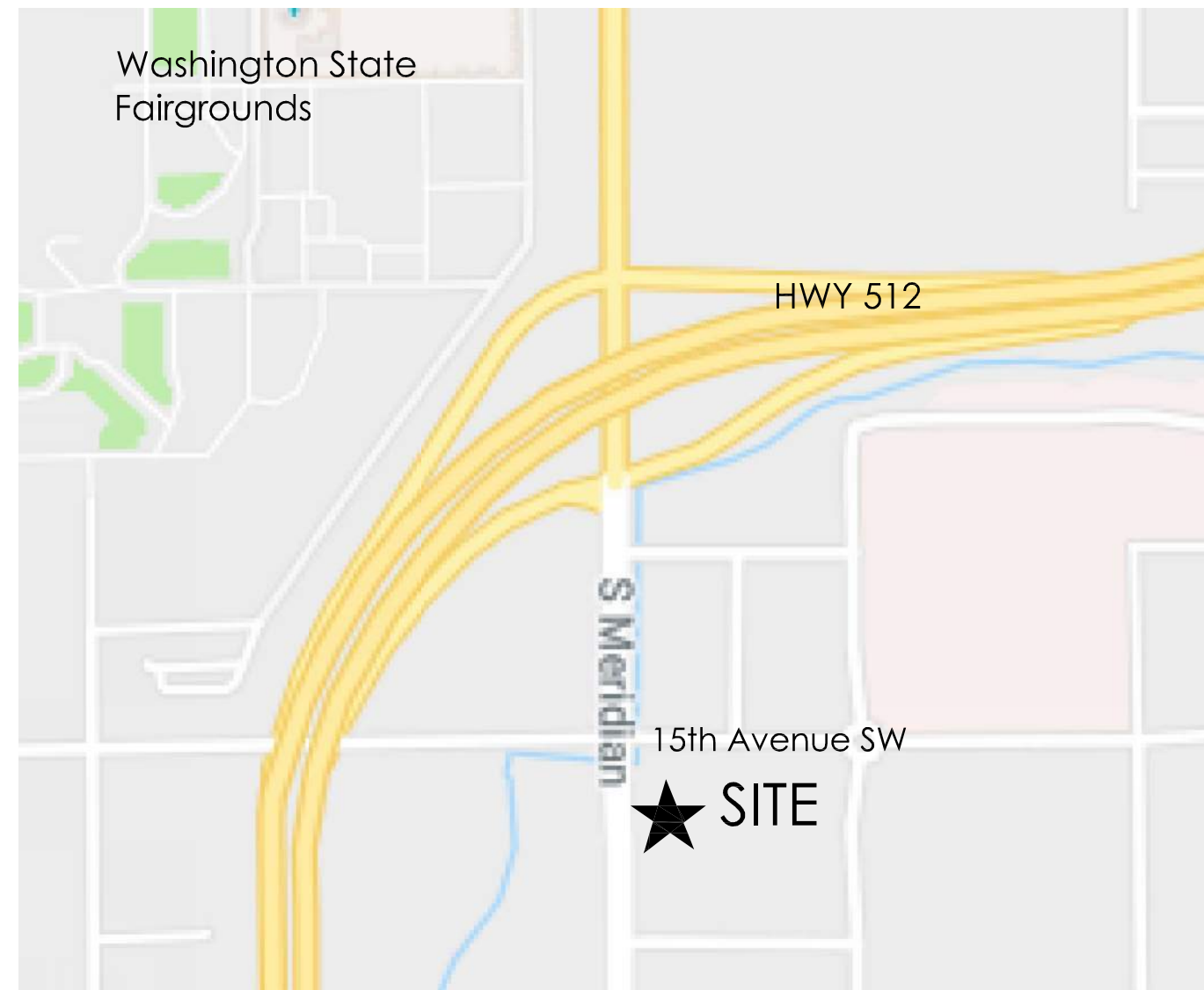


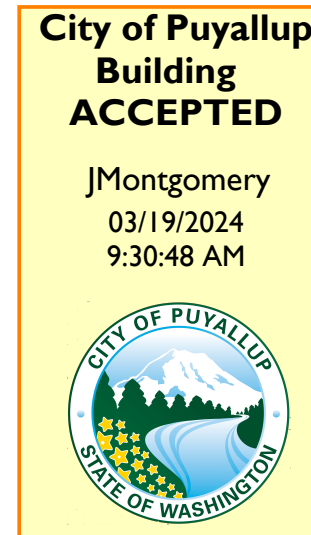
PUYALLUP HAMPTON INN ADDITION

1515 S. Meridian Street, Puyallup, WA 98371

VICINITY MAP



REVISION 2 of 2
(4 pages)
B-20-0078



FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITTEE ON SITE FOR ALL INSPECTIONS (MIN. PLAN SIZE 24" X 36")

PROJECT TEAM

OWNER

PVI, LLC
11010 NE 8th ST SUITE 465
BELLEVUE, WA 98444
626-200-5019
Contact: VICTOR SUNG

STRUCTURAL ENGINEER

PCS Structural Solutions
120 Pacific Avenue, Suite 701
Tacoma, WA 98402
253.383.2797
Contact: Jared Plank, Project Eng.

MECH./ELEC. ENGINEER

Abossein Engineering, Inc.
18456 NE 68th Street
Redmond, WA 98052
425.462.9441
Elec. Contact: Jay Werner
Plumbing Contact: Dennis Grovenburg
Mech. Contact: Gary Womack

ARCHITECT

KNIT
909 S. 336th Street, Suite 107
Federal Way, WA 98003
253-572-5511
Contact: Rhonda Gillogly, AIA-Project Manager

CIVIL ENGINEER

Huitt-Zollars
1102 Broadway, #301
Tacoma, WA 98402
253.627.9131
Contact: Darton Riely-Gibbons

LANDSCAPE ARCHITECT

Aspen Design Group
P.O. Box 2394
Issaquah, WA 98027
425.292.9845
Contact: Paul Dix

PROJECT DATA

SITE ADDRESS:
1515 MERIDIAN S.
PUYALLUP, WA

TAX PARCEL NUMBER:
7790000050 AND 7790000024

ZONING:
ZONING: CG

SITE AREA:
85,977 SF

SCOPE OF WORK:

PARKING AREA EXPANSION BELOW NEW GUEST ROOM WING. NEW GUEST ROOM WING ADDITION OF 3 FLOORS. MINOR DEMOLITION OF ONE EXISTING GUEST ROOM ON EACH FLOOR TO PROVIDE ACCESS TO NEW WING.

APPLICABLE EDITIONS OF BUILDING CODES:

2015 I.B.C. STATE AMENDMENTS AND WAC 51-50
2015 INTERNATIONAL MECHANICAL CODE, STDS AND AMENDMENTS - WAC 51-52
2015 INTERNATIONAL FIRE CODE, STDS AND AMENDMENTS - WAC 51-54
2015 UNIFORM PLUMBING CODE, STDS AND AMENDMENTS - WAC 51-56, 51-57
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN & I.C.C. A117.1-2009
2012 NON-RESIDENTIAL ENERGY CODE

OCCUPANCY CLASSIFICATION:

R1, S1, B, A3

NUMBER OF STORIES:

4

CONSTRUCTION TYPE:

V-A

SPRINKLED

YES

FLOOR	EXISTING AREA	NEW AREA	TOTAL AREA
PARKING GARAGE	15,441 SF	0 SF	15,441 SF
1ST FLOOR	15,189 SF	168 SF	15,357 SF
2ND FLOOR	20,296 SF	4,484 SF	24,780 SF
3RD FLOOR	19,357 SF	4,484 SF	23,841 SF
4TH FLOOR	18,892 SF	4,484 SF	23,376 SF
	89,175 SF	13,620 SF	102,795 SF

ABBREVIATIONS

A.B.	ANCHOR BOLT	L.	LENGTH
A.C.P.	ACOUSTICAL CEILING PANEL	MDF.	MEDIUM DENSITY FIBERBOARD
AFFLR.	ABOVE FINISH FLOOR	MTL.	METAL
ADD. ALT.	ADDITIVE ALTERNATE	N.I.C.	NOT IN CONTRACT
B.F.	BARRIER FREE	N.T.S.	NOT TO SCALE
B.S.	BACK SPLASH	O.C.	ON CENTER
BM.	BEAM	O.H.	OPPOSITE HAND/OVER HANG
C.J.	CONTROL/CONSTRUCTION JOINT	OPT.	OPTIONAL
C.L. or C	CENTERLINE	O.S.B.	ORIENTED STRAND BOARD
CONT.	CONTINUOUS	P.L.B.	PARA LAMINATED BEAM
CPT.	CARPET	P.LAM.	PLASTIC LAMINATED
CRM.	CLASSROOM	PLYWD.	PLYWOOD
C.T.	Ceramic Tile	PR.	PAIR
D.	DEPTH	PT.	PAINT
D.F.	DRINKING FOUNTAIN	P.T.D.	PAPER TOWEL DISPENSER
D.O.	DEDICATED OUTLET	R.B.	RUBBER BASE
D.S.	DOWN SPOUT	R.D.	ROOF DRAIN
E.C.	EXPOSED CONCRETE	R.I.	ROUGH-IN
EXIST.	EXISTING	R.L.	RAIN LEADER
EXP. BOLT	EXPANSION BOLT	R.S.	ROUGH SAWN
FDN.	FOUNDATION	S & V	STAINED & VARNISHED
F.D.	FLOOR DRAIN	S.C.	SOLID CORE
F.E.	FIRE EXTINGUISHER	S.V.	SHEET VINYL
FIN. FLR.	FINISH FLOOR	SHT. MTL.	SHEET METAL
F.O.I.C.	FURNISHED BY OWNER INSTALLED BY GC.	SIM.	SIMILAR
F.O.I.O	FURNISHED BY OWNER INSTALLED BY OWNER	T & G	TONGUE & GROOVE
F.O.P.W	FACE OF PLYWOOD	T.O.C	TOP OF CONCRETE
F.R.P.	FIBERGLASS REINFORCED PANEL	T.O.P.	TOP OF PLATE
G.LAM/GL	GLUE LAMINATED	T.O.W.	TOP OF WALL
GA.	GAUGE OR GAGE	TRT.	TREATED
GALV.	GALVANIZED	T.S.	TUBE STEEL
GWB.	GYPSON WALL BOARD	T.T.D.	TOILET TISSUE DISPENSER
GYP.	GYPSON	TYP.	TYPICAL
H.	HEIGHT	U.N.O.	UNLESS NOTED OTHERWISE
H.C.	HOLLOW CORE/HANDICAP	W.O.M.	WALK OFF MAT
H.M.	HOLLOW METAL	W.	WIDE
HDR.	HEADER	W.P.	WATER PROOF
		WD.	WOOD
		WDW.	WINDOW
		S.A.M.	SELF ADHERING MEMBRANE

SYMBOLS

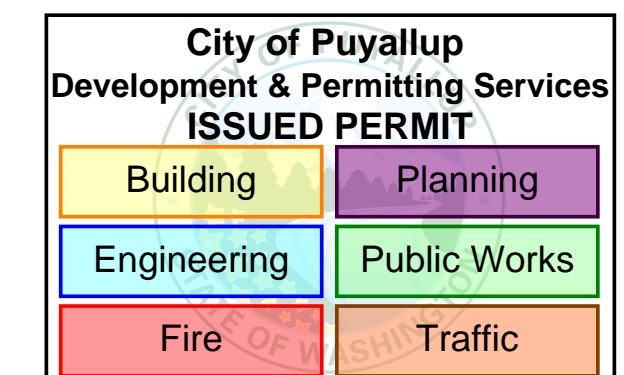
	Room Number		Interior Elevation Group Sheet Number
	Window Type		Wall Section Number Sheet Number
	Door Number		Bldg. Section Number Sheet Number
	Datum, Work, or Control Point		Detail Number Sheet Number
	Shear Wall Type		

GENERAL NOTES

- ALL WORK SHALL CONFORM TO APPLICABLE CURRENT FEDERAL, STATE AND LOCAL CODES. THE CONTRACTOR IS TO PROVIDE FOR ALL REQUIRED NOTIFICATION OF AND COORDINATION WITH CITY AND STATE AGENCIES, AND PROVIDE REQUIRED PERMITS. ALL TESTS AND INSPECTIONS ASSOCIATED WITH OBTAINING APPROVALS TO PROCEED WITH AND COMPLETE THE WORK SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK. SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.
- CONTRACTOR SHALL ADHERE TO ALL BUILDING STANDARDS. ANY CHANGES TO SAME SHALL BE SUBMITTED TO ARCHITECT IN WRITING FOR APPROVAL.
- CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR OWNER'S APPROVAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION.
- CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR IS NOT TO SCALE OFF DRAWINGS.
- CONTRACTOR SHALL PROVIDE BLOCKING/BACKING IN PARTITIONS FOR ALL WALL-MOUNTED FIXTURES AND DEVICES UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- ALL FLOORS SHOULD BE LEVEL AND NOT VARY MORE THAN 1/4" IN 10'-0". THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS THAT DO NOT MEET THIS STANDARD.
- FLOOR FINISH TRANSITIONS SHALL OCCUR UNDER DOORS, UNLESS SHOWN OR NOTED OTHERWISE.
- MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED. FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FOR ALL WORK REQUIRED TO MAINTAIN COMPLIANCE WITH LOCAL FIF CODE. PROVIDE FOR ALL REQUIRED SHOP DRAWINGS AND APPROVALS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING FIRE ALARM SYSTEM AUDIBILITY.
- MECHANICAL AND ELECTRICAL FIXTURES, OUTLETS, ETC., WHEN SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE FOR LOCATION INFORMATION ONLY. MECHANICAL AND ELECTRICAL TO BE DESIGNED BY OTHERS. ALL CIRCUITING COORDINATION TO BE BY OTHERS.

INDEX TO DRAWINGS

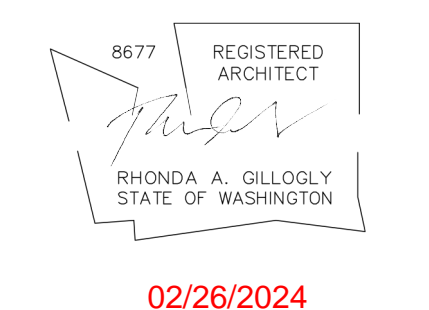
REMOVED SHEETS			
A0.4	FIRE RATED PENETRATIONS	A4.1	BUILDING SECTIONS
A2.10	ENLARGED GUEST ROOM PLANS	A5.1	WALL SECTIONS
A2.11	ENLARGED BATHROOM PLANS	A6.1	DOOR SCHEDULE
A2.13	BATHROOM ELEVATIONS	A6.2	WINDOW SCHEDULE
		A7.1	EXTERIOR DETAILS
A0.1	COVER SHEET AND PROJECT INFORMATION	A7.2	DETAILS
		A7.3	ROOF DETAILS
		A7.4	DETAILS
		A7.5	DETAILS
			ENVELOPE
		BE0.0	GENERAL NOTES
		BE1.1	STEGO SLAB
		BE2.0	TPO ROOFING
		BE2.1	TPO ROOFING
		BE4.0	WINDOW INSTALL
		BE6.1	EIFS
			STRUCTURAL
		S1.0	GENERAL NOTES
		S1.1	GENERAL NOTES
		S1.2	GENERAL NOTES
		S1.3	GENERAL NOTES
		S2.0	FOUNDATION PLAN
		S2.1	LEVEL 2 FRAMING PLAN
		S2.1A	LEVEL 2 BOTTOM & TOP REINFORCING PLANS
		S2.2	LEVEL 3 FRAMING PLAN
		S2.3	LEVEL 4 FRAMING PLAN
		S2.4	ROOF FRAMING PLAN
		S3.1	FOUNDATION DETAILS
		S3.2	FOUNDATION DETAILS
		S3.3	FOUNDATION DETAILS
		S3.4	CONCRETE STUD RAIL DETAILS
		S3.5	FOUNDATION DETAILS
		S4.0	WOOD FRAMING DETAILS
		S4.1	WOOD FRAMING DETAILS
		S4.2	WOOD FRAMING DETAILS
		S4.3	WOOD FRAMING DETAILS
		S5.0	WOOD FRAMING DETAILS
		S6.0	ROOF FRAMING DETAILS
			MECHANICAL
		M1.0	GENERAL NOTES, SCHEDULES AND LEGENDS
		M1.1	GENERAL NOTES, SCHEDULES AND LEGEND
		M2.1	1ST LEVEL FLOOR PLAN - HVAC
		M2.0	2ND LEVEL FLOOR PLAN - HVAC
		M3.0	3RD LEVEL FLOOR PLAN - HVAC
		M4.0	4TH LEVEL FLOOR PLAN - HVAC
		M5.0	ROOF PLAN - HVAC
		M6.0	MECHANICAL DETAILS
		M7.0	SPECIFICATIONS
			PLUMBING
		P1.0	GENERAL NOTES, SCHEDULES AND LEGEND
		P2.0	1ST FLOOR PLAN - PLUMBING
		P3.0	2ND FLOOR PLAN - PLUMBING
		P4.0	3RD FLOOR PLAN - PLUMBING
		P5.0	4TH FLOOR PLAN - PLUMBING
		P6.0	ROOF PLAN - PLUMBING
		P7.0	RISER DIAGRAMS PLUMBING
		P9.0	PLUMBING SPECIFICATIONS
			ELECTRICAL
		E1.0	GENERAL NOTES, SCHEDULES, AND PLAN INDEX
		E2.0	1ST FLOOR POWER
		E2.1	2ND FLOOR POWER
		E2.2	3RD FLOOR POWER
		E2.3	4TH FLOOR POWER
		E2.4	1ST FLOOR LIGHTING
		E3.0	1ST FLOOR LIGHTING
		E3.1	2ND FLOOR LIGHTING
		E3.2	3RD FLOOR LIGHTING
		E3.3	4TH FLOOR LIGHTING
		E4.0	ENLARGED UNIT PLANS ELECTRICAL
		E5.0	POWER RISER DIAGRAM LEVELS 1-4
		E5.1	TELECOMMUNICATION RISER DIAGRAM
		E6.0	DETAILS
		E7.0	PANEL SCHEDULES
		E7.1	PANEL SCHEDULES
		E8.0	ENERGY CODE FORMS
		E8.1	ENERGY CODE FORMS
		E9.0	MECHANICAL EQUIPMENT SCHEDULES
		E9.1	FAULT CURRENT & ARC FLASH SCHEDULES
		E10.0	SPECIFICATIONS



ISSUE DATE 09/25/23
PROGRESS SET

REV DATE COMMENT

- 03.03.2023 AC RESPONSE
- 08.14.2023 CORRECTIONS
- 09.25.2023 CORRECTIONS
- 10.17.2023 CORRECTIONS
- 12.21.2023 CORRECTIONS
- 02.26.2023 CITY REVIEW COMMENTS



COVER SHEET
ADDITION TO HAMPTON INN & SUITES
 1515 S MERIDIAN
 PUYALLUP, WA 98371
 HAMPTON INN & SUITES

TITLE PROJECT CLIENT

JOB NO: 210158

A0.1

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5	12.21.2023	CORRECTIONS
6	02.26.2024	CITY REVIEW COMMENTS

8677 REGISTERED ARCHITECT

 RHONDA A. GULLODLY
 STATE OF WASHINGTON
 02/26/2024

WINDOW SCHEDULE
ADDITION TO HAMPTON INN & SUITES
 1515 S MERIDIAN
 PUYALLUP, WA 98371
 HAMPTON INN & SUITES

TITLE PROJECT CLIENT
 JOB NO: 210158

WSEC FENESTRATION REQUIREMENTS									
TYPE	MATERIAL	U-FACTOR	DIRECTION	PROJ. FACTOR	T C402.4 SHGC	T C303.1.3(3) VT CLEAR/TINTED	NO. OF UNITS	AREA	TOTAL AREA
A	ALUM	.39	N	<.20	.53	.60/.30	3	29 SF	87 SF
A	ALUM	.39	E	<.20	.40	.60/.30	18	29 SF	522 SF
A	ALUM	.39	S	<.20	.40	.60/.30	3	29 SF	87 SF
B	ALUM	.39	E	<.20	.40	.60/.30	3	17 SF	81 SF
C	ALUM	.39	N	<.20	.53	.60/.30	3	18 SF	51 SF
D	ALUM	.39	E	<.20	.40	.60/.30	3	22 SF	66 SF
D	ALUM	.39	W	<.20	.40	.60/.30	18	22 SF	396 SF
E	ALUM	.39	E	<.20	.40	.60/.30	3	37 SF	111 SF
TOTAL								1,533 SF	

GLAZING

EXTERIOR WALL AREA: 11,094S.F.
 VERTICAL + OVERHEAD GLAZING: 1,533S.F.
 % OF GLAZING 14 %

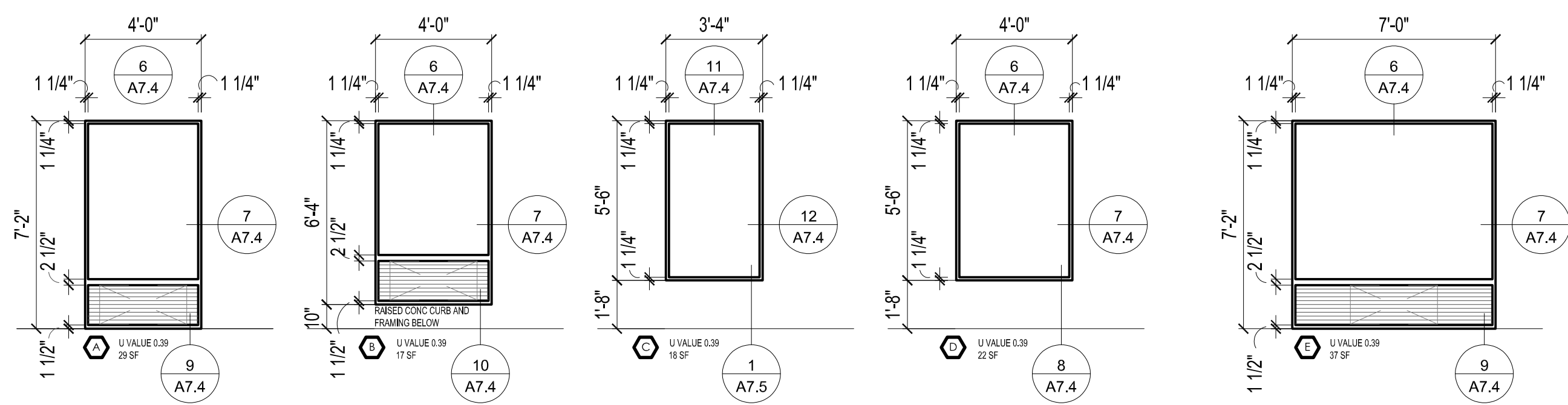
PROJECTION FACTOR

ELEVATION	'A'	'B'	PF
NORTH STAIRWELL	1.58'	14.5'	.109
NORTH	.375'	10.911/A	.034
SOUTH	.375'	10.911/A	.034
WEST	.375'	10.911/A	.034

THESE MEASUREMENTS SHOW THE BEST AVAILABLE PF AT THE 4TH FLOOR. ALL ARE BELOW 0.2
 THE NUMBERS DECREASE AT THE 3RD AND 2ND FLOORS.

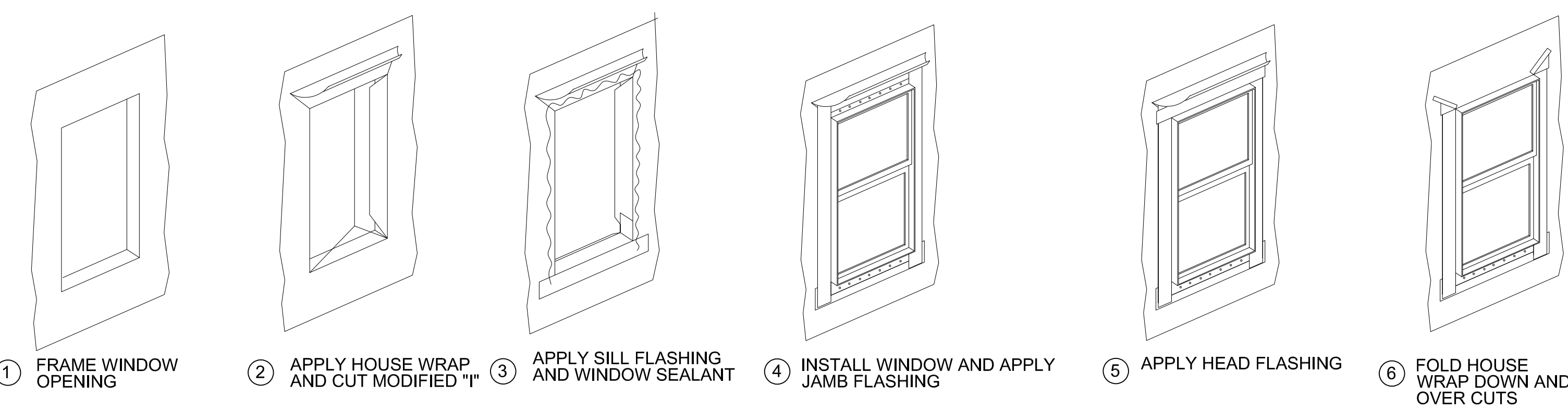
FENESTRATION NOTES

1. ALL WINDOWS TO MEET MINIMU 0.39 U-VALUE.
2. ALL WINDOWS TO MEET .40 SHGC.
3. ALL WINDOWS TO BEAR MANUFACTURER'S CERTIFIED LABEL.
4. ALL WINDOWS TO BE FILLED WITH ARGON GAS.
5. ALL WINDOWS TO HAVE AN EMISSIVITY OF .15 TO .08.
6. ALL WINDOWS WITH TEMPERED GLAZING TO BEAR THE ETCHED LABEL.



1 WINDOW TYPES
 24 x 36 - 1/4" = 1'-0"
 12 x 18 - 1/8" = 1'-0"

*SEE DETAILS ON A7.4



2 TYP. WINDOW FLASHING APPLICATION FOR STUCCO
 24 x 36 - 1/4" = 1'-0"
 12 x 18 - 1/8" = 1'-0"

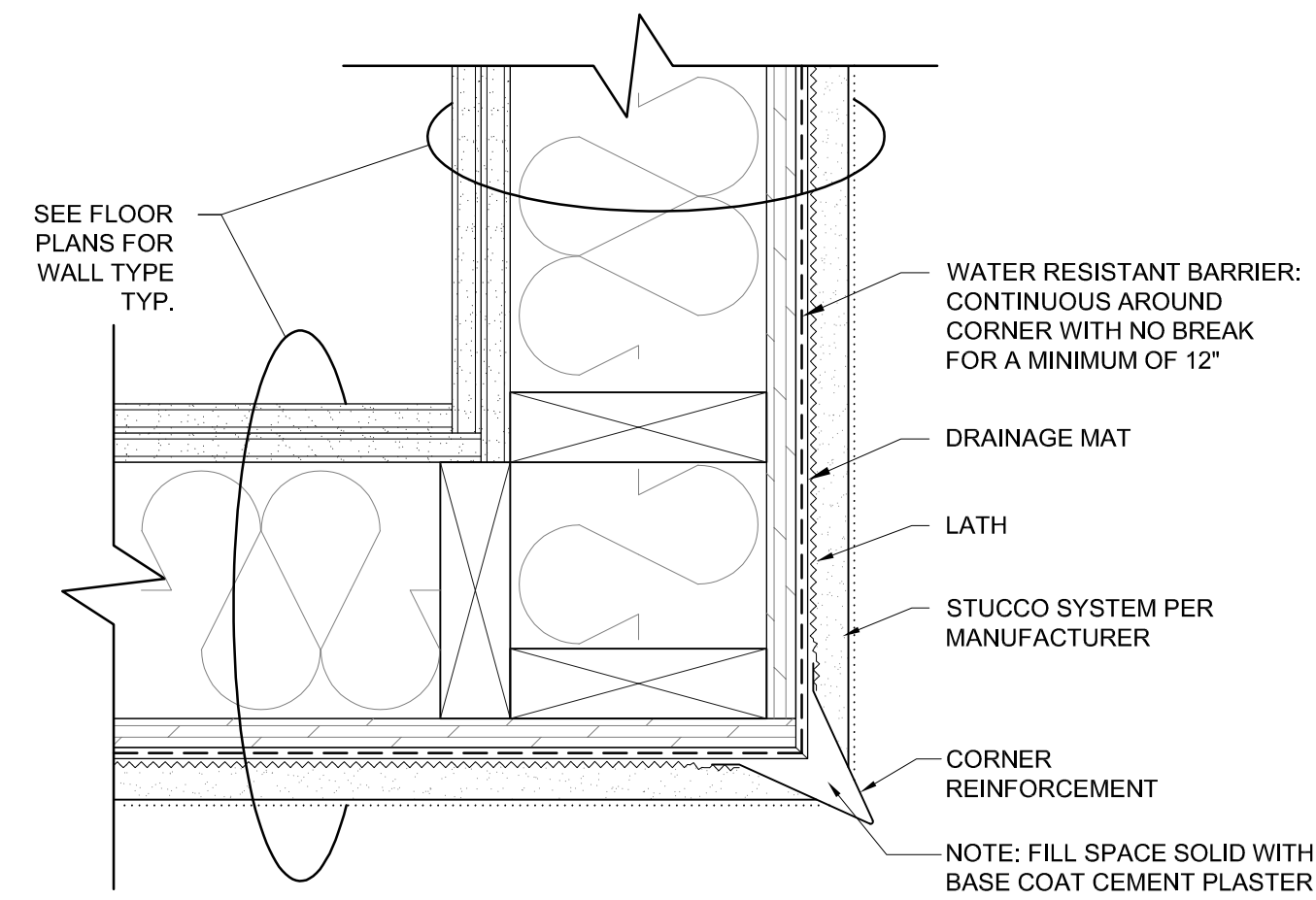
* SEE WEATHERIZATION CONSULTANT SET FOR EIFS FLASHING APPLICATION

REVISION 2 of 2
 (4 pages)
 B-20-0078

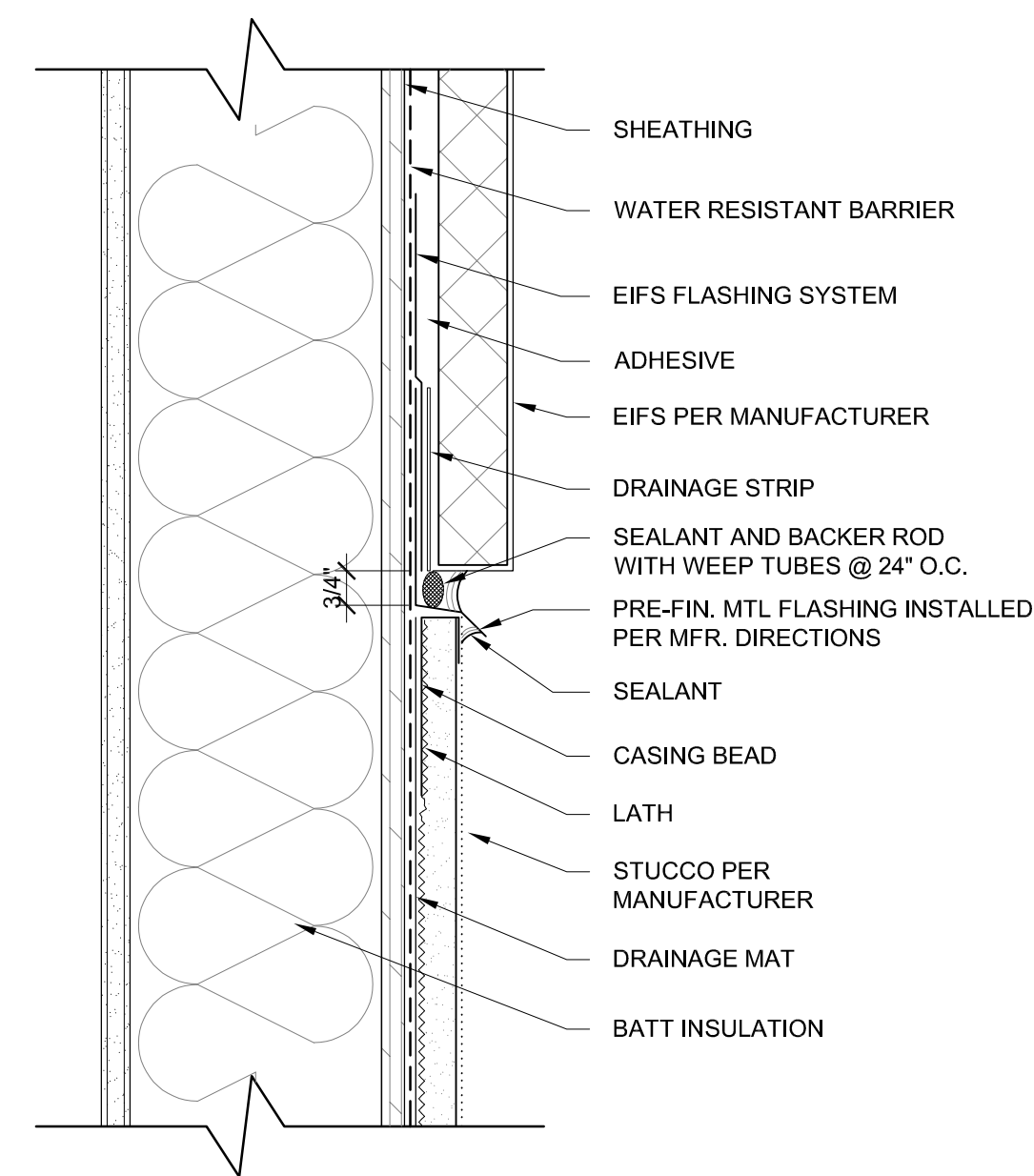
DETAILS BEING RELOCATED TO A7 SERIES SHEETS

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

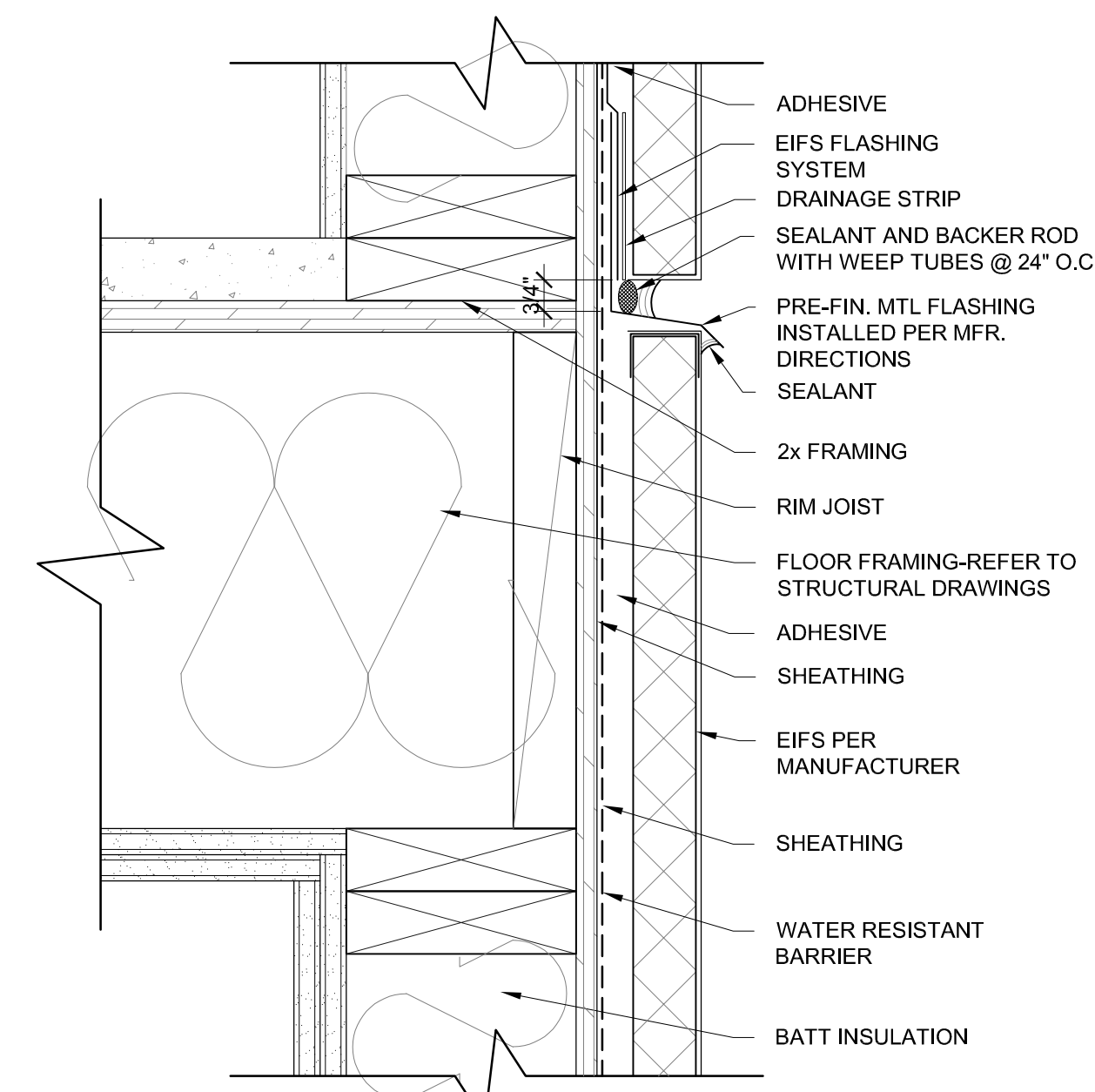
Building	Planning
Engineering	Public Works
Fire	Traffic



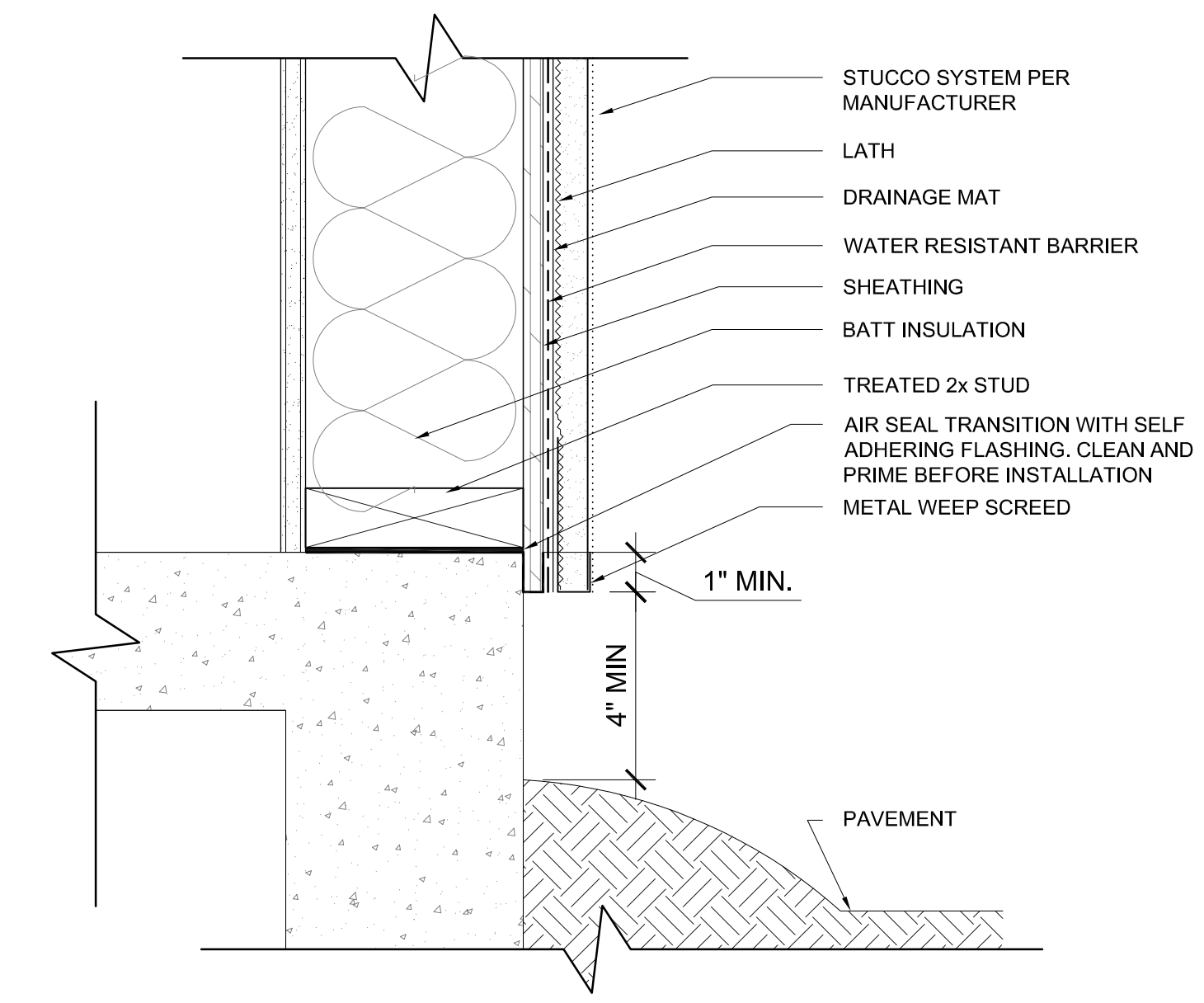
1 STUCCO OUTSIDE CORNER
SCALE: 3" = 1'-0"



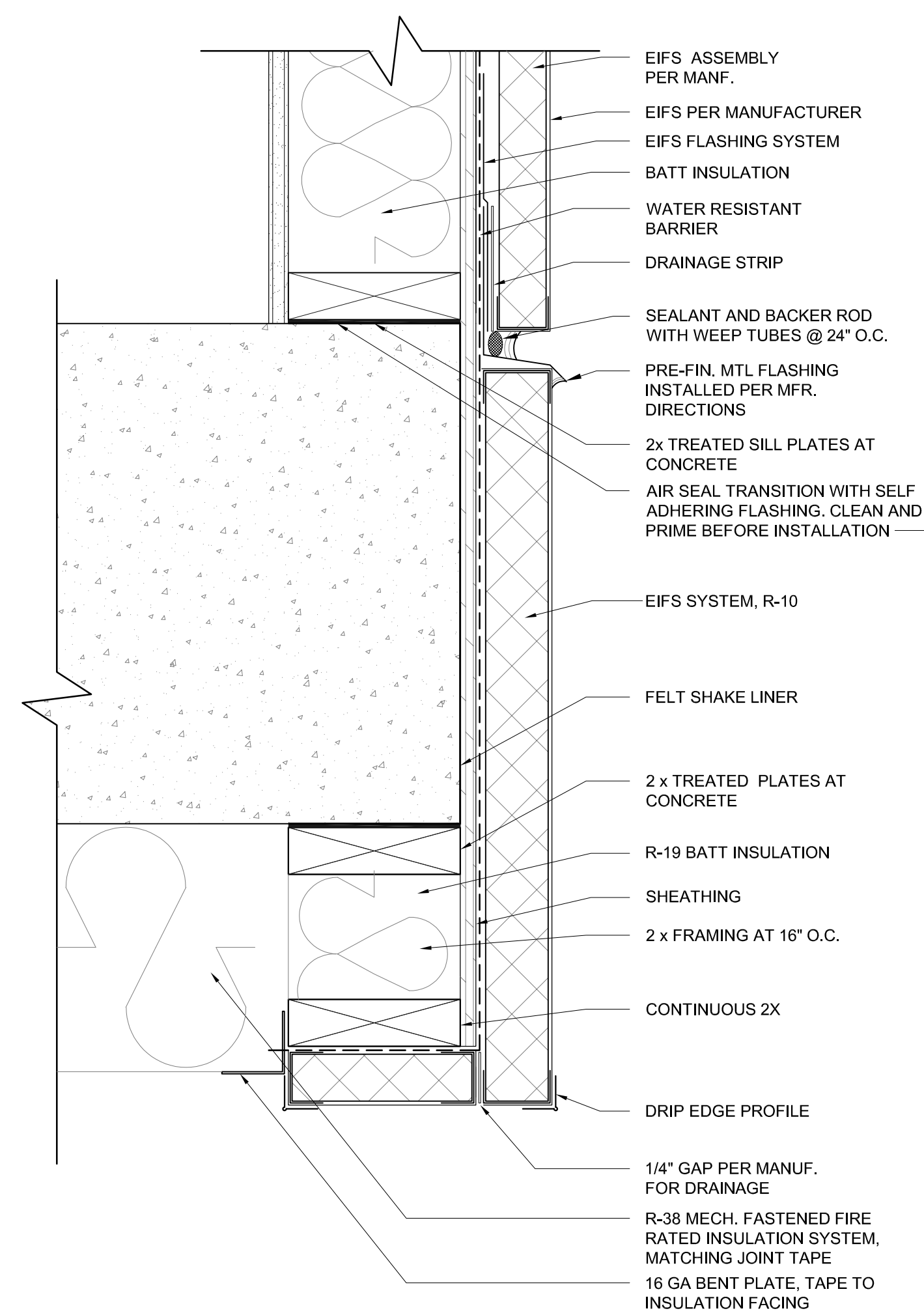
2 STUCCO-EIFS TRANSITION
SCALE: 3" = 1'-0"



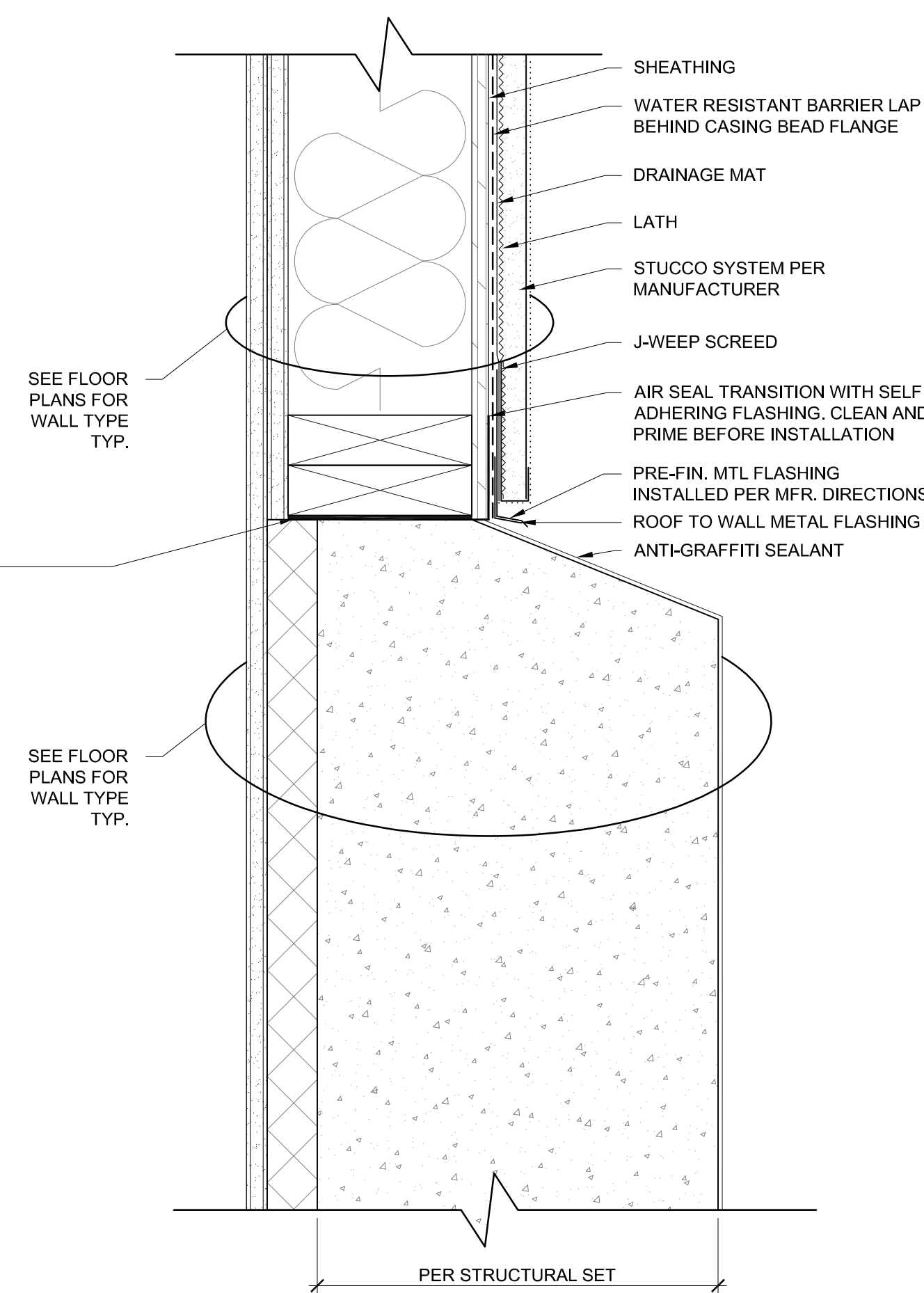
3 EIFS CONTROL JOINT
SCALE: 3" = 1'-0"



4 STUCCO DRIP TERMINATION
SCALE: 3" = 1'-0"



9 EIFS DRIP @ OVER PARKING
SCALE: 3" = 1'-0"



10 STUCCO @ STAIRS
SCALE: 3" = 1'-0"

DETAIL REMOVED REFER TO SHEET A7.2

REVISION 2 of 2
(4 pages)
B-20-0078

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

11 ISOMETRIC AT PARAPET
SCALE: 1" = 1'-0"

ISSUE DATE 09/25/23
PROGRESS SET

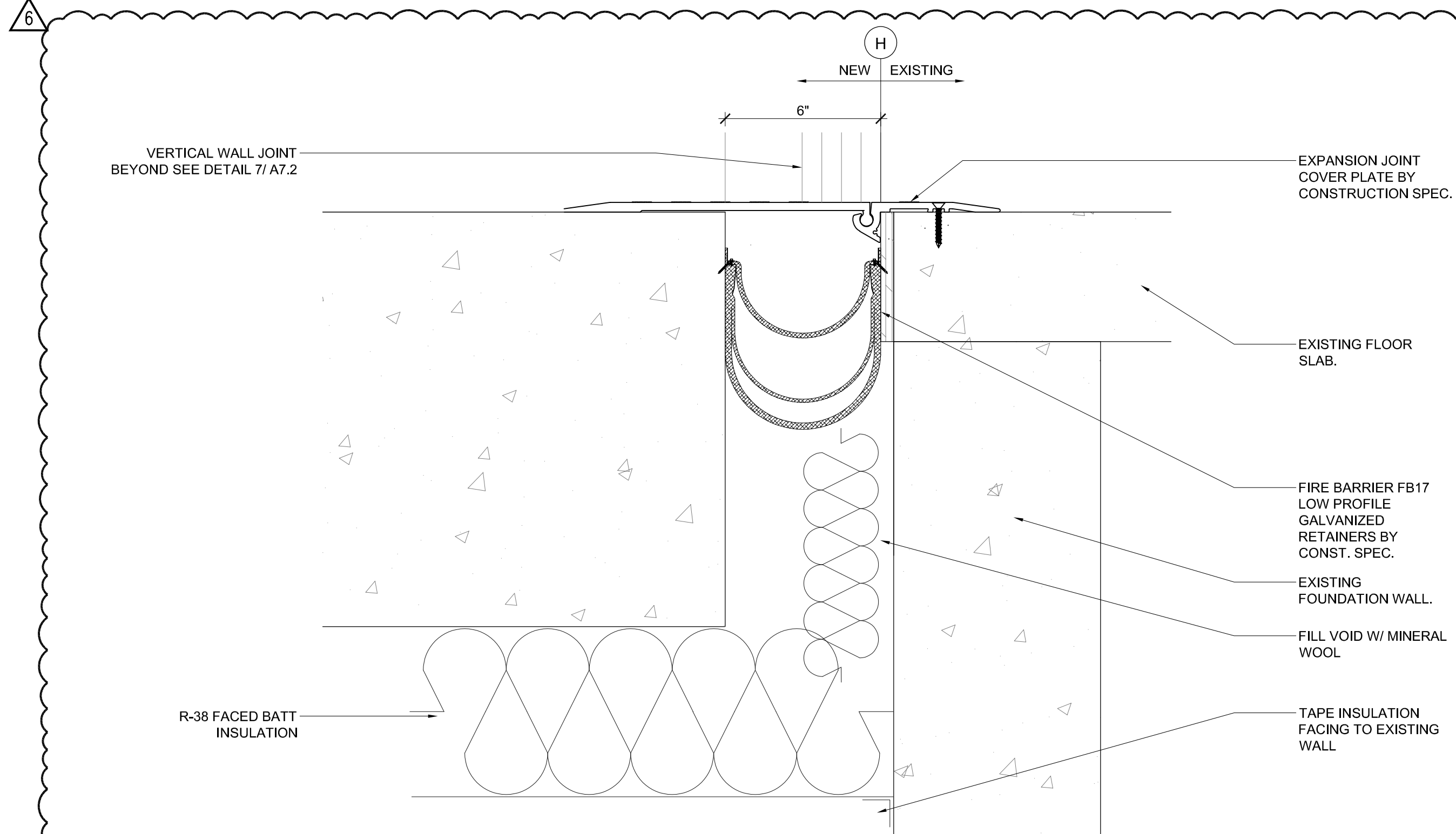
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8677 REGISTERED ARCHITECT
Rhonda A. Gillogly
RHONDA A. GILLOGLY
STATE OF WASHINGTON
02/26/2024

EXTERIOR DETAILS
ADDITION TO HAMPTON INN & SUITES
1515 S MERIDIAN
PUYALLUP, WA 98371
HAMPTON INN & SUITES

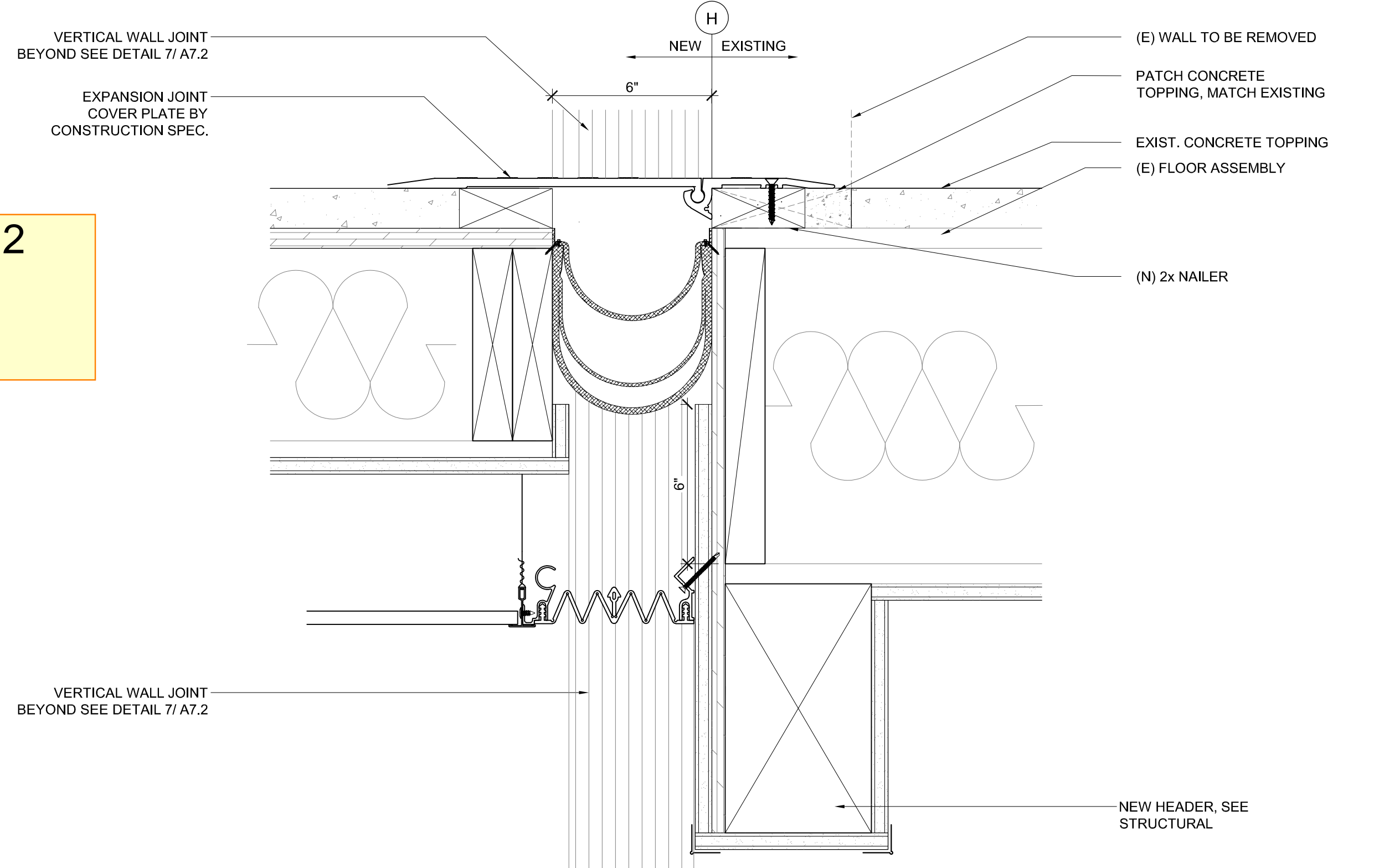
TITLE	PROJECT	CLIENT
JOB NO:	210158	

A7.1



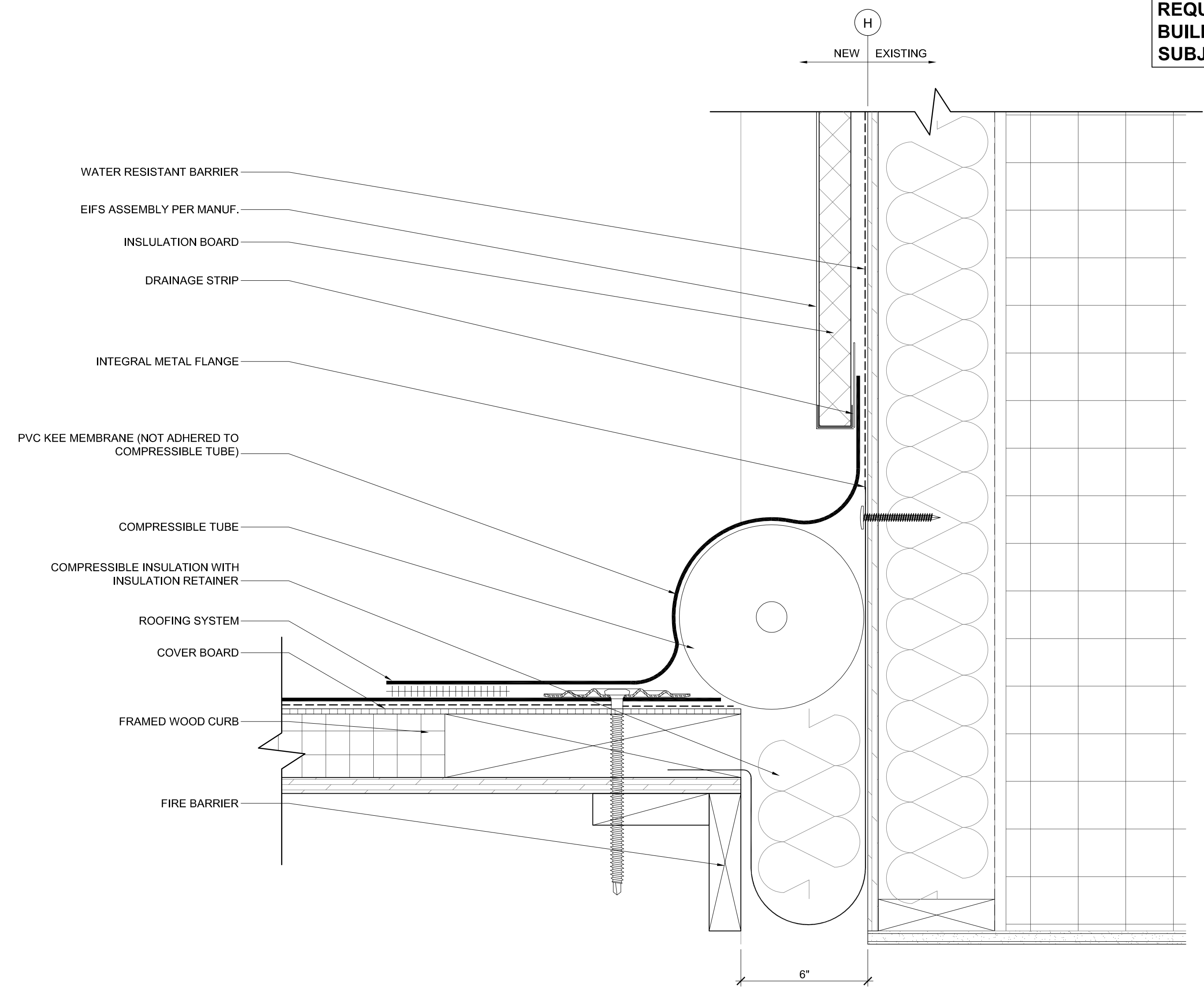
1 EXPANSION FLOOR JOINT LEVEL 02
 SCALE: 3" = 1'-0"
 BASED ON CONSTRUCTION SPECIALTIES

REVISION 2 of 2
 (4 pages)
 B-20-0078

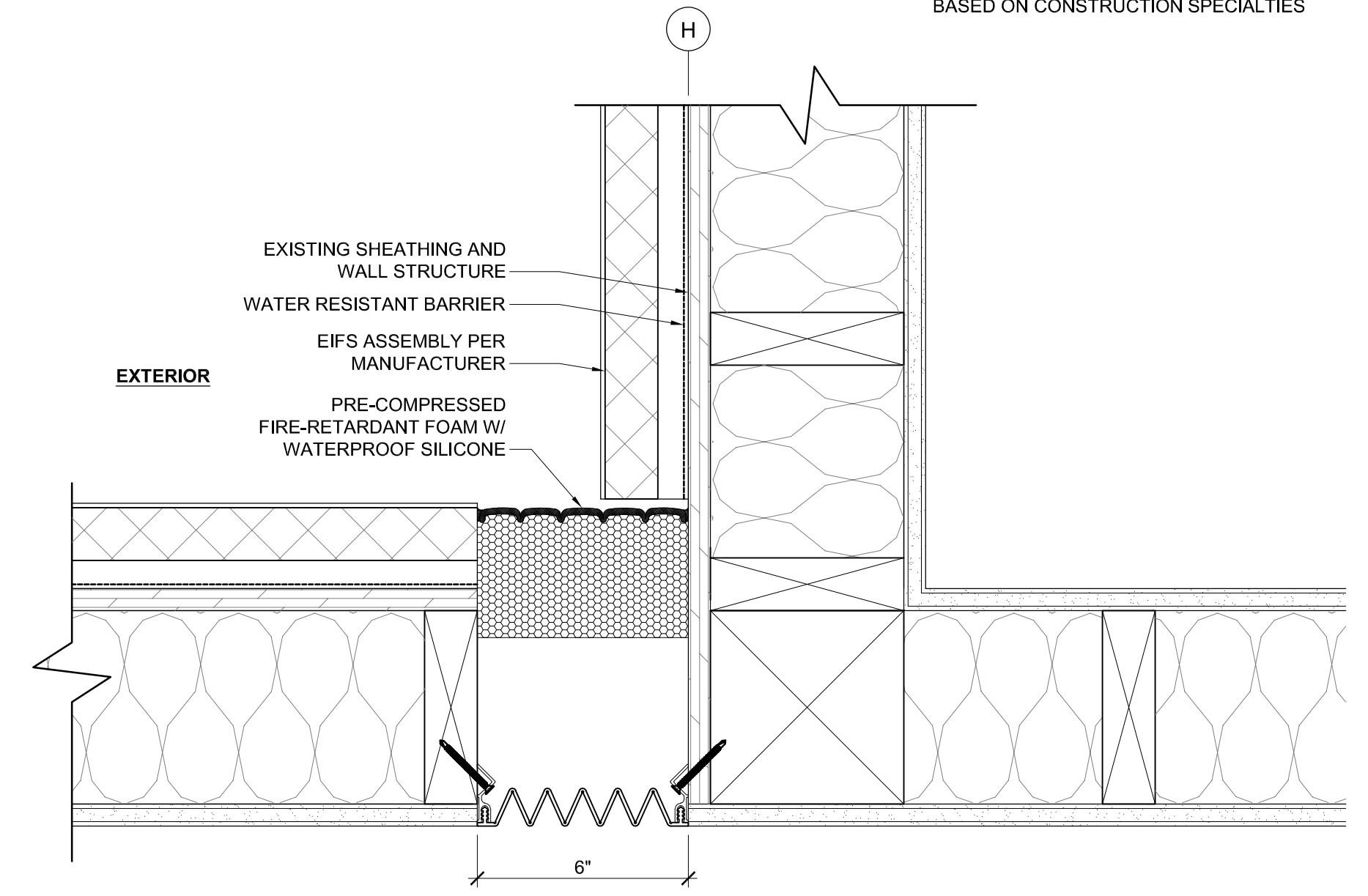


3 EXPANSION FLOOR JOINT LEVEL 03 & 04
 SCALE: 3" = 1'-0"
 BASED ON CONSTRUCTION SPECIALTIES

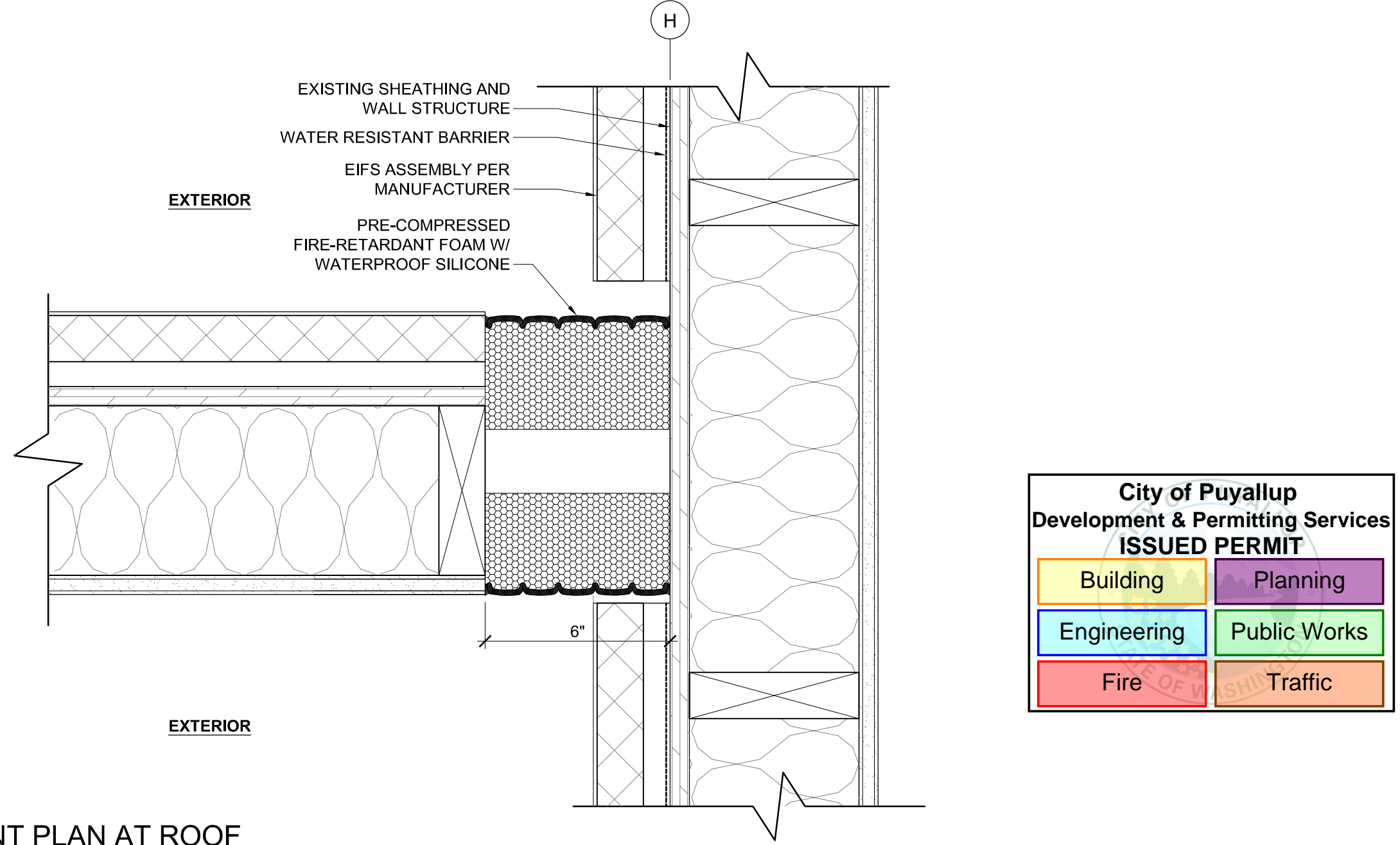
REQUIRED TO MEET ALL 2015 BUILDING CODE REQUIREMENTS SUBJECT TO FIELD INSPECTION



9 EXPANSION ROOF JOINT AT EXISTING PARAPET
 SCALE: 3" = 1'-0"
 BASED ON ELEVATE PVC



7 EXPANSION WALL JOINT PLAN AT LEVEL 02 - 04
 SCALE: 3" = 1'-0"
 BASED ON CONSTRUCTION SPECIALTIES



11 EXPANSION WALL JOINT PLAN AT ROOF
 SCALE: 3" = 1'-0"
 BASED ON CONSTRUCTION SPECIALTIES

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

KNIT
 909 S. 336TH ST.
 SUITE 107
 FEDERAL WAY, WA 98003
 knitstudios.com

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3	09.25.2023	CORRECTIONS
4	10.17.2023	CORRECTIONS
5	12.21.2023	CORRECTIONS
6	02.26.2023	CITY REVIEW COMMENTS

8677 REGISTERED ARCHITECT

 RHONDA A. GILLOGLY
 STATE OF WASHINGTON
 02/26/2024

DETAILS
ADDITION TO HAMPTON INN & SUITES
 1515 S MERIDIAN
 PUYALLUP, WA 98371
 HAMPTON INN & SUITES

TITLE	PROJECT	CLIENT

JOB NO: 210158

A7.2