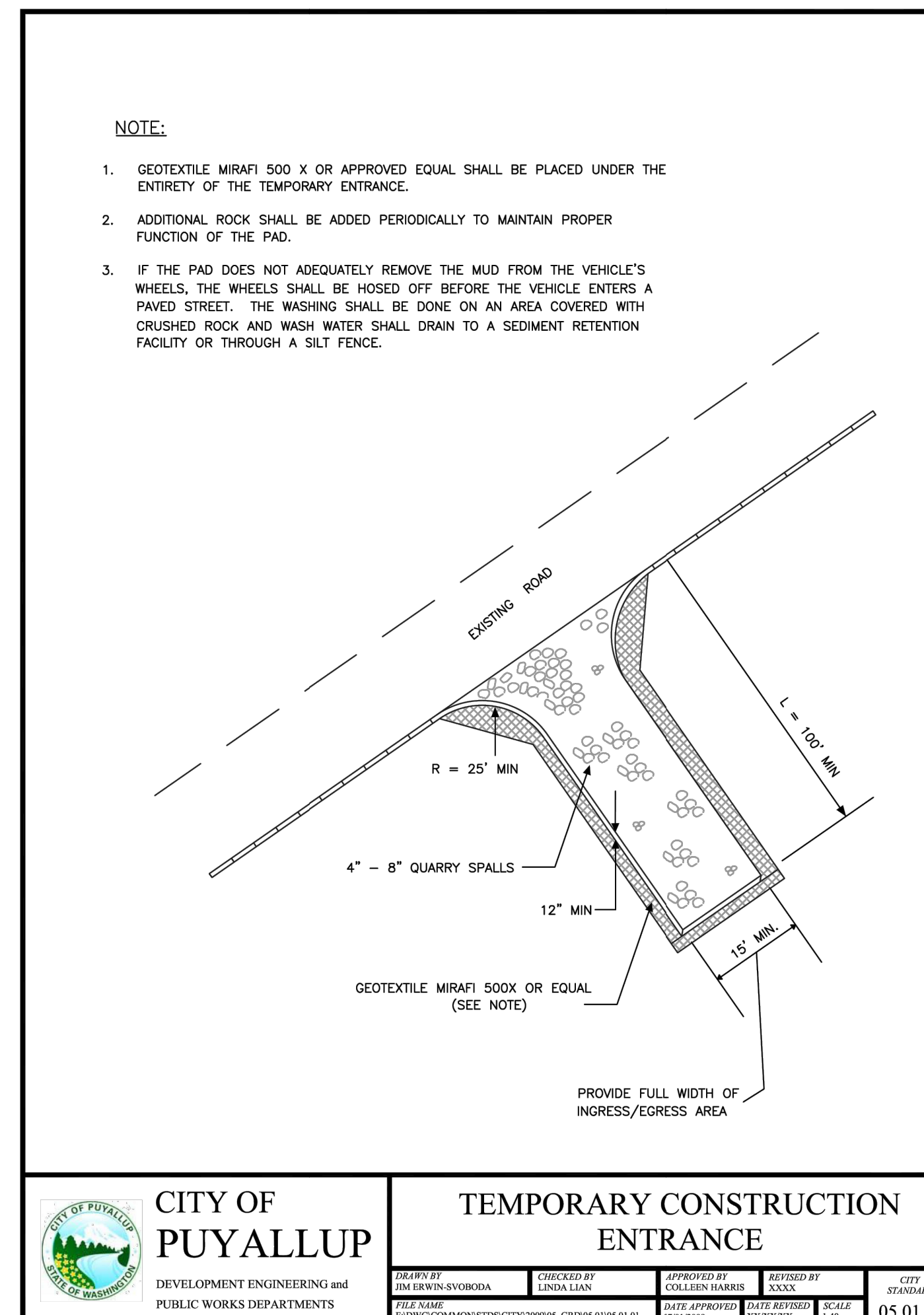
4
EN2.4 **CONCRETE WASHOUT**
SCALE: NTS

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 48 HOURS IN ADVANCE AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

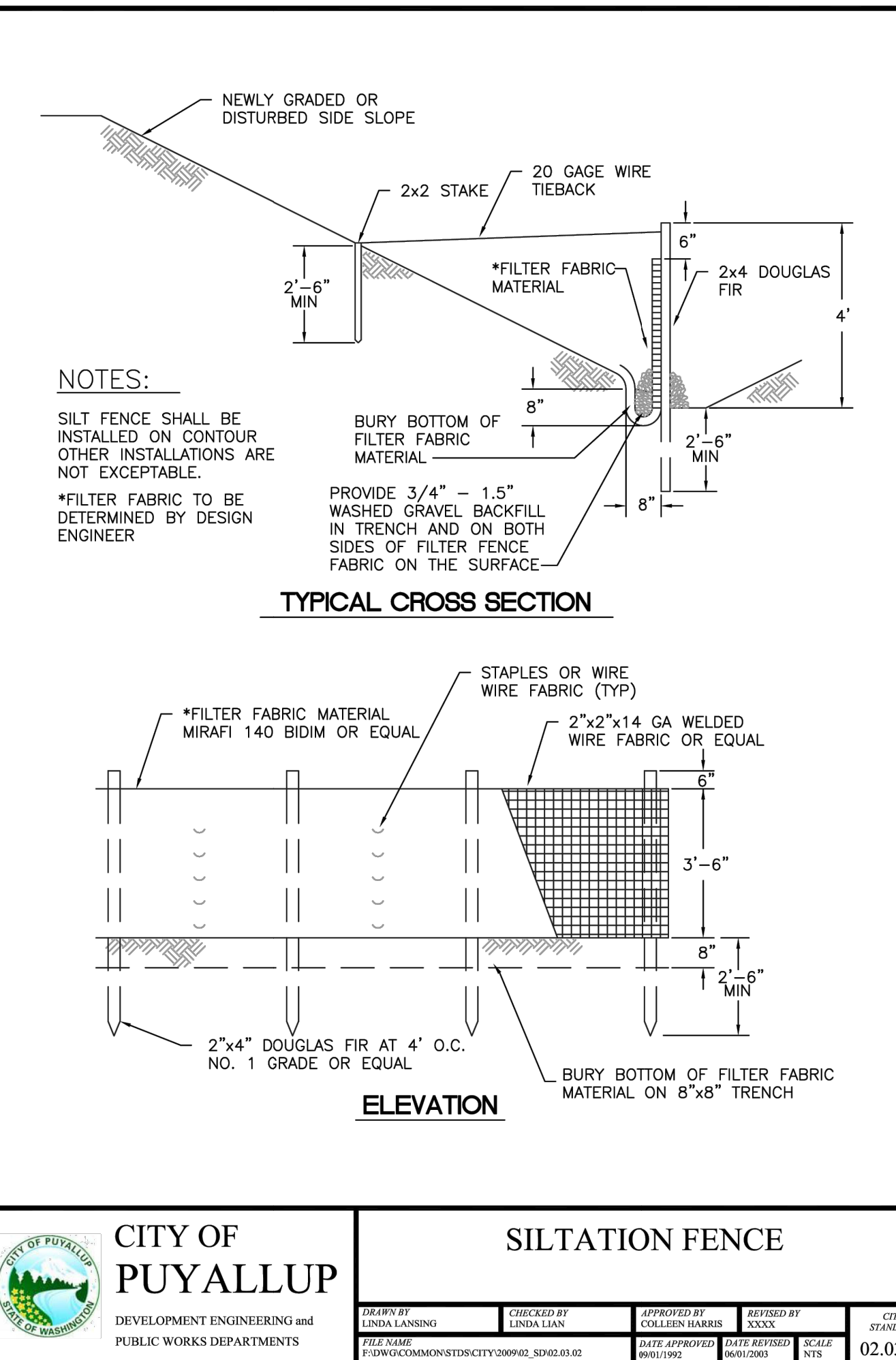


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- NOTE:**
- GEOTEXTILE MIRAFI 500 X OR APPROVED EQUAL SHALL BE PLACED UNDER THE ENTIRETY OF THE TEMPORARY ENTRANCE.
 - ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.
 - IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE'S WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.



5
EN2.4 **STABILIZED CONSTRUCTION ACCESS**
SCALE: NTS



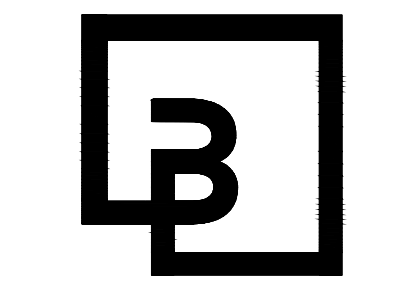
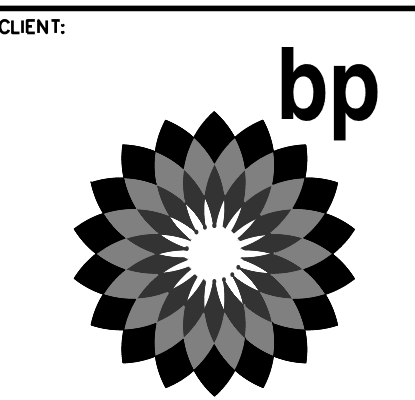
6
EN2.4 **SILTATION FENCE**
SCALE: NTS

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BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

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Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

NO.	DATE	REVISION	DESCRIPTION



1/12/24

DEVELOPMENT INFORMATION:
ARCO NTI
3400 am/pm
FUEL CANOPY w/ 6 MPD's

SITE ADDRESS:
1402 S. MERIDIAN
@ HIGHWAY 512
PUYALLUP, WASHINGTON

FACILITY #TBD

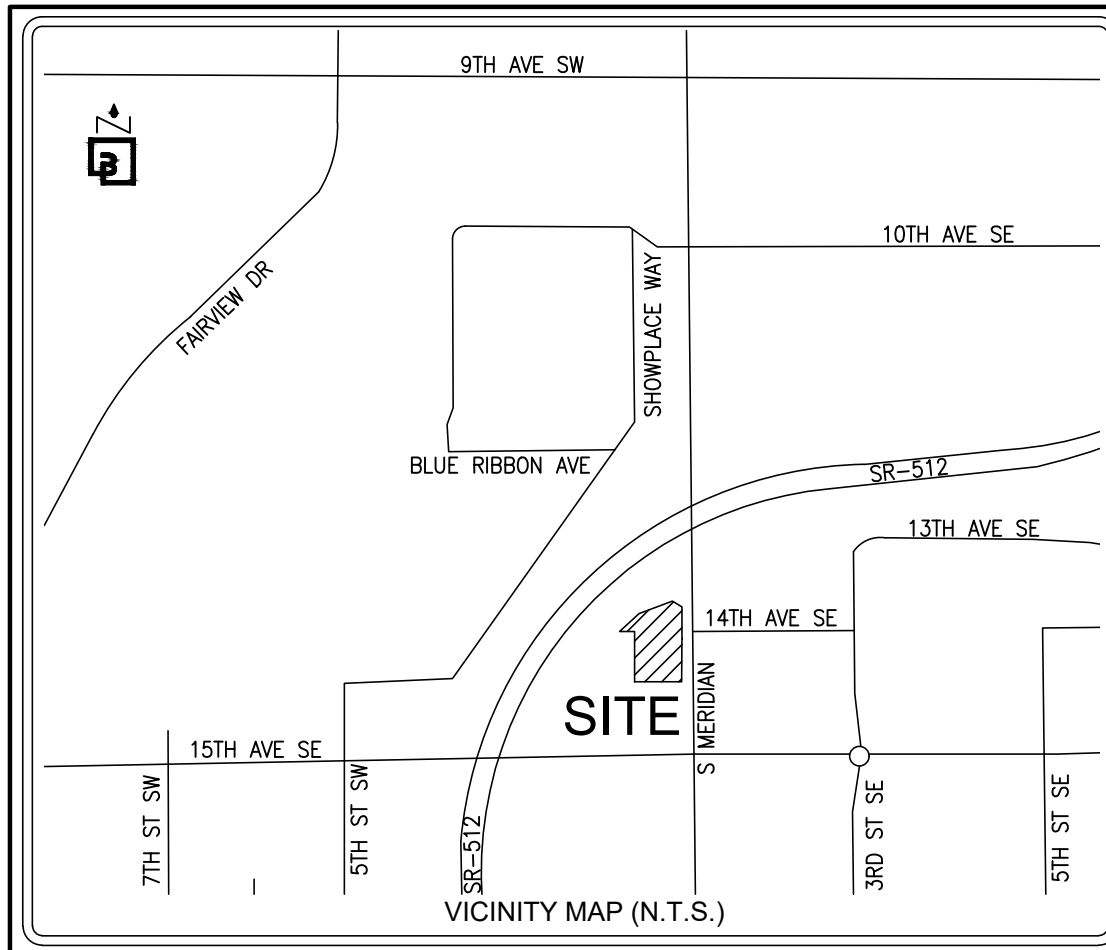
DESIGNED BY: JDF
CHECKED BY: AW
DRAWN BY: JDF
VERSION: -
ALLIANCE ZONE:
BP REPR:
ALLIANCE PM:
PROJECT NO.:
21730

DRAWING TITLE:
TESC DETAILS

SHEET NO.:

EN2.4

ALTA/NSPS LAND TITLE SURVEY



SURVEY INFORMATION:

HORIZONTAL DATUM – BASIS OF BEARINGS:
 NAD 83/2011 WASHINGTON STATE COORDINATE SYSTEM, SOUTH ZONE, ESTABLISHED BY GPS OBSERVATION UTILIZING THE WASHINGTON STATE REFERENCE NETWORK. THE BASIS OF BEARINGS IS N 00°33'46" E BETWEEN THE FOUND 2" BRASS DISK AT THE INTERSECTION OF S. MERIDIAN ST. & 15TH AVE SW AND THE FOUND 2" IRON PIPE W/TACK IN MONUMENT CASE AT THE INTERSECTION OS S. MERIDIAN ST. & THE ON/OFF RAMP TO SR 512.

VERTICAL DATUM
 VERTICAL DATUM FOR THIS SURVEY IS NAVD88 ESTABLISHED FROM WSDOT MONUMENT ID NO. 247. ELEVATION = 80.449' (NAVD88)

LOT AREA
 52,078± SF (1.20± AC)

ADDRESS
 1402 S. MERIDIAN, PUYALLUP, WA 98371

TAX PARCEL NUMBER
 773000-028-1 & 773000-028-8: TITLE PARCEL A
 773000-003-1 & 773000-002-1: TITLE PARCEL B

REFERENCE SURVEYS:

- PIERCE COUNTY SHORT PLAT OF MERIDIAN CENTER – AFN 77-315 (1977)
- PLAT OF SOURWINE'S ACRE LOTS – VOL 8 PLATS, PAGE 10 (1905)
- PIERCE COUNTY SHORT PLAT – AFN 8706010381 (1987)
- WSDOT SR 512 96TH ST TO JCT. SR 167, DATED MAY 23, 1968

DATE OF SURVEY:

THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON MARCH 22, 2022 & JULY 14, 2023. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MARCH OF 2022 & JULY OF 2023.

FLOOD INFORMATION:

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FIRM (FLOOD INSURANCE RATE MAP) MAP NO. 5305300341E PANEL 341 OF 1375, DATED MARCH 7, 2017. THE SUBJECT PROPERTY IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONING INFORMATION:

(A ZONING REPORT WAS NOT FURNISHED FOR THIS SITE)

SURVEYOR'S NOTES:

- ALL DISTANCES SHOWN HEREON ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET.
- THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY, AND DON'T PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.
- UNDERGROUND UTILITIES AND FEATURES DEPICTED HEREON ARE BASED ON FIELD OBSERVATION, MARKINGS, DEVELOPMENT PLANS, AND/OR AVAILABLE RECORD DOCUMENTS ONLY. THE TRUE LOCATION, NATURE AND/OR EXISTENCE OF BELOW GROUND FEATURES, DETECTED OR UNDETECTED, SHOULD BE VERIFIED.
- THE LEGAL DESCRIPTION AND SPECIAL EXCEPTIONS SHOWN HEREON ARE PER THE ABOVE REFERENCED TITLE REPORT UNLESS OTHERWISE NOTED.
- THIS SURVEY HAS DEPICTED ALL VISIBLE OCCUPATIONAL INDICATORS (I.E. FENCE LINES, BUILDINGS, WALLS, ETC. – SEE MAP FOR PARTICULARS) PER W.A.C. 332-130. LINES OF OCCUPATION, AS DEPICTED, MAY INDICATE AREAS OF POTENTIAL CLAIMS OF UNWRITTEN OWNERSHIP. THIS SURVEY HAS ONLY DEPICTED THE RELATIONSHIP BETWEEN LINES OF OCCUPATION AND DEEDED LINES OF RECORD. NO RESOLUTION OF OWNERSHIP BASED ON UNWRITTEN RIGHTS HAS BEEN MADE BY THIS SURVEY OR BY ANY PERSONNEL OF BARGHAUSEN CONSULTING ENGINEERS, INC.
- THIS IS A FIELD TRAVERSE SURVEY. TOPCON GT AND TOPCON HYPER HR GPS AND DELL TABLET DATA COLLECTOR WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN W.A.C. 332-130-090. ALL INSTRUMENTS AND EQUIPMENT HAVE BEEN MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURERS' SPECIFICATIONS AND USED BY APPROPRIATELY TRAINED PERSONNEL.
- THIS SURVEY MEETS OR EXCEEDS THE "RELATIVE POSITIONAL PRECISION" REQUIREMENTS SET FORTH IN THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS IN SECTION 3(E).
- THE RECORD DESCRIPTION FOR THE SUBJECT PROPERTY MATHEMATICALLY CLOSES.
- ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS STATED WITHIN W.A.C. 332-130-145 FOR TOPOGRAPHIC MAPS, INCLUDING THE FOLLOWING: THE SOURCE OF THE CONTOURS SHOWN HEREON ARE BASED UPON DIRECT FIELD OBSERVATIONS. THE CONTOUR ACCURACY IS PER NATIONAL MAPPING STANDARDS, ONE HALF OF THE CONTOUR INTERVAL (1'). THE PURPOSE OF THIS SURVEY IS TO MAP THE CURRENT CONDITIONS FOR ENGINEERING DESIGN.
- BARGHAUSEN CONSULTING ENGINEERS, INC. SURVEY CREWS DETECTED NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
- BARGHAUSEN CONSULTING ENGINEERS, INC. SURVEY CREWS DETECTED NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO VISIBLE EVIDENCE OF ANY CEMETERIES OR BURIAL GROUNDS.
- THERE IS EVIDENCE OF PHYSICAL ACCESS TO PUBLIC RIGHT-OF-WAY.

TITLE INFORMATION:

TITLE COMMITMENT:
 ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM STEWART TITLE GUARANTY COMPANY COMMITMENT NO. 21000200719, DATED JULY 29, 2021 AT 8:00 AM. INCLUDED ARE APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY SAID COMMITMENT. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

LEGAL DESCRIPTION

(PER ABOVE REFERENCED TITLE REPORT)
 PARCEL A: (773000-028-1 & 773000-028-8)
 LOT 1 AND THE NORTH 15 FEET OF THE EAST 178.33 FEET OF "COMMON ACCESS TRACT A", OF PIERCE COUNTY SHORT PLAT RECORDED UNDER RECORDING NO. 77-315, RECORDS OF PIERCE COUNTY WASHINGTON, FORMERLY BEING DESCRIBED AS THE NORTH 161.5 FEET OF THE WEST 178.33 FEET OF THE EAST 188.33 FEET OF LOT 20, SOURWINE'S ACRE LOTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF PIERCE COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF 14TH AVENUE SW, VACATED BY ORDINANCE NO. 2304 ABUTTING THEREON AND ATTACHED THERETO, RECORDED UNDER RECORDING NO. 9206040385.
 PARCEL A1:
 RIGHTS TO USE THAT PORTION OF THE WITHIN DESCRIBED PROPERTY LYING WITHIN COMMON ACCESS TRACT "A" OF SIDE SHORT PLAT, FOR INGRESS, EGRESS, AND INSTALLATION AND MAINTENANCE OF UTILITIES, AS SET FORTH AND DELINEATED ON PIERCE COUNTY SHORT PLAT NO. 77-315;
 EXCEPT ANY PORTION LYING WITHIN PARCEL A ABOVE.
 PARCEL A2:
 AN EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN DOCUMENTS ENTITLED "STATUTORY WARRANTY DEED" AS RECORDED UNDER RECORDING NUMBERS 2741876 AND 2792268.
 PARCEL B: (773000-003-1 & 773000-002-1)
 LOT 2, SOURWINE'S ACRE LOTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 10, RECORDS OF PIERCE COUNTY, WASHINGTON; EXCEPT THAT PORTION LYING WITHIN STATE HIGHWAY NO. SR-512, 96TH STREET TO JUNCTION SR-167;
 TOGETHER WITH THAT PORTION OF 14TH AVENUE SW, VACATED BY ORDINANCE NO. 2304 ABUTTING THEREON AND ATTACHED THERETO, RECORDED UNDER RECORDING NO. 9206040385.
 SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

SPECIAL EXCEPTIONS:

(PER ABOVE REFERENCED TITLE REPORT)
 ITEMS 1 THROUGH 18 ARE NOT SURVEY RELATED.

- TEMPORARY RIGHT, PERMIT, LICENSE AND EASEMENT TO USE AND OCCUPY A PORTION OF SAID LOT 20 FOR THE PURPOSE OF CONSTRUCTING HIGHWAY SLOPES AND OPERATING ALL NECESSARY MACHINERY AND EQUIPMENT THEREON AT ANY AND ALL TIMES UNTIL COMPLETION OF CONSTRUCTION FOR STATE ROAD NO. 512 AS APPROPRIATED BY THE STATE OF WASHINGTON IN PIERCE COUNTY SUPERIOR COURT CAUSE NO. 198127. AFTER COMPLETION OF CONSTRUCTION, ALL RIGHTS OF EASEMENT SHALL BE EXTINGUISHED.
 AFFECTS: PARCEL A
(BLANKET IN NATURE)(POTENTIALLY EXTINGUISHED)
- RELINQUISHMENT OF ACCESS TO STATE HIGHWAY AND OF LIGHT, VIEW AND AIR BY DEED TO THE STATE OF WASHINGTON:
 GRANTED: NOVEMBER 19, 1966
 RECORDED NO.: 2321816
 AFFECTS: PARCEL A
(APPLIES TO OFFSITE ADJACENT PROPERTY)
- RELINQUISHMENT OF ACCESS TO STATE HIGHWAY AND OF LIGHT, VIEW AND AIR BY DEED TO THE STATE OF WASHINGTON:
 RECORDED: OCTOBER 20, 1975
 RECORDED NO.: 2632004
 AFFECTS: PARCEL B
(BLANKET IN NATURE)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
 AFFECTS: EAST 10 FEET OF PARCEL A AND INCLUDES OTHER PROPERTY
 RECORDED: MAY 26, 1976
 RECORDED NO.: 2667305
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
 AFFECTS: PORTION OF PARCEL A AND INCLUDES OTHER PROPERTY
 RECORDED: MAY 26, 1976
 RECORDED NO.: 2667306
(BLANKET IN NATURE)
- COVENANTS, CONDITIONS AND RESTRICTIONS AND EASEMENTS CONTAINED IN SHORT PLAT:
 RECORDED: MAY 25, 1977
 RECORDED NO.: 77-315
(PLOTTED HEREON)(COMMON ACCESS TRACT "A")

- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 PURPOSE: INGRESS, EGRESS AND UTILITIES
 AFFECTS: PORTION OF TRACT A LYING WITHIN PARCEL A
 RECORDED: JANUARY 16, 1958
 RECORDED NO.: 2792268
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 PURPOSE: INGRESS AND EGRESS
 AFFECTS: TRACT A OF SHORT PLAT 77-315
 RECORDED: JUNE 8, 1977
 RECORDED NO.: 2741876
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: CITY OF PUYALLUP
 PURPOSE: CONSTRUCTING, INSTALLING, REPAIRING AND MAINTAINING STREET IMPROVEMENTS ACCORDING TO THE PLAN ENTITLED "SOUTH MERIDIAN STREET IMPROVEMENTS"
 AFFECTS: PARCEL A
 RECORDED: JUNE 10, 1987
 RECORDED NO.: 8706100397
(PLOTTED HEREON)
- MUTUAL MAINTENANCE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:
 RECORDED: MAY 17, 1991
 RECORDED NO.: 9105170239
 AFFECTS: PARCEL A
(NOT SURVEY RELATED)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: WASHINGTON NATURAL GAS
 PURPOSE: GAS PIPELINE OR PIPELINES
 AFFECTS: NORTHERLY PORTION OF PARCEL A
 RECORDED: MARCH 30, 1992
 RECORDED NO.: 9203300111
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: CITY OF PUYALLUP
 PURPOSE: STORMWATER, SANITARY AND WATERMAIN PIPE LINE AND APPURTENANCES
 AFFECTS: SOUTH 30 FEET OF PARCEL B
 RECORDED: JUNE 4, 1992
 RECORDED NO.: 9206040382
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: CITY OF PUYALLUP
 PURPOSE: STORMWATER, SANITARY AND WATERMAIN PIPE LINE AND APPURTENANCES
 AFFECTS: NORTH 30 FEET OF PARCEL A
 RECORDED: JUNE 4, 1992
 RECORDED NO.: 9206040383
(PLOTTED HEREON)(OFFSITE ADJACENT EASEMENT)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: CITY OF PUYALLUP
 PURPOSE: STORMWATER, SANITARY AND WATERMAIN PIPE LINE AND APPURTENANCES
 AFFECTS: NORTH 30 FEET OF PARCEL A
 RECORDED: JUNE 4, 1992
 RECORDED NO.: 9206040384
(PLOTTED HEREON)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
 AFFECTS: PORTION OF PARCEL B
 RECORDED: JULY 28, 1992
 RECORDED NO.: 9207280563
(PLOTTED HEREON)(OFFSITE ADJACENT EASEMENT)
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
 GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
 PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM
 AFFECTS: PORTION OF PARCEL A
 RECORDED: JULY 28, 1992
 RECORDED NO.: 9207280564
(PLOTTED HEREON)

SURVEYOR'S CERTIFICATION:

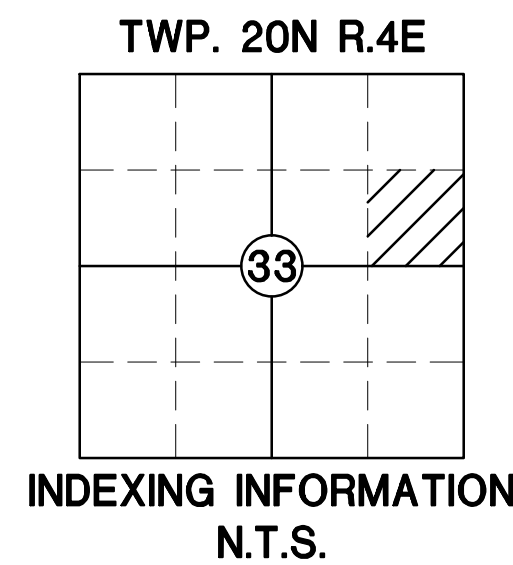
TO: BP PRODUCTS NORTH AMERICA INC., A MARYLAND CORPORATION AND STEWART TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 22, 2022.

DATE OF PLAT OR MAP: JULY 19, 2023.

Matthew K. Abbas
 MATTHEW K. ABBAS, PLS
 WASHINGTON REGISTRATION NO. 20109892
 MABBAS@BARGHAUSEN.COM

7/19/2023
 DATE



No.	Date	By	Clkd.	Appr.	Revision
1	7/18/23	KJR	MKA		ADDED TOPO AND UTILITIES TO THE ROAD SOUTH OF THE SITE TO 15TH AVE SE

Title: **ALTA/NSPS LAND TITLE SURVEY**
 PTN OF THE SE1/4, OF THE NE1/4 OF SEC. 33,
 TWP. 20 N., RGE 4 E., W. M.
 CITY OF PUYALLUP, PIERCE COUNTY,
 WASHINGTON STATE

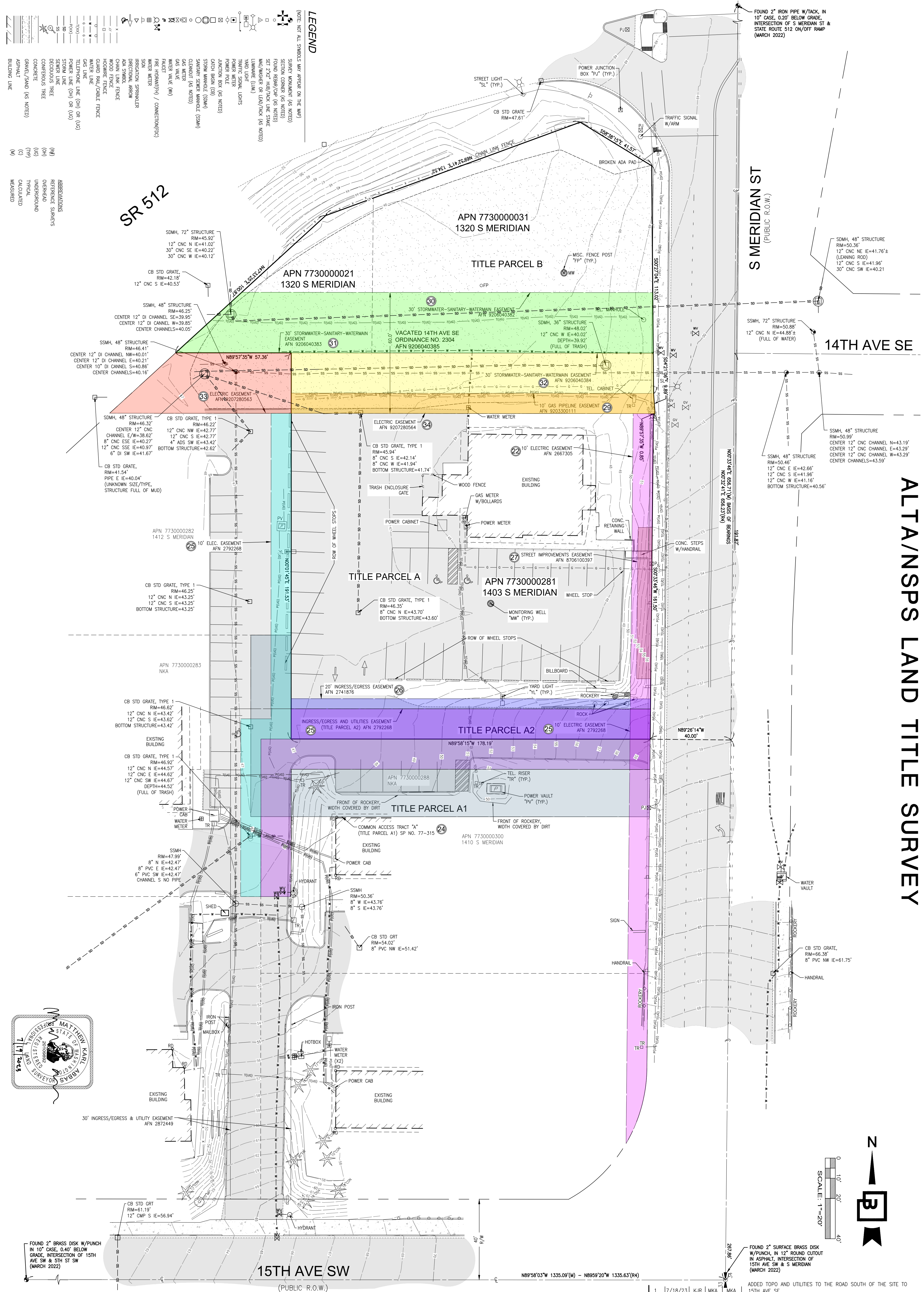
For: **BP FUELS NA**

Designed	Drawn	Checked	Approved	Date
	NEF	MKA	MKA	7/19/23

Barghausen Consulting Engineers, Inc.
 18215 72nd Avenue South
 Kent, WA 98032
 425.251.6222
 barghausen.com

Job Number: 21730
 Sheet: 1 of 2

ALTA/NSPS LAND TITLE SURVEY



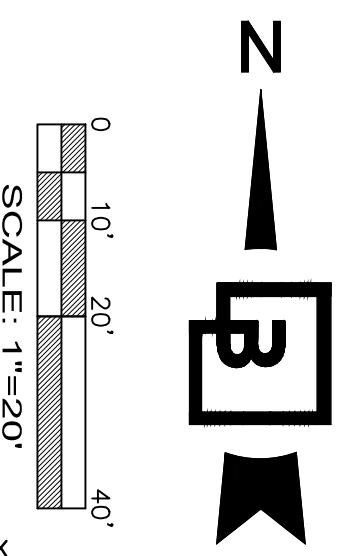
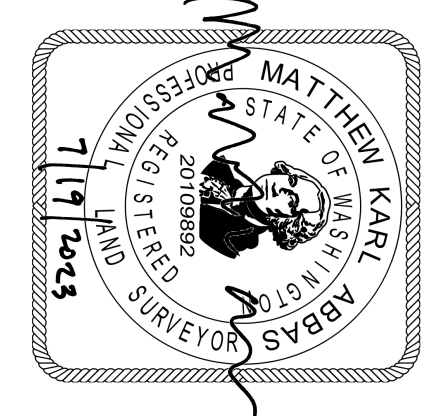
LEGEND

(NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)

	SURVEY MONUMENT (AS NOTED)
	SECTION CORNER (AS NOTED)
	FOUND REBAR/CAP (AS NOTED)
	SET 2x2x4 HUB/TACK LINE STAKE
	M/W/MASER OR LEAD/TACK (AS NOTED)
	LUMBER (LUM)
	YARD LIGHT
	POWER METER
	JUNCTION BOX (AS NOTED)
	CATCH BASIN (CB)
	STORM MANHOLE (SMH)
	SANITARY SEWER MANHOLE (SSMH)
	GAS METER
	WATER VALVE (WV)
	FRAMER
	FIRE HYDRANT (FH) / CONNECTION (FC)
	IRRIGATION SPRINKLER
	DIRECTIONAL ARROW
	ADA SYMBOL
	CHAIN LINK FENCE
	WOOD FENCE
	GUARD RAIL/CABLE FENCE
	GAS LINE
	TELEPHONE LINE (OH) OR (UG)
	POWER LINE (OH) OR (UG)
	SEWER LINE
	STORM LINE
	DECIDUOUS TREE
	CONIFEROUS TREE
	CONCRETE
	GRAVEL/SAND (AS NOTED)
	ASPHALT
	BUILDING LINE

ABBREVIATIONS

(R)	REFERENCE SURVEYS
(O)	OVERLAP
(U)	UNDERGROUND
(T)	TYPICAL
(C)	CALCULATED
(M)	MEASURED



Job Number 21730	 Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com	Designed: _____ Scale: _____ Drawn: AEF Horizontal: 1"=20' Checked: MKA Approved: MKA Vertical: _____ Date: 7/19/23	For: BP FUELS NA	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>No.</td> <td>Date</td> <td>By</td> <td>Ckd.</td> <td>Appr.</td> <td>Revision</td> </tr> <tr> <td>1</td> <td>7/18/23</td> <td>KJR</td> <td>MKA</td> <td>MKA</td> <td>ADDED TOPO AND UTILITIES TO THE ROAD SOUTH OF THE SITE TO 15TH AVE SE</td> </tr> </table>	No.	Date	By	Ckd.	Appr.	Revision	1	7/18/23	KJR	MKA	MKA	ADDED TOPO AND UTILITIES TO THE ROAD SOUTH OF THE SITE TO 15TH AVE SE
No.	Date	By	Ckd.	Appr.	Revision											
1	7/18/23	KJR	MKA	MKA	ADDED TOPO AND UTILITIES TO THE ROAD SOUTH OF THE SITE TO 15TH AVE SE											
Sheet 2 of 2				Title: ALTA/NSPS LAND TITLE SURVEY PTN OF THE SE1/4, OF THE NE1/4 OF SEC. 33, TWP. 20 N., RGE 4 E., W. M. CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE												