

BASIS OF PLAN

THIS SITE PLAN IS BASED ON THE ALTA LAND TITLE SURVEY PREPARED BY BARGHAUSEN CONSULTING ENGINEERS, INC. (DATED AUGUST 9, 2022).

THE EXISTING CULTURAL AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER TO HAVE ALL IMPROVEMENTS FIELD VERIFIED PRIOR TO CONSTRUCTION.

SURVEY INFORMATION

TITLE REPORT INFORMATION

TITLE COMMITMENT: ALL TITLE INFORMATION SHOWN ON THIS MAP, INCLUDING APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY, HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY ALTA COMMITMENT NO. 1133990-0142, DATED JUNE 3, 2022, AT 7:30 AM.

LEGAL DESCRIPTION (PER ABOVE REFERENCED TITLE REPORT)

PARCEL "A" THAT PORTION OF BLOCKS 34 TO 37, INCLUSIVE, OF REPLAT OF A PART OF FRANK R. SPINNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO PLAT RECORDED IN BOOK 6 OF PLATS AT PAGE(S) 91, LYING NORTHERLY OF THE NORTHERN PACIFIC RAILWAY COMPANY RIGHT OF WAY, IN PUYALLUP, PIERCE COUNTY, WASHINGTON.

TOGETHER WITH THE SOUTH 30 FEET OF VACATED PIONEER AVENUE ABUTTING BLOCKS 34 AND 35 AS VACATED BY CITY OF PUYALLUP ORDINANCE NO. 211 RECORDED FEBRUARY 14, 1902 UNDER AUDITOR'S NO. 146161.

PARCEL "B" A PARCEL OF LAND SITUATED WITHIN THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 33 OF REPLAT OF A PART OF FRANK R. SPINNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO PLAT RECORDED IN BOOK 6 OF PLATS AT PAGE 91;

PARCEL "C" THAT PORTION OF THE SOUTHEAST OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SECTION CORNER COMMON TO SECTIONS 26, 27, 34 AND 35, ALL IN SAID TOWNSHIP 20 NORTH, RANGE 4 EAST;

HORIZONTAL DATUM

NAD 83/11 PER WSDOT PUBLISHED MONUMENTS. WSDOT CONTROL POINT "GP 27512-100" WAS HELD FOR POSITION, AND A LINE BETWEEN SAID POINT "GP 27512-100" AND CONTROL POINT "GP27512-18A2" WAS HELD FOR ROTATION, BEING SOUTH 38°23'07" WEST.

VERTICAL DATUM

NAVD88 VERTICAL CONTROL PUBLISHED BY WSDOT, POINT "GP 27512-100" WAS HELD FOR ELEVATION. BENCHMARK ELEVATION = 81.27'

SITE BENCHMARK

SET MAGNAIL & WASHER #49 IN THE SIDEWALK ON THE WEST SIDE OF 15TH STREET S.E. ELEVATION =55.16' (NAVD 88)

SOILS REPORT NOTES

1. THE FOLLOWING SOILS REPORTS/ASSESSMENTS WERE PREPARED FOR THE SITE: GEOTECHNICAL REPORT, PROJECT NO. T-8661 DATED: JAN 12TH 2022;

240 - 15TH STREET SE INDUSTRIAL
240 - 15TH STREET SE PUYALLUP, WASHINGTON

PREPARED BY: TERRA ASSOCIATES, INC. 12220 113TH AVENUE NE, STE. 130 KIRKLAND, WASHINGTON 98034

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, AND PAVING CONSTRUCTION.

3. ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN ENGINEERS.

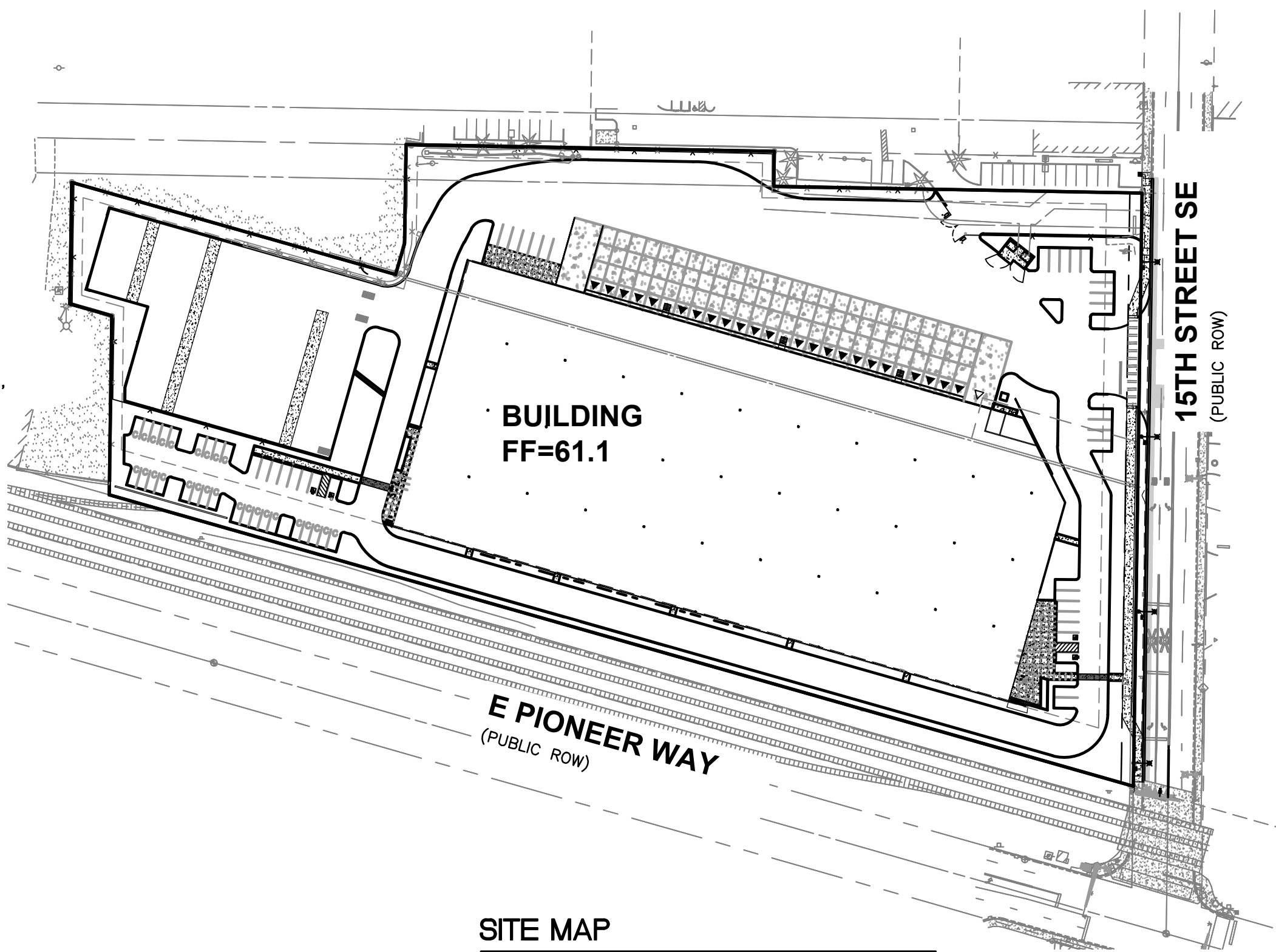
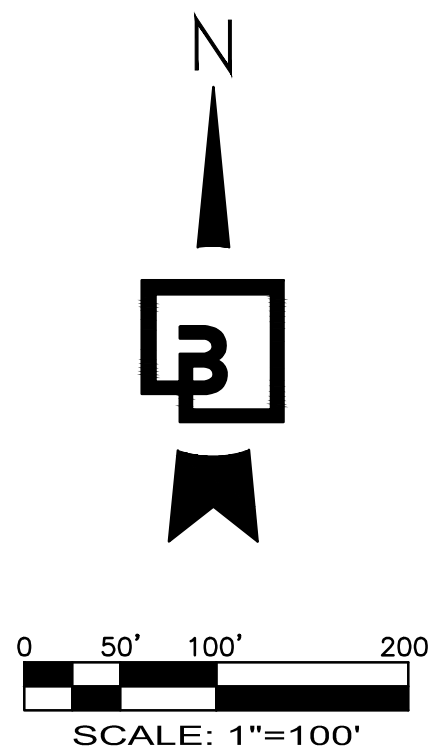
4. A REPRESENTATIVE FOR THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIELD CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATION OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO THE SATISFACTION OF THE ENGINEER.

5. THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

Building permit PRFO20240367 shall not be issued until civil permit PRCCP20231096 and all necessary demolition permits are issued first. The building permit site plan must match the approved civil plans. A final submittal is required to compare the building and civil plans prior to building permit issuance. The applicant shall be responsible for coordinating final building permit submission to avoid redundant reviews and building permit fees. [SITE PLAN, sheet C1]

PORTION OF SE QUARTER OF SEC 27, TWN 20 N, RGE. 4 E, W.M. CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

COVER SHEET CIVIL PLANS



SITE MAP 1"=100'

INDEX OF SHEETS: CIVIL SET

- C1 COVER SHEET
C2 CONSTRUCTION NOTES
C3 CIVIL TESC AND DEMOLITION PLAN
C4 SITE PLAN
C5 SITE PLAN
C6 SITE PLAN
C7 GRADING AND STORM DRAINAGE PLAN
C8 GRADING AND STORM DRAINAGE PLAN
C9 GRADING AND STORM DRAINAGE PLAN
C10 GRADING DETAILS
C11 GRADING DETAILS
C12 VAULT DETAILS
C13 VAULT DETAILS
C14 WATER AND SANITARY SEWER PLAN
C15 WATER AND SANITARY SEWER PLAN
C16 WATER AND SANITARY SEWER PLAN
C17 RIGHT-OF-WAY DEMOLITION PLAN
C18 FRONTAGE IMPROVEMENT PLAN
C19 CHANNELIZATION PLAN
C20 SITE SECTIONS
C21 EROSION CONTROL DETAILS
C22 EROSION CONTROL DETAILS
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C31 CONSTRUCTION DETAILS
C32 CONSTRUCTION DETAILS
C33 CITY NOTES
C34 FIRE LANE MARKING PLAN

ILLUMINATION SET

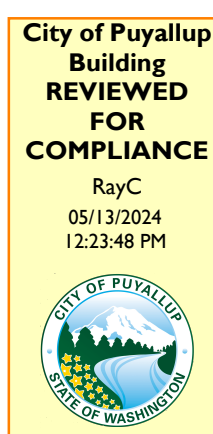
- 1 ILLUMINATION PLAN
2 ILLUMINATION DETAILS

LANDSCAPE SET

- L0.01 LANDSCAPE GENERAL INFORMATION
L1.10 PLANTING PLAN EAST
L1.11 PLANTING PLAN CENTRAL
L1.12 PLANTING PLAN WEST
L1.20 MATERIALS AND LAYOUT PLAN
L5.10 SITE DETAILS
L5.11 SOIL DETAILS
L5.12 IRRIGATION DETAILS
L5.13 PLANTING DETAILS
L5.14 STREET PLANTING DETAILS

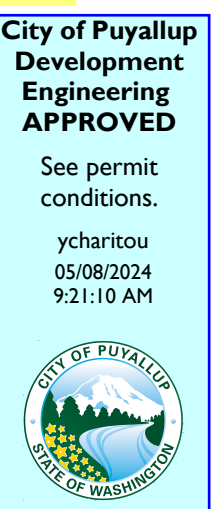
See structural plans for construction details and special inspection requirements.

PRFO20240367



Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

THE APPROVED CONSTRUCTION PLANS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION. PRINT IN COLOR and to SCALE.



Building permit PRFO20240367 shall only be used for the construction of the stormwater vault. For all other work, refer to civil permit PRCCP20231096.

UTILITY CONFLICT NOTE:

CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 332-120.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES PUBLIC LAND SURVEY OFFICE 801 88th AVE S.E. OLYMPIA, WASHINGTON 98501-7019

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS.

TAX PARCEL NUMBERS

7845000161, 7845000170, 0420274126

ZONING

ML - LIMITED MANUFACTURING

OWNER/APPLICANT

CREF3 PUYALLUP OWNER LLC 11611 SAN VICENTE BLVD, 10TH FLOOR LOS ANGELES, CA 90049

CIVIL ENGINEERING CONSULTANT:

BARGHAUSEN CONSULTING ENGINEERS 18215 72ND AVENUE SOUTH KENT, WA. 98032 (425) 251-6222 (425) 251-8782 (FAX) JASON HUBBELL EMAIL: jhubbell@barghausen.com

SITE SURVEY CONSULTANT:

BARGHAUSEN CONSULTING ENGINEERS 18215 72ND AVENUE SOUTH KENT, WA. 98032 (425) 251-6222 (425) 251-8782 (FAX) RYAN LEE

PROJECT INFO:

TOTAL SITE AREA= 346,555 SF
TOTAL IMPERVIOUS AREA= 289,069 SF (83.4%)
TOTAL PERVIOUS AREA= 57,486 SF (16.6%)

UTILITIES/SERVICES

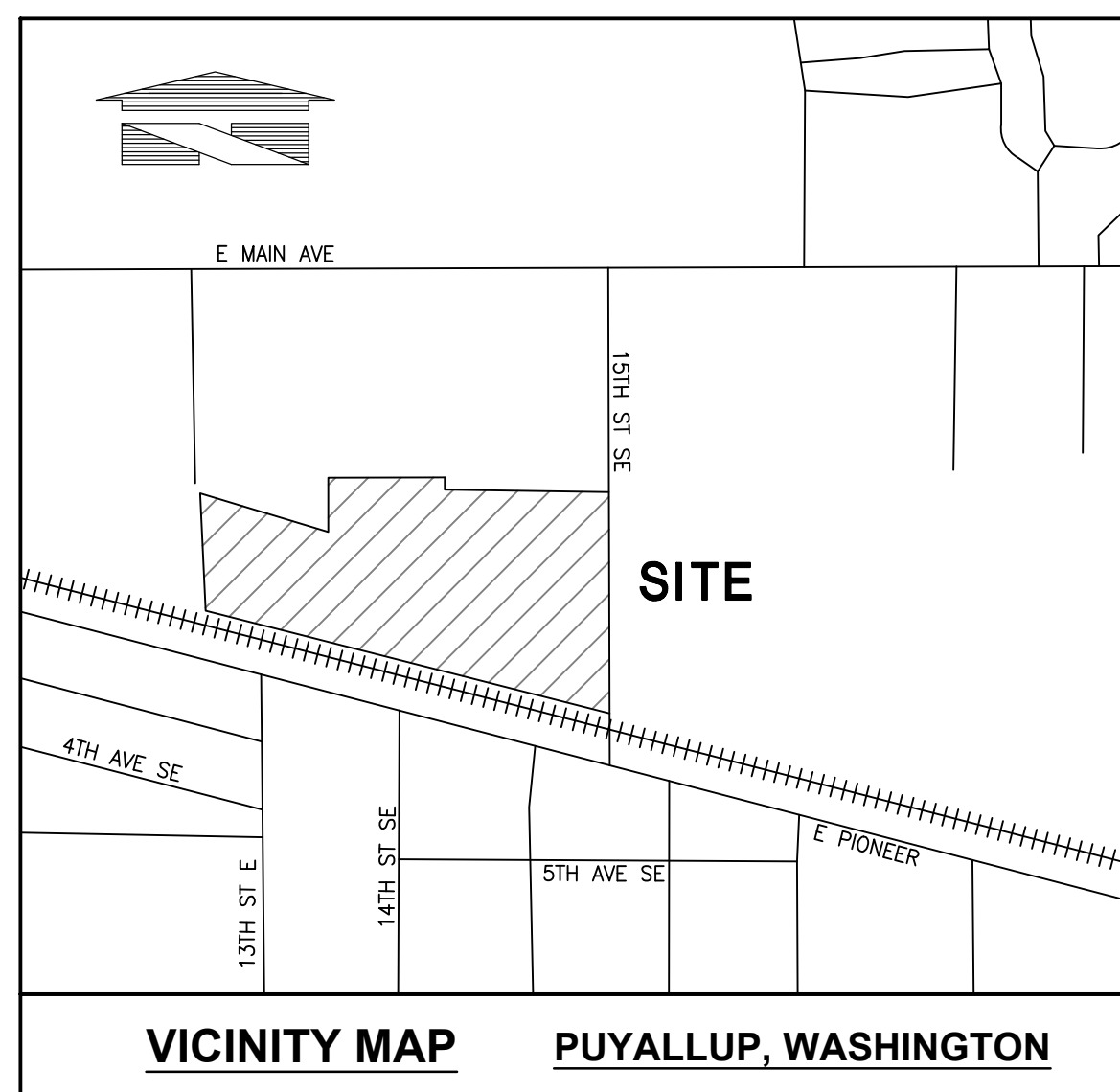
STORM/SEWER/WATER: CITY OF PUYALLUP WATER DIVISION 1100 39TH AVE. SE PUYALLUP, WA 98374 (253) 841-5505
POWER: PUGET SOUND ENERGY 8001 SOUTH 212TH STREET KENT, WA 98032 (253) 395-7065

ESTIMATED EARTHWORK VOLUMES:

(FOR PERMITTING ONLY. NOT FOR BID PURPOSES)
EARTHWORK, STRIPPING EXPORT = 0
ON-SITE CUT = 7,000 CY
ON-SITE FILL = 7,000 CY
EARTHWORK, STRUCTURAL IMPORT = 000 CY

HORIZONTAL CONTROL / SURVEY NOTE:

- 1. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL AND VERTICAL CONTROL FOR ALL NEW IMPROVEMENTS. CONTRACTOR SHALL CONTACT BARGHAUSEN CONSULTING ENGINEERS, INC. TO OBTAIN ELECTRONIC CAD FILES FOR STAKING PURPOSES.
2. UNDERGROUND UTILITIES AND FEATURES DEPICTED HERON ARE BASED ON FIELD OBSERVATION, MARKINGS, DEVELOPMENT PLANS, AND/OR BEST AVAILABLE RECORD DOCUMENTS ONLY. CONTRACTOR SHALL FIELD VERIFY SIZE AND TYPE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO WORK.



VICINITY MAP PUYALLUP, WASHINGTON

SITE ADDRESS

240 15TH STREET SE PUYALLUP, WA 98372

APPROVED BY CITY OF PUYALLUP DEVELOPMENT ENGINEERING DATE

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

Table with columns: No., Date, By, Ckd., Appr., and Revision. Includes entries for 03/05/24, 02/27/24, and 12/06/23.

COVER SHEET CIVIL PLANS
FORTRESS - PUYALLUP
CREF3 PUYALLUP OWNER LLC
11611 SAN VICENTE BLVD
10TH FLOOR
LOS ANGELES, CA 90049

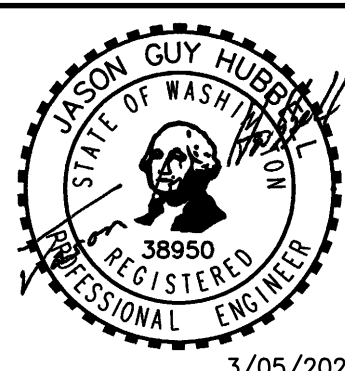


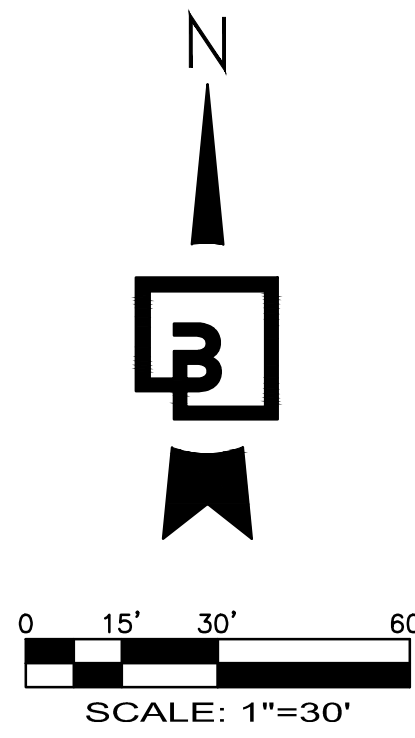
Table with columns: Designed, Drawn, Checked, Approved, Date. Includes values for ycharitou and date 8/23/23.

Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com

Job Number 22085 Sheet C1 of 34

PORTION OF SE QUARTER OF SEC 27, TWN 20 N, RGE. 4 E, W.M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON  
**GRADING AND DRAINAGE PLAN**

PRFO20240367



**STORM DETENTION VAULT**  
100'x168' + 40'x204' x 8' HEIGHT  
INSIDE CLEAR DIMENSIONS  
MIN INSIDE TOP ELEV=56.5  
MAX WS=55.5  
STATIC WS=50.2  
INSIDE BOTTOM=49.2±  
5.3' LIVE STORAGE. SEE SHT C12  
NOTE: MANHOLES/ACCESSES SHOWN APPROX. AND SHALL BE PER STRUCTURAL DESIGN FOR ACCESS REQUIREMENTS

EX. CB STD GRT  
RIM=52.97'  
12" ADS SE IE=51.07'  
12" ADS NW IE=50.97'

WESTECH REALTY CO LLC  
TAX PARCEL NO.  
7845100327

1300 MAIN ST LLC  
TAX PARCEL NO.  
7845000141

ESTES DEVELOPMENT LLC  
TAX PARCEL NO.  
0420274115

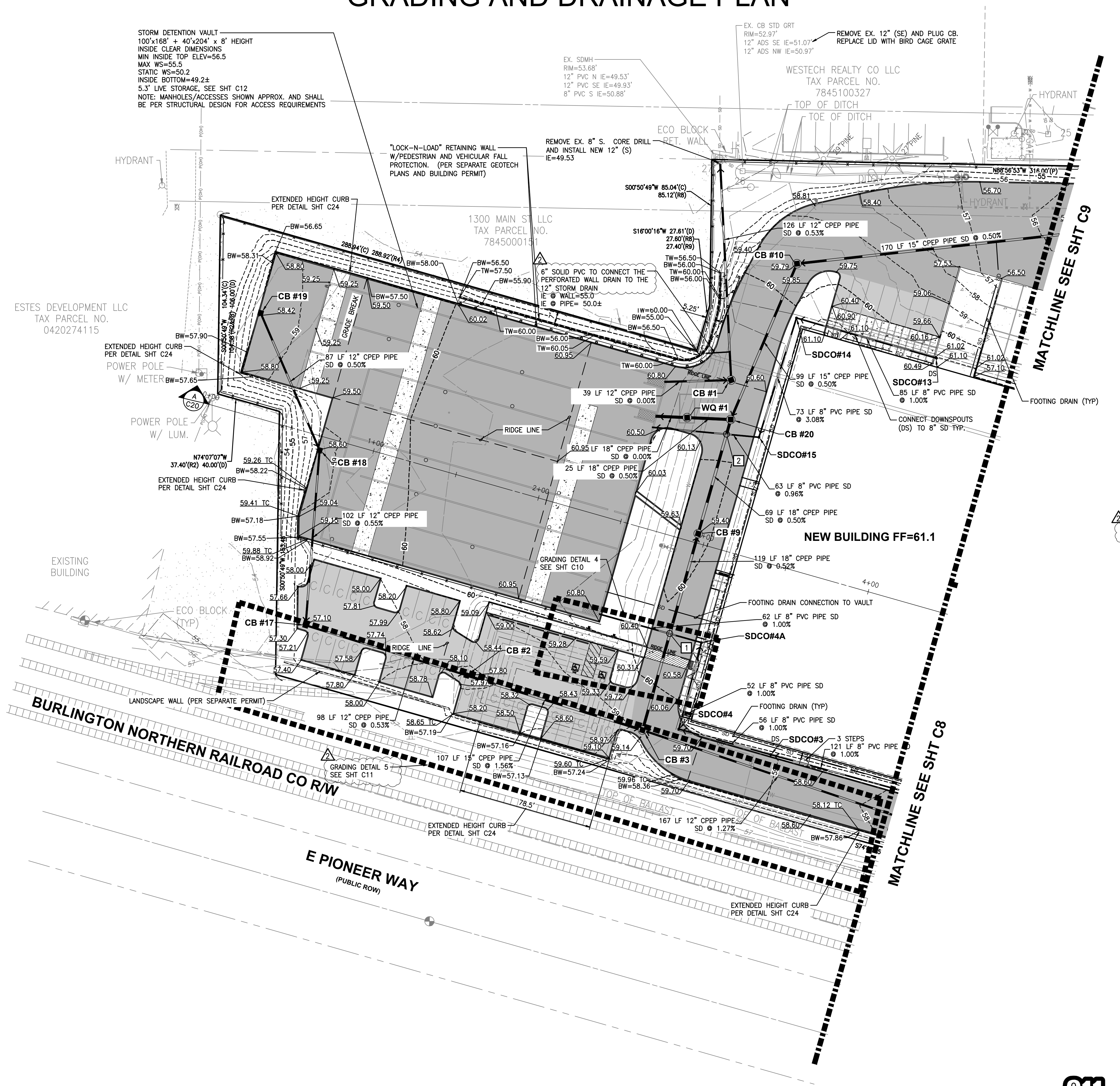
**STORM CROSSING TABLE:**

- 1 UTILITY CROSSING  
IE 8" SD=53.54  
T/P 18" SD=53.1  
SEPARATION=0.44'
- 2 UTILITY CROSSING  
IE 8" SD=55.10  
T/P 18" SD=52.40  
SEPARATION=3.20'

**WALL NOTES:**

(WALL DESIGN PER SEPARATE PLANS AND BUILDING PERMIT).

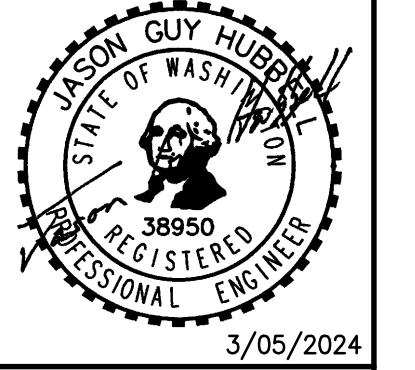
1. WALL DESIGN NEEDS TO BE SUBMITTED TO THE OWNER AND THE ENGINEER/CITY FOR REVIEW AND APPROVAL.
2. WALL DESIGNS OVER 4- FEET HIGH REQUIRE A SEPARATE BUILDING PERMIT AND ENGINEERING DESIGN.
3. WALLS OVER 30-INCHES HIGH, WHERE TOP OF WALL IS ADJACENT TO PEDESTRIAN OR VEHICULAR PATHWAY(S), NEED TO INCLUDE PEDESTRIAN AND/OR VEHICULAR FALL PROTECTION. THE FALL PROTECTION SHALL BE DESIGNED, PERMITTED, PROVIDED BY, AND INSTALLED BY CONTRACTOR.
4. THE DIMENSIONS SHOWN ON THE PLAN ARE THE BASIS OF WALL PLACEMENT. DIMENSIONS ARE SHOWN TO THE FACE OF WALL AT THE EXPOSED GRADE. CONTRACTOR SHALL USE A CURRENT CAD FILE FROM BARGHAUSEN CONSULTING ENGINEERS, INC. TO STAKE THE FACE OF WALL LOCATION.
5. THE TYPE OF WALL CHOSEN WILL DETERMINE THE WALL WIDTH, BATTER, AND IF GEOGRID IS NECESSARY.
6. THE WALL HEIGHT SHOWN ON THE PLANS IS AN ESTIMATED MAXIMUM HEIGHT. TOP OF WALL ELEVATIONS PROVIDED ARE TO THE TOP OF EXPOSED FACE OF WALL, NOT INCLUDING ANY PEDESTRIAN OR VEHICULAR BARRIER IF NECESSARY. BOTTOM OF WALL ELEVATIONS PROVIDED ARE TO THE BOTTOM OF THE EXPOSED FACE OF WALL (AND NOT TO WALL FOOTING). THE WALL ELEVATIONS PROVIDED ON THE PLANS ARE PROVIDED AT UNIFORM LOCATIONS AND DO NOT NECESSARILY REPRESENT ALL OF THE WALL ELEVATION CHANGES. WALL PROFILES ARE REQUIRED TO BE PART OF THE DESIGN/BUILD OR STRUCTURAL DESIGN PLANS. WALL PROFILES MAY RESULT IN HIGHER OVERALL WALL HEIGHTS.
7. COORDINATION BETWEEN WALL DESIGN AND THE CONSTRUCTION DRAWINGS NEEDS TO OCCUR PRIOR TO CONSTRUCTION TO CONFIRM WALL LOCATION IN PLAN VIEW, DRAINAGE REQUIREMENTS, ETC.



CATCH BASINS	
CB #1, TYPE 2-54" CONTROL STRUCTURE W/SOLID LOCKING LID RIM=60.65 IE=50.20 (12" W) IE=50.20 (12" N)	
CB #2, TYPE 1, W/STANDARD GRATE RIM=57.80 IE=53.48 (12" W) IE=53.48 (15" E)	
CB #3, TYPE 2-48" W/STANDARD GRATE RIM=59.21 IE=51.80 (12" E) IE=51.80 (15" W) IE=51.80 (18" N)	
CB #9, TYPE 2-48" W/STANDARD GRATE RIM=59.40 IE=51.18 (18" S) IE=51.18 (18" N)	
CB #10, TYPE 2-48" W/STANDARD GRATE RIM=59.79 IE=51.32 (15" E) IE=51.32 (15" SW)	
CB #17, TYPE 1, W/STANDARD GRATE RIM=57.10 IE=54.00 (12" N) IE=54.00 (12" E)	
CB #18, TYPE 1, W/STANDARD GRATE RIM=58.63 IE=54.56 (12" NW) IE=54.56 (12" S)	
CB #19, TYPE 1, W/STANDARD GRATE RIM=57.10 IE=54.00 (12" N) IE=54.00 (12" E)	
CB #20, TYPE 2-48" W/SOLID LOCKING LID RIM=60.35 IE=50.83 (15" NE) IE=50.83 (18" S) IE=50.83 (18" W)	
SDCO#3, RIM=59.49 IE=54.80 (8" E) IE=54.80 (8" W)	
SDCO#4, RIM=59.56 IE=54.24 (8" E) IE=54.24 (8" N)	
SDCO#4A, RIM=60.77 IE=53.72 (8" S) IE=53.72 (8" W)	
SDCO#13, RIM=61.03 IE=58.50 (8" W)	
SDCO#14, RIM=60.39 IE=57.65 (8" E) IE=57.65 (8" S)	
SDCO#15, RIM=60.75 IE=55.40 (8" N) IE=55.40 (8" W)	
WQ #1, BPU-8161B RIM=60.39 IE=50.70 (18" E) IE=50.20 (18" W)	

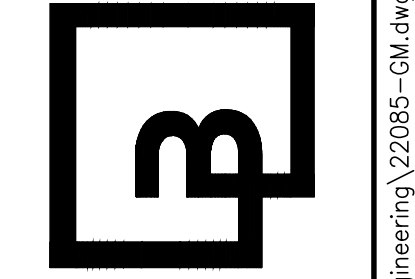
**GRADING AND DRAINAGE PLAN**  
**FORTRESS - PUYALLUP**

**CREF3 PUYALLUP OWNER LLC**  
11611 SAN VICENTE BLVD  
10TH FLOOR  
LOS ANGELES, CA 90049



Scale:	Horizontal	1"=30'	Vertical	N/A					
Designed	DL	Drawn	RDC	Checked	JGH	Approved	JGH	Date	6/23/23

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



Job Number: **22085**  
Sheet: **C7** of **34**

**APPROVED**  
BY: \_\_\_\_\_  
CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
DATE: \_\_\_\_\_  
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL. DATE: \_\_\_\_\_  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

**811**  
Know what's below.  
Call before you dig.  
Dial 811

P:\22000A\22085\engineering\22085-GM.dwg 3/4/2024 2:49 PM RCO

# VAULT DETAILS

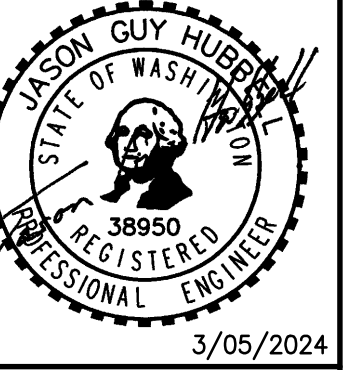
PRFO20240367

No.	Date	By	Chk.	Appr.	Revision
1	12/06/23	DL	DL	JSG	RESPONSE TO CITY COMMENTS, DATED 10-06-2023
2	03/05/24	DL	DL	JSG	RESPONSE TO CITY COMMENTS, DATED FEBRUARY 06, 2024

VAULT DETAILS

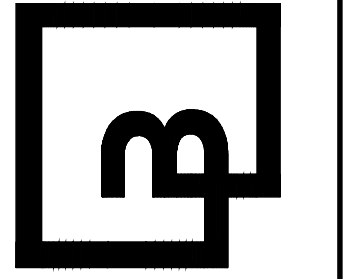
FORTRESS - PUYALLUP

FOR: CREF3 PUYALLUP OWNER LLC  
11611 SAN VICENTE BLVD  
10TH FLOOR  
LOS ANGELES, CA 90049



Scale:	Horizontal	Vertical
	1"=10'	N/A

Barghausen Consulting Engineers, Inc.  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



Job Number: 22085  
Sheet: C12 of 34

**APPROVED**  
BY: CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
DATE: \_\_\_\_\_  
**NOTE:** THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

### VAULT NOTES:

1. VENTILATION PIPES (MIN. 12" DIAMETER OR EQUIVALENT) SHALL BE PROVIDED IN ALL CORNERS OF THE VAULT TO ALLOW FOR VENTILATION PRIOR TO ENTRY OF MAINTENANCE PERSONNEL INTO VAULT. VENTILATION PIPES ENTER THROUGH THE VAULT LID. PROVIDE LOCKING LIDS FLUSH WITH FINISH GRADE USING CLEANOUT.
2. WHERE PIPES ENTER AND LEAVE THE VAULT BELOW THE DESIGNED MAX WATER SURFACE, THEY SHALL BE SEALED USING A NON-POROUS, NON-SHRINKING GROUT.
3. ACCESS LOCATIONS, VAULT DESIGN AND WALL OPENINGS ARE PER THE STRUCTURAL DRAWING AND THE LOCATIONS ARE SHOWN FOR REFERENCE ONLY.
4. INSTALL CONFINED SPACE PLACARD AT ALL ACCESS POINTS TO THE VAULT.
5. CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

### VAULT ACCESS HATCH NOTES:

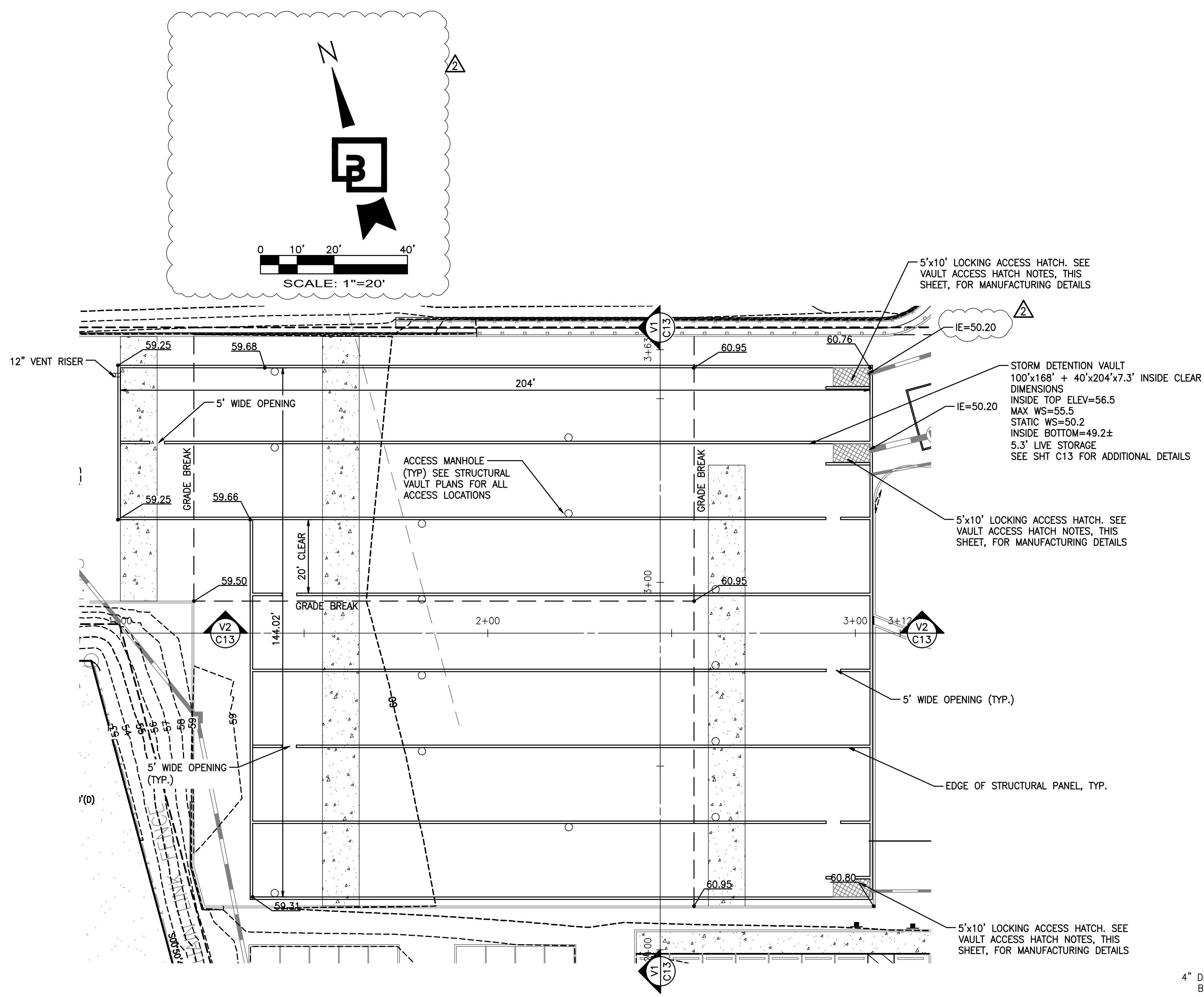
1. PROVIDE H-20 (MIN) TRAFFIC RATED 5'x10' LOCKING, PERSONAL 2-DOOR SOLID ACCESS HATCH.
2. FRAME AND HATCH COVER SHALL BE DESIGNED FOR 150 PSF LIVE LOAD.
3. A SPRING-ASSISTED LIFT WITH HOLD-OPEN FEATURE TORSION BARS SHALL BE INSTALLED. AUTOMATIC HOLD-OPEN ARM WITH GRIP HANDLE RELEASE SHALL BE ADDED.
4. POLYPROPYLENE RUNGS OR LADDER SHALL BE INSTALLED EXTENDING FROM THE HATCH TO THE BOTTOM OF THE VAULT.
5. A LADDER-UP MECHANISM SHALL BE INSTALLED CENTERED OVER THE RUNGS OR LADDER BELOW THE HATCH.
6. ALL HARDWARE SHALL BE ZINC-COATED.

### VAULT ACCESS OPENINGS NOTES:

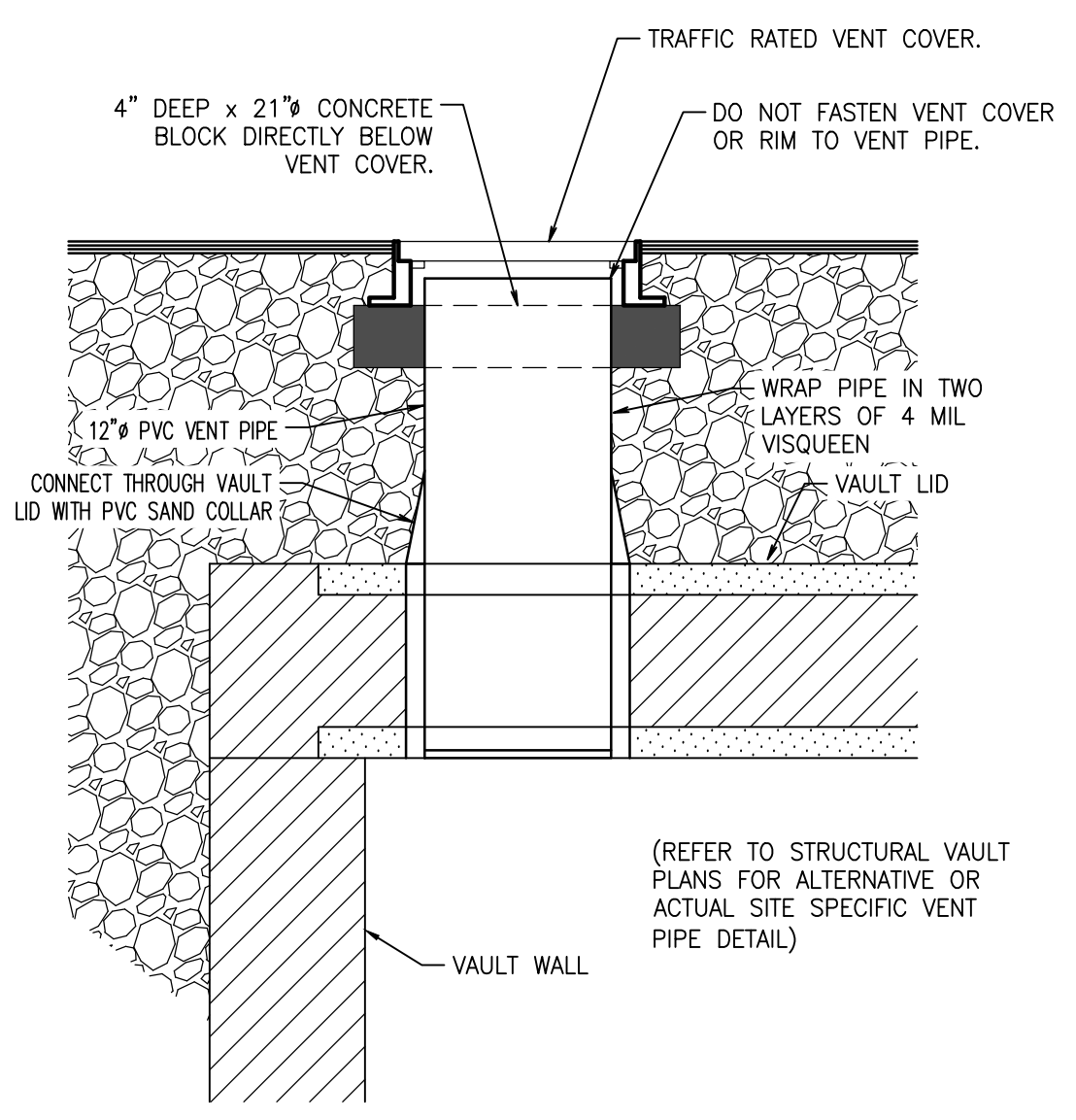
1. IN ADDITION TO THE HATCHES SHOWN, VAULT ACCESS OPENINGS MUST BE PROVIDED SUCH THAT NO LOCATION WITHIN THE VAULT IS MORE THAN 50 FEET FROM AN ACCESS OPENING. ACCESS TO EACH "V" ON THE VAULT FLOOR MUST BE PROVIDED.
2. ACCESS OPENINGS MUST HAVE ROUND, SOLID LOCKING LIDS, OR 3 FOOT SQUARE, LOCKING DIAMOND PLATE COVERS.

### DETENTION VAULT DATA:

MIN INSIDE TOP OF VAULT ELEV=	56.7
MAX W.S. ELEV=	55.5
STATIC W.S. ELEV=	50.2
SEE THIS SHEET AND C13 FOR DETAILS.	
DETENTION VAULT:	
LIVE STORAGE VOLUME REQUIRED=	143,488 C.F.
LIVE STORAGE VOLUME PROVIDED=	143,488 C.F.
AS-BUILT DETENTION VOLUME CONSTRUCTED=	_____ C.F.



VAULT DETAIL 1  
1"=20'

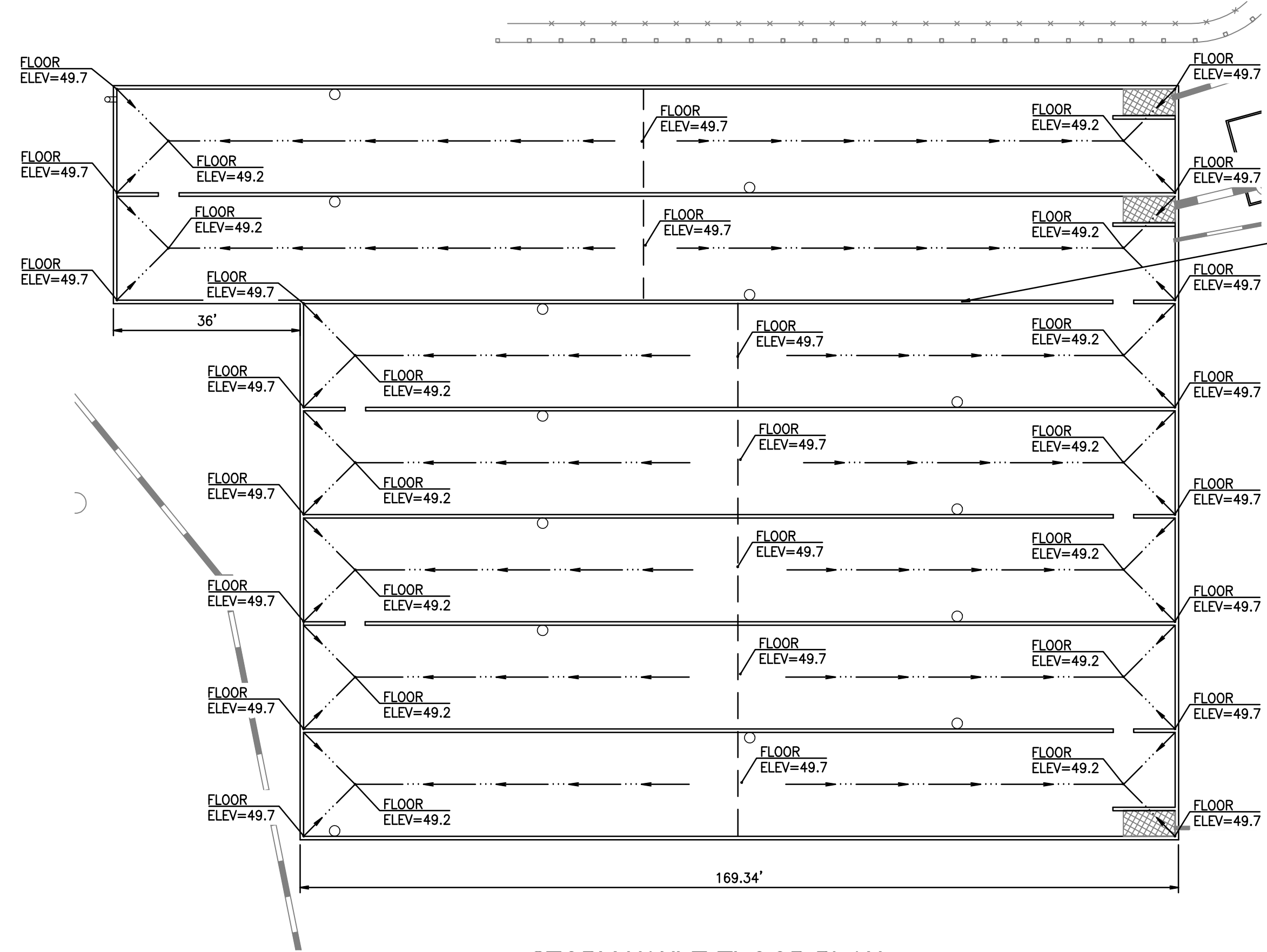
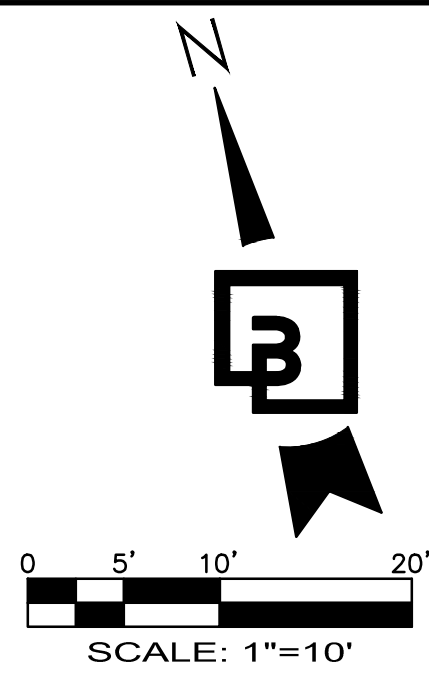


VENTILATION PIPE DETAIL  
NOT TO SCALE



# Vault Details

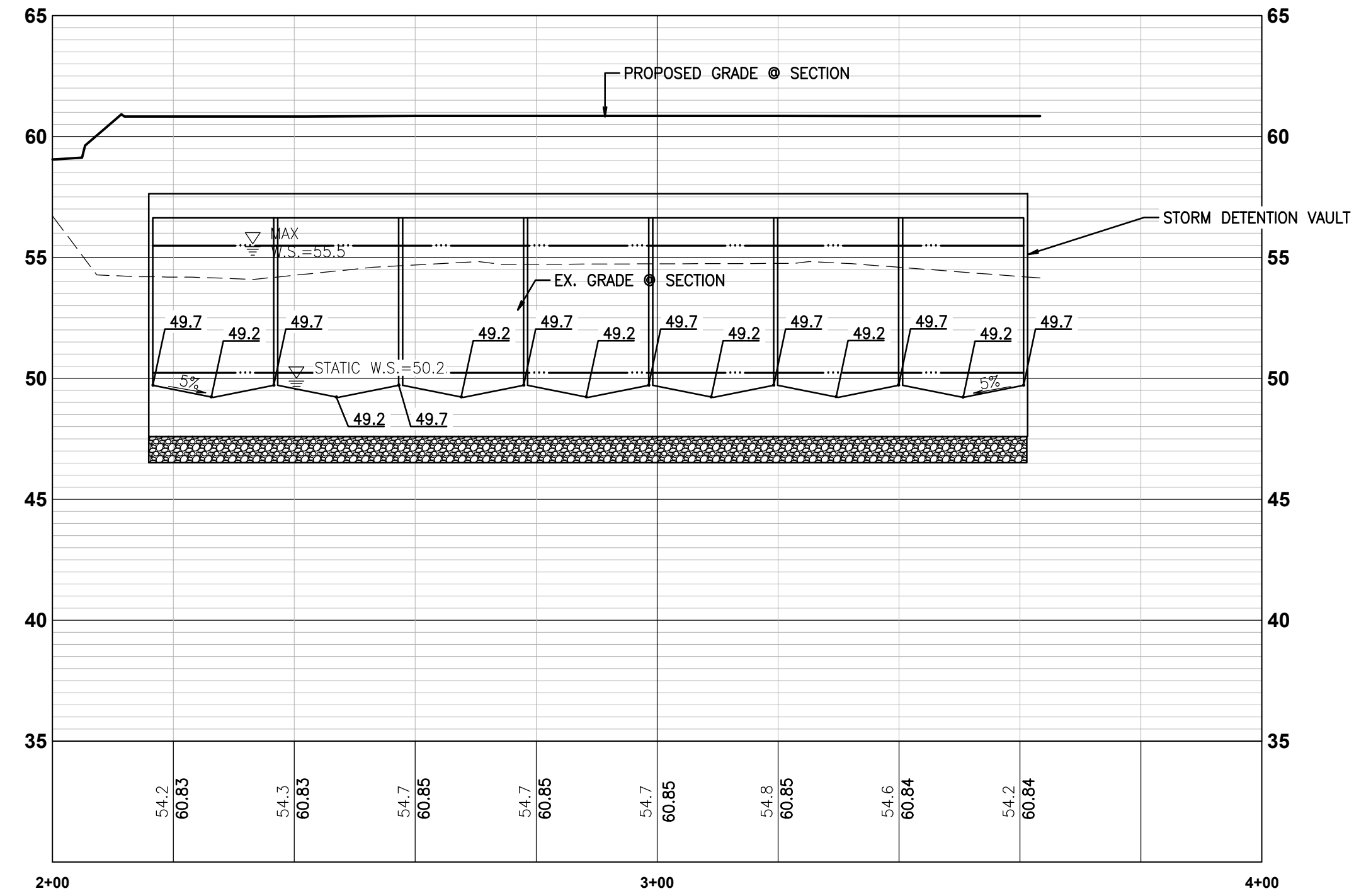
PRFO20240367



**STORM VAULT FLOOR PLAN**

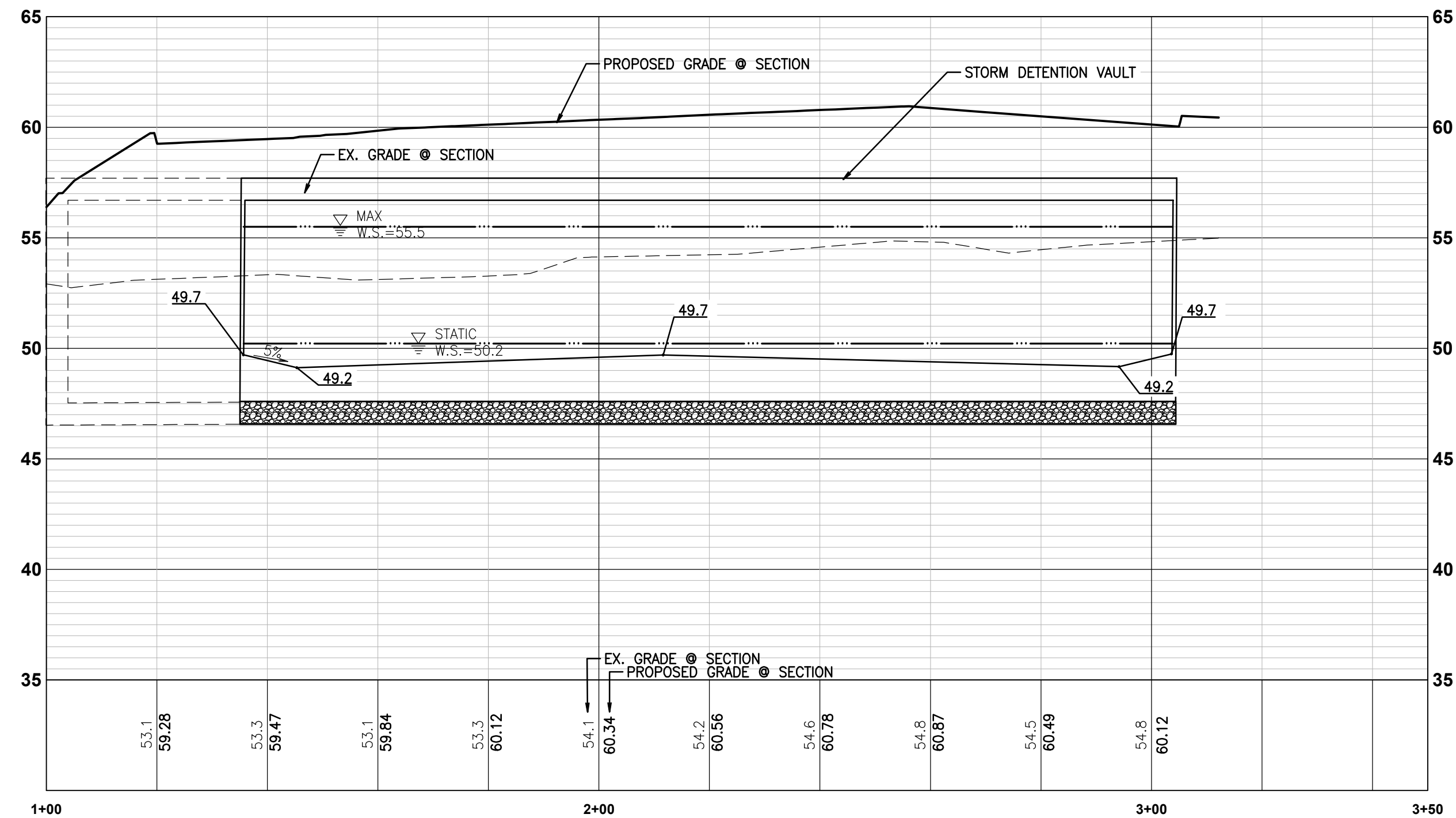
1"=20'

STORM DETENTION VAULT  
100'x168' + 40'x204'x7.5' INSIDE CLEAR  
DIMENSIONS  
INSIDE TOP ELEV=56.7  
MAX WS=55.5  
STATIC WS=50.2  
INSIDE BOTTOM=49.2±  
5.3' LIVE STORAGE  
SEE SHT C13 FOR ADDITIONAL DETAILS



**VAULT SECTION V1-V1**

1"=20' HORIZ, 1"=5' VERT



**VAULT SECTION V2-V2**

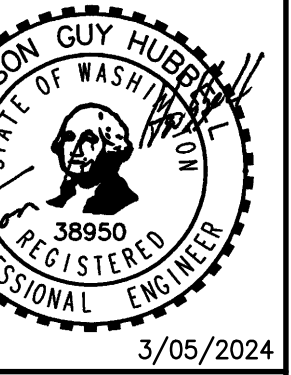
1"=20' HORIZ, 1"=5' VERT

No.	Date	By	Chk.	Appr.	Revision
2	03/05/24	DL	JSG	JSG	RESPONSE TO CITY COMMENTS, DATED FEBRUARY 06, 2024
1	02/27/24	DL	JSG	JSG	BID SET
1	12/06/23	DL	JSG	JSG	RESPONSE TO CITY COMMENTS, DATED 10-06-2023

**VAULT DETAILS**

**FORTRESS - PUYALLUP**

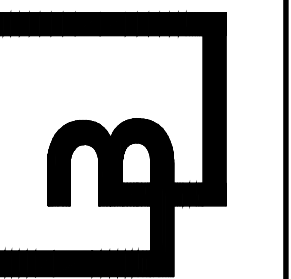
**FOR: CREF3 PUYALLUP OWNER LLC  
11611 SAN VICENTE BLVD  
10TH FLOOR  
LOS ANGELES, CA 90049**



Scale: Horizontal 1"=10', Vertical N/A

Designed	DL
Drawn	RDC
Checked	DL
Approved	JGH
Date	8/23/23

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)



Job Number: **22085**  
Sheet: **C13** of **34**

**APPROVED**

BY: CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING

DATE: \_\_\_\_\_

**NOTE:** THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.  
FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.



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