

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Washington

SEE BELOW  
 Signature  
 Dawn Wiczorek  
 Typed or Printed Name  
 11192 6/02/23  
 License # Date  
 11192 REGISTERED ARCHITECT  
 DAWN MARIE WICZOREK  
 STATE OF WASHINGTON

**WESLEY HOMES BRADLEY  
 PARK - PHASE 2  
 707 39TH AVENUE SE  
 PUYALLUP, WA 98374**

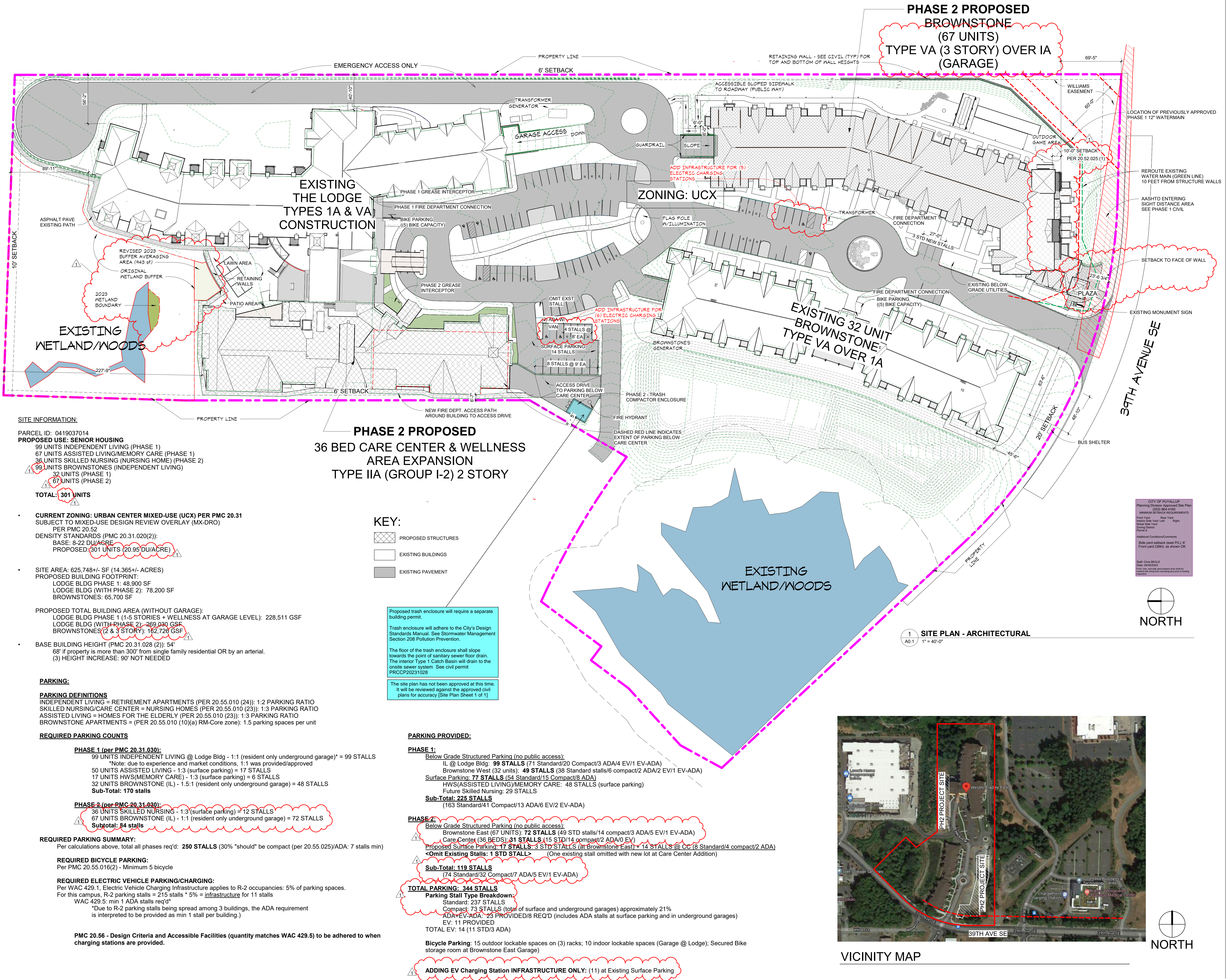
**LAND USE &  
 MX-DRO REVIEW  
 SUBMITTAL #3  
 2/16/24**

REVISIONS

No.	Description	Date
1	LAND USE APP REVISIONS	2/16/24

PUYALLUP, WASHINGTON  
 Author \_\_\_\_\_ Checker \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_  
 WESLEY HOMES BRADLEY PARK - PHASE 2

ARCHITECTURAL SITE PLAN  
**A0.1**



**SITE INFORMATION:**  
 PARCEL ID: 0419037014  
**PROPOSED USE: SENIOR HOUSING**  
 99 UNITS INDEPENDENT LIVING (PHASE 1)  
 67 UNITS ASSISTED LIVING/MEMORY CARE (PHASE 1)  
 36 UNITS SKILLED NURSING (NURSING HOME) (PHASE 2)  
 99 UNITS BROWNSTONES (INDEPENDENT LIVING)  
 32 UNITS (PHASE 1)  
 67 UNITS (PHASE 2)  
**TOTAL: 301 UNITS**

**CURRENT ZONING: URBAN CENTER MIXED-USE (UCX) PER PMC 20.31**  
 SUBJECT TO MIXED-USE DESIGN REVIEW OVERLAY (MX-DRO)  
 PER PMC 20.52  
 DENSITY STANDARDS (PMC 20.31.020(2)):  
 BASE: 8-22 DU/ACRE  
 PROPOSED: 301 UNITS (20.95 DU/ACRE)

**SITE AREA: 625,748 +/- SF (14.365 +/- ACRES)**  
 PROPOSED BUILDING FOOTPRINT:  
 LODGE BLDG PHASE 1: 48,900 SF  
 LODGE BLDG (WITH PHASE 2): 78,200 SF  
 BROWNSTONES: 65,700 SF

**PROPOSED TOTAL BUILDING AREA (WITHOUT GARAGE):**  
 LODGE BLDG PHASE 1 (1-5 STORIES + WELLNESS AT GARAGE LEVEL): 228,511 GSF  
 LODGE BLDG (WITH PHASE 2): 269,030 GSF  
 BROWNSTONES (2 & 3 STORY): 162,720 GSF

**BASE BUILDING HEIGHT (PMC 20.31.028 (2)): 54'**  
 68' if property is more than 300' from single family residential OR by an arterial.  
 (3) HEIGHT INCREASE: 90' NOT NEEDED

**PARKING:**  
**PARKING DEFINITIONS**  
 INDEPENDENT LIVING = RETIREMENT APARTMENTS (PER 20.55.010 (24)): 1:2 PARKING RATIO  
 SKILLED NURSING/CARE CENTER = NURSING HOMES (PER 20.55.010 (23)): 1:3 PARKING RATIO  
 ASSISTED LIVING = HOMES FOR THE ELDERLY (PER 20.55.010 (23)): 1:3 PARKING RATIO  
 BROWNSTONE APARTMENTS = (PER 20.55.010 (10)(a) RM-Core zone): 1.5 parking spaces per unit

**REQUIRED PARKING COUNTS**

**PHASE 1 (per PMC 20.31.030):**  
 99 UNITS INDEPENDENT LIVING @ Lodge Bldg - 1:1 (resident only underground garage)\* = 99 STALLS  
 \*Note: due to experience and market conditions, 1:1 was provided/approved  
 50 UNITS ASSISTED LIVING - 1:3 (surface parking) = 17 STALLS  
 17 UNITS HWS/MEMORY CARE - 1:3 (surface parking) = 6 STALLS  
 32 UNITS BROWNSTONE (IL) - 1.5:1 (resident only underground garage) = 48 STALLS  
**Sub-Total: 170 stalls**

**PHASE 2 (per PMC 20.31.030):**  
 36 UNITS SKILLED NURSING - 1:3 (surface parking) = 12 STALLS  
 67 UNITS BROWNSTONE (IL) - 1:1 (resident only underground garage) = 72 STALLS  
**Subtotal: 84 stalls**

**REQUIRED PARKING SUMMARY:**  
 Per calculations above, total all phases req'd: **250 STALLS** (30% "should" be compact (per 20.55.025)/ADA: 7 stalls min)

**REQUIRED BICYCLE PARKING:**  
 Per PMC 20.55.016(2) - Minimum 5 bicycle

**REQUIRED ELECTRIC VEHICLE PARKING/CHARGING:**  
 Per WAC 429.1, Electric Vehicle Charging Infrastructure applies to R-2 occupancies: 5% of parking spaces.  
 For this campus, R-2 parking stalls = 215 stalls \* 5% = infrastructure for 11 stalls  
 WAC 429.5: min 1 ADA stalls req'd  
 \*Due to R-2 parking stalls being spread among 3 buildings, the ADA requirement is interpreted to be provided as min 1 stall per building.)

**KEY:**

- PROPOSED STRUCTURES
- EXISTING BUILDINGS
- EXISTING PAVEMENT

Proposed trash enclosure will require a separate building permit.  
 Trash enclosure will adhere to the City's Design Standards Manual. See Stormwater Management Section 208 Pollution Prevention.  
 The floor of the trash enclosure shall slope towards the point of sanitary sewer floor drain. The interior Type 1 Catch Basin will drain to the onsite sewer system. See civil permit PRCCP20231028.  
 The site plan has not been approved at this time. It will be reviewed against the approved civil plans for accuracy [Site Plan Sheet 1 of 1].

**PARKING PROVIDED:**

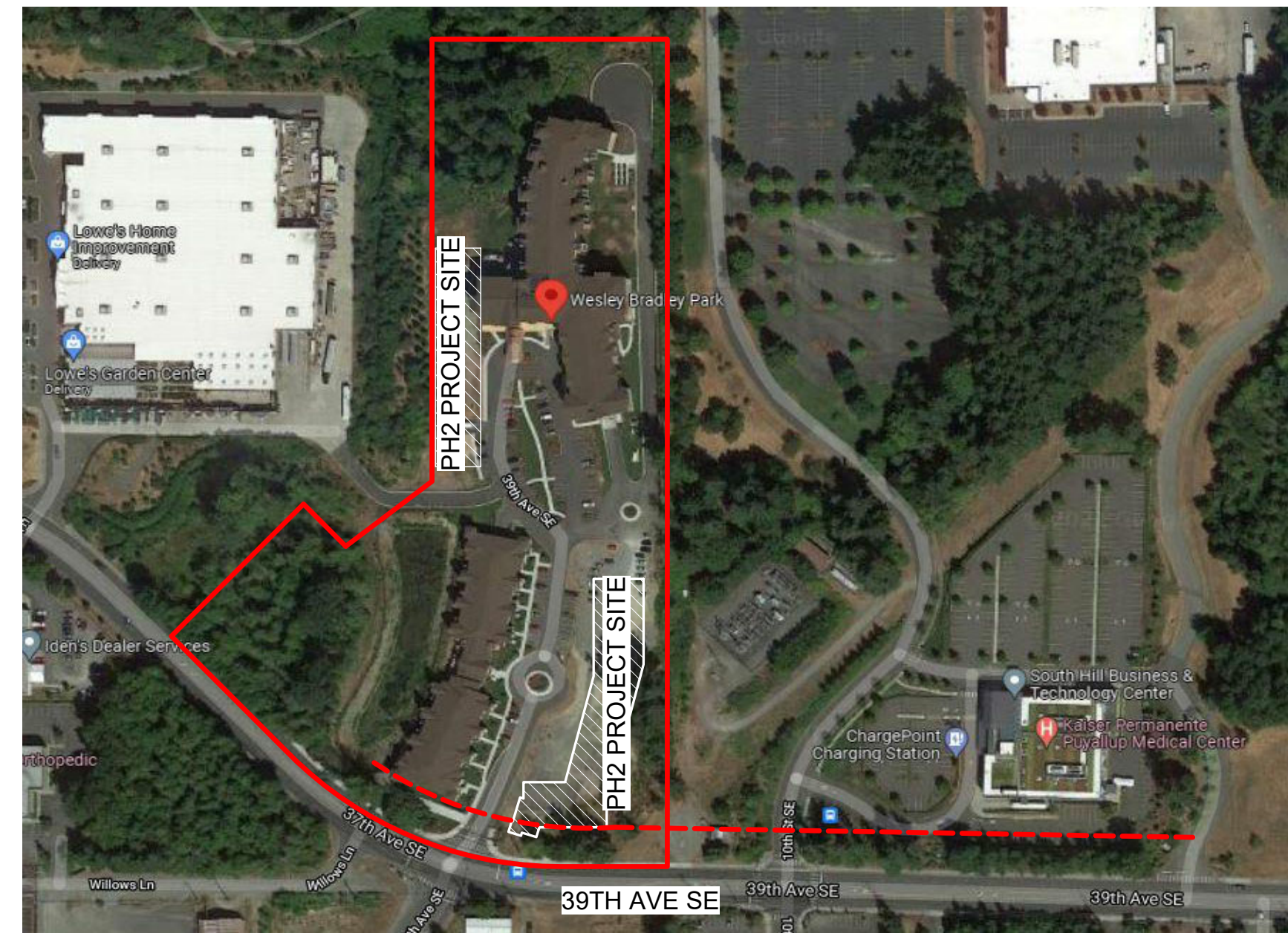
**PHASE 1:**  
 Below Grade Structured Parking (no public access):  
 IL @ Lodge Bldg: **99 STALLS** (71 Standard/20 Compact/3 ADA/4 EV/1 EV-ADA)  
 Brownstone West (32 units): **49 STALLS** (38 Standard stalls/6 compact/2 ADA/2 EV/1 EV-ADA)  
 Surface Parking: **77 STALLS** (54 Standard/15 Compact/8 ADA)  
 HWS/ASSISTED LIVING/MEMORY CARE: 48 STALLS (surface parking)  
 Future Skilled Nursing: 29 STALLS  
**Sub-Total: 225 STALLS**  
 (163 Standard/41 Compact/13 ADA/6 EV/2 EV-ADA)

**PHASE 2:**  
 Below Grade Structured Parking (no public access):  
 Brownstone East (67 UNITS): **72 STALLS** (49 STD stalls/14 compact/3 ADA/5 EV/1 EV-ADA)  
 Care Center (36 BEDS): **31 STALLS** (15 STD/14 compact/2 ADA/0 EV)  
 Proposed Surface Parking: **17 STALLS** - 3 STD STALLS (at Brownstone East) + 14 STALLS @ CC (8 Standard/4 compact/2 ADA)  
 <Omit Existing Stalls: 1 STD STALL> (One existing stall omitted with new lot at Care Center Addition)  
**Sub-Total: 119 STALLS**  
 (74 Standard/32 Compact/7 ADA/5 EV/1 EV-ADA)

**TOTAL PARKING: 344 STALLS**  
**Parking Stall Type Breakdown:**  
 Standard: 237 STALLS  
 Compact: 73 STALLS (total of surface and underground garages) approximately 21%  
 ADA+EV-ADA: 23 PROVIDED/8 REQ'D (includes ADA stalls at surface parking and in underground garages)  
 EV: 11 PROVIDED  
 TOTAL EV: 14 (11 STD/3 ADA)

**Bicycle Parking:** 15 outdoor lockable spaces on (3) racks; 10 indoor lockable spaces (Garage @ Lodge); Secured Bike storage room at Brownstone East Garage

**ADDING EV Charging Station INFRASTRUCTURE ONLY: (11) at Existing Surface Parking**



VICINITY MAP