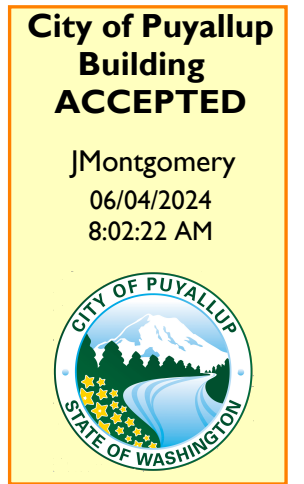


# MERIDIAN SHOPPING CENTER FACADE REMODEL - PHASE II

4423-4621 S MERIDIAN  
PUYALLUP, WA 98373



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**FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITTEE ON SITE FOR ALL INSPECTIONS (MIN. PLAN SIZE 24" X 36")**

## DEFERRED SUBMITTALS

THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FIELD CONDITIONS AND COORDINATING ALL DEFERRED SUBMITTALS. THE GC'S SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL AUTHORITIES AND ALL CURRENT CODES, REGULATIONS AND REQUIREMENTS.

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

**ELECTRICAL:**

- THE ELECTRICAL WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED ELECTRICAL DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS AND COMPLIES WITH ALL CODES, REGULATIONS AND REQUIREMENTS.
- THE GC'S ELECTRICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY ELECTRICAL PERMITS.

**FIRE PROTECTION/FIRE ALARM:**

- THE FIRE PROTECTION & FIRE ALARM WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED FIRE PROTECTION DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS AND COMPLIES WITH ALL CODES, REGULATIONS AND REQUIREMENTS.
- THE GC'S FIRE PROTECTION SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING FOR AND SECURING ALL NECESSARY FIRE PROTECTION PERMITS.

## GENERAL NOTES

A. REFER TO BASIC BUILDING SPECIFICATIONS, REQUIREMENTS AND STANDARDS FOR EXISTING SHELL AND CORE CONSTRUCTION. ALL WORK IS TO BE COMPATIBLE WITH EXISTING CONSTRUCTION.

B. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL GOVERNING BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK THAT HAS BEEN PERFORMED WHICH DOES NOT MEET THESE CODES AND REGULATIONS.

C. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO THE ARCHITECT'S CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES OR DETAILS WHICH DO NOT MEET BUILDING CODES AND CONSTRUCTION STANDARDS.

D. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN THE EVENT OF CONFLICTS OR CHANGES BETWEEN DETAILS, OR BETWEEN THE PLANS AND SPECIFICATIONS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

E. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND PIPING BEFORE BEGINNING WORK.

F. THE GC SHALL COORDINATE ALL OPERATIONS WITH THE OWNER, INCLUDING AREA FOR WORK, MATERIALS STORAGE, AND ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK AND INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES, NOISY OR DISRUPTIVE WORK SHALL BE SCHEDULED AT LEAST ONE (1) WEEK IN ADVANCE OF THE TIME WORK IS TO COMMENCE.

G. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST STANDARD OF WORKMANSHIP IN GENERAL AND WITH SUCH STANDARDS AS ARE SPECIFIED.

H. GC SHALL SUBMIT SAMPLES OF ALL FINISHES OF SUCH SIZE AND NUMBER THAT THEY REPRESENT A REASONABLE DISTRIBUTION OF COLOR RANGES AND PATTERN PRIOR TO INSTALLATION FOR ARCHITECT'S APPROVAL. GC SHALL PROVIDE SHOP DWGS AND PRODUCT DATA FOR ARCHITECT'S APPROVAL ON ALL SPECIAL ITEMS REQUIRING CUSTOM FABRICATION (SHALL INCLUDE RATED FIRE DOORS AND HARDWARE).

I. ALL MATERIALS INDICATED TO MATCH EXISTING SHALL DO SO WITH RESPECT TO SIZE, SHAPE, COLOR, TEXTURE, PATTERN, QUALITY AND METHOD OF INSTALLATION INsofar AS PRACTICABLE AND SHALL BE APPROVED BY THE ARCHITECT BEFORE USE.

J. THE FLOORS MAY BE OCCUPIED DURING CONSTRUCTION. THE GC SHALL PROTECT ALL PERSONNEL, PASSERSBY OR VISITORS TO THE SITE FROM HARM AND INJURY. BARRIERS SHALL BE INSTALLED AS REQUIRED TO PROTECT EQUIPMENT INSTALLED DURING CONSTRUCTION, CAREFULLY MAINTAIN AND PROTECT MONUMENTS, BENCH MARKS AND THEIR REFERENCE POINT FROM BEING DESTROYED OR DISTURBED; REPLACE AS REQUIRED.

K. EXISTING WORK DAMAGED AS A RESULT OF WORK DONE UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO ARCHITECT'S APPROVAL, AND AT NO ADDITIONAL COST TO THE OWNER. ALL REPLACEMENT MATERIALS REQUIRED TO MATCH EXISTING MATERIALS SHALL DO SO WITH RESPECT TO TYPE, PATTERN, TEXTURE, SIZE, SHAPE, COLOR AND METHOD OF INSTALLATION INsofar AS PRACTICABLE, AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO INSTALLATION.

L. MATERIALS, ARTICLES, DEVICES AND PRODUCTS ARE SPECIFIED IN THE DOCUMENTS BY LISTING ACCEPTABLE MANUFACTURERS OR PRODUCTS, BY REQUIRING COMPLIANCE WITH REFERENCED STANDARDS, OR BY PERFORMANCE SPECIFICATIONS. FOR ITEMS SPECIFIED BY NAME, SELECT ANY PRODUCT NAMED; FOR THOSE SPECIFIED BY REFERENCE STANDARDS OR BY PERFORMANCE SPECIFICATIONS SELECT ANY PRODUCT MEETING OR EXCEEDING SPECIFIED CRITERIA. FOR APPROVAL OF AN ITEM NOT SPECIFIED, SUBMIT REQUIRED SUBMITTALS, PROVIDING COMPLETE BACK-UP INFORMATION FOR PURPOSES OF EVALUATION. WHERE BUILDING STANDARD ITEMS ARE CALLED FOR, NO SUBSTITUTE WILL BE ACCEPTED.

M. INSTALLATION OF MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS WILL REQUIRE OPENING OF SOME EXISTING WALLS, CEILINGS OR FLOOR CAVITIES. THE GC SHALL BE RESPONSIBLE FOR THE REPAIR OF THESE OPENINGS TO MATCH EXISTING, EXCEPT WHERE NOTED OTHERWISE, FILL ALL HOLES AND VOIDS IN FLOORS WALLS AND CEILINGS WHICH RESULT FROM INSTALLATION OF WORK, AND REMOVAL OF EXISTING MATERIALS AND EQUIPMENT REQUIRED BY THIS CONTRACT. PATCHED AREAS SHALL MATCH THE MATERIALS, FINISHES, AND LEVELS ADJACENT, OR SHALL BE PUT IN THE PROPER CONDITION TO RECEIVE THE FINISH INDICATED.

N. OPENINGS REQUIRED FOR NEW WORK THAT PENETRATES EXISTING STRUCTURE SHALL BE COORDINATED WITH OWNER PRIOR TO COMMENCING THE WORK. ANY OPENING OVER 2" IN DIAMETER SHALL BE REVIEWED AND APPROVED BY OWNER. THROUGH CONCRETE SLABS OR WALLS, OR MASONRY WALLS, ALL ROUND HOLES SHALL BE CORE DRILLED WITH A DIAMOND DRILL AND ALL RECTANGULAR OPENINGS SHALL BE CUT WITH A DIAMOND SAW. IN NO CASE SHALL ANY STRUCTURAL MEMBER BE CUT. USE CARBIDE-TIPPED DRILLS FOR GYPSUM WALLBOARD PARTITIONS. KEEP OVER CUTTING TO A MIN. MAINTAIN CONTINUITY AND INTEGRITY OF FIRE SEPARATION AT ALL TIMES. GROUT AROUND CONDUITS PASSING THROUGH CONCRETE WALLS AND FLOORS AND MASONRY WALLS. MAKE PATCHES WITH NEAT, TRIMMED EDGES; MATCH ADJACENT EXISTING WORK.

O. ANY DISCREPANCIES THROUGHOUT THESE DRAWINGS INCLUDING ARCHITECTURAL, CIVIL, STRUCTURAL, MEP, FIRE PROTECTION, ENVELOPE CONSULTANT, FIRE CONSULTANT, ETC. SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO THE TIME OF BID. IF TIME DOESN'T WARRANT A CLARIFICATION FROM THE ARCHITECT PRIOR TO BID, GC TO BID THE HIGHEST COST SOLUTION WITH A NOTE OF CLARIFICATION ADDED TO THE BID ASSUMPTIONS.

P. DO NOT SCALE DRAWING, CONTACT ARCHITECT IF ADDITIONAL DIMENSION NEEDED.

## REFERENCE SITE PLAN



INFORMATION SHOWN FOR REFERENCE PURPOSES, ONLY. SITE PLAN FROM GOOGLE EARTH

## SHEET INDEX

- ARCHITECTURAL
- A0.10 COVER SHEET
  - A1.10 SITE PLAN
  - A2.50 ROOF PLANS
  - AD3.10 EXISTING ELEVATIONS
  - AD3.11 EXISTING ELEVATIONS
  - A3.10 NEW ELEVATIONS
  - A4.10 WALL SECTIONS
  - A4.11 WALL SECTIONS
  - A8.10 EXTERIOR DETAILS
  - A8.20 EXTERIOR DETAILS

## CODES

- DESIGN CODES:**
- 2021 INTERNATIONAL EXISTING BUILDING CODE
  - 2021 INTERNATIONAL BUILDING CODE
  - 2021 INTERNATIONAL MECHANICAL CODE
  - 2021 UNIFORM PLUMBING CODE
  - 2021 INTERNATIONAL FIRE CODE
  - 2021 WASHINGTON STATE ENERGY CODE
  - 2019 NFPA STANDARD 72
  - 2019 NFPA STANDARD 13, 13-D, AND 13-R WITH WASHINGTON STATE AMENDMENTS TO THE ABOVE CODES
  - 2017 ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

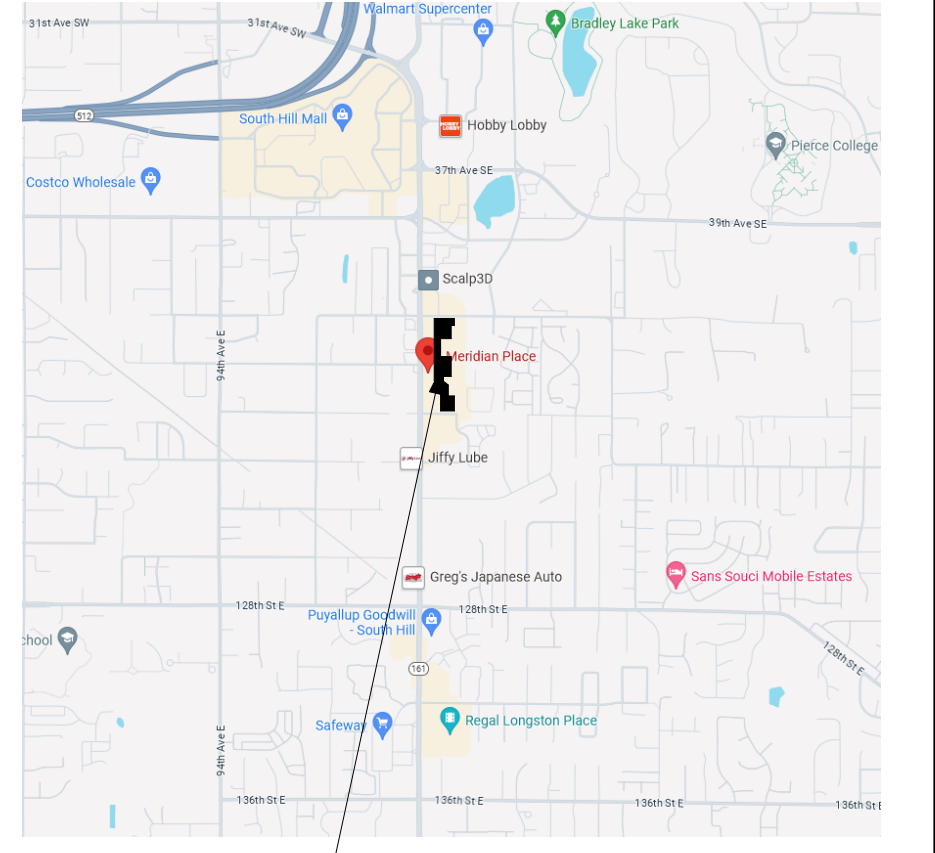
## ARCHITECTURAL ABBREVIATIONS

<b>SYMBOLS:</b>	AT AND	EJ EXPANSION JOINT	EQ EQUAL	EXIST EXISTING	EXP EXPANSION	EXT EXTERIOR	F.C.I.C. FURNISH BY CONTRACTOR	FD FLOOR DRAIN	FF FOUNDATION	FF FINISH FLOOR	FF FURNISHED BY OWNER	F.O.I.O. FIRE EXTINGUISHER CABINET	FEC FIRE EXTINGUISHER CABINET	F.O.I.C. FURNISHED BY OWNER																								
<b>ABBREVIATIONS:</b>	A.S.E. AVERAGE BUILDING ELEVATION	A/C AIR CONDITIONER	ADJ ADJUSTABLE, ADJACENT	ADMIN ADMINISTRATION	AFF ABOVE FINISH FLOOR	AFG ABOVE FINISH GRADE	ALUM ALUMINUM	ANOD ANODIZED	APPROX APPROXIMATE	ALT ALTERNATE	ASR AUTOMATIC SPRINKLER RISER	ANG AVERAGE	BFF BELOW FINISH FLOOR	BFG BELOW FINISH GRADE	BD BOARD	BLOG BUILDING	B/S BUILDING STANDARD	B.O. BOTTOM OF	BTM BOTTOM	B/W BETWEEN	CB CATCH BASIN	C.I. CAST IRON	CIP CAST IN PLACE	CJ CONTROL JOINT	CMU CONSTRUCTION JOINT	CONC CONCRETE MASONRY UNIT	COL COLUMN	CONC CONCRETE	CONT CONTINUOUS	CONSTR CONSTRUCTION	CONTR CONTRACTOR	CPT CARPET	CT CERAMIC TILE	DF DRINKING FOUNTAIN	DS DOWNSPOUT	DWG DRAWING	EA EACH	ELEV ELEVATION, ELEVATOR

## SYMBOLS LEGEND

	REVISION NO. DATE BELOW		ROOM NO. ROOM AREA
	DETAIL NO. DESIGNATION SHEET THAT DETAIL IS SHOWN		DATUM POINT
	WALL SECTION NO. SHEET THAT SECTION IS SHOWN		CEILING HEIGHT
			CEILING FINISH
			GRID DESIGNATION
			TRUE NORTH
			PROJECT NORTH
	INTERIOR ELEV. NO. SHEET INTERIOR ELEV SHOWN		INSUL. TYPE
	SHEET KEYNOTE		
	DOOR SCHEDULE KEY (CORRESPONDS TO ROOM NO. WHERE DOOR OCCURS)		
	WINDOW SCHEDULE KEY		

## VICINITY MAP



INFORMATION SHOWN FOR REFERENCE PURPOSES, ONLY. SITE PLAN FROM GOOGLE EARTH

## PROJECT DATA

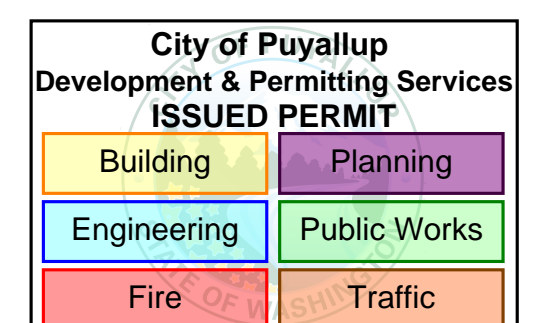
**LEGAL DESCRIPTION:**  
SECTION 10 TOWNSHIP 19 RANGE 04 QUARTER 23 L 2 A OF MERIDIAN SHOPPING CENTER BSP 84-06-06-0403 DESC AS L 2 OF L L 83-04-26-0193 EXC W 170 FT OF N 240 FT THEREOF ALSO EXC POR CVD TO WA ST DOT PER EITN 611217, 648661, & 611594 EASE OF REC SEC TO RESTORE

SECTION 10 TOWNSHIP 19 RANGE 04 QUARTER 23 L 1 OF S P 2016-07-20-5007 EASE OF REC OUT OF 2-091 SEG 2017-0119 DX8/30/16 DX

**JURISDICTION:** CITY OF PUYALLUP  
**COUNTY:** PIERCE COUNTY  
**ZONE:** URBAN CENTER MIXED USE 0419102125 & 0419106202  
**PARCEL NO.:** MERIDIAN SHOPPING CENTER  
**BUILDING HEIGHT/STORIES:** APPROX. 36'-8" / 1 STORY  
**YEAR BUILT:** 1979  
**CONSTRUCTION TYPE/CLASS:** TYPE III-B, SPRINKLERED, ALARMED

**EXISTING AREA CALCS. AND CONDITIONS:**  
GROSS LAND AREA: +/-12.72 ACRES (554,083 S.F.)  
GROSS BLDG FLOOR AREA: 189,067 S.F. (EXISTING NO CHANGE)  
OCCUPANCY: M (RETAIL) (EXISTING NO CHANGE)

FACADE IMPROVEMENT AREA: 10,090 SF



PRRF20240884

## SCOPE

**SCOPE OF WORK SUMMARY:**  
REMOVE SHINGLES AT PORTIONS OF EXISTING MANSARD ROOF AND REPLACE WITH NEW STANDING SEAM METAL ROOFING.

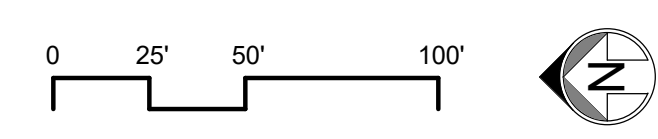
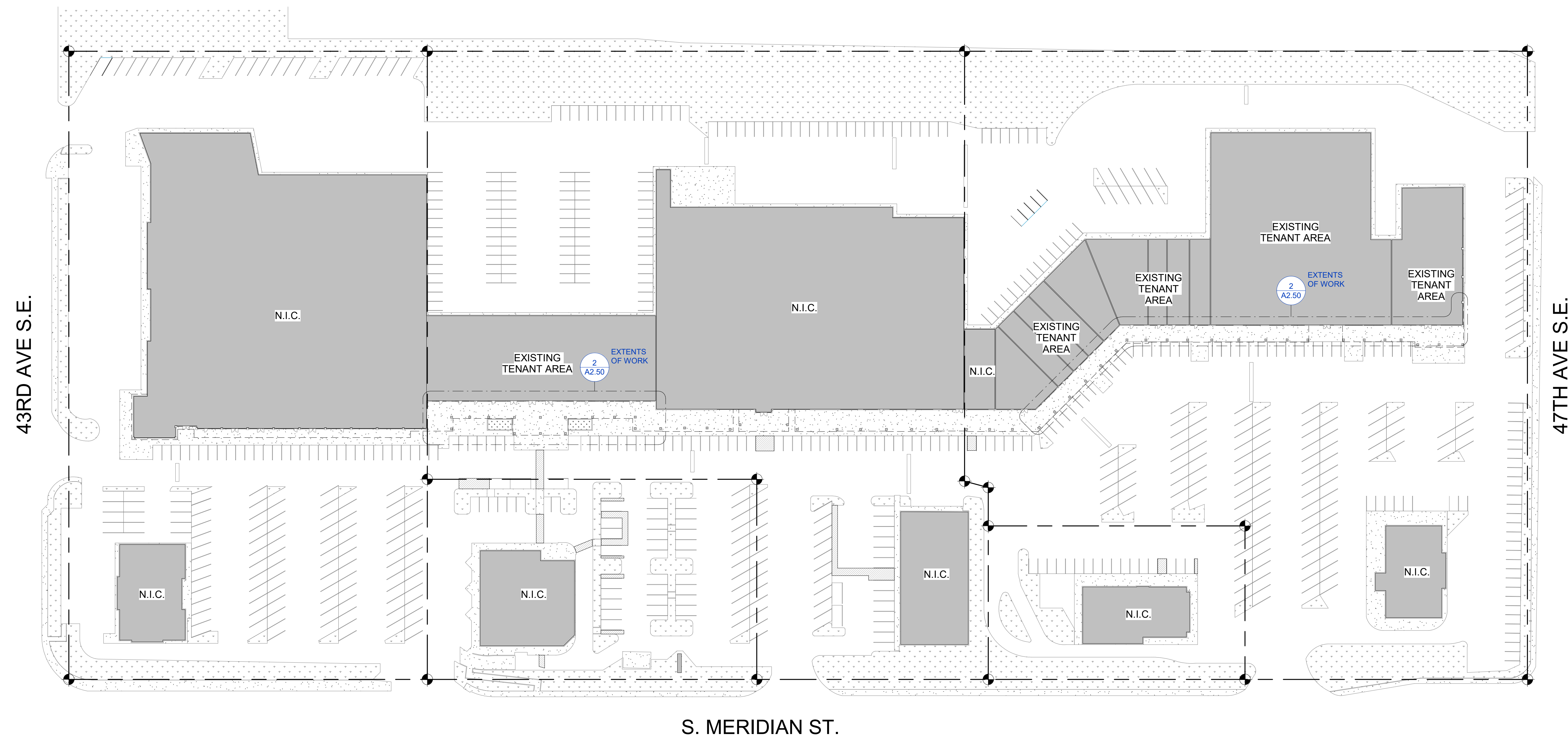
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**MERIDIAN SHOPPING CENTER**  
FACADE REMODEL - PHASE II  
4423-4621 S MERIDIAN  
PUYALLUP, WA 98373

REVISIONS		
NO.	DATE	BY
ISSUE DATES		
DESIGN APPROVAL:		
PERMIT SUBMITTAL:		
PERMIT RECEIVED:		
BID DOCS:		
CONSTR. DOCS:		

24"x36" SCALE:	1/4" = 1'-0"
PLOT DATE:	5/10/2024 2:56:58 PM
CAD FILE:	
JOB NUMBER:	23-224
CHECKED:	JB
DRAWN:	CK
STATUS:	PERMIT SET

COVER SHEET  
**A0.10**



1 OVERALL SITE PLAN  
1" = 50'-0"

**GENERAL NOTES**

- |   |  |
|---|--|
| <p>1. PRIOR TO COMPLETION OF CONSTRUCTION CLEAN ALL STOREFRONT SURFACES.</p> <p>2. PATCH AND REPAIR EXISTING STRUCTURE AS REQUIRED TO RECEIVE NEW FINISHES.</p> <p>3. EXISTING SITE AND SIDEWALK TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.</p> <p>4. ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER OR TENANT. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF.</p> <p>5. PROTECT ALL AREAS OF BUILDING AND FIRE PROTECTION SYSTEM FROM DUST AND DEBRIS AT ALL TIMES.</p> <p>6. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND BUILDING OWNER TO MINIMIZE DISTURPTIONS TO BUSINESS HOUR OPERATIONS.</p> <p>7. PROTECT ANY ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.</p> <p>8. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED HERE TO CONFORM WITH ALL LOCAL, REGIONAL, STATE AND / OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING AND / OR REMOVAL OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS.</p> <p>9. ALL DEMOLISHED AND UNUSED CABLE TO BE DEMOLISHED BACK TO SOURCE.</p> <p>10. REMOVE ALL DEBRIS AND GARBAGE PRIOR TO START OF CONSTRUCTION. REPAIR SUBSTRATES AS REQUIRED FOR NEW FINISHES.</p> | <p>11. REMOVE ALL EXISTING IMPROVEMENTS AND FIXTURES AS NECESSARY TO ACCOMMODATE NEW WORK.</p> <p>12. PRIOR TO DEMOLITION CONTRACTOR TO VISIT THE SITE AND VERIFY EXISTENT OF DEMOLITION ACTIVITIES REQUIRED FOR NEW CONSTRUCTION.</p> <p>13. PROTECT ALL FIRE PROTECTION ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.</p> <p>14. ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER OR TENANT. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF.</p> <p>15. DO NOT SCALE DWGS. WRITTEN DIMENSIONS GOVERN.</p> <p>16. DIMENSIONS MARKED ± MEAN A TOLERANCE NOT GREATER NOR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION, U.O.N. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. SECURE ARCHITECT'S APPROVAL.</p> <p>17. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION.</p> <p>18. REFER TO SHEET A0.1 FOR ADDITIONAL NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, AND SCHEDULES.</p> <p>19. ALL WORK SHALL BE ERRECTED AND INSATLLED PLUMB, LEVEL, SQUARE AND TRUE.</p> |
|---|--|

**City of Puyallup  
Development & Permitting Services  
ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

**PRRF20240884**

**SITE PLAN LEGEND**

- EXISTING BUILDINGS TO REMAIN
- PROPERTY LINES
- ROOF OUTLINE OVERHEAD

REVISIONS		
NO.	DATE	BY

ISSUE DATES
DESIGN APPROVAL:
PERMIT SUBMITTAL:
PERMIT RECEIVED:
BID DOCS:
CONSTR. DOCS:

24"x36" SCALE: As indicated
PLOT DATE: 5/10/2024 2:56:59 PM
CAD FILE:
JOB NUMBER: 23-224
CHECKED: JB
DRAWN: CK
STATUS: PERMIT SET



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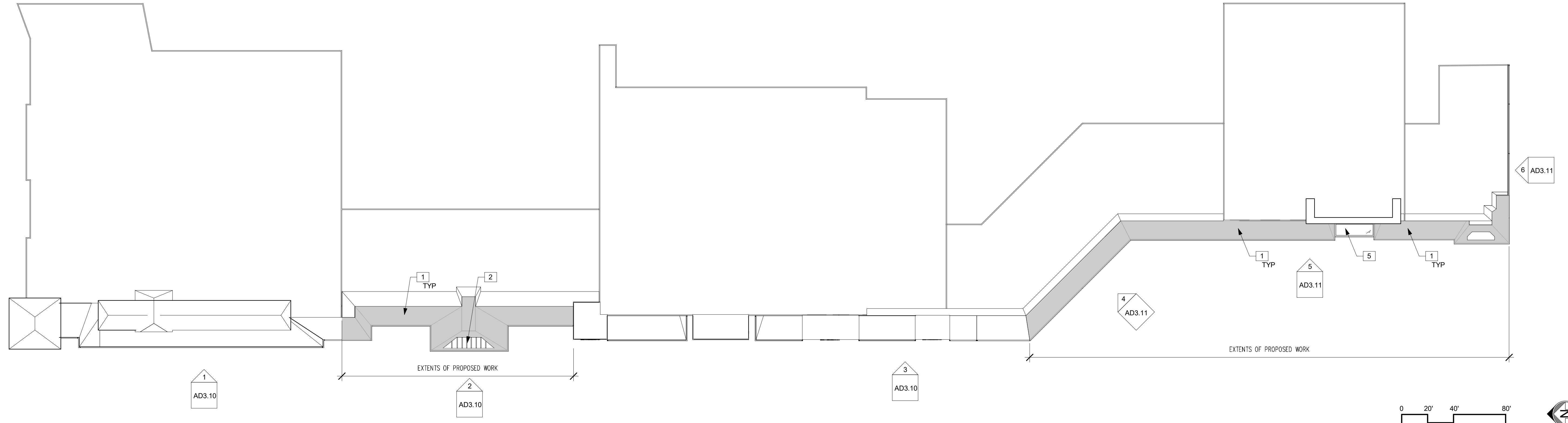
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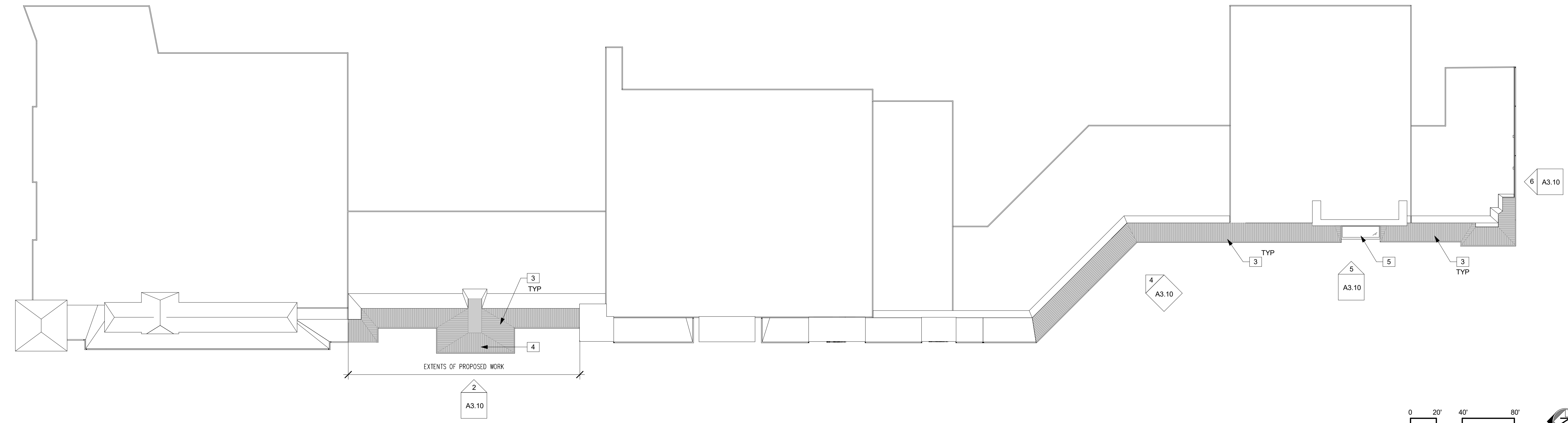
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 CAD FILE:    
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 STATUS: PERMIT SET

ROOF PLANS  
**A2.50**



**1 OVERALL EXISTING ROOF PLAN**  
1" = 40'-0"



**2 OVERALL NEW ROOF PLAN**  
1" = 40'-0"

ROOF PLAN NOTES	
1. ALL DIMENSIONS ARE FROM FINISH FACE UNLESS NOTED OTHERWISE.	7. GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING AND SITE UTILITY CONTRACTORS TO INSURE THAT CONNECTIONS BETWEEN RAIN WATER LEADERS AND STORM DRAIN SYSTEMS ARE COMPLETED.
2. CONTRACTOR TO VERIFY LOCATION OF EXISTING ROOF DRAINS AND DOWNSPOUTS AND TIE NEW DOWNSPOUTS TO EXISTING TIGHTLINES.	8. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ON ROOF TO ALL ROOF DRAINS.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS OF ALL MANSARDS, FASCIA, ETC. IN FIELD PRIOR TO ORDERING.	
4. GENERAL CONTRACTORS TO VERIFY CONDITION OF THE EXISTING FLAT ROOF TO DETERMINE WHICH PORTIONS, IF ANY, NEED TO BE REPLACED. VERIFY THAT ALL PORTIONS OF THE ROOF PROVIDE POSITIVE DRAINAGE TO EXISTING ROOF DRAINS. IF ANY PORTION OF THE ROOF NEEDS TO BE REPLACED, CONTACT THE ARCHITECT FOR APPROPRIATE DETAILS.	
5. GENERAL CONTRACTOR TO PROTECT EXISTING SOFFIT/ROOF FRAMING WHICH ARE INDICATED TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION AND DEMOLITION.	
6. SEE ROOF FRAMING PLAN (STRUCTURAL) FOR PLYWOOD AND FRAMING INFORMATION.	

KEYNOTES	
1. REMOVE EXISTING MANSARD ROOF FINISHES FOR INSTALLATION OF NEW. WHERE NOTED, NOTIFY ARCHITECT OF ANY AREAS OF DAMAGE PRIOR TO NEW WORK. PROTECT EXISTING BUILDING DURING DEMOLITION.	
2. EXISTING GL BEAMS AND FRAMING TO REMAIN. TYP. GC TO VERIFY CONDITION AND NOTIFY ARCHITECT OF RECORD IF REPLACEMENT OR REMEDIATION IS NECESSARY PRIOR TO NEW WORK.	
3. NEW STANDING SEAM METAL ROOFING AT MANSARDS PER EXTERIOR ELEVATIONS. REFER TO SCHEDULE FOR FINISHES.	
4. COVER ROOF OPENING WITH PLYWOOD SHEATHING FOR INSTALLATION OF NEW STANDING SEAM METAL ROOFING. SEE SECTION 1/A4.10 FOR MORE INFO.	
5. EXISTING SKYLIGHT TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION.	

ROOF PLAN LEGEND	
	AREA OF WORK
	EXISTING TO REMAIN (N.I.C. NO WORK IN THIS AREA)
	NEW STANDING SEAM METAL ROOF

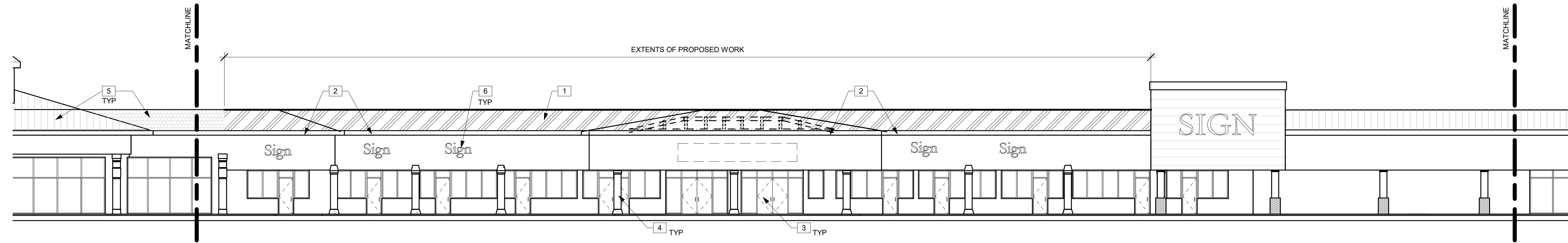
<b>City of Puyallup Development &amp; Permitting Services ISSUED PERMIT</b>	
Building	Planning
Engineering	Public Works
Fire	Traffic

**PRRF20240884**



1 PARTIAL EXISTING WEST ELEVATION  
3/32" = 1'-0"



2 PARTIAL EXISTING WEST ELEVATION (CONT'D)  
3/32" = 1'-0"



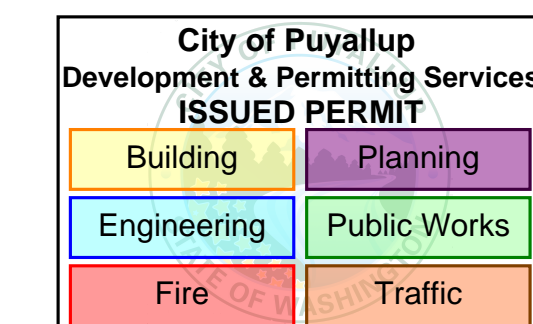
3 PARTIAL EXISTING WEST ELEVATION (CONT'D)  
3/32" = 1'-0"

**DEMOLITION GENERAL NOTES**

1. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
2. GC SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
3. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
4. GC SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY THEMSELVES OR THEIR SUBCONTRACTORS. REFRESH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
5. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS. NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.
6. ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER OR TENANT. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF. IF ANY QUESTIONS ARISE AS TO THIS REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT AND BUILDING OWNER BEFORE PROCEEDING.
7. PROTECT ALL AREAS OF BUILDING AND FIRE PROTECTION SYSTEM FROM DUST AND DEBRIS AT ALL TIMES.
8. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND BUILDING OWNER TO MINIMIZE DISRUPTIONS TO BUSINESS HOUR OPERATIONS.
9. PROTECT ANY ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION. EXISTING ROOF FRAMING TO REMAIN. REPAIR SUBSTRATE AS REQUIRED FOR NEW FINISHES.
10. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED HERETO CONFORM WITH ALL LOCAL, REGIONAL, STATE AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING AND/OR REMOVAL OF ASBESTOS CONTAINING MATERIALS.
11. PROTECT ALL FIRE PROTECTION ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.

**KEYNOTES**

1. REMOVE EXISTING ROOFING WHERE SHOWN. EXISTING SUBSTRATE AND STRUCTURE TO REMAIN. CONTRACTOR TO VERIFY CONDITION OF SUBSTRATE AND REPLACE AS NECESSARY.
2. REMOVE EXISTING FASCIA BOARD AND CUSTOM GUTTER FRAMING BACK TO ROOF STRUCTURE. EXISTING DOWNSPOUTS TO REMAIN.
3. EXISTING STOREFRONT AND DOORS TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION, TYP.
4. EXISTING COLUMNS TO REMAIN, TYP. PROTECT FROM DAMAGE AT AREAS OF NEW WORK.
5. EXISTING ROOFING TO REMAIN N.I.C.
6. EXISTING SIGNAGE TO REMAIN, N.I.C.



PRRF20240884



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**MERIDIAN SHOPPING CENTER  
FACADE REMODEL - PHASE II**  
4423-4621 S MERIDIAN  
PUYALLUP, WA 98373

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 JOB NUMBER: 23-224  
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EXISTING ELEVATIONS  
**AD3.10**



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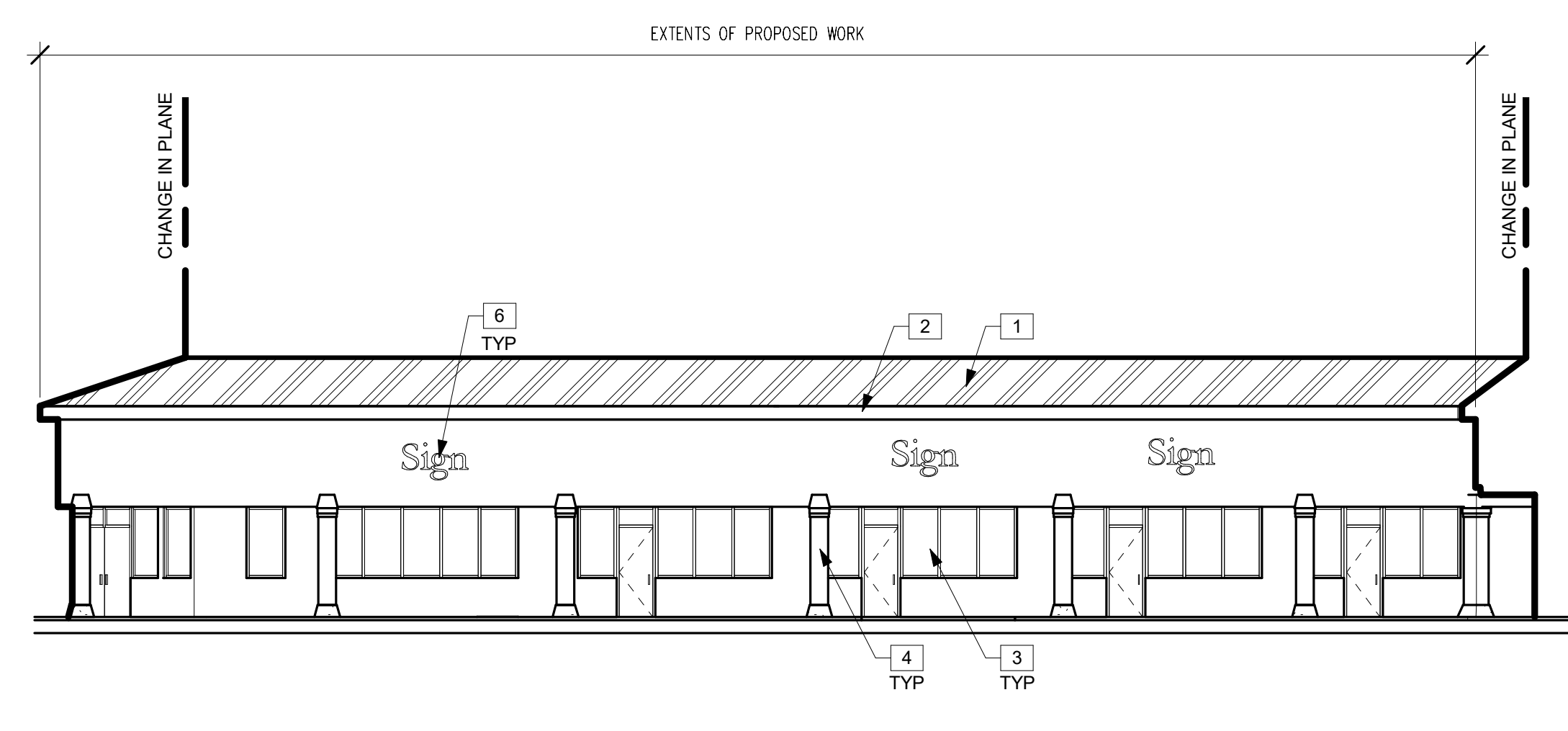
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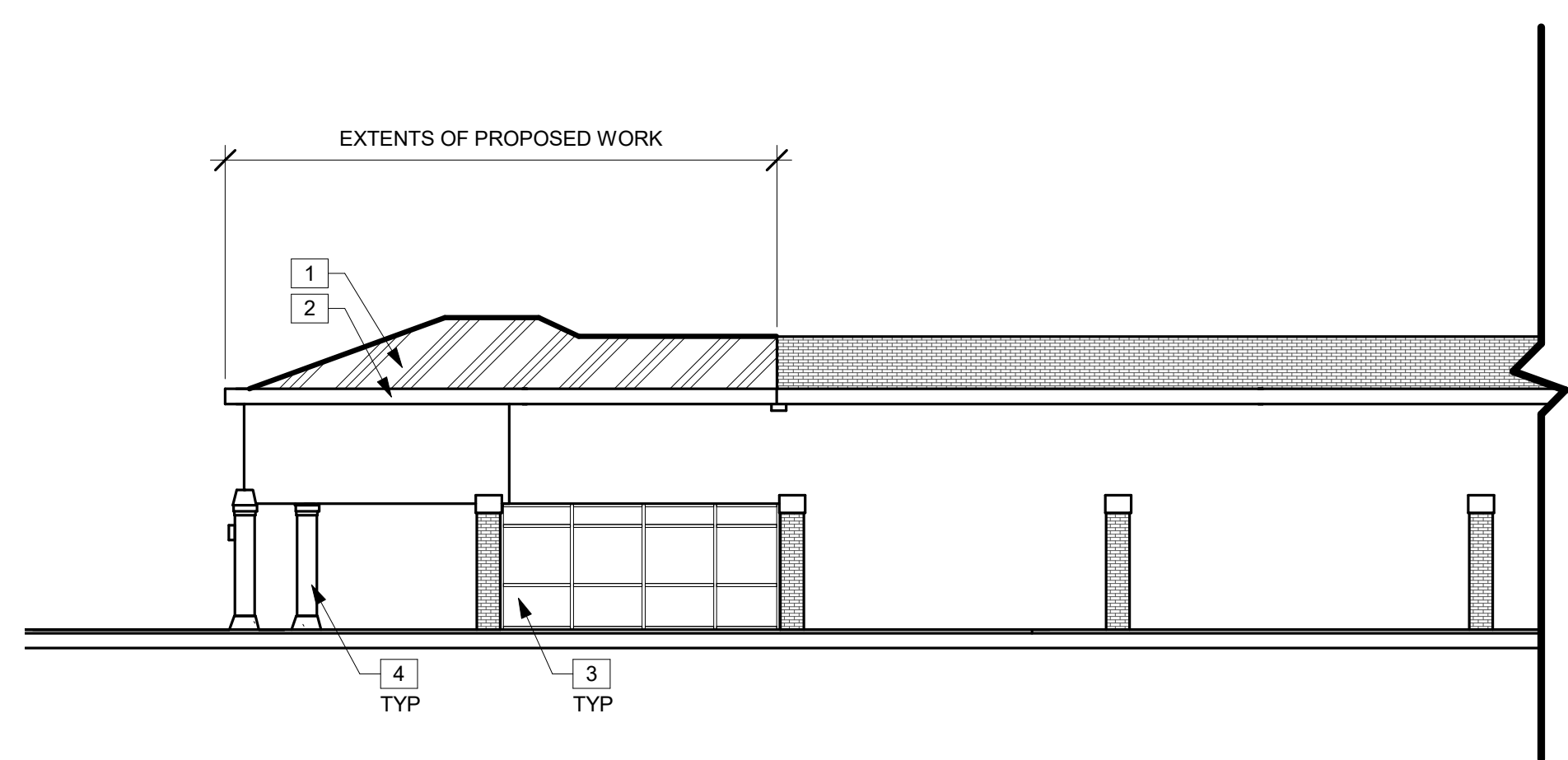
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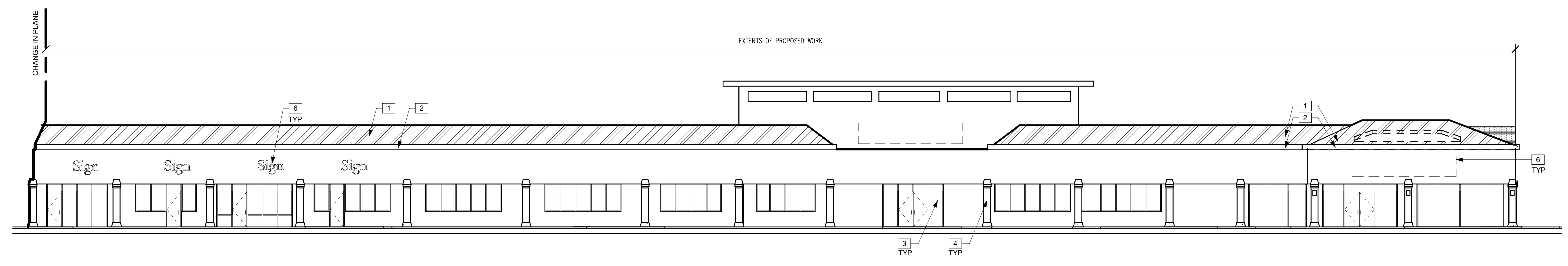
EXISTING ELEVATIONS  
**AD3.11**



**4 PARTIAL EXISTING SOUTH WEST ELEVATION**  
3/32" = 1'-0"



**6 PARTIAL EXISTING SOUTH ELEVATION**  
3/32" = 1'-0"



**5 PARTIAL EXISTING WEST ELEVATION (CONT'D)**  
3/32" = 1'-0"

DEMOLITION GENERAL NOTES	KEYNOTES
<p>1. FURNISH ALL LABOR AND MATERIALS/EQUIPMENT TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.</p> <p>2. GC SHALL KEEP CONSTRUCTION AREA FREE OF DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.</p> <p>3. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREAS SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.</p> <p>4. GC SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY THEMSELVES OR THEIR SUBCONTRACTORS. REFRESH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.</p> <p>5. NO EXISTING SMOKE DETECTOR, PUBLIC ADDRESS SPEAKER, FIRE ALARM BOX OR SIMILAR DEVICE, INCLUDING THE ASSOCIATED WIRING SHALL BE DAMAGED DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS, NO ACTIVE SMOKE DETECTOR SHALL BE COVERED OR OTHERWISE REMOVED OR USED FOR OTHER THAN ITS INTENDED PURPOSE.</p>	<p>1. REMOVE EXISTING ROOFING WHERE SHOWN. EXISTING SUBSTRATE AND STRUCTURE TO REMAIN. CONTRACTOR TO VERIFY CONDITION OF SUBSTRATE AND REPLACE AS NECESSARY.</p> <p>2. REMOVE EXISTING FASCIA BOARD AND CUSTOM GUTTER FRAMING BACK TO ROOF STRUCTURE. EXISTING DOWNSPOUTS TO REMAIN.</p> <p>3. EXISTING STOREFRONT AND DOORS TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION, TYP.</p> <p>4. EXISTING COLUMNS TO REMAIN, TYP. PROTECT FROM DAMAGE AT AREAS OF NEW WORK.</p> <p>5. EXISTING ROOFING TO REMAIN N.I.C.</p> <p>6. EXISTING SIGNAGE TO REMAIN, N.I.C.</p>
<p>6. ALL SALVAGED ITEMS SHALL BE RETURNED TO BUILDING OWNER OR TENANT. ALL UNWANTED MATERIAL SHALL BE DISPOSED OF. IF ANY QUESTIONS ARISE AS TO THIS REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT AND BUILDING OWNER BEFORE PROCEEDING.</p> <p>7. PROTECT ALL AREAS OF BUILDING AND FIRE PROTECTION SYSTEM FROM DUST AND DEBRIS AT ALL TIMES.</p> <p>8. COORDINATE CONSTRUCTION SCHEDULE WITH ARCHITECT AND BUILDING OWNER TO MINIMIZE DISRUPTIONS TO BUSINESS HOUR OPERATIONS.</p> <p>9. PROTECT ANY ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION. EXISTING ROOF FRAMING TO REMAIN. REPAIR SUBSTRATE AS REQUIRED FOR NEW FINISHES.</p> <p>10. THE CONTRACTOR SHALL ENSURE THAT THIS PROJECT AND ALL CONSTRUCTION ACTIVITIES RELATED HERETO CONFORM WITH ALL LOCAL, REGIONAL, STATE AND/OR FEDERAL REGULATIONS PERTAINING TO DISTURBING, DISPLACING AND/OR REMOVAL OF ASBESTOS CONTAINING MATERIALS.</p> <p>11. PROTECT ALL FIRE PROTECTION ITEMS TO REMAIN AGAINST DAMAGE DURING CONSTRUCTION.</p>	

**City of Puyallup**  
Development & Permitting Services  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

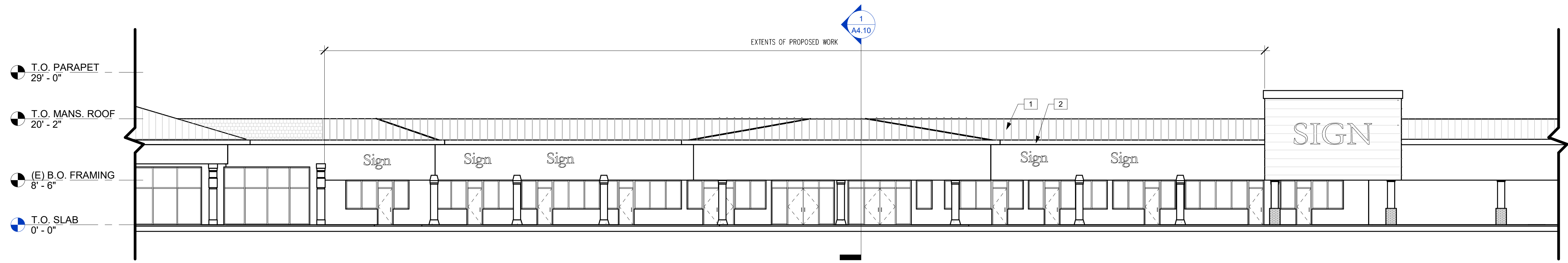
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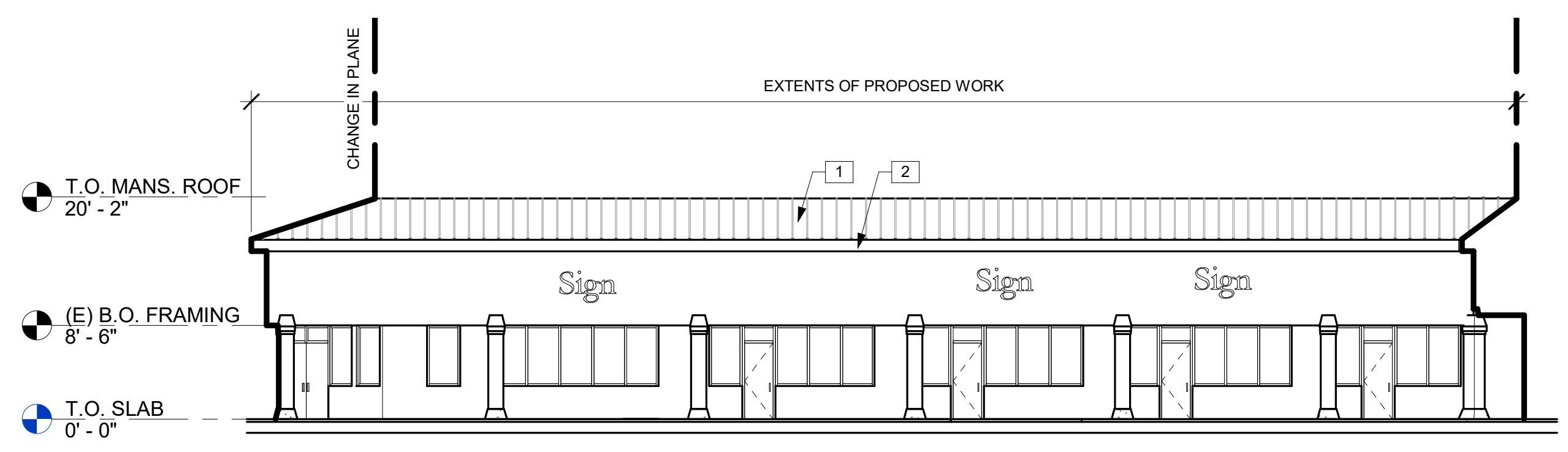
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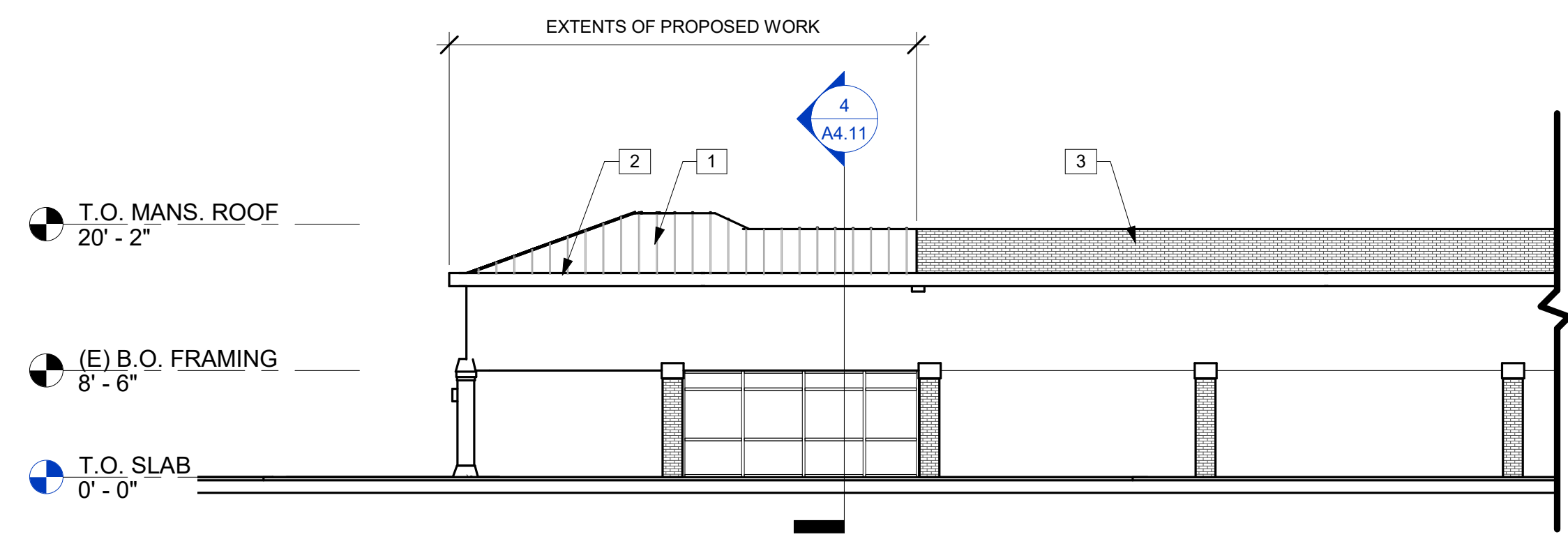
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FACADE REMODEL - PHASE II**  
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PUYALLUP, WA 98373



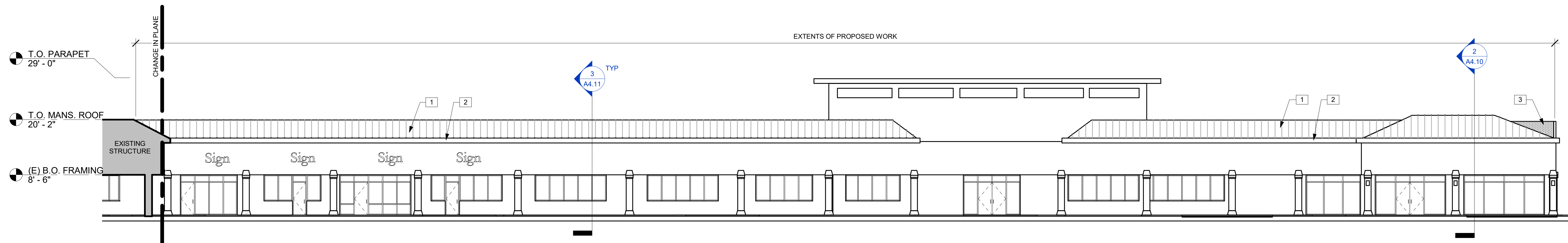
**1 PARTIAL WEST ELEVATION**  
3/32" = 1'-0"



**2 PARTIAL WEST ELEVATION**  
3/32" = 1'-0"



**3 PARTIAL SOUTH WEST ELEVATION**  
3/32" = 1'-0"



**4 PARTIAL SOUTH ELEVATION**  
3/32" = 1'-0"

**5 PARTIAL WEST ELEVATION (CONT'D)**  
3/32" = 1'-0"

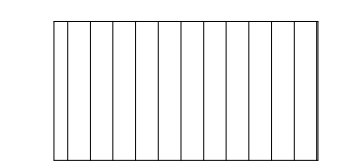
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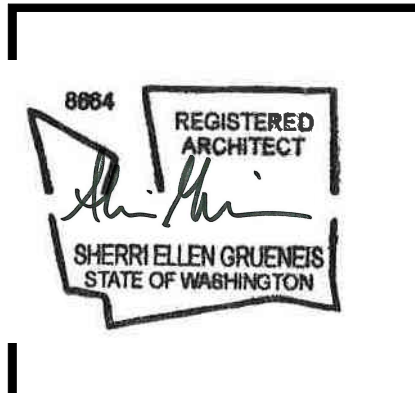
  

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DRAWN: CK  
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NEW ELEVATIONS  
**A3.10**

ELEVATIONS GENERAL NOTES	KEY NOTES	FINISH SCHEDULE						
<ol style="list-style-type: none"> <li>USE SPECIFIC MATERIALS OR EQUIVALENT SUBSTITUTIONS TO BE APPROVED BY ARCHITECT</li> <li>ALL EXTERIOR STEEL TO BE GALVANIZED</li> </ol>	<ol style="list-style-type: none"> <li>NEW STANDING SEAM METAL ROOF PANELS ON EXISTING MANSARD ROOF STRUCTURE. GC TO VERIFY CONDITION OF EXISTING ROOF SHEATHING &amp; UNDERLAYMENT AND REPLACE AS NEEDED.</li> <li>NEW GALV. 4" GUTTER. TIE INTO EXISTING GUTTER AND DOWNSPOUT SYSTEM. FINISH COLOR TO MATCH EXISTING ADJACENT GUTTERS.</li> <li>EXISTING BRICK FINISH TO REMAIN WHERE NOTED.</li> </ol>	 <p>STANDING SEAM METAL ROOF SYSTEM MANUFACTURER: AEP SPAN SPAN SEAM 16" WIDE PANEL COLOR: MIDNIGHT BRONZE</p> <div style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p align="center"><b>City of Puyallup Development &amp; Permitting Services ISSUED PERMIT</b></p> <table border="1"> <tr> <td>Building</td> <td>Planning</td> </tr> <tr> <td>Engineering</td> <td>Public Works</td> </tr> <tr> <td>Fire</td> <td>Traffic</td> </tr> </table> <p align="center" style="background-color: yellow; padding: 5px;"><b>PRRF20240884</b></p> </div>	Building	Planning	Engineering	Public Works	Fire	Traffic
Building	Planning							
Engineering	Public Works							
Fire	Traffic							



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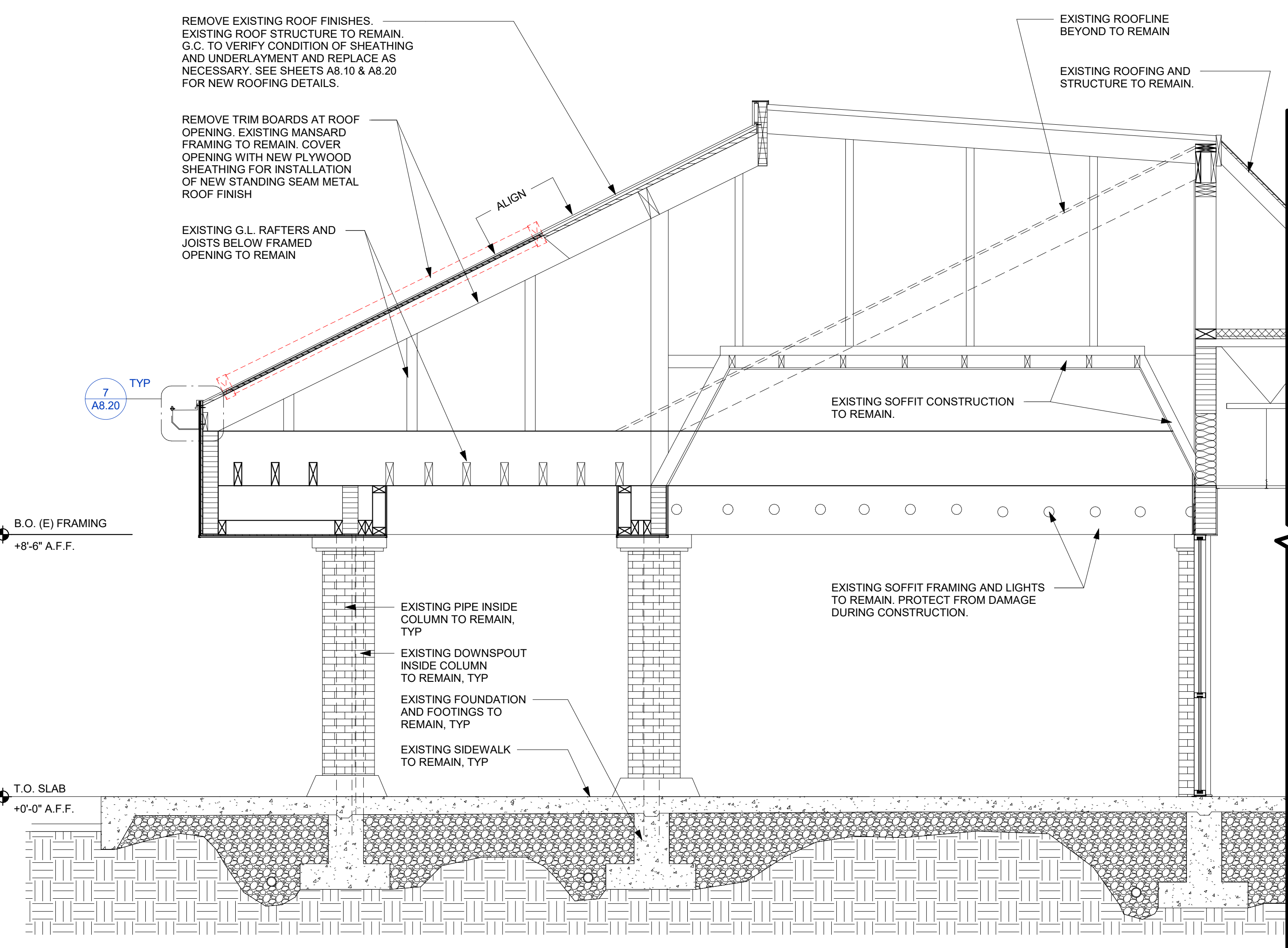
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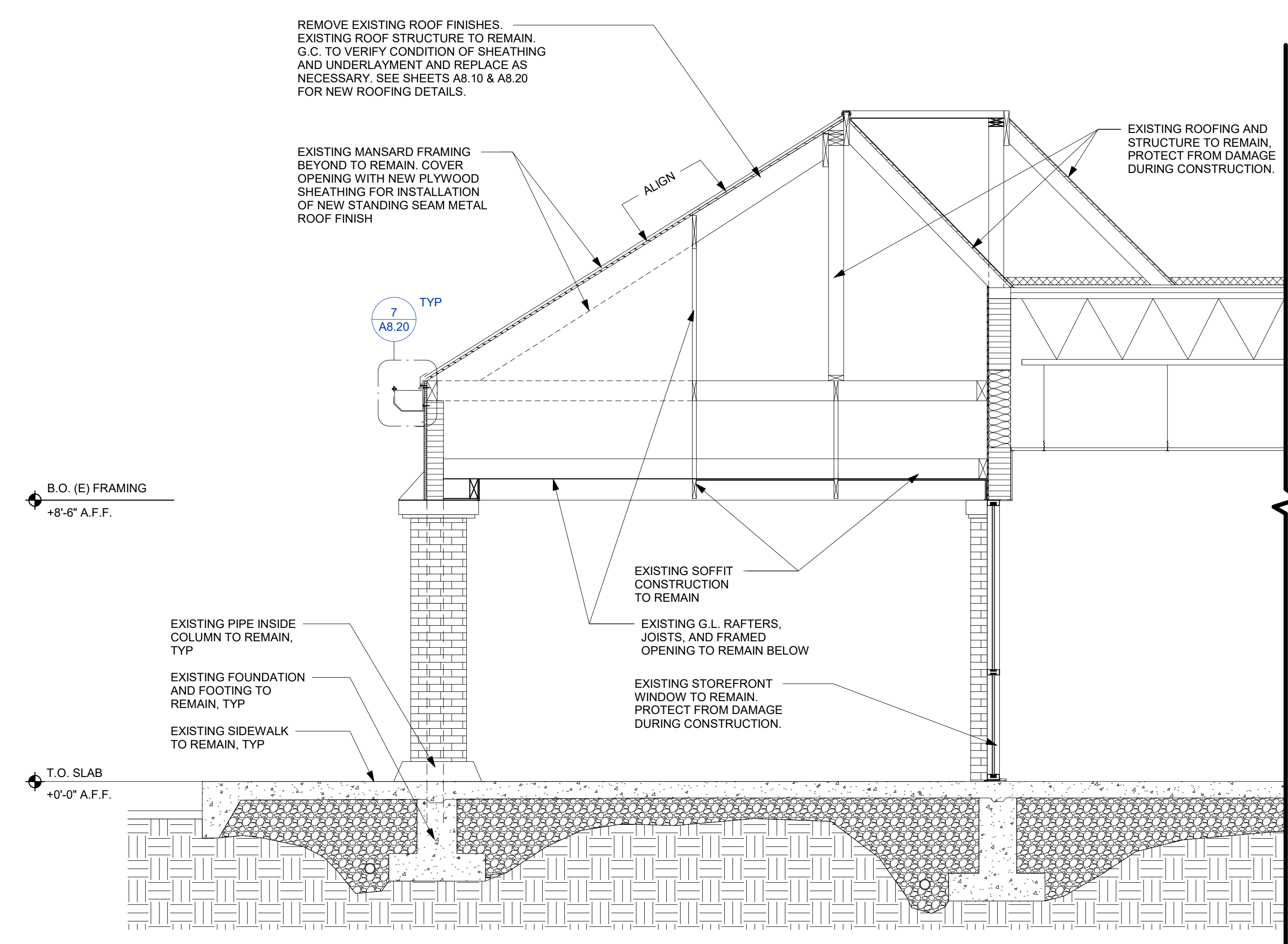
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WALL SECTIONS  
**A4.10**



**1 SECTION AT NW OPEN MANSARD**  
3/8" = 1'-0"



**2 SECTION AT SW OPEN MANSARD**  
3/8" = 1'-0"

City of Puyallup  
Development & Permitting Services  
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRRF20240884



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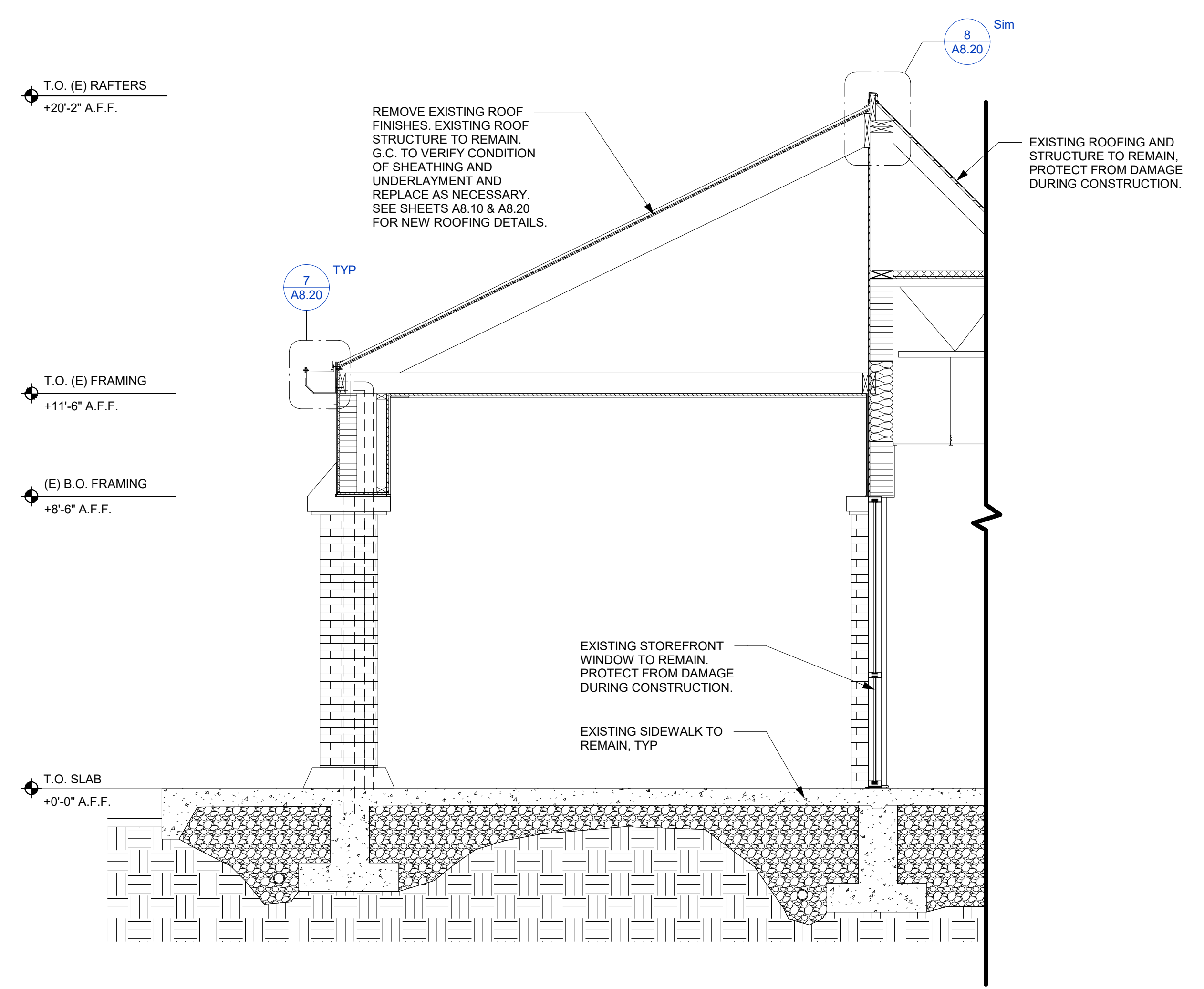
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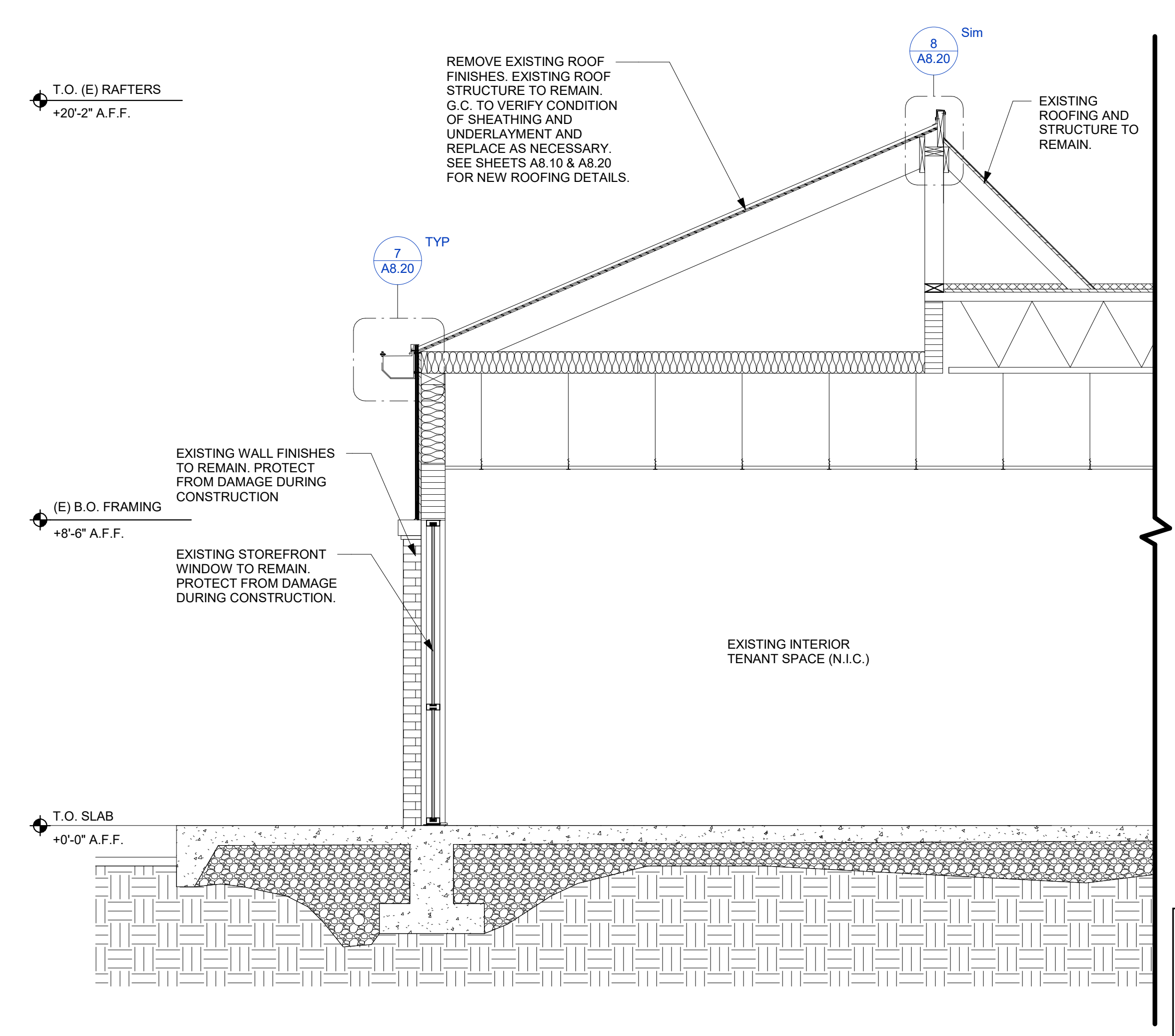
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WALL SECTIONS  
**A4.11**



**3 SECTION AT TYP. MANSARD**  
3/8" = 1'-0"



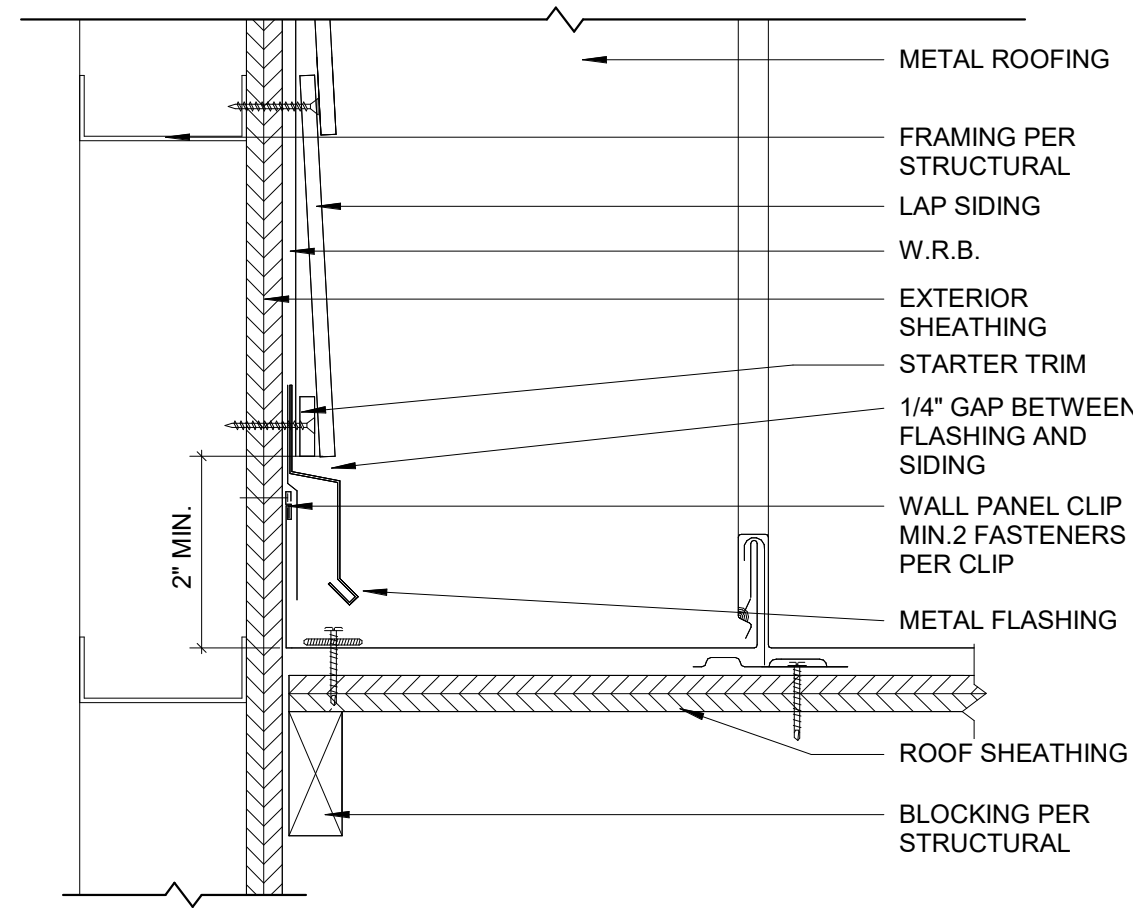
**4 SECTION AT S. SIDE WALL MANSARD**  
3/8" = 1'-0"

**City of Puyallup**  
Development & Permitting Services  
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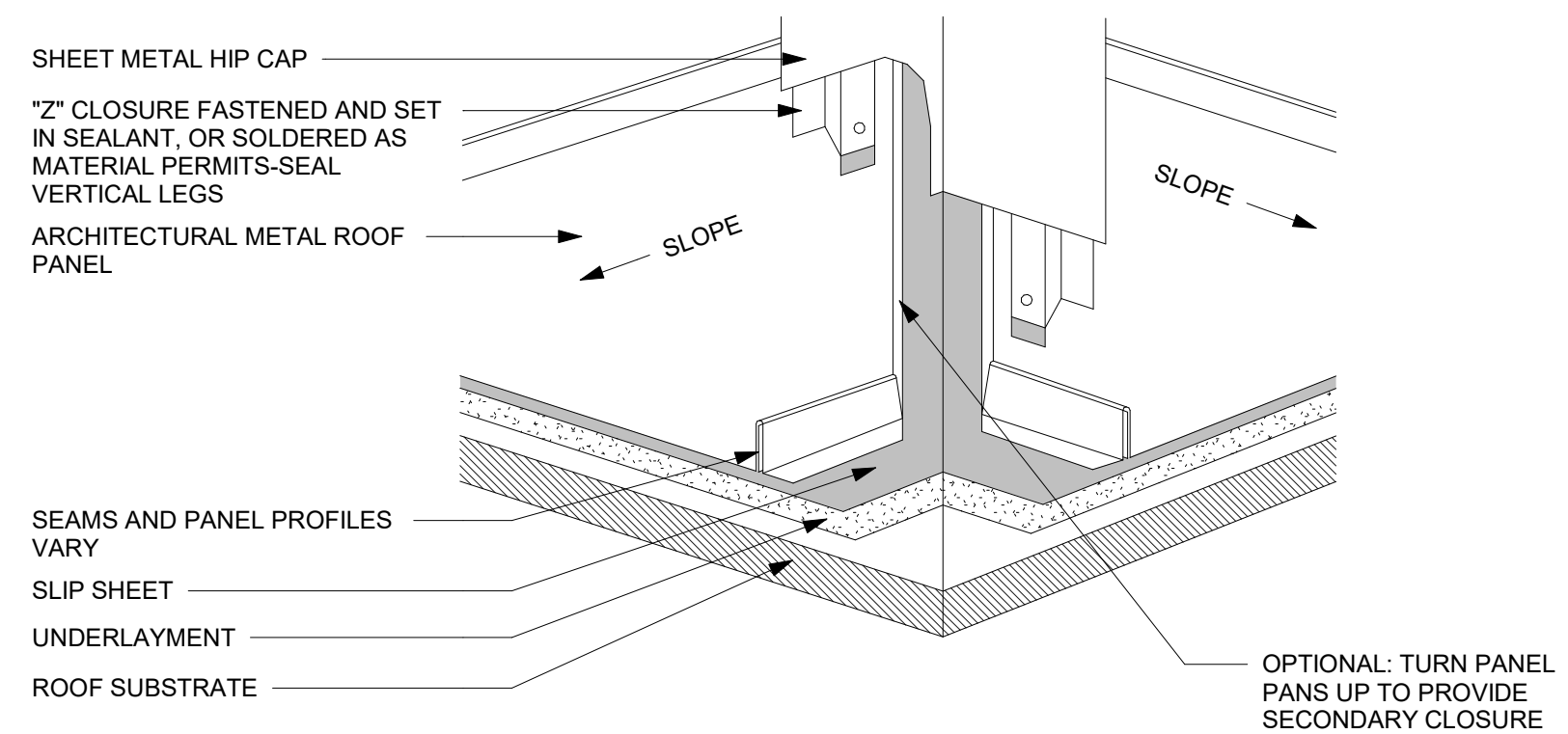
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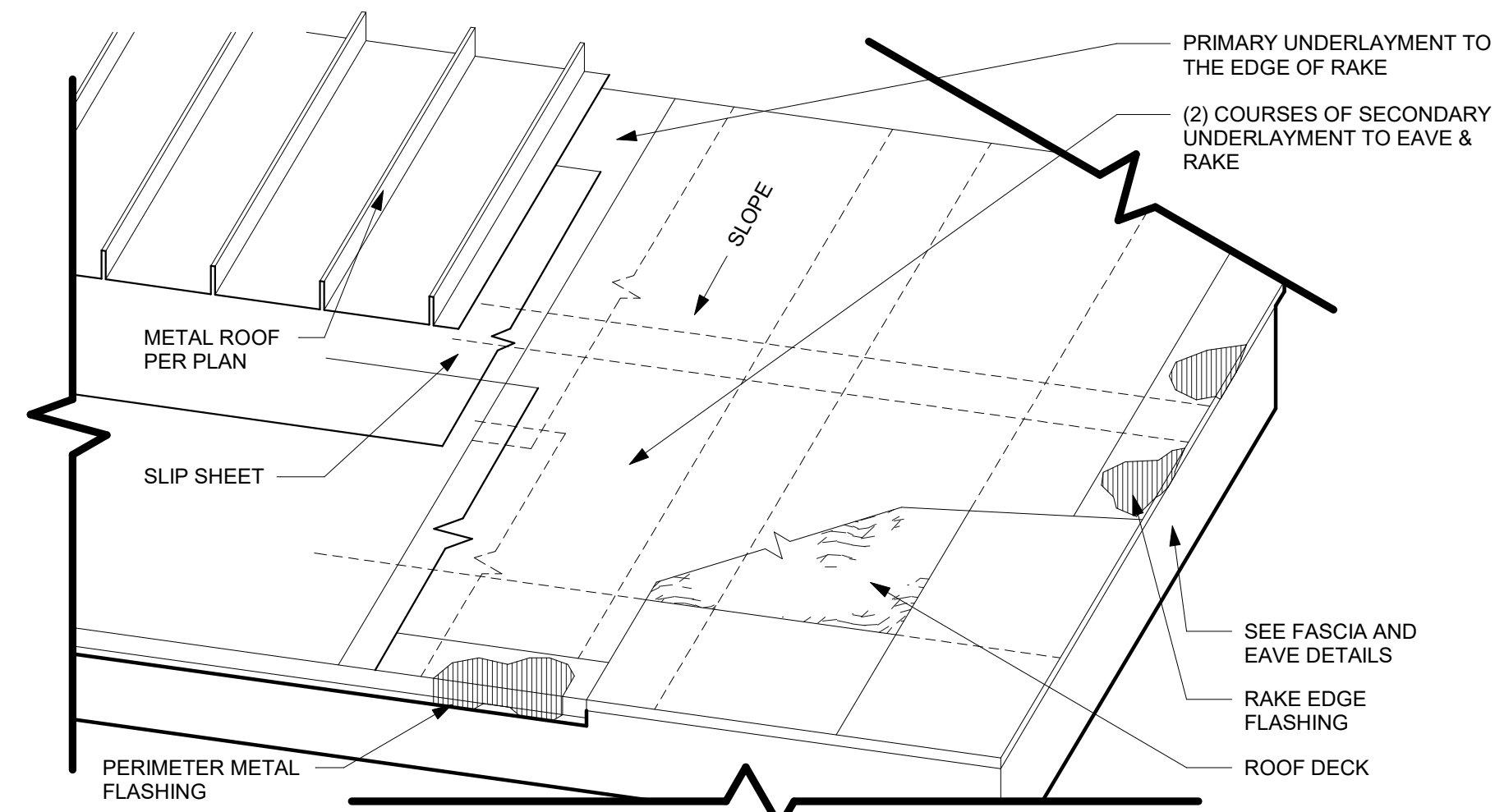


**1** LAP SIDING & METAL ROOF CONNECTION DETAIL  
3" = 1'-0"

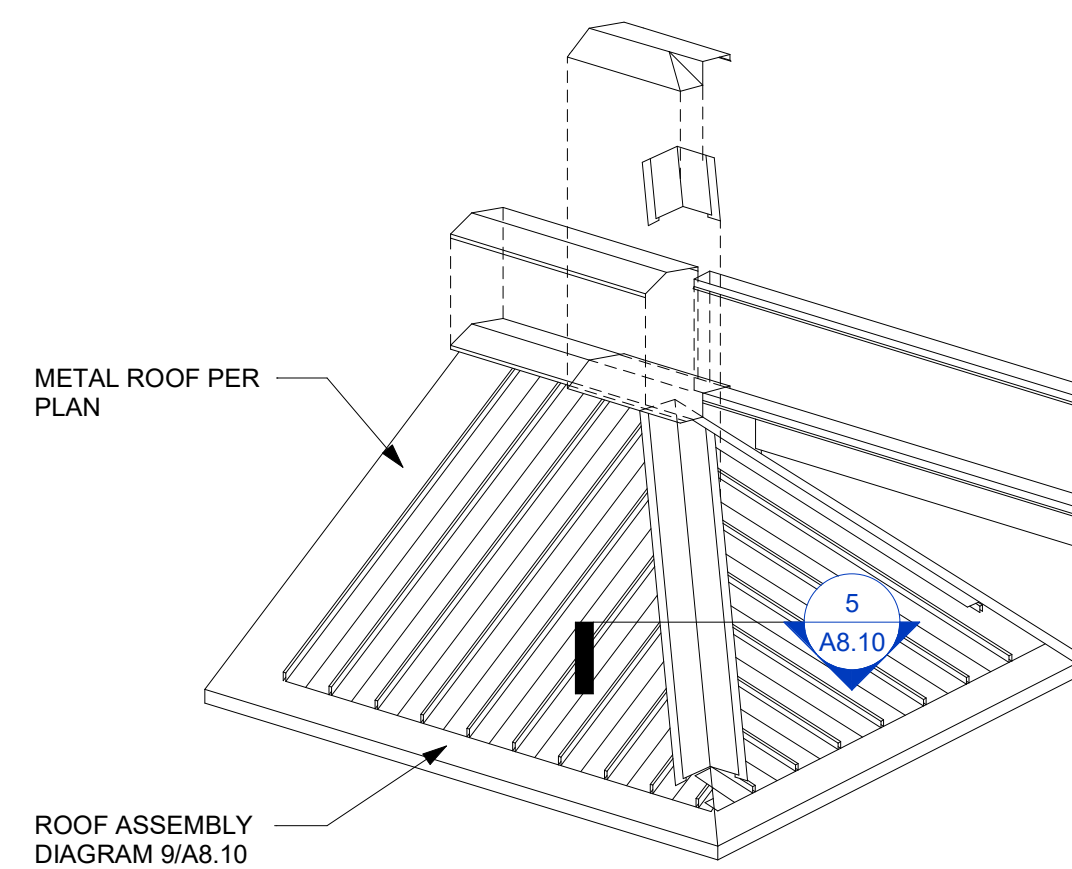


NOTES:  
1. SPECIFIC FASTENING REQUIREMENTS ARE NOT INDICATED, AS THEY VARY FROM SYSTEM TO SYSTEM DEPENDING UPON PANEL, MANUFACTURER'S REQUIREMENTS, WIND ZONE AND BUILDING CODE.  
2. THIS METHOD OF FLASHING FIXES THE PANELS ALONG THE HIP IF THE 2" CLOSURE IS FASTENED THROUGH TO THE ROOF DECK.

**5** HIP CAP FLASHING DETAIL  
6" = 1'-0"



**9** METAL ROOF ASSEMBLY DIAGRAM  
6" = 1'-0"



**10** METAL ROOF ASSEMBLY DIAGRAM @ RIDGE  
1/4" = 1'-0"



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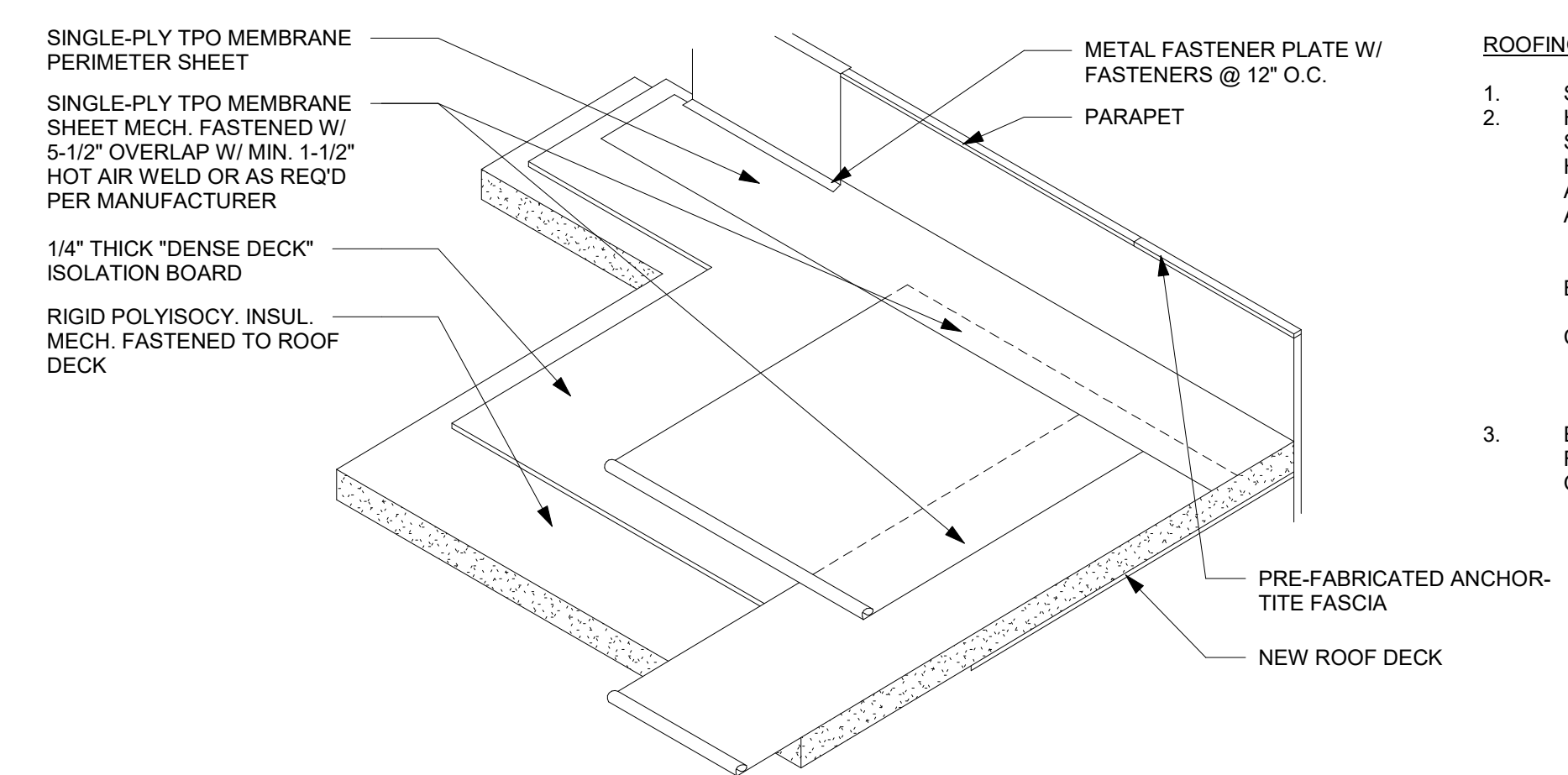
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Building	Planning
Engineering	Public Works
Fire	Traffic

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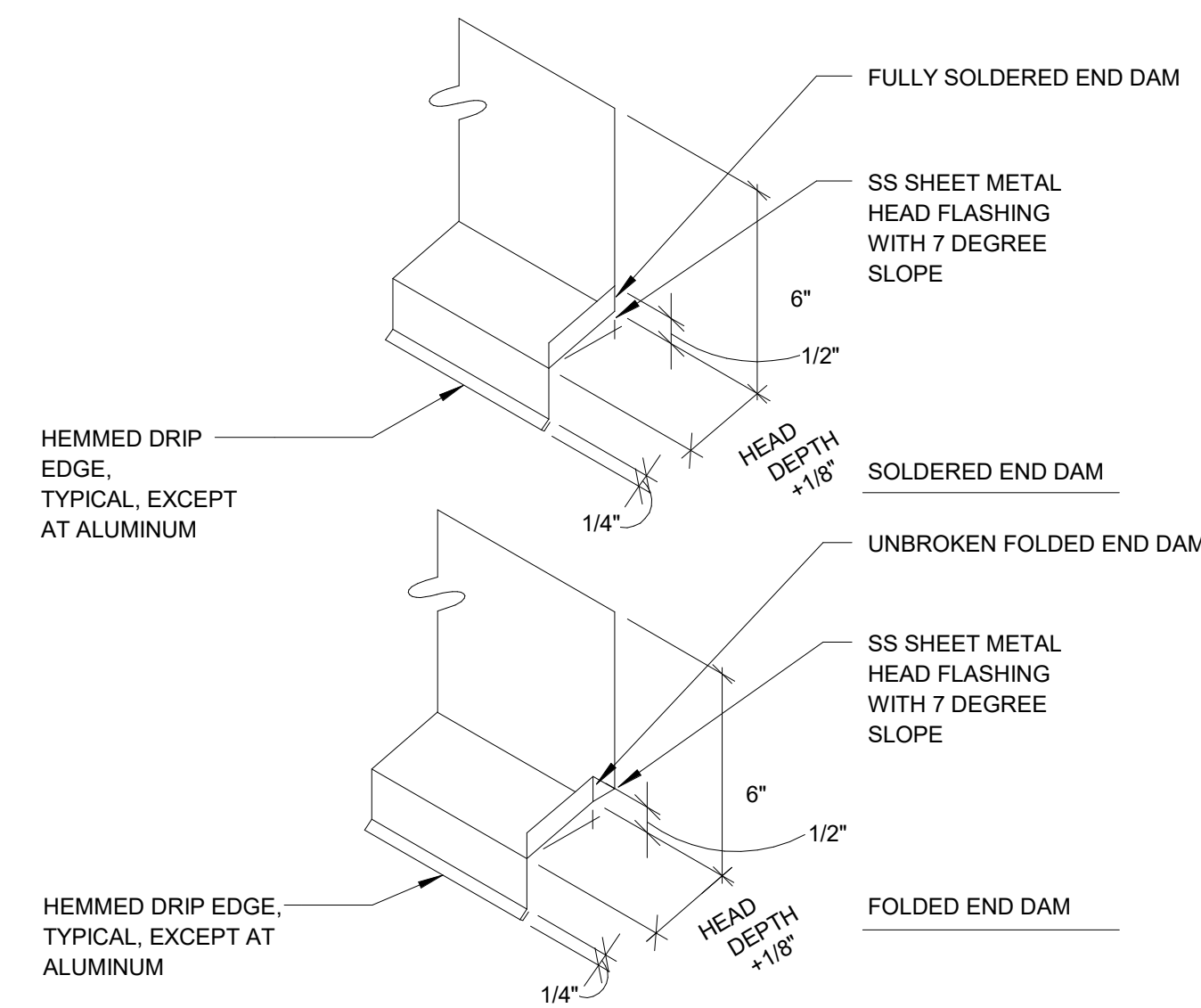
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EXTERIOR DETAILS  
**A8.10**

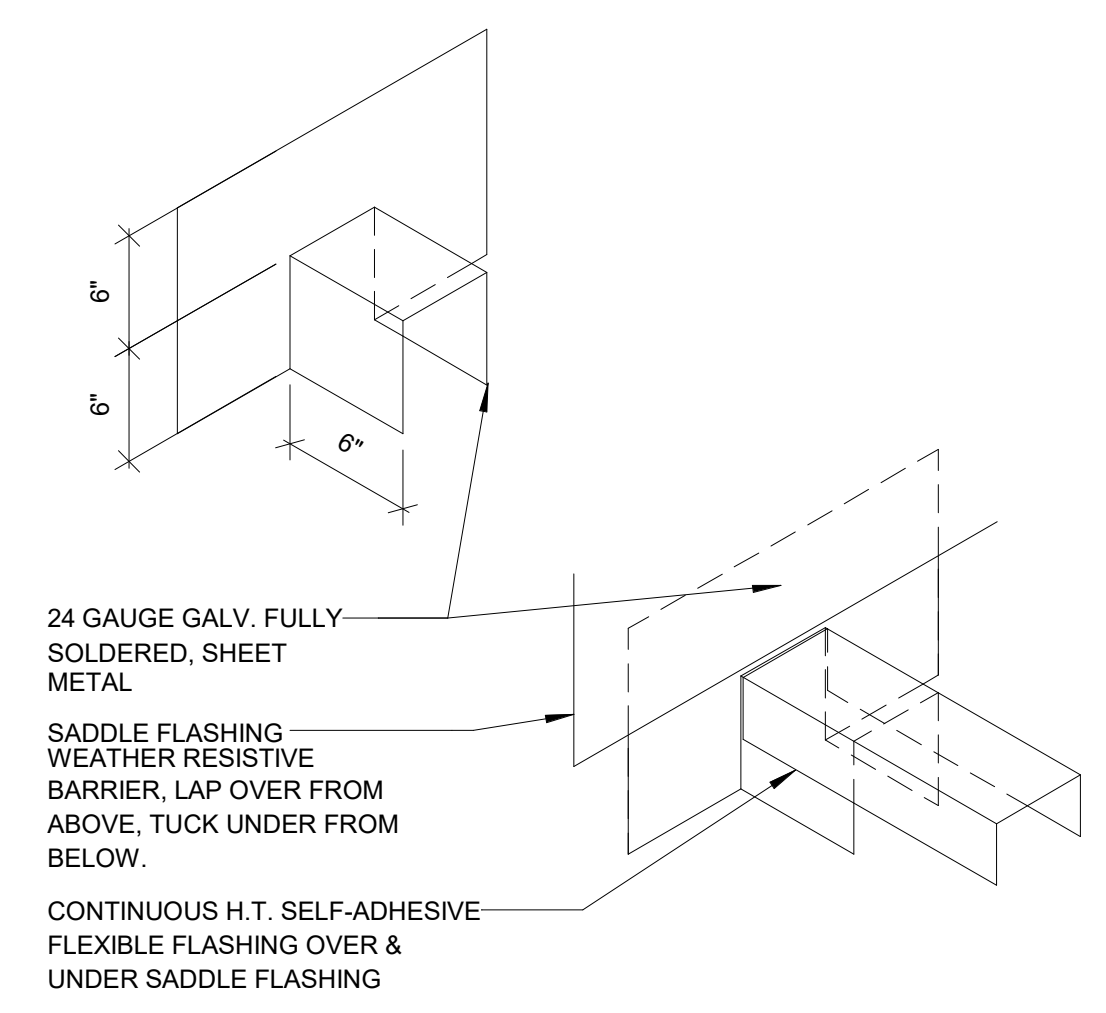


- ROOFING SYSTEM**
- SPECIFIC ROOFING SYSTEMS (AS SHOWN).
  - HEAT-WELDABLE SINGLE-PLY 60 MIL TPO ROOFING SYSTEM, INSTALLED ON NEW WOOD ROOF DECK HAVING A SLOPE OF 5/8"/FT. MATERIALS SHALL BE AS FOLLOWS:
    - TPO ROOFING SYSTEM TO COMPLY WITH ASTM D-6878 AND FMG 1-90 FOR WIND UPLIFT.
    - FASTENERS, METAL FASTENERS AND PLATES PER MANUFACTURER
    - ACCESSORIES, PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING, ETC. PER MANUFACTURER.
  - EXHAUST FANS: PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS IF OCCURS.

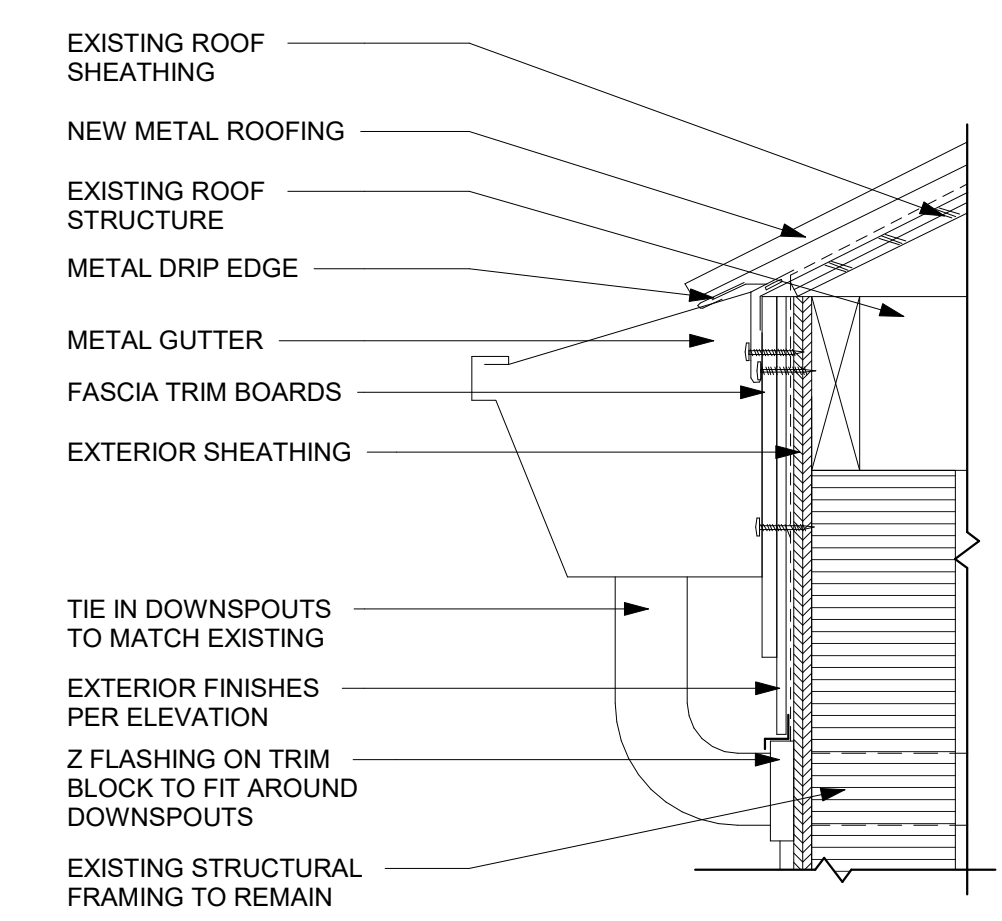
**3** TYPICAL ROOFING DETAIL  
3/4" = 1'-0"



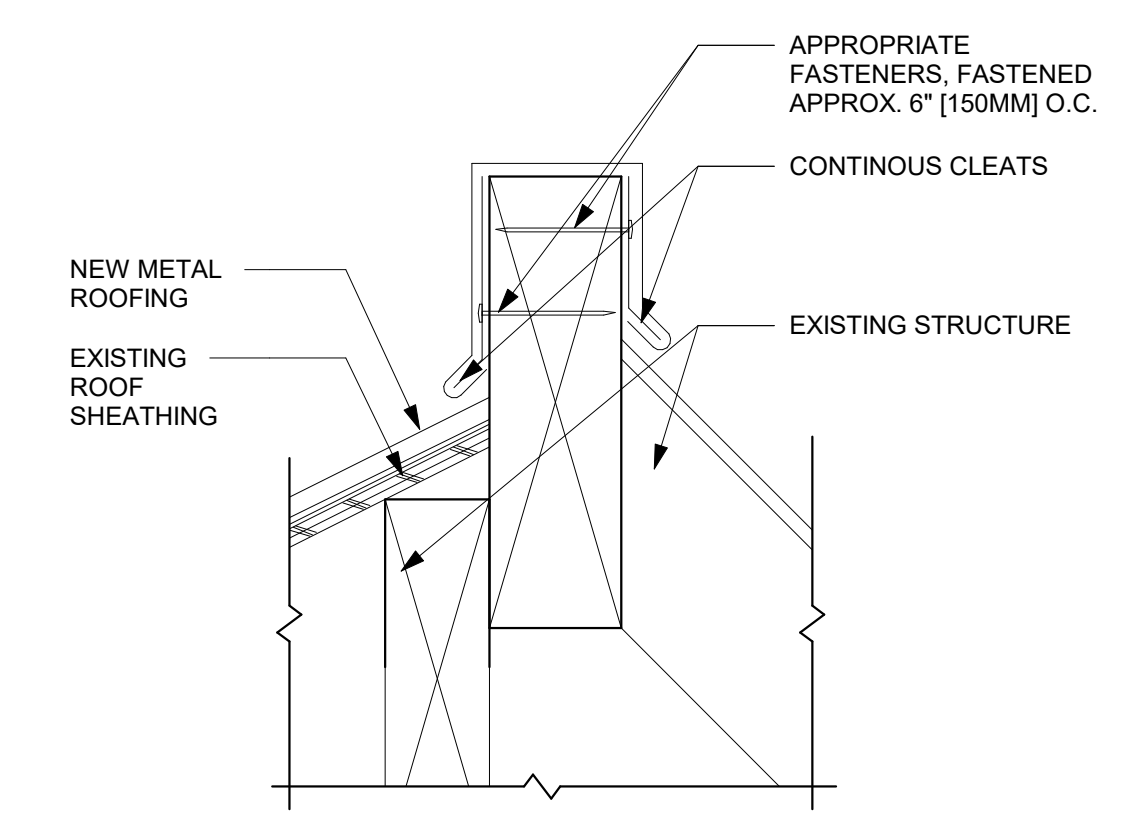
**5** TYPICAL HEAD FLASHING  
3/4" = 1'-0"



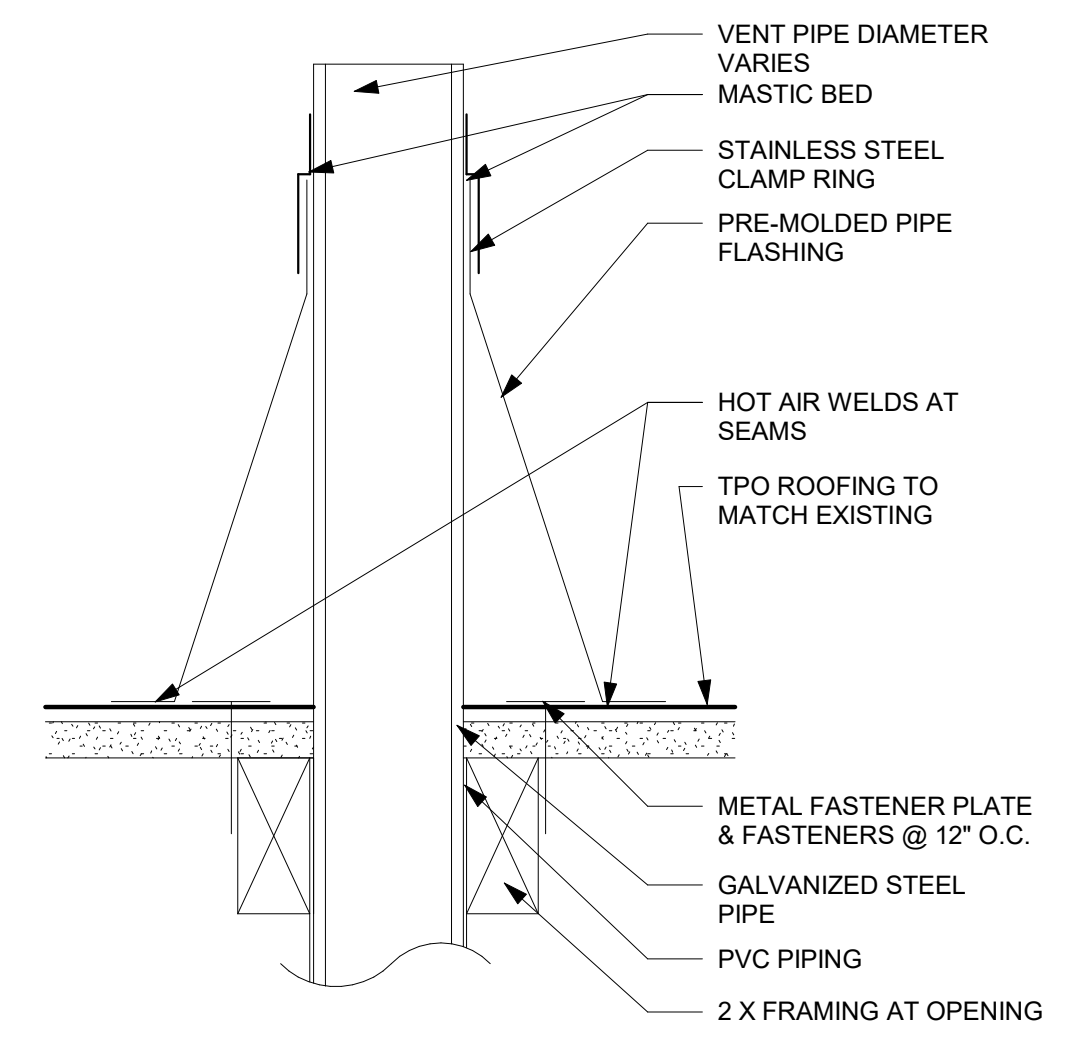
**6** SADDLE FLASHING - FRAMED WALL TO FRAMED WALL  
3/4" = 1'-0"



**7** ROOF GUTTER DETAIL  
1 1/2" = 1'-0"



**8** ROOF RIDGE COPING DETAIL  
1 1/2" = 1'-0"



**9** TYPICAL VENT PENETRATION  
3/4" = 1'-0"

City of Puyallup  
Development & Permitting Services  
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Engineering	Public Works
Fire	Traffic

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