

**SITE ADDRESS**

409 43RD AVE SW  
PUYALLUP, WA 98373

**PARCEL NUMBER**

0419095022

**LEGAL DESCRIPTION**

LOT 1 & 2 OF SP 79-557 EASE  
OF REC APPROVED COMB BY CITY  
OF PUYALLUP PLAN DEPT 04/16/19  
COMB OF 04-19-09-5-001 &  
5-002 SEG 2019-0406.

**OWNER**

HC HOMES INC.  
20921 SNAG ISLAND DR.  
LAKE TAPPS, WA. 98391

**UTILITIES**

WATER: FRUITLAND WATER  
SEWER: SEPTIC  
POWER: PUGET SOUND ENERGY  
GAS: PUGET SOUND ENERGY  
COMMUNICATIONS: COMCAST / LUMEN

**GENERAL APPROVAL NOTES**

ALL METHODS OUTLINED IN THE APPROVED STORMWATER  
REPORT DATED DECEMBER 2023 MUST BE FOLLOWED IN  
REGARDS TO CONTROL OF DOWNSPOUTS AND  
STORMWATER RUNOFF.

A RECORDED COPY OF THE APPROVED STORMWATER  
MAINTENANCE AGREEMENT MUST BE PROVIDED TO THE  
CITY PRIOR TO RECEIVING A CERTIFICATE OF  
OCCUPANCY.

ALL CIVIL WORK ASSOCIATED WITH CIVIL PERMIT  
PRCCP20240014 MUST BE COMPLETED PRIOR TO  
OCCUPANCY.

**EROSION CONTROL NOTES**

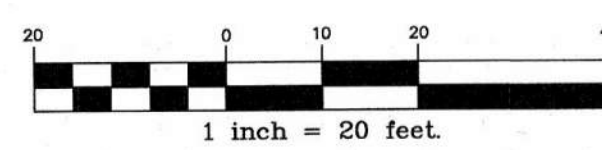
THE APPLICANT SHALL REQUEST A SEDIMENT CONTROL  
AND EROSION INSPECTION WITH A CITY ENGINEERING  
INSPECTOR THROUGH THE CITYVIEW PORTAL AT LEAST  
48 HOURS IN ADVANCE OF JOB START.  
SEE CITY STANDARDS 02.03.02 & 05.02.01.

ALL METHODS OUTLINED IN THE APPROVED STORMWATER  
REPORT DATED DECEMBER 2023 MUST BE FOLLOWED IN  
REGARDS TO EROSION AND SEDIMENTATION CONTROL.

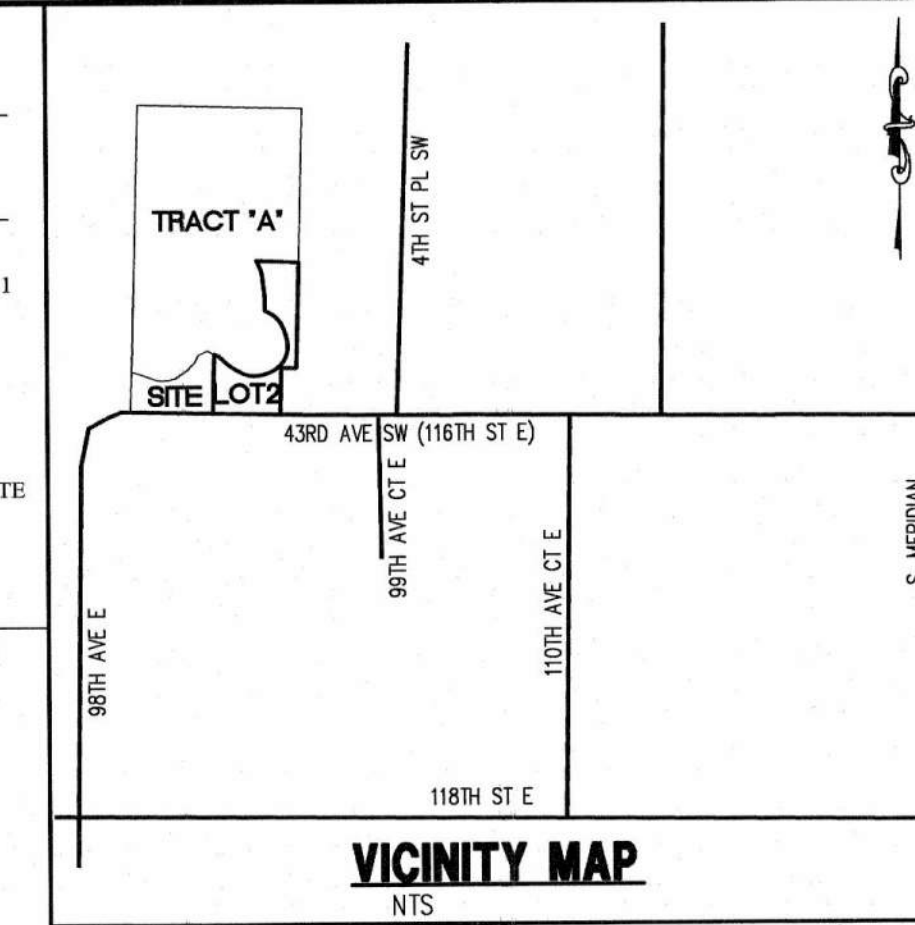
ADD INLET PROTECTION ON ALL PROPOSED INLETS IF  
USED DURING CONSTRUCTION.  
SEE CB SEDIMENT PROTECTION DETAIL 2 ON SHEET C2.

**PUYALLUP DUPLEX - LOT 2**

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 20 N., RGE. 4 E.,  
WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON



APPROVED  
BY: CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: \_\_\_\_\_  
NOTE:  
THIS APPROVAL IS VOID AFTER 1  
YEAR FROM APPROVAL DATE.  
THE CITY WILL NOT BE  
RESPONSIBLE FOR ERRORS  
AND/OR OMISSIONS ON THESE  
PLANS.  
FIELD CONDITIONS MAY DICTATE  
CHANGES TO THESE PLANS AS  
DETERMINED BY THE CITY  
ENGINEER.  
PERMIT# PRRNSF20230918



Line Table

Line #	Direction	Length
L7	S68°19'55"E	10.44'
L8	S46°23'50"E	21.15'
L9	S58°20'18"E	19.65'
L10	N76°54'46"E	10.31'
L11	N19°01'54"W	17.43'
L12	N64°33'08"W	8.40'
L13	N00°11'44"E	27.98'
L14	S07°39'05"E	37.74'
L15	S28°36'05"E	10.25'
L16	S88°29'56"E	87.65'

Curve Table

Curve #	Length	Radius	Delta
C4	0.36'	60.00'	0°20'26"
C5	12.50'	60.00'	11°56'28"
C6	46.86'	60.00'	44°44'56"
C7	100.47'	60.00'	95°56'41"
C8	47.67'	60.00'	45°31'13"
C9	8.22'	60.00'	7°50'49"
C10	21.94'	60.00'	20°57'00"

**PLAN VIEW CALLOUTS**

- ASPHALT PAVEMENT DRIVEWAY APPROACH PER DETAIL ON SHEET C3
- CEMENT CONCRETE DRIVEWAY APRON PER DETAIL ON SHEET C3
- CEMENT CONCRETE VERTICAL CURB PER DETAIL ON SHEET C3
- CB#1 - TYPE 1 RIM=433.05 IE=430.80 (12" W)
- CONNECTS TO CB#2 SEE PUYALLUP DUPLEX - LOT 1 FOR CONTINUATION OF STORM DRAINAGE SYSTEM
- SEE FRONTAGE PLANS NOTE FOR CONSTRUCTION INFORMATION
- SEE RESIDENTIAL TEMPORARY CONSTRUCTION ENTRANCE DETAIL ON SHEET C2. REMOVE CONSTRUCTION ENTRANCE AS NECESSARY TO CONSTRUCT PROPOSED ASPHALT PAVEMENT DRIVEWAY APPROACH.
- SEPTIC SYSTEM UNDER SEPARATE PERMIT
- WATER SERVICES AND METERS INSTALLED UNDER SEPARATE PERMIT WITH FRUITLAND MUTUAL WATER COMPANY
- PRIVATE STORM DRAINAGE EASEMENT RECORDED UNDER SHORT PLAT AMENDMENT PL5HP20220104
- PROPOSED FINISH GRADE SPOT ELEVATIONS CREATES AN INVERTED CROWN FOR THE PROPOSED 24' WIDE x 40' LONG SHARED ACCESS WHICH PROVIDES POSITIVE DRAINAGE FOR THE CONTRIBUTING DRIVEWAYS AND LANDSCAPE AREAS TO CB#1
- RADIUS = 10' (TYP)
- 3' WIDE ASPHALT PAVEMENT PRIVATE SIDEWALK CONNECTING UNIT TO PUBLIC SIDEWALK. SIDEWALK SHALL MEET ALL ADA SLOPE REQUIREMENTS.

**ROOF DRAIN CALLOUTS**

- 31LF 6" SD @ 8.23%
- STORM DRAIN CLEANOUT#1 (SDCO#1) RIM=435.00 IE=432.80
- 38LF 6" SD @ 0.53%
- SDCO#2 RIM=435.00 IE=433.50
- 100LF 6" SD @ 0.50%
- SDCO#3 RIM=435.00 IE=433.50
- 100LF 6" SD @ 0.50%
- SDCO#4 RIM=435.00 IE=433.30
- 10LF 6" SD @ 3.40%±
- SDCO#5 RIM=435.00 IE=433.50
- 10LF 6" SD @ 1.50%±
- SDCO#6 RIM=435.00 IE=433.50

See Driveway Grading Exhibit included with approved civil plans PRCCP20240014

No dispersion trenches, pipes or other storm facilities shall be allowed in the wetland buffer without an approved mitigation plan and hydroperiod analysis. See PMC 21.06.940 (1) (c) for requirements for stormwater facilities in wetland buffers

5 ft min setback is required unless the following standards are demonstrated, then a 5ft min setback can be allowed: Five-foot minimum setback, subject to the following requirements:  
(a) Entrances serving single units shall have either a minimum 50-square-foot outdoor entrance landing or an entrance threshold that is at least seven inches above the abutting sidewalk level.  
(b) Entrances serving multiple units shall have an outdoor entrance landing that is at least 50 square feet per unit served by said entrance or 100 square feet, whichever is less.  
(c) Entrance landings are at least three feet higher than the elevation of the street or street sidewalk level and do not extend into the required setback.  
(d) Entrance steps may extend into the required setback to give visual emphasis to entries and to connect entrance landings with the right-of-way sidewalk.  
(e) The area between the front or side-street lot line and the building shall be landscaped with a mixture of shrubbery and trees sufficient to achieve 75 percent ground coverage within a three-year period. At least 20 percent of the vegetation necessary to achieve required coverage shall consist of deciduous and/or evergreen trees.

PRRNSF20230918  
The applicant shall request a sediment control and erosion inspection with a City Engineering Inspector through the CityView portal at least 48 hours in advance of job start. See City Standards 02.03.02 & 05.02.01

All methods outlined in the approved stormwater report dated December 2023 must be followed in regards to erosion and sedimentation control.

All methods outlined in the approved stormwater report dated October 2023 must be followed in regards to control of downspouts and stormwater runoff.

A RECORDED COPY OF THE APPROVED STORMWATER MAINTENANCE AGREEMENT MUST BE PROVIDED TO THE CITY PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY

All civil work associated with civil permit PRCCP20240014 must be completed prior to occupancy

**FRONTAGE PLANS NOTE**

SEE APPROVED FRONTAGE PLANS 051-052 FOR CONSTRUCTION INFORMATION RELATED TO INTERCEPTOR TRENCH STORM DRAINAGE SYSTEM AND 5' WIDE ASPHALT PAVED SIDEWALK. SIDEWALK SHALL BE INSTALLED AFTER ONSITE IMPROVEMENTS AND UTILITIES HAVE BEEN CONSTRUCTED.

**PAD ELEVATION NOTE**

PAD ELEVATIONS ARE BASED ON THE FOLLOWING FINISH GRADE ASSUMPTIONS.  
EXAMPLE:  
PAD ELEVATION = 100.00  
FOOTING GRADE = 99.50  
TOP OF FOUNDATION = 102.00  
GARAGE FINISH GRADE = 101.75  
FINISH GRADE BACKFILL = 101.25  
PRIOR TO CONSTRUCTION CONTRACTOR SHALL CONFIRM ASSUMPTIONS WITH PROJECT OWNER.

**SOIL AMENDMENT NOTE**

ALL DISTURBED AREAS THAT WILL BE YARDS OR LANDSCAPING SHALL HAVE THEIR SOILS AMENDED PER CITY STANDARD DETAIL 01.02.08A ON SHEET C2.

**FLOODPLAIN NOTE**

PER FEMA FIRM MAP 5305300343E THE PARCELS AND ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN ZONE X, WHICH IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM THE 100-YEAR FLOOD.

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	CENTER LINE	---
---	PROPERTY LINE	---
---	RIGHT OF WAY LINE	---
---	EASEMENT LINE	---
---	BUILDING SETBACK LINE	---
---	CHAIN LINK FENCE	---
---	WOOD FENCE	---
---	EDGE OF PAVEMENT	---
---	CONTOURS	---
---	STREET SIGN	---
---	STORM DRAIN CATCH BASIN	---
---	STORM DRAIN CLEANOUT	---
---	STORM DRAIN LINE	---
---	ROOF DRAIN LINE	---
---	FIRE HYDRANT	---
---	WATER VALVE	---
---	WATER METER	---
---	THRUST BLOCKING	---
---	WATER MAIN	---
---	LUMINAIRE	---
---	OVER HEAD POWER	---
---	POWER/UTILITY POLE	---
---	GUY WIRE	---
---	POWER VAULT	---
---	GAS MAIN	---
---	GAS VALVE	---
---	TELEPHONE LINE	---
---	TELEPHONE RISER	---
---	MAIL BOX	---
---	ASPHALT CONCRETE	---
---	CEMENT CONCRETE	---
---	CLEARING LIMITS	---
---	SILT FENCE	---
---	WETLAND	---

**LOT STATISTICS**

EXISTING ZONING: RM-CORE  
LOT AREA: 23,949 SF  
PROP. FOOTPRINT: 3,050 SF  
COVD PORCH/PATIO: 184 SF  
DRIVEWAY/CONC.: 2,167 SF  
TOTAL ROOF AREA: 3,639 SF  
CLEARING LIMIT AREA: 23,949 SF

**GRADING QUANTITIES**

CUT: 750 CY  
FILL: 750 CY  
NET: 0 CY  
NOTE: CONTRACTOR SHALL INDEPENDENTLY VERIFY THESE QUANTITIES. THEY ARE FOR PLANNING PURPOSES ONLY.

**SHEET INDEX**

C1 GRADING, STORM, & TESC PLAN  
C2 TESC - NOTES & DETAILS  
C3 NOTES & DETAILS

CALL 48 HOURS BEFORE YOU DIG DIAL 811

Professional Engineer Seal for Frederick B. Brown, License No. 35710, State of Washington. Project: PUYALLUP DUPLEX - LOT 2 STORM & TESC PLAN. Client: HC HOMES INC., 7707 BONNEY LAKE, WA 98391. Date: 3/26/2024. Scale: 1"=20'. Job No.: 20069. Sheet No.: 1 of 3 Sheets. C1

# PUYALLUP DUPLEX - LOT 2

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 20 N., RGE. 4 E.,  
WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

APPROVED

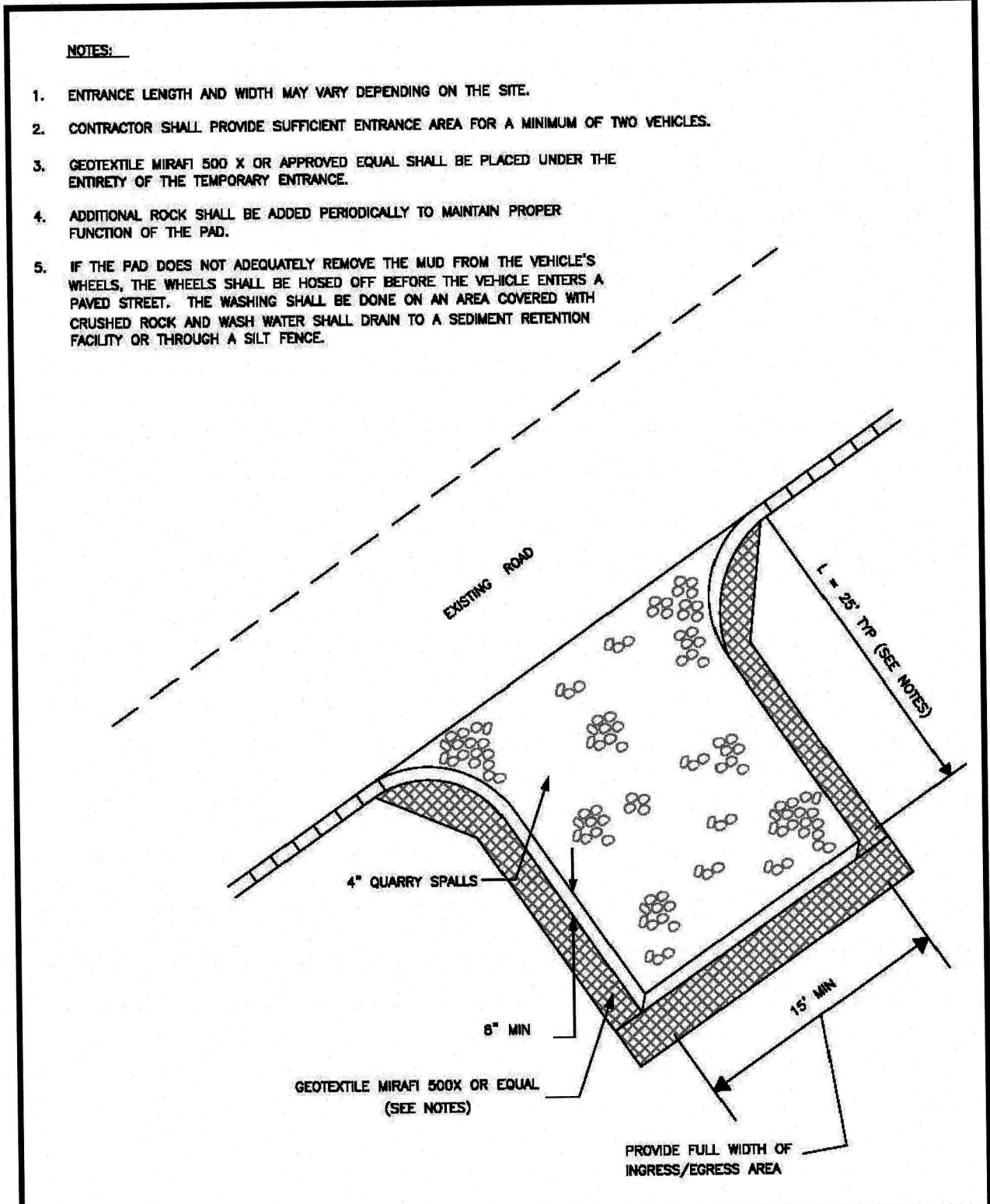
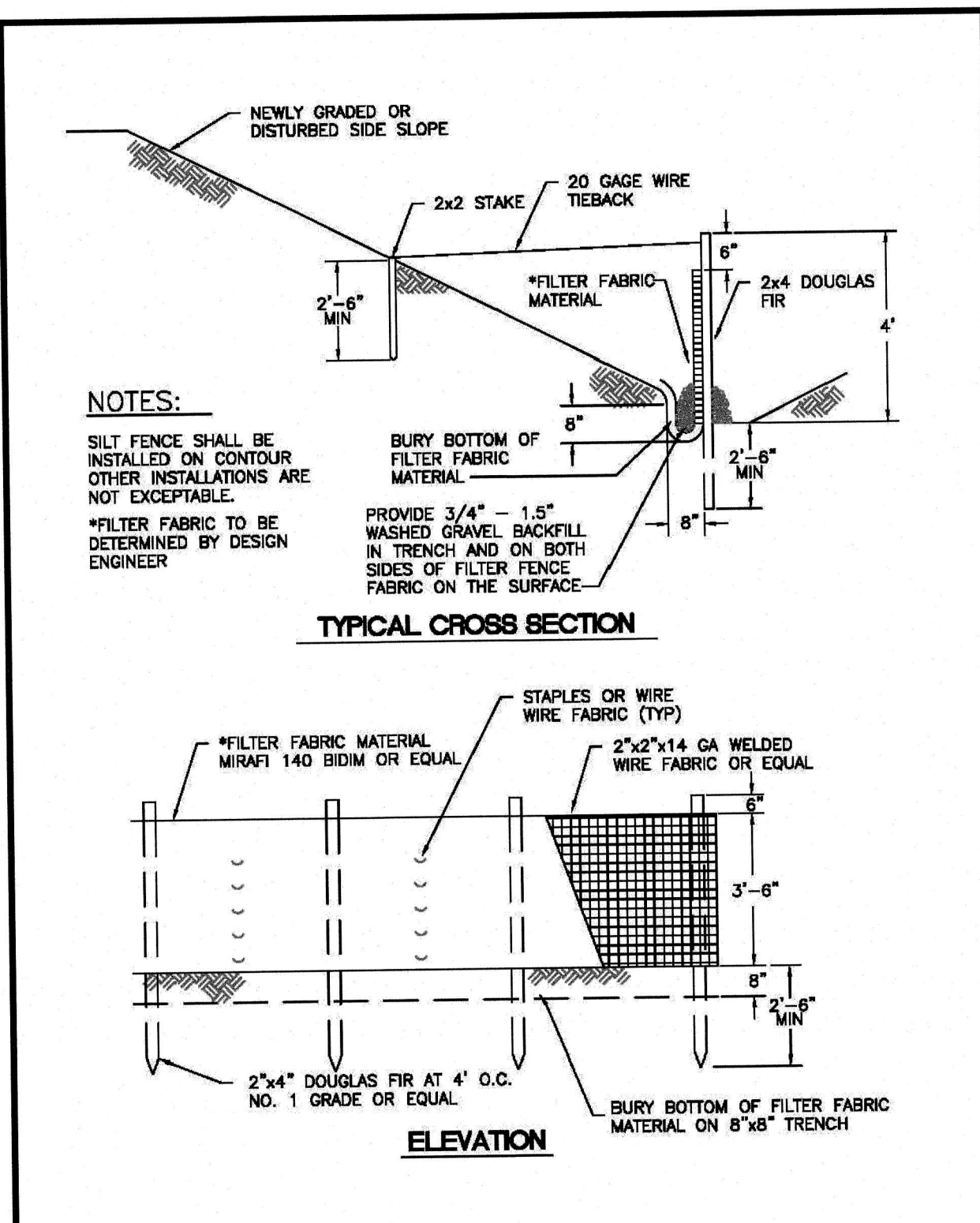
BY: CITY OF PUYALLUP  
ENGINEERING SERVICES

DATE: \_\_\_\_\_

NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.

THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.

FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER.



**NOTES:**

- ENTRANCE LENGTH AND WIDTH MAY VARY DEPENDING ON THE SITE.
- CONTRACTOR SHALL PROVIDE SUFFICIENT ENTRANCE AREA FOR A MINIMUM OF TWO VEHICLES.
- GEOTEXTILE MIRAFI 800 X OR APPROVED EQUAL SHALL BE PLACED UNDER THE ENTIRETY OF THE PAD.
- ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.
- IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE'S WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**SILTATION FENCE**

DESIGNED BY	CHECKED BY	APPROVED BY	DATE	CITY STANDARD
02.03.02				

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**TEMPORARY CONSTRUCTION ENTRANCE (RESIDENTIAL ONLY)**

DESIGNED BY	CHECKED BY	APPROVED BY	DATE	CITY STANDARD
05.01.02				

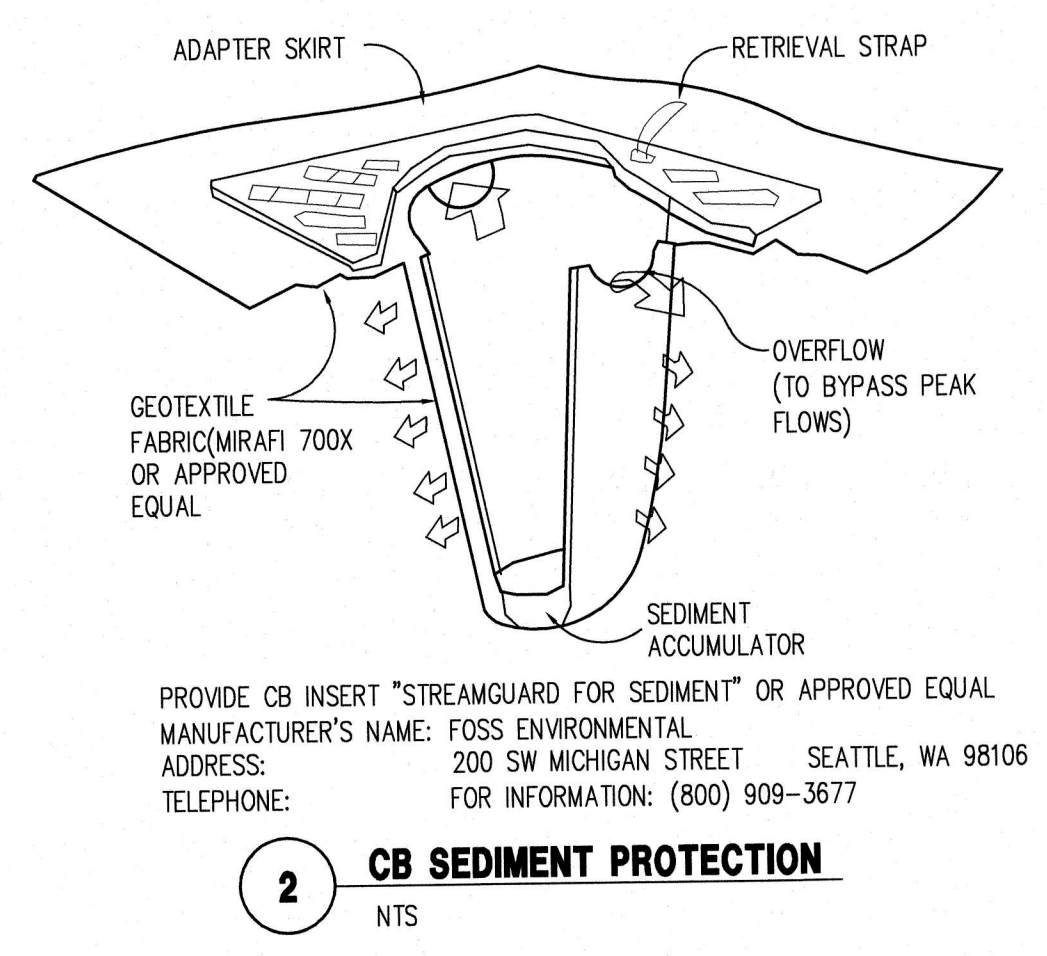
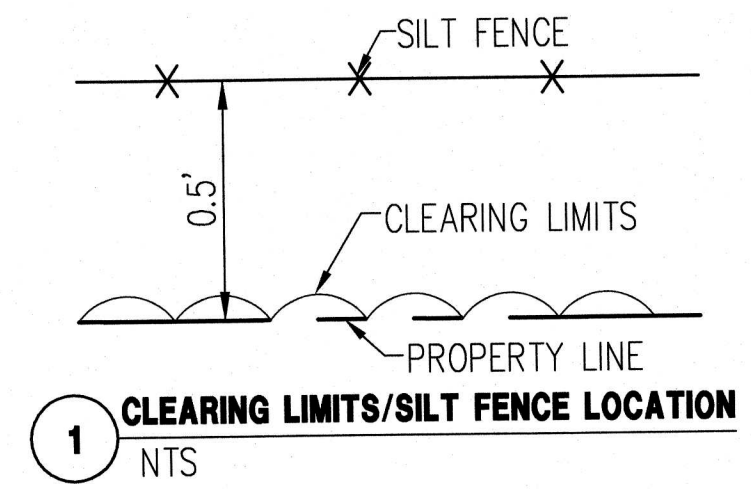
**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES**

DESIGNED BY	CHECKED BY	APPROVED BY	DATE	CITY STANDARD
05.02.01				

**Table 4.7 Mulch Standards and Guidelines**

Mulch Material	Quality Standards	Application Rates	Remarks
Straw	Air-dried, free from undesirable seed and coarse material.	2"-3" thick; 5 bales per 1000 sq ft or 2-3 tons per acre	Cost-effective protection when applied with adequate thickness. Hand-application generally requires greater thickness than blown straw. The thickness of straw may be reduced by half when used in conjunction with seeding. In windy areas straw must be held in place by crimping, using a tackifier, or covering with netting. Blown straw always has to be held in place with a tackifier as even light winds will blow it away. Straw, however, has several deficiencies that should be considered when selecting mulch materials. It often introduces and/or encourages the propagation of weed species and it has no significant long-term benefits. Straw should be used only if mulches with long-term benefits are unavailable locally. It should also not be used within the ordinary high-water elevation of surface waters (due to flotation).
Hydromulch	No growth inhibiting factors.	Approx. 25-30 lbs per 1000 sq ft or 1500 - 2000 lbs per acre	Shall be applied with hydromulcher. Shall not be used without seed and tackifier unless the application rate is at least doubled. Fibers longer than about 1/2-inch clog hydromulch equipment. Fibers should be kept to less than 3/4 inch.
Composted Mulch and Compost	No visible water or dust during handling. Must be purchased from supplier with Solid Waste Handling Permit (unless exempt).	2" thick min.; approx. 100 tons per acre (approx. 800 lbs per yard)	More effective control can be obtained by increasing thickness to 3". Excellent mulch for protecting final grades until landscaping because it can be directly seeded or tilled into soil as an amendment. Composted mulch has a coarser size gradation than compost. It is more stable and practical to use in wet areas and during rainy weather conditions.
Chipped Site Vegetation	Average size shall be several inches. Gradations from fines to 6 inches in length for texture, variation, and interlocking properties.	2" minimum thickness	This is a cost-effective way to dispose of debris from clearing and grubbing, and it eliminates the problems associated with burning. Generally, it should not be used on slopes above approx. 10% because of its tendency to be transported by runoff. It is not recommended within 200 feet of surface waters. If seeding is expected shortly after mulch, the decomposition of the chipped vegetation may tie up nutrients important to grass establishment.
Wood-based Mulch	No visible water or dust during handling. Must be purchased from a supplier with a Solid Waste Handling Permit or one exempt from solid waste regulations.	2" thick; approx. 100 tons per acre (approx. 800 lbs per cubic yard)	This material is often called "hog or hogged fuel." It is usable as a material for Stabilized Construction Entrances (BMP C105) and as a mulch. The use of mulch ultimately improves the organic matter in the soil. Special caution is advised regarding the source and composition of wood-based mulches. Its preparation typically does not provide any weed seed control, so evidence of residual vegetation in its composition or known inclusion of weed plants or seeds should be monitored and prevented (or minimized).



- CAST IRON OR DUCTILE IRON FRAME AND GRATE SHALL CONFORM TO CITY STANDARD DETAIL NO. 02.01.01. FLOW CONTROL MANHOLE/OIL WATER SEPARATOR SHALL CONFORM TO CITY STANDARD DETAIL NO. 02.01.06 AND 02.01.07.
- MANHOLE RING AND COVER SHALL CONFORM TO CITY STANDARD DETAIL NO. 06.01.02.
- CATCH BASINS TYPE I SHALL CONFORM TO CITY STANDARD DETAIL NO. 02.01.02 AND 02.01.03 AND SHALL BE USED ONLY FOR DEPTHS LESS THAN 5 FEET FROM TOP OF THE GRATE TO THE INVERT OF THE STORM PIPE.
- CATCH BASINS TYPE II SHALL CONFORM TO CITY STANDARD DETAIL NO. 02.01.04 AND SHALL BE USED FOR DEPTHS GREATER THAN 5 FEET FROM TOP OF THE GRATE TO THE INVERT OF THE STORM PIPE.
- CAST IRON OR DUCTILE IRON FRAME AND GRATE SHALL CONFORM TO CITY STANDARD DETAIL NO. 02.01.05. GRATE SHALL BE MARKED WITH "DRAINS TO STREAM". SOLID CATCH BASIN LIDS (SQUARE UNLESS NOTED AS ROUND) SHALL CONFORM TO WSDOT STANDARD PLAN B-30.20-04 (OLYMPIC FOUNDRY NO. SM60 OR EQUAL). VANED GRATES SHALL CONFORM TO WSDOT STANDARD PLAN B-30.30-03 (OLYMPIC FOUNDRY NO. SM60V OR EQUAL).
- STORMWATER PIPE SHALL BE ONLY PVC, CONCRETE, DUCTILE IRON, OR DUAL WALLED POLYPROPYLENE PIPE.
  - THE USE OF ANY OTHER TYPE SHALL BE REVIEWED AND APPROVED BY THE ENGINEERING SERVICES STAFF PRIOR TO INSTALLATION.
  - PVC PIPE SHALL BE PER ASTM D3034, SDR 35 FOR PIPE SIZE 15-INCH AND SMALLER AND F679 FOR PIPE SIZES 18 TO 27 INCH. MINIMUM COVER ON PVC PIPE SHALL BE 3.0 FEET.
  - CONCRETE PIPE SHALL CONFORM TO THE WSDOT STANDARD SPECIFICATIONS FOR CONCRETE UNDERDRAIN PIPE. MINIMUM COVER ON CONCRETE PIPE SHALL NOT BE LESS THAN 3.0 FEET.
  - DUCTILE IRON PIPE SHALL BE CLASS 50, CONFORMING TO AWWA C151. MINIMUM COVER ON DUCTILE IRON PIPE SHALL BE 1.0 FOOT.
  - POLYPROPYLENE PIPE (PP) SHALL BE DUAL WALLED, HAVE A SMOOTH INTERIOR AND EXTERIOR CORRUGATIONS AND MEET WSDOT 9-05.24(1). 12-INCH THROUGH 30-INCH PIPE SHALL MEET OR EXCEED ASTM F2736 AND AASHTO M330, TYPE S, OR TYPE D. 36-INCH THROUGH 60-INCH PIPE SHALL MEET OR EXCEED ASTM F2881 AND AASHTO M330, TYPE S, OR TYPE D. TESTING SHALL BE PER ASTM F1417. MINIMUM COVER OVER POLYPROPYLENE PIPE SHALL BE 3 FEET.
- TRENCHING, BEDDING, AND BACKFILL FOR PIPE SHALL CONFORM TO CITY STANDARD DETAIL NO. 06.01.01.
- STORM PIPE SHALL BE A MINIMUM OF 10 FEET AWAY FROM BUILDING FOUNDATIONS AND/OR ROOF LINES.
- ALL STORM DRAIN MAINS SHALL BE TESTED AND INSPECTED FOR ACCEPTANCE AS OUTLINED IN SECTION 406 OF THE CITY OF PUYALLUP SANITARY SEWER SYSTEM STANDARDS.
- ALL TEMPORARY SEDIMENTATION AND EROSION CONTROL MEASURES, AND PROTECTIVE MEASURES FOR CRITICAL AREAS AND SIGNIFICANT TREES SHALL BE INSTALLED PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITIES.

**CALL 48 HOURS BEFORE YOU DIG DIAL 811**

City of Puyallup  
Development & Permitting Services  
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

Designed: ENO  
Drawn: MRL  
Checked: ENO

Scale: N.T.S.  
Date: 10/31/2023  
Job No.: 20069

Sheet No.: **C2**

2 of 3 Sheets

Revision: \_\_\_\_\_  
Date: \_\_\_\_\_

**C.E.S. NW INC.**  
CIVIL ENGINEERING & SURVEYING

**PUYALLUP DUPLEX - LOT 2**  
TESC - NOTES & DETAILS

Project: \_\_\_\_\_  
Client: \_\_\_\_\_  
P.O. BOX 7707, BONNEY LAKE, WA 98391

PH: (253) 846-4082  
www.cesnw.com

# PUYALLUP DUPLEX - LOT 2

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 20 N., RGE. 4 E.,  
WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

APPROVED

BY \_\_\_\_\_  
CITY OF PUYALLUP  
ENGINEERING SERVICES

DATE \_\_\_\_\_

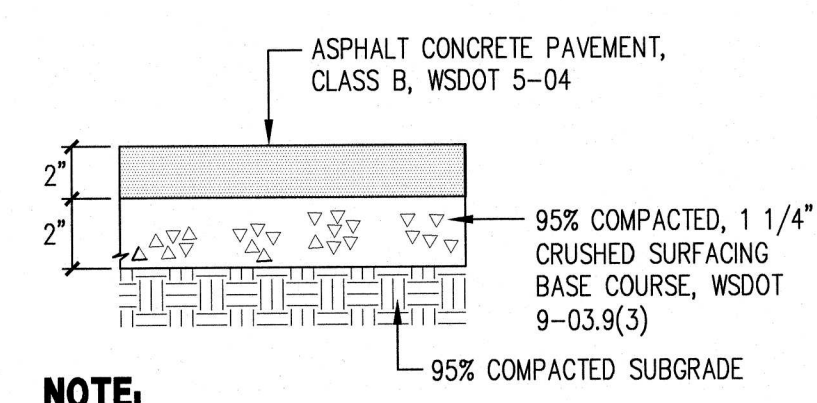
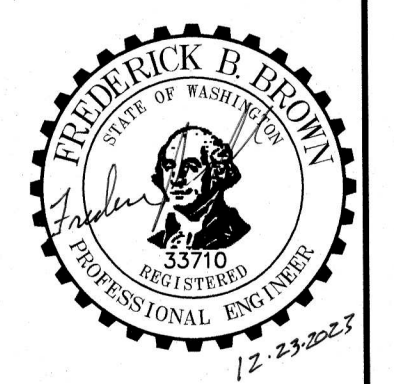
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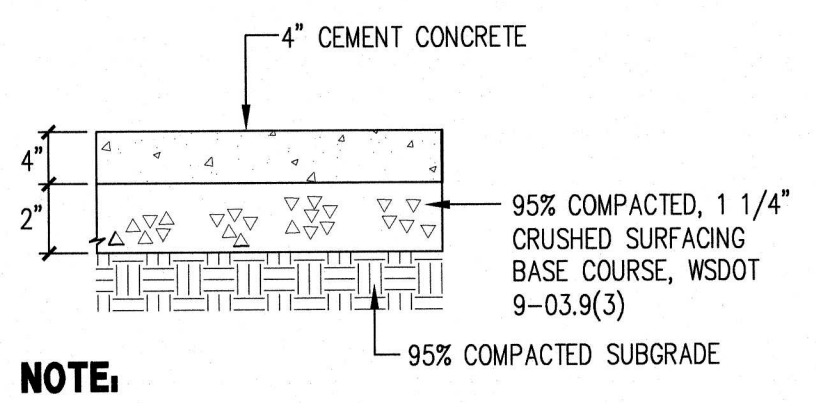
City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic

No.	Int.	Rev.	Date.



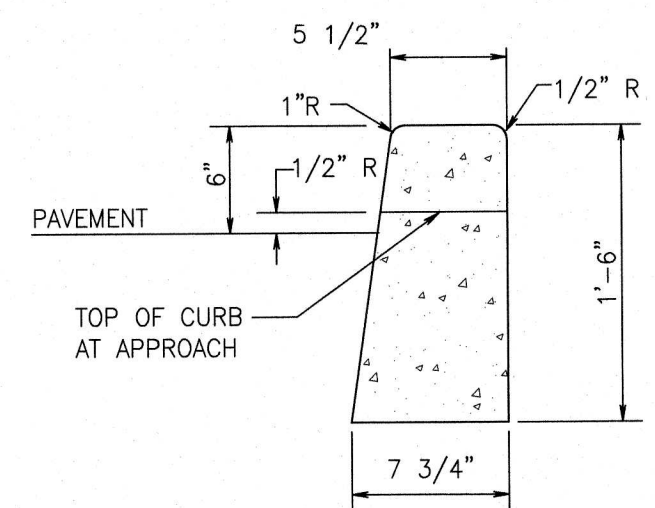
**NOTE:**  
1. DEPTHS ARE COMPACTED THICKNESS.

**DRIVEWAY APPROACH SECTION**  
N.T.S.

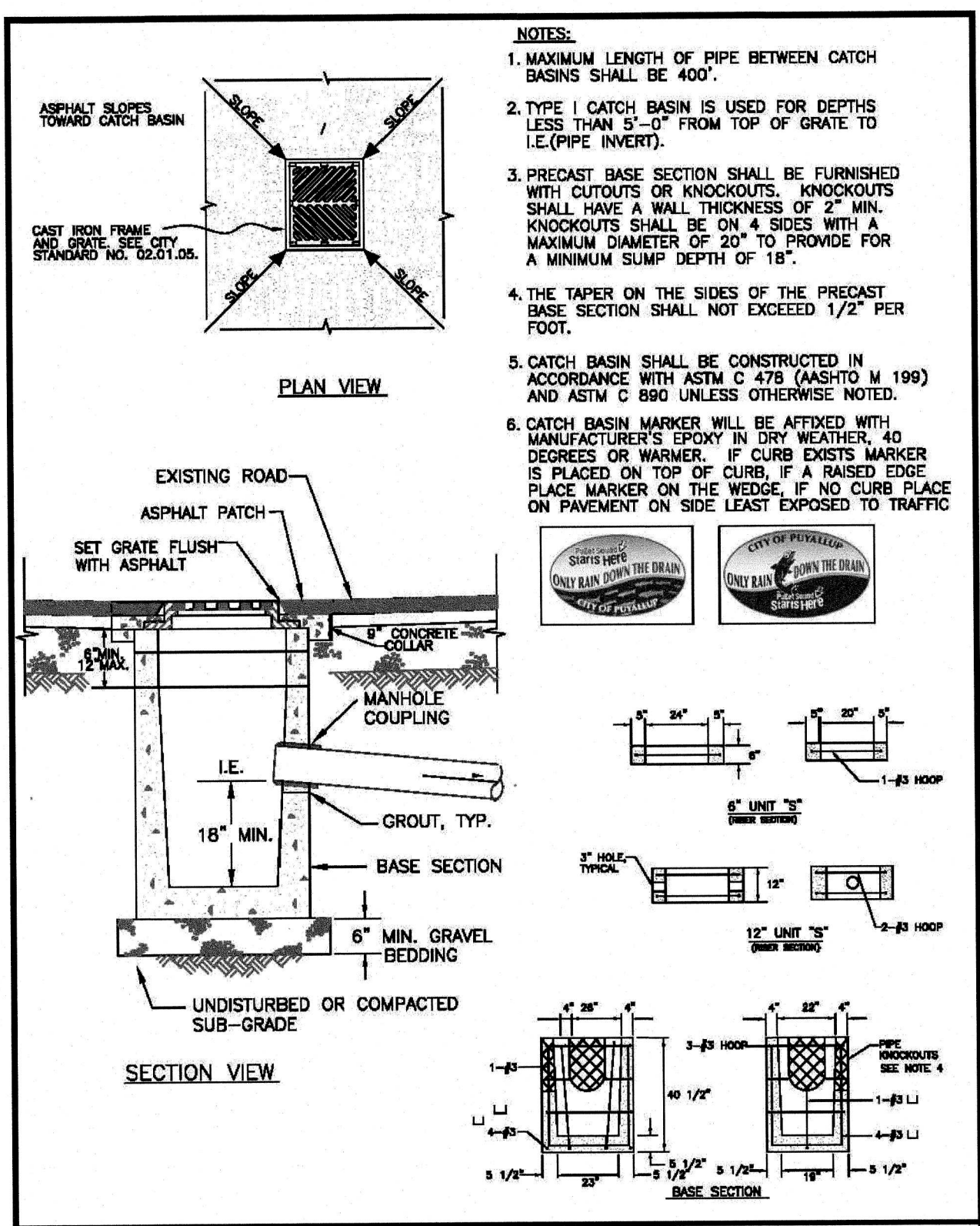


**NOTE:**  
1. DEPTHS ARE COMPACTED THICKNESS.

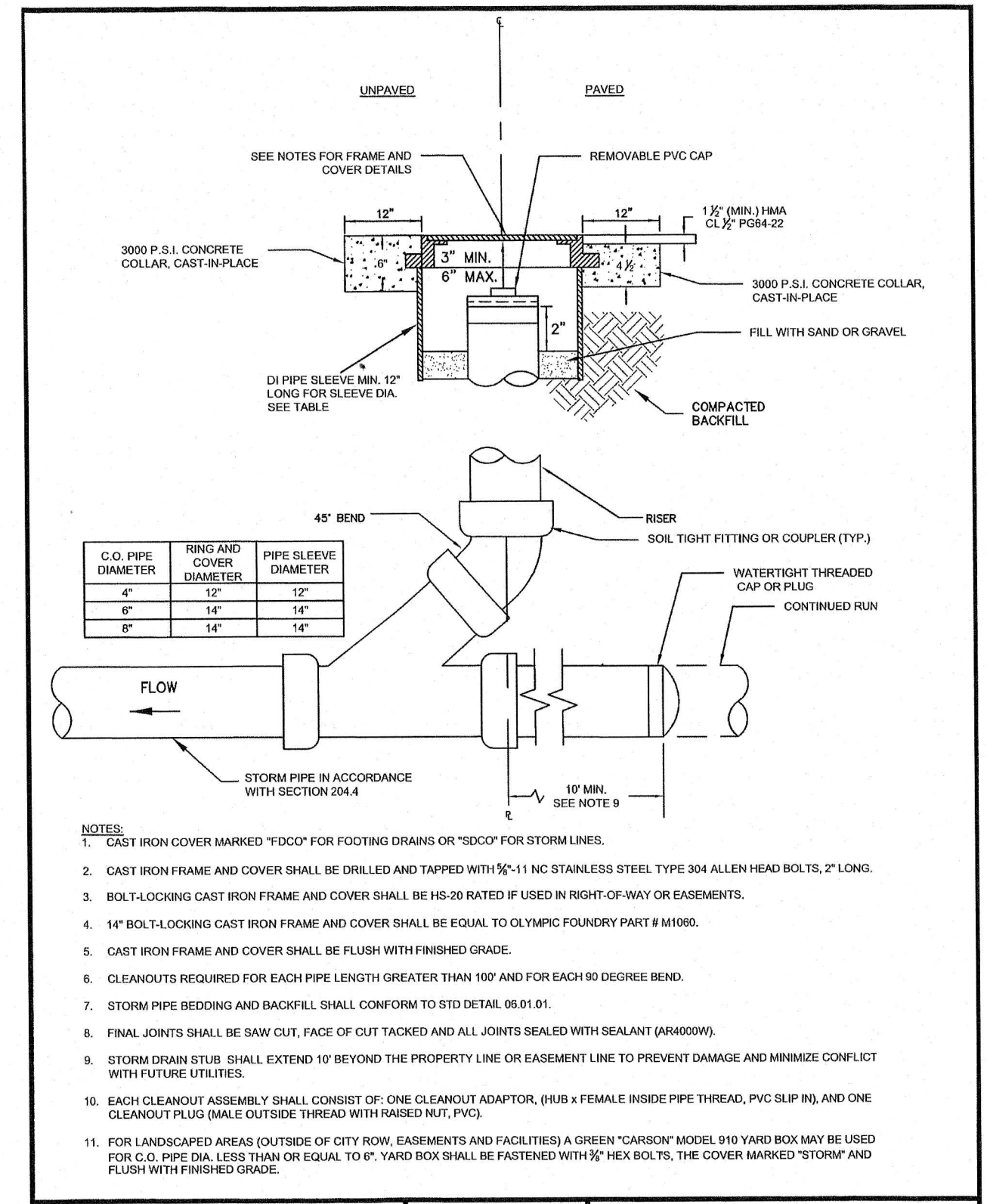
**DRIVEWAY APRON SECTION**  
N.T.S.



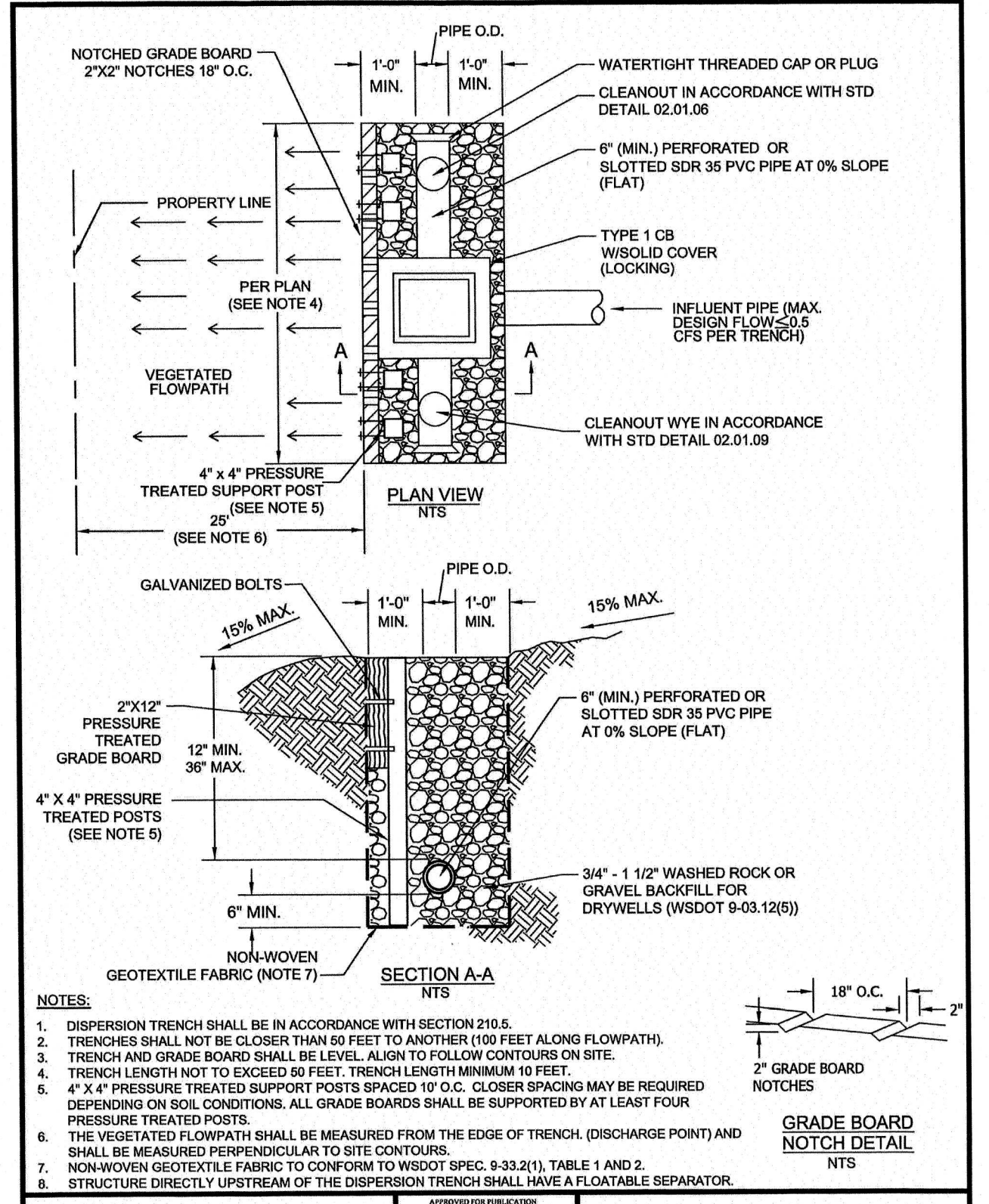
**CEMENT CONCRETE VERTICAL CURB**  
N.T.S.



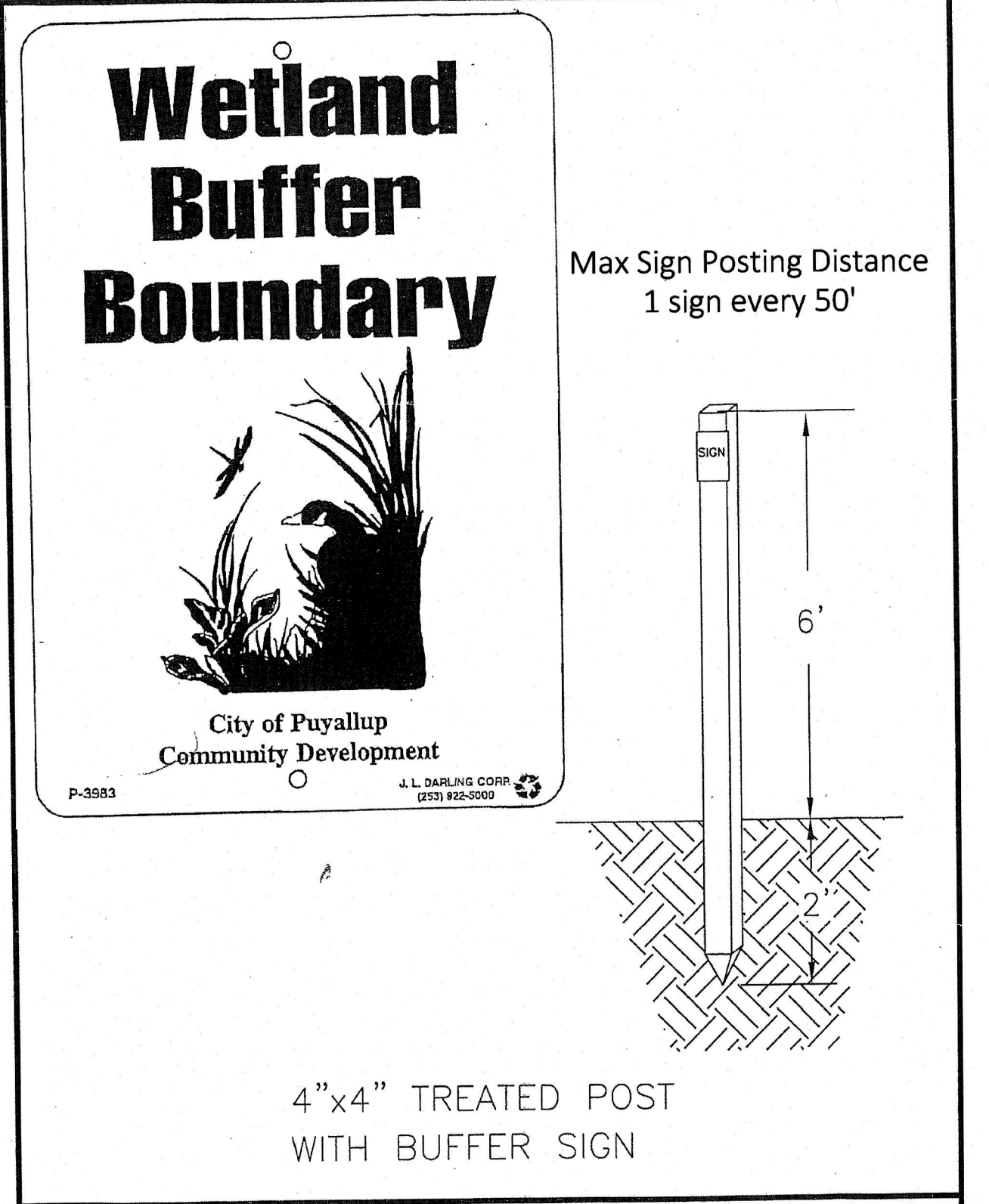
<b>CITY OF PUYALLUP</b> DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	<b>CATCH BASIN TYPE I (AREA DRAIN)</b>
<small>DESIGNED BY: JENNIFER RAY</small> <small>CHECKED BY: JENNIFER RAY</small> <small>DATE: 10/31/2023</small>	<small>DATE REVISION: 02.01.02</small>



<b>CITY OF PUYALLUP</b> PUBLIC WORKS AND DEVELOPMENT ENGINEERING	<b>STORM DRAIN CLEANOUT</b>
<small>SCALE: 1/8" = 1'-0"</small> <small>DATE REVISION: 02.01.09</small>	<small>DATE REVISION: 02.01.09</small>



<b>CITY OF PUYALLUP</b> PUBLIC WORKS AND DEVELOPMENT ENGINEERING	<b>DOWNSPOUT DISPERSION TRENCH</b>
<small>SCALE: 1/8" = 1'-0"</small> <small>DATE REVISION: 02.05.06</small>	<small>DATE REVISION: 02.05.06</small>



<b>CITY OF PUYALLUP</b> COMMUNITY DEVELOPMENT DEPARTMENT	<b>SIGN POSTING DETAIL</b>
<small>DESIGNED BY: JENNIFER RAY</small> <small>CHECKED BY: JENNIFER RAY</small> <small>DATE: 10/31/2023</small>	<small>DATE REVISION: 02.05.06</small>

**CALL 48 HOURS  
BEFORE YOU DIG  
DIAL 811**

**C.E.S. NW INC.**  
CIVIL ENGINEERING & SURVEYING

**PUYALLUP DUPLEX - LOT 2  
NOTES & DETAILS**

**HC HOMES INC.**  
P.O. BOX 7707, BONNEY LAKE, WA 98391

Client: HC HOMES INC.  
 P.O. BOX 7707, BONNEY LAKE, WA 98391  
 Phone: (253) 848-4282  
 Email: cesnwinc.com

Project: PUYALLUP DUPLEX - LOT 2  
 Drawn: ENO  
 Checked: MFL  
 Date: 10/31/2023  
 Job No.: 20069  
 Sheet No.: **C3**  
 3 of 3 Sheets