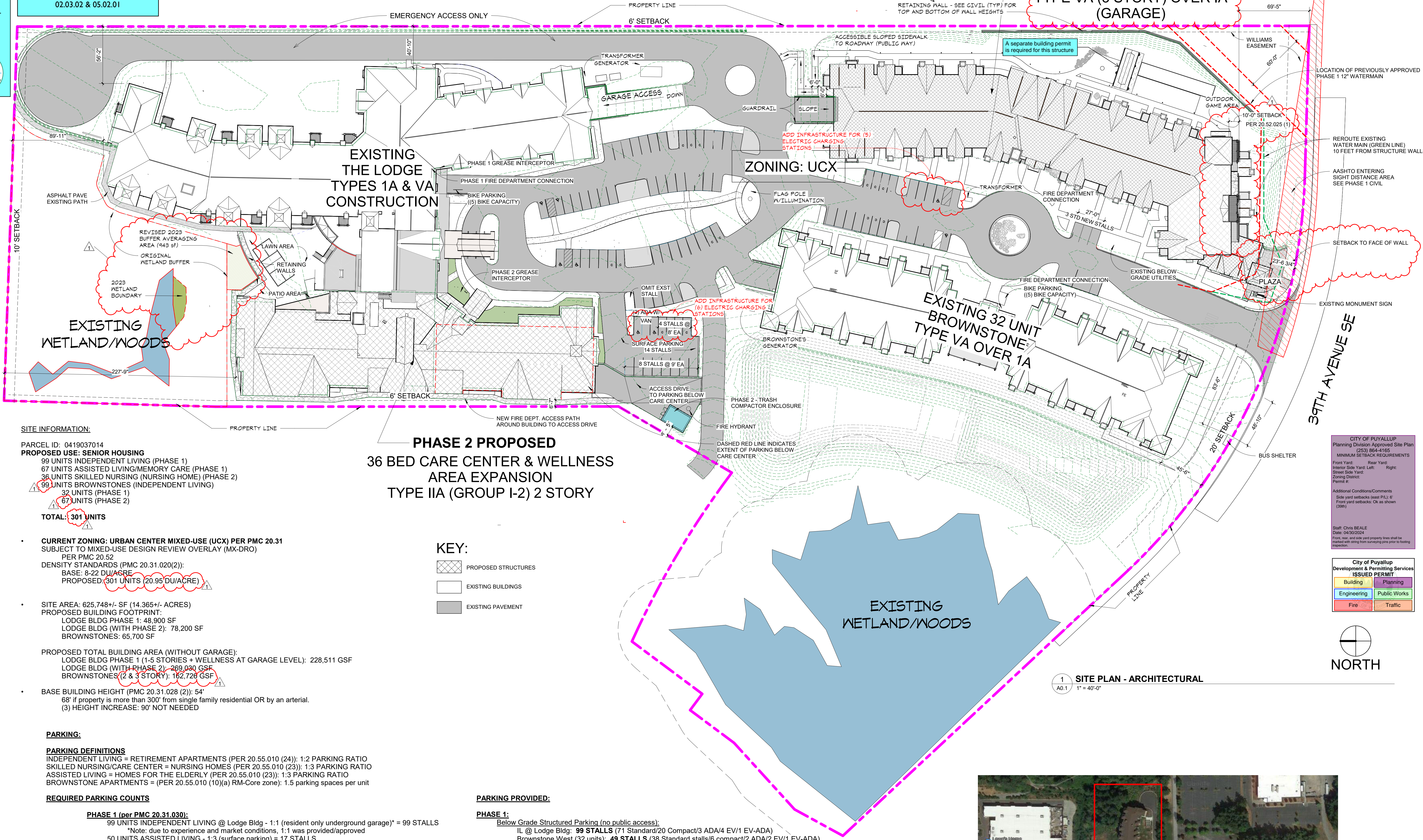


The applicant shall request a sediment control and erosion inspection with a City Engineering Inspector through the CityView portal least 48 hours in advance of job start. See City Standards 02.03.02 & 05.02.01

Refer to approved civil plan: PRCCP20231028 for sedimentation and erosion control methods
 Refer to approved civil plan: PRCCP20231028 for roof downspout control methods



SITE INFORMATION:

PARCEL ID: 0419037014
PROPOSED USE: SENIOR HOUSING
 99 UNITS INDEPENDENT LIVING (PHASE 1)
 67 UNITS ASSISTED LIVING/MEMORY CARE (PHASE 1)
 36 UNITS SKILLED NURSING (NURSING HOME) (PHASE 2)
 99 UNITS BROWNSTONES (INDEPENDENT LIVING)
 32 UNITS (PHASE 1)
 67 UNITS (PHASE 2)
TOTAL: 301 UNITS

CURRENT ZONING: URBAN CENTER MIXED-USE (UCX) PER PMC 20.31
 SUBJECT TO MIXED-USE DESIGN REVIEW OVERLAY (MX-DRO)
 PER PMC 20.52
 DENSITY STANDARDS (PMC 20.31.020(2)):
 BASE: 8-22 DU/ACRE
 PROPOSED: 301 UNITS (20.95 DU/ACRE)

SITE AREA: 625,748 +/- SF (14.365 +/- ACRES)
 PROPOSED BUILDING FOOTPRINT:
 LODGE BLDG PHASE 1: 48,900 SF
 LODGE BLDG (WITH PHASE 2): 78,200 SF
 BROWNSTONES: 65,700 SF

PROPOSED TOTAL BUILDING AREA (WITHOUT GARAGE):
 LODGE BLDG PHASE 1 (1-5 STORIES + WELLNESS AT GARAGE LEVEL): 228,511 GSF
 LODGE BLDG (WITH PHASE 2): 269,030 GSF
 BROWNSTONES (2 & 3 STORY): 162,720 GSF

BASE BUILDING HEIGHT (PMC 20.31.028 (2)): 54'
 68' if property is more than 300' from single family residential OR by an arterial.
 (3) HEIGHT INCREASE: 90' NOT NEEDED

KEY:

- PROPOSED STRUCTURES
- EXISTING BUILDINGS
- EXISTING PAVEMENT

PARKING PROVIDED:

PHASE 1:
 Below Grade Structured Parking (no public access):
 IL @ Lodge Bldg: **99 STALLS** (71 Standard/20 Compact/3 ADA/4 EV/1 EV-ADA)
 Brownstone West (32 units): **49 STALLS** (38 Standard stalls/6 compact/2 ADA/2 EV/1 EV-ADA)
 Surface Parking: **77 STALLS** (54 Standard/15 Compact/8 ADA)
 HWs/ASSISTED LIVING/MEMORY CARE: 48 STALLS (surface parking)
 Future Skilled Nursing: 29 STALLS
Sub-Total: 225 STALLS
 (163 Standard/41 Compact/13 ADA/6 EV/2 EV-ADA)

PHASE 2:
 Below Grade Structured Parking (no public access):
 Brownstone East (67 UNITS): **72 STALLS** (49 STD stalls/14 compact/3 ADA/5 EV/1 EV-ADA)
 Care Center (36 BEDS): **31 STALLS** (15 STD/14 compact/2 ADA/0 EV)
 Proposed Surface Parking: **17 STALLS** - 3 STD STALLS (at Brownstone East) + 14 STALLS @ CC (8 Standard/4 compact/2 ADA)
 <Omit Existing Stalls: 1 STD STALL> (One existing stall omitted with new lot at Care Center Addition)
Sub-Total: 119 STALLS
 (74 Standard/32 Compact/7 ADA/5 EV/1 EV-ADA)

TOTAL PARKING: 344 STALLS
Parking Stall Type Breakdown:
 Standard: 237 STALLS
 Compact: 73 STALLS (total of surface and underground garages) approximately 21%
 ADA+EV-ADA: 23 PROVIDED/8 REQ'D (includes ADA stalls at surface parking and in underground garages)
 EV: 11 PROVIDED
 TOTAL EV: 14 (11 STD/3 ADA)

Bicycle Parking: 15 outdoor lockable spaces on (3) racks; 10 indoor lockable spaces (Garage @ Lodge); Secured Bike storage room at Brownstone East Garage

ADDING EV Charging Station INFRASTRUCTURE ONLY: (11) at Existing Surface Parking

PARKING:

PARKING DEFINITIONS
 INDEPENDENT LIVING = RETIREMENT APARTMENTS (PER 20.55.010 (24)): 1:2 PARKING RATIO
 SKILLED NURSING/CARE CENTER = NURSING HOMES (PER 20.55.010 (23)): 1:3 PARKING RATIO
 ASSISTED LIVING = HOMES FOR THE ELDERLY (PER 20.55.010 (23)): 1:3 PARKING RATIO
 BROWNSTONE APARTMENTS = (PER 20.55.010 (10)(a) RM-Core zone): 1.5 parking spaces per unit

REQUIRED PARKING COUNTS

PHASE 1 (per PMC 20.31.030):
 99 UNITS INDEPENDENT LIVING @ Lodge Bldg - 1:1 (resident only underground garage)* = 99 STALLS
 *Note: due to experience and market conditions, 1:1 was provided/approved
 50 UNITS ASSISTED LIVING - 1:3 (surface parking) = 17 STALLS
 17 UNITS HWs/MEMORY CARE - 1:3 (surface parking) = 6 STALLS
 32 UNITS BROWNSTONE (IL) - 1.5:1 (resident only underground garage) = 48 STALLS
Sub-Total: 170 stalls

PHASE 2 (per PMC 20.31.030):
 36 UNITS SKILLED NURSING - 1:3 (surface parking) = 12 STALLS
 67 UNITS BROWNSTONE (IL) - 1:1 (resident only underground garage) = 72 STALLS
Subtotal: 84 stalls

REQUIRED PARKING SUMMARY:

Per calculations above, total all phases req'd: **250 STALLS** (30% "should" be compact (per 20.55.025)/ADA: 7 stalls min)

REQUIRED BICYCLE PARKING:

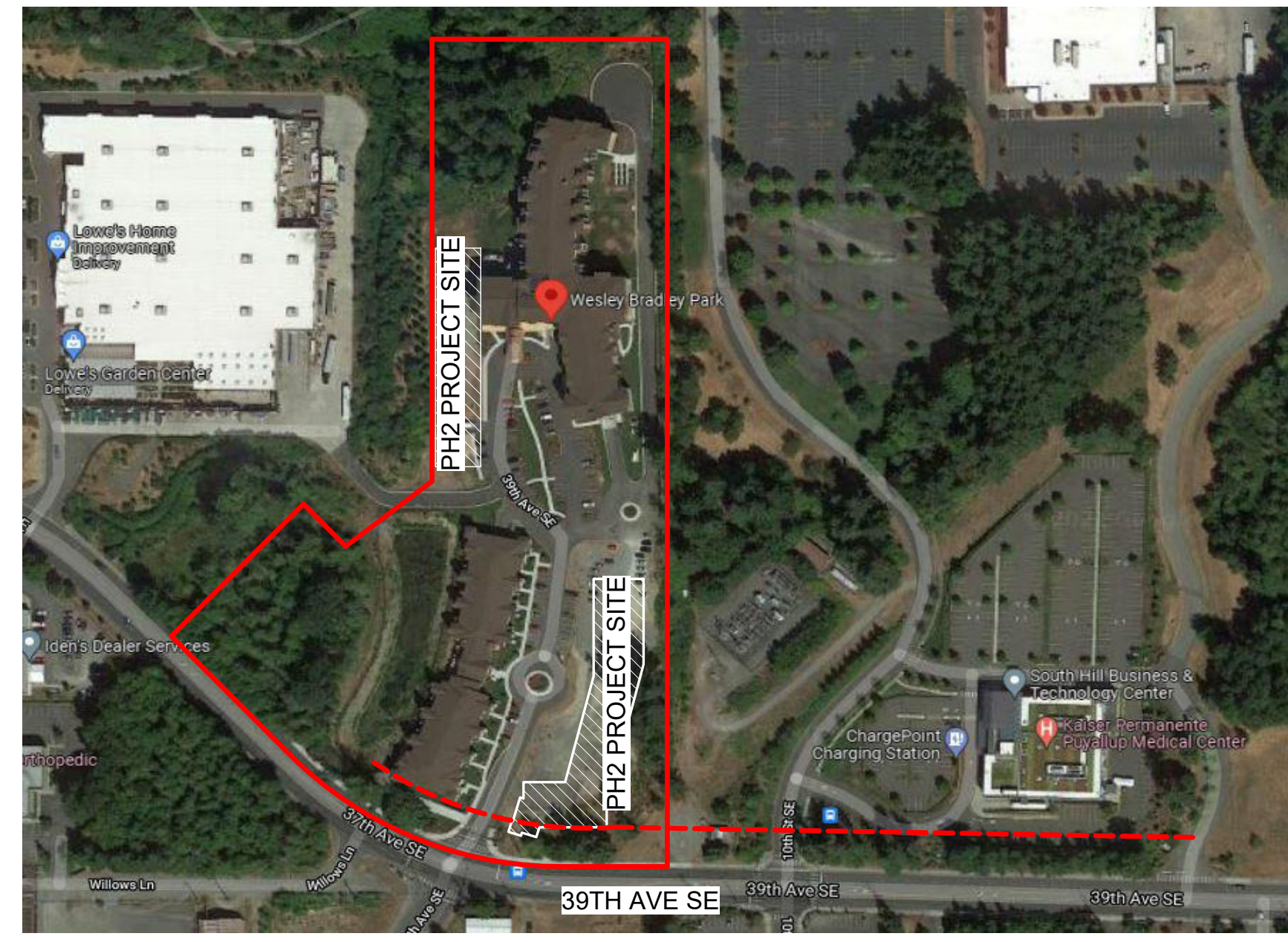
Per PMC 20.55.016(2) - Minimum 5 bicycle

REQUIRED ELECTRIC VEHICLE PARKING/CHARGING:

Per WAC 429.1, Electric Vehicle Charging Infrastructure applies to R-2 occupancies: 5% of parking spaces.
 For this campus, R-2 parking stalls = 215 stalls * 5% = infrastructure for 11 stalls
 WAC 429.5: min 1 ADA stalls req'd
 *Due to R-2 parking stalls being spread among 3 buildings, the ADA requirement is interpreted to be provided as min 1 stall per building.)

PMC 20.56 - Design Criteria and Accessible Facilities (quantity matches WAC 429.5) to be adhered to when charging stations are provided.

PHASE 2 PROPOSED BROWNSTONE (67 UNITS) TYPE VA (3 STORY) OVER IA (GARAGE)



VICINITY MAP

CITY OF PUYALLUP
 Planning Division Approved Site Plan
 (253) 864-4165
 MINIMUM SETBACK REQUIREMENTS
 Front Yard: Rear Yard:
 Interior Side Yard: Left: Right:
 Street Side Yard: Zoning District:
 Permit #:
 Additional Conditions/Comments:
 60% year setbacks (see PL) if
 any year setbacks, OR as shown
 (25%)
 Staff: Chris BEALE
 Date: 04/30/2024
 Front, rear, and side yard property lines shall be
 marked with string from surveying and prior to issuing
 inspection.

City of Puyallup
 Development & Permitting Services
 ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



1 SITE PLAN - ARCHITECTURAL
 A0.1 1" = 40'-0"

in site architects
 1000 university ave. w. suite 130
 st. paul, minnesota 55104
 612-252-4820

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Washington

SEE BELOW
 Signature
 Dawn Wiczorek
 Typed or Printed Name
 11192 6/02/23
 License # Date
 11192

WESLEY HOMES BRADLEY PARK - PHASE 2
 707 39TH AVENUE SE
 PUYALLUP, WA 98374

LAND USE & MX-DRO REVIEW SUBMITTAL #3
 2/16/24

REVISIONS

No.	Description	Date
1	LAND USE APP REVISIONS	2/16/24

PUYALLUP, WASHINGTON
 Author: _____ Checker: _____
 DRAWN BY: _____ CHECKED BY: _____
 WESLEY HOMES BRADLEY PARK - PHASE 2

ARCHITECTURAL SITE PLAN

A0.1