



City of Puyallup  
**Planning Division**  
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www.cityofpuyallup.org

<b>Downtown Design Review Decision</b>	CITY USE ONLY <b>Case Number:</b> PLDDG20220021 <b>DRHPB Meeting Date:</b> May 04, 2023
	<b>NAME OF PROJECT:</b> Bradley Heights Multi-Family Project
<b>PROJECT DESCRIPTION:</b> proposing a 233-unit multi-family project consisting of (10) apartment buildings + (1) rec center	

- APPROVED.** Issue the building permit as proposed.
- APPROVED WITH CONDITIONS.** Issue the building permit in accordance with conditions.
- DENIED. Do not** issue the building permit or allow work.

  
DRHPB Representative Signature

5/5/2023  
Date

**EXPIRATION:** In accordance with PMC 20.26.050, any design review decision granted by the DRHPB shall become null and void if not exercised within one year of the date of approval: 11 Apr 2022. If such design review decision is associated with a land use application, the one-year approval timeframe shall start from the date of land use permit approval. A design review decision shall be deemed exercised and remain in full force and effect when a complete building permit application, which is related to the board's decision, has been submitted.

**APPEALS:** In accordance with PMC 2.29.080, appeals of board decisions shall be to the hearing examiner. Appeals shall be filed with the city clerk within 10 calendar days after the date of the board's decision. A notice of appeal shall be in writing, signed by the appellant, accompanied by the required appeal fee (\$570), and shall contain the following information:

- (a) Appellant's name, address and phone number;
- (b) A description of standing, as the applicant or applicant's representative authorized to appeal;
- (c) Identification of the application and decision which is the subject of the appeal;
- (d) A brief statement of grounds for appeal; and
- (e) A statement of the relief sought.





**FINDINGS OF FACT:**

- 1) The proposal is subject to Design Review and Historic Preservation Board (DRHPB) review due to the RM-Core zoning designation, consistent with 2.29.070 (1)(a)(ii).
- 2) The project is subject to the following sections of the City of Puyallup Downtown Design Guidelines, as applicable to the proposal:
  - Part 1: Introduction
  - Part 2: Significant Buildings
  - Part 3: Building Design – Form & Massing
  - Part 4: Building Design – Façade
  - Part 5: Pedestrian Experience
- 3) The DRHPB hereby finds the proposal consistent with the Downtown Design Guidelines regarding the applicable sections as outlined in the staff report to the Board, ~~given the following conditions:~~
  - a. At dormers, remove vertical trim pieces between window blocks. Keep color surrounding window blocks the same as the color between the window blocks. See attached materials diagram.
  - b. Applicant shall provide a plan view of ALL street facing facades that demonstrates that the entire pedestrian view plane for each building façade that faces a public street is in conformance with the requirement in DDG 5.B.3.5 to provide a minimum of 30% of glazing. Clubhouse is considered a 'residential building' for purposes of the glazing requirement of DDG 5.B.3.5. Plan view glazing calculation diagram shall be submitted with final building permit.

**ATTACHMENT(S):**

- A) Materials diagram with Board condition

**Buildings C & G Material Legend and Areas**

HIGH QUALITY MATERIALS		NON-HIGH QUALITY MATERIALS	
	<b>BRICK VENEER SIDING</b> Ground Floor Area: 497 SF Upper Level Area: 17 SF Total Area: 514 SF (13%)		<b>FIBER CEMENT LAP SIDING</b> Ground Floor Area: 0 SF Upper Level Area: 1,110 SF Total Area: 1,110 SF (28%)
	<b>THRU-COLOR FIBER CEMENT PANEL</b> Ground Floor Area: 474 SF Upper Level Area: 1,251 SF Total Area: 1,725 SF (43%)		
	<b>WOOD TRIM</b> Ground Floor Area: 237 SF Upper Level Area: 412 SF Total Area: 649 SF (16%)		
<b>TOTAL HQ MATERIAL AREAS</b> Ground Floor Area: 1,208 SF (100%) Upper Level Area: 1,680 SF (60%)		<b>TOTAL MATERIAL AREAS</b> Total Ground Floor Area: 1,208 SF Total Upper Level Area: 2,790 SF Total Material Area: 3,998 SF	

PUYALLUP DOWNTOWN DESIGN GUIDELINES 4.B.6 (2) and 4.B.6 (1)







**BUILDINGS C & G**

27TH AVE ELEVATION

1/8" = 1'-0"

**Building H Material Legend and Areas**

HIGH QUALITY MATERIALS		NON-HIGH QUALITY MATERIALS	
	<b>BRICK VENEER SIDING</b> Ground Floor Area: 366 SF Upper Level Area: 8 SF Total Area: 374 SF (13%)		<b>FIBER CEMENT LAP SIDING</b> Ground Floor Area: 0 SF Upper Level Area: 712 SF Total Area: 712 SF (25%)
	<b>THRU-COLOR FIBER CEMENT PANEL</b> Ground Floor Area: 309 SF Upper Level Area: 940 SF Total Area: 1,249 SF (45%)		
	<b>WOOD TRIM</b> Ground Floor Area: 183 SF Upper Level Area: 280 SF Total Area: 463 SF (17%)		
<b>TOTAL HQ MATERIAL AREAS</b> Ground Floor Area: 858 SF (100%) Upper Level Area: 1,228 SF (63%)		<b>TOTAL MATERIAL AREAS</b> Total Ground Floor Area: 858 SF Total Upper Level Area: 1,940 SF Total Material Area: 2,798 SF	

PUYALLUP DOWNTOWN DESIGN GUIDELINES 4.B.6 (2) and 4.B.6 (1)

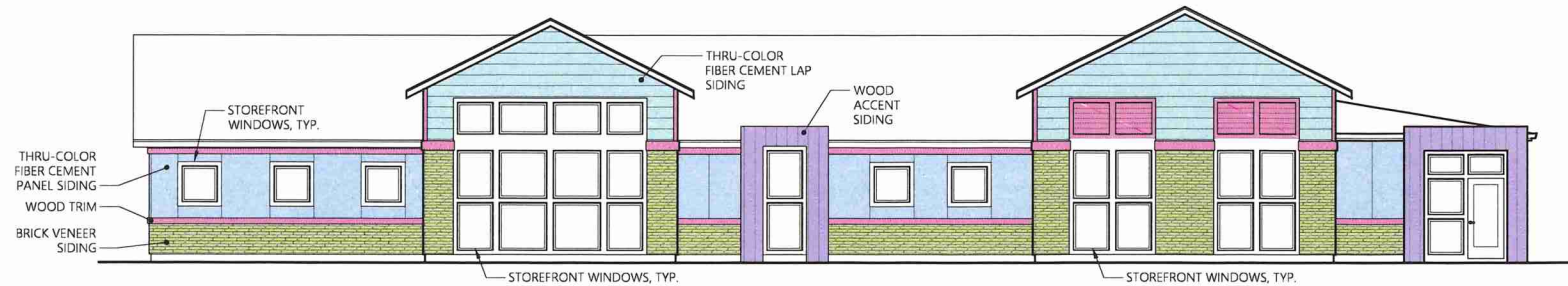


**BUILDING H**

27TH AVE ELEVATION

1/8" = 1'-0"

DRHPB Condition of Approval:  
Remove vertical trim pieces  
between window blocks at all  
dormers and keep color  
surrounding windows the same  
as the color between windows  
on dormers.



**CLUBHOUSE**

27TH AVE ELEVATION

1/8" = 1'-0"

**Clubhouse Material Legend and Areas**

HIGH QUALITY MATERIALS	
	<b>BRICK VENEER SIDING</b> Total Area: 268 SF (30%)
	<b>THRU-COLOR FIBER CEMENT PANEL SIDING</b> Total Area: 211 SF (23%)
	<b>WOOD ACCENT SIDING</b> Total Area: 99 SF (11%)
	<b>THRU-COLOR FIBER CEMENT LAP SIDING</b> Total Area: 219 SF (24%)
	<b>WOOD TRIM</b> Total Area: 112 SF (12%)
<b>Total Area: 909 SF (100% HQ)</b>	