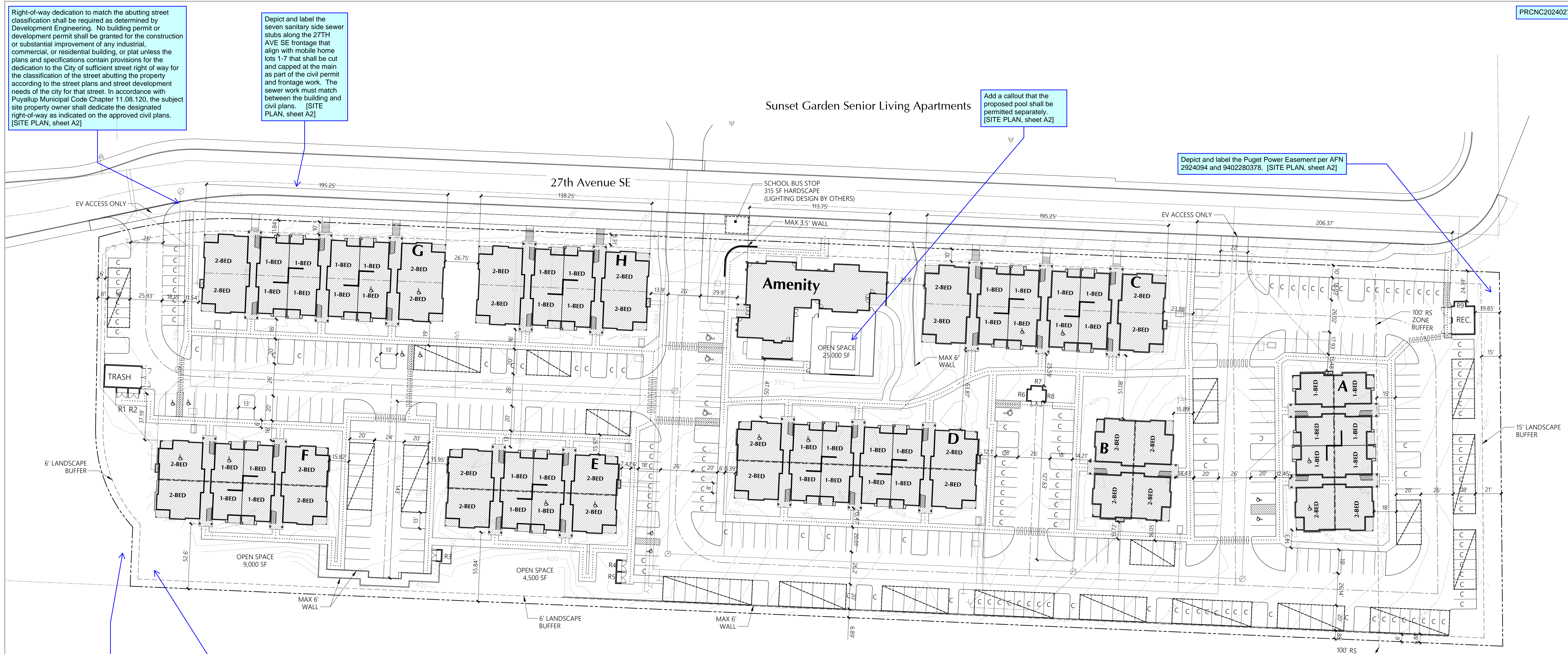


Sunset Garden Senior Living Apartments



Right-of-way dedication to match the abutting street classification shall be required as determined by Development Engineering. No building permit or development permit shall be granted for the construction or substantial improvement of any industrial, commercial, or residential building, or plat unless the plans and specifications contain provisions for the dedication to the City of sufficient street right of way for the classification of the street abutting the property according to the street plans and street development needs of the city for that street. In accordance with Puyallup Municipal Code Chapter 11.08.120, the subject site property owner shall dedicate the designated right-of-way as indicated on the approved civil plans. [SITE PLAN, sheet A2]

Depict and label the seven sanitary side sewer stubs along the 27TH AVE SE frontage that align with mobile home lots 1-7 that shall be cut and capped at the main as part of the civil permit and frontage work. The sewer work must match between the building and civil plans. [SITE PLAN, sheet A2]

Add a callout that the proposed pool shall be permitted separately. [SITE PLAN, sheet A2]

Depict and label the Puget Power Easement per AFN 2924094 and 9402280378. [SITE PLAN, sheet A2]

Depict and label the US West Easement per AFN 9205140289 and 9402280378 if located on the subject site. [SITE PLAN, sheet A2]

Depict and label the PNW Bell Easement per AFN 89014180382 and 9402280378. [SITE PLAN, sheet A2]

No EV parking calculations included in parking summary. Provide EV parking to meet Section 429 of the 2018 IBC WA Amendment. Page A2 - Site Plan

SITE PLAN 236 UNITS

1" = 40'

SITE INFORMATION

SITE ADDRESS: 202 27th Ave SE, Puyallup, WA  
 PARCEL #: 419036006  
 SITE AREA: 339,107 SF (7.785 Acres)  
 ZONE: RM-CORE  
 SETBACKS: NORTH/FRONT: 10 FT setback to buildings  
 WEST/SIDE: 0 FT Building setback - 6 FT landscape buffer  
 SOUTH/REAR: 0 FT Building setback - 6 FT landscape buffer  
 EAST/SIDE: 25 FT Building setback - 15 ft landscape buffer  
 BUILDING HEIGHT: 50' Max  
 DENSITY: Min 16 units per acre (125 units) no Max density  
 LOT COVERAGE: Max 90%  
 LANDSCAPE AREA: Min 10% of net lot area (33,910 SF)  
 OPEN SPACE: 10% of net lot area (33,910 SF) 38,500 SF provided  
 PRIVATE OPEN SPACE: 60 SF per ground floor unit 10' x 6' per upper story unit  
 PARKING: 1.5 PARKING SPACES PER UNIT Required Parking: 354 Stalls Provided Parking: 354 Stalls  
 EASEMENTS: no existing easements on site

PARKING SUMMARY

Parking Stalls Required	354
Standard Stalls	118
Compact Stalls	41.5% 100
Parallel Stalls	0
Carport Stalls	124
Attached Garage Stalls	0
Detached Garage Stalls	0
Accessible Standard Stalls	6
Accessible Van Stalls	5
Accessible Parallel Stalls	0
Accessible Carport Stalls	1
Accessible Garage Stalls	0
Tandem Stalls	0
Tandem Garage Stalls	0
Subtotal	354 1.50 Stalls / D.U.
Aprons	0
Total Parking Stalls Provided	354 1.50 Stalls / D.U.

UNIT COUNT

1 BED	137 (58%)
2 BED	99 (42%)
<b>TOTAL</b>	<b>236</b>

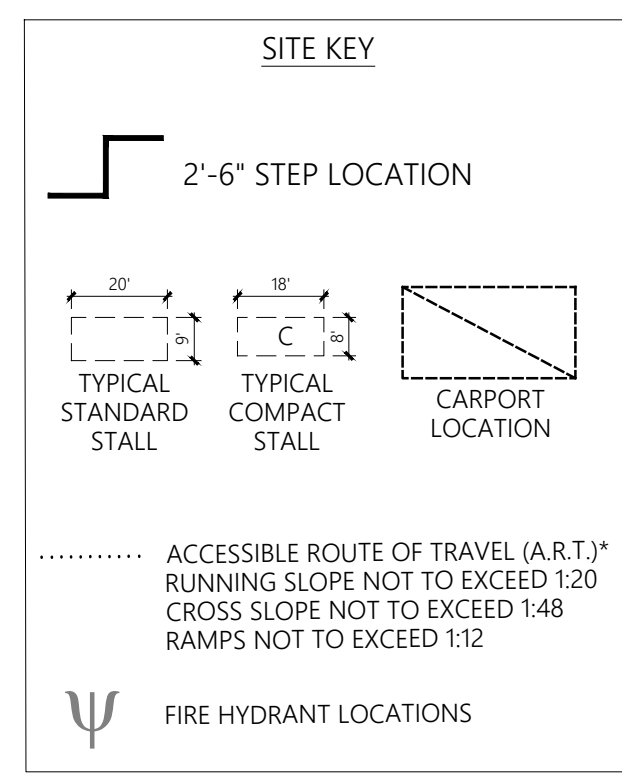
Incomplete site plan. Please refer to the CoP Site Plan Standards (available to download in the permitting portal). Revise the site plan to include items 1-3 and items A-X of the City's Site Plan Standards. Since the building permit cannot be issued until civil construction permit is issued first and the building plans must match the approved civil plans, please coordinate your final building permit submittal with the approval of the civil permit to avoid redundant or surplus building permit submittals and fees. [SITE PLAN, sheet A2]

In accordance with Roadway Standards Section 100, Table 100-1 Note 1, right-of-way designated as residential access shall be provided with a 10-foot private utility easement and a 15-foot city utility easement reserved within and along front and rear and a 2-1/2-foot private and city utility easement along the side property lines of all lots abutting said residential access streets. Depict and label easements on the site plan and the provisions granting their authority, i.e. plat amendment, recording number, etc. [SITE PLAN, sheet A2]

All rock walls shall comply with City Standard Section 05.03 - Rock Walls. Any walls 4 feet or higher requires a separate City building permit. Label all site plan walls accordingly. [SITE PLAN, sheet A2]

Dumpster Enclosures shall comply with City Standard Section 208.1:

- Enclosures (with roof) shall be required for all new commercial and redevelopment projects where Minimum Requirement #1 through #5 or Minimum Requirement #1 through #9 are required, as outlined in the Ecology Manual. Enclosures shall be covered (roof) and fully enclosed to prevent precipitation from entering garbage dumpsters, containers, compactors, grease dumpsters and the enclosure floor. This does not exempt the requirement for watertight containers.
- Enclosures shall be large enough for a garbage service vehicle to pick up and dump the waste without the container being rolled outside the enclosure. The gate opening shall be a minimum of 12 feet wide and swing open a minimum of 120 degrees from the closed position. Each gate shall also include a drop rod and receiving posts to keep the gate fixed, or pinned, in the open and closed position. The vertical clearance of the roof shall be a minimum of 15 feet and the minimum depth of the enclosure shall be 12 feet.
- Where one (1) enclosure is utilized for both garbage and recycling services the gate opening shall be a minimum of 25 feet.
- Enclosures should be located within 300' of the business or residence it is serving.
- Enclosures shall be designed to allow walk-in access without having to open the main service gate.
- Enclosures for compactors shall be designed on a case-by-case basis. The enclosure width, depth and vertical clearance shall be sized and evaluated based on the compactor and the use of the business or residence.
- Enclosures should be strategically placed for accessibility and designed to accommodate the turning radius of a SU-30 single unit truck.
- A grade break shall be provided around the enclosure to prevent runoff from entering the enclosure.
- No stormwater catch basins or manholes should be located within 10 feet of the enclosure, if unavoidable the lid shall be solid and locking.
- The interior floor of the enclosure area shall slope towards a Type I catch basin, or equivalent, and be plumbed to sanitary sewer.
- Roof downspouts for enclosures shall be connected to an existing or new stormwater collection system and accounted for during design. Downspouts discharging over sidewalks and parking lots are prohibited.
- When designing garbage enclosures, developers are encouraged to contact the garbage service provider to verify the location and access. [SITE PLAN, sheet A2]



- SITE NOTES
- TYPICAL SIDEWALK WIDTH IS 6'
  - A MINIMUM CLEAR WIDTH OF 44" IS REQUIRED FOR ALL EXTERIOR ACCESSIBLE ROUTES PER WASHINGTON STATE AMENDMENT SECTION 1101.2.1