



**SOUTH HILL CENTER
SPACE 10 DEMOLITION WORK**
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

7793
REGISTERED
ARCHITECT
MATTHEW E. CASE
STATE OF WASHINGTON

COVER SHEET

GD0.00

Call before you dig. It's the law.
Dial 811 or call 1-800-424-5555.

No City utilities shall be removed, retired, or modified. All existing utilities shall remain to serve existing or remaining structures.

LOCATION MAP

SR 542

30TH AVE SW

PROJECT SITE

12TH ST SE

13TH ST SE

14TH ST SE

15TH ST SE

16TH ST SE

17TH ST SE

18TH ST SE

19TH ST SE

20TH ST SE

21ST ST SE

22ND ST SE

23RD ST SE

24TH ST SE

25TH ST SE

26TH ST SE

27TH ST SE

28TH ST SE

29TH ST SE

30TH ST SE

31ST ST SE

32ND ST SE

33RD ST SE

34TH ST SE

35TH ST SE

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37TH ST SE

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41ST ST SE

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84TH ST SE

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87TH ST SE

88TH ST SE

89TH ST SE

90TH ST SE

91ST ST SE

92ND ST SE

93RD ST SE

94TH ST SE

95TH ST SE

96TH ST SE

97TH ST SE

98TH ST SE

99TH ST SE

100TH ST SE

NORTH

PROJECT TEAM

ARCHITECT:

JACKSON | MAIN ARCHITECTURE
311 FIRST AVE S
SEATTLE, WA 98104
(206) 324-4800

CONTACT: DAVID HUANG, PROJECT MANAGER
EMAIL: DAVID.HUANG@JACKSONMAIN.COM

CLIENT:

KIMCO REALTY
4065 FACTORIA MALL SE
BELLEVUE, WA 98008
(425) 505-3745

CONTACT: PETER EMSKY, DIRECTOR OF CONSTRUCTION
EMAIL: PEMSKY@KIMCOCOREALTY.COM

GENERAL CONTRACTOR:

POWELL RYKA
2625 NORTHUP WAY
BELLEVUE, WA 98004
(425) 828-4774

CONTACT: RYAN BREHM
EMAIL: RBREHM@POWELLRYKA.COM

PROJECT SCOPE

PROJECT SCOPE INVOLVES THE DEMOLITION OF EXISTING ENTRY FEATURE OUTSIDE OF BUILDING ENVELOPE, REMOVE PORTION OF EXISTING STOREFRONT AND ASSOCIATE DAMAGED FOOTINGS, DEMOLISH EXISTING INTERIOR OFFICES AND RESTROOM FACILITIES AND CAP LINES, AND REMOVE PORTION OF EXISTING DUCTWORK.

FIRE SPRINKLERS AND ALARMS TO REMAIN INTACT AND OPERATIONAL DURING DEMOLITION WORK.

Maintain frost protection.

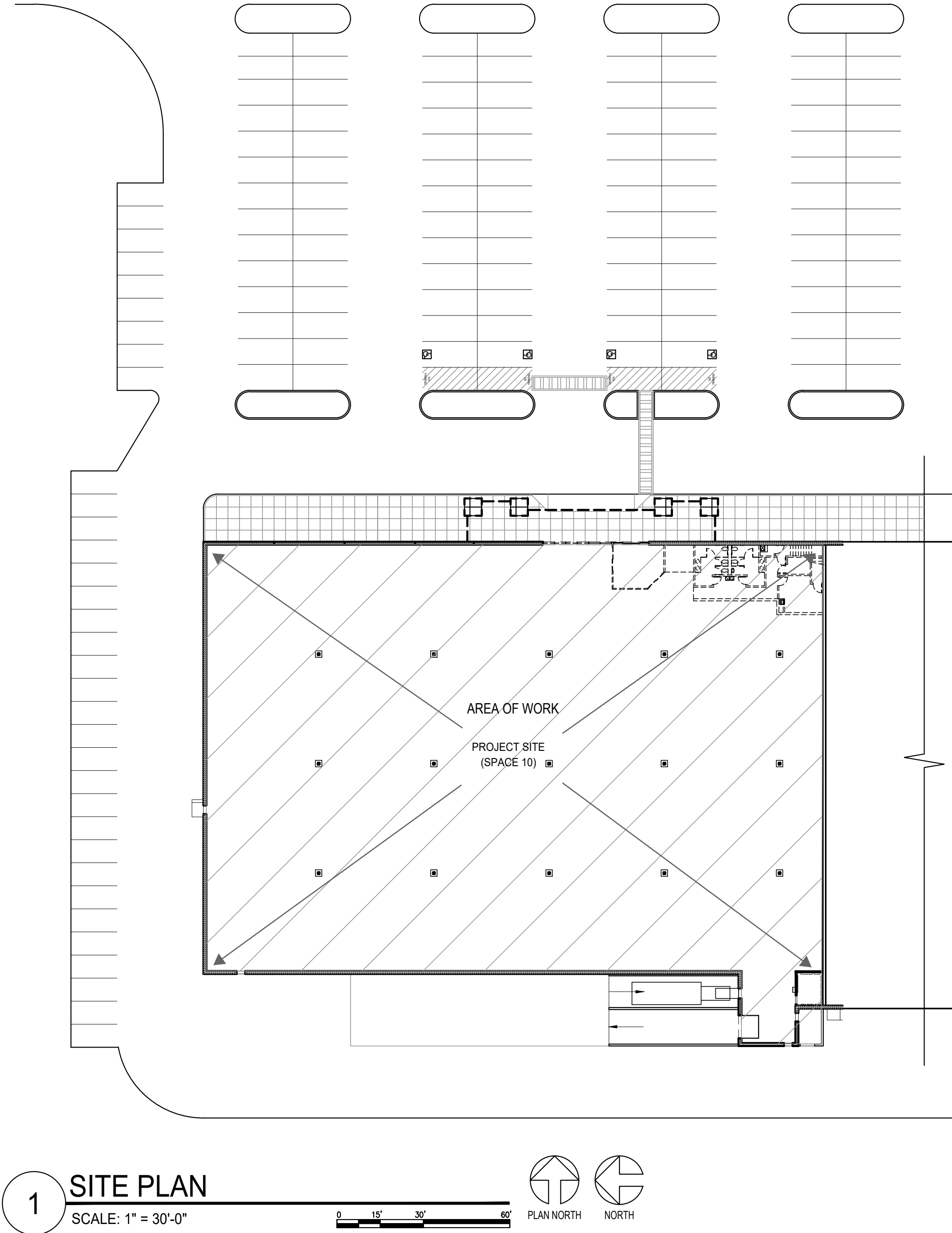
DEFERRED SUBMITTALS

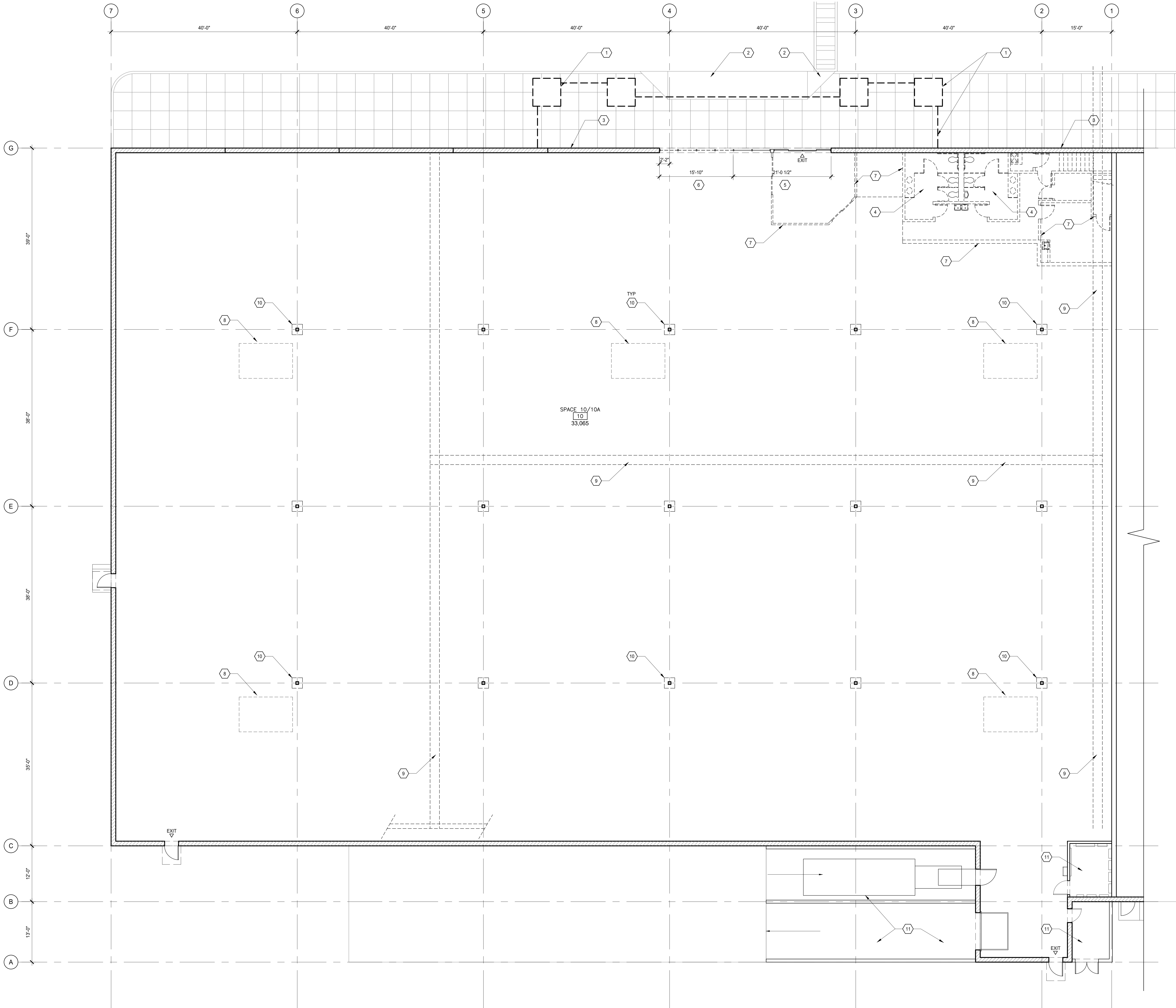
GENERAL CONTRACTOR SHALL SUBMIT FOR AND OBTAIN PERMITS FOR ALL SEPARATE WORK INCLUDING:

DRAWING INDEX

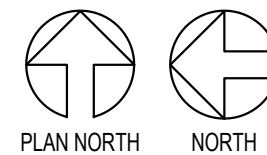
ARCHITECTURAL:

GD0.00	GENERAL INFO / SITE PLAN
AD2.00	OVERALL DEMOLITION PLAN
AD2.10	OVERALL DEMOLITION RCP
AD3.01	ENLARGED ELEVATION - DEMOLITION





1 OVERALL DEMOLITION PLAN (SPACE 10)
Scale: 1/8" = 1'-0"



GENERAL NOTES

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- REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL, ROUGH OPENING SIZES.
- PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
- FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.

DEMOLITION NOTES

- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO: ITEMS SHOWN ON THE PLANS WITH DASHED LINES, NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH ALL CONSTRUCTIONS AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS/HER COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- PATCH ALL FINISHES TO MATCH ADJACENT EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. PER THE FINISH SCHEDULE TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
- PATCH EXISTING WALLS, GYPSUM DRYWALL, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
- WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- PROVIDE LOCAL 24/7 PROGRAMMABLE THERMOSTAT SET TO MAINTAIN A MINIMUM TEMPERATURE OF 40F (ADJUSTABLE). INSTALL THERMOSTAT WITH ONBOARD TEMPERATURE SENSOR ON NEAREST COLUMN AT 54" A.F.F.

DEMOLITION KEYNOTES

- EXISTING METAL FRAME ENTRY FEATURE TO BE DEMOLISHED AND REMOVED IN ITS ENTIRETY. EXCAVATE AND REMOVE ALL ASSOCIATED STRUCTURAL FOUNDATIONS TO ONE (1) FOOT BELOW FINISHED SURFACES.
- EXISTING SIDEWALK RAMP AND CURB CUT TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- EXISTING CONCRETE PANEL WALLS TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- DEMOLISH EXISTING PLUMBING FIXTURES. CAP ALL WASTE PIPING BELOW FLOOR AND PATCH FLOOR TO MATCH ADJACENT AREA. REMOVE ALL HOT WATER PIPING. REMOVE ALL COLD WATER BACK TO NEAREST SHUTOFF VALVE NEAR BUILDING ENTRANCE AND CAP FOR FUTURE CONNECTION. REMOVE ALL SANITARY VENT PIPING BACK TO VENT THRU ROOF AND CAP FOR FUTURE CONNECTION.
- EXTENT OF EXISTING STOREFRONT SYSTEM TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXTENT OF EXISTING STOREFRONT SYSTEM TO BE DEMOLISHED AND REMOVED. PATCH AND REPAIR EXISTING CONCRETE SLAB AND FOOTING ALONG BUILDING PERIMETER.
- DEMOLISH AND REMOVE EXISTING WALLS IN ITS ENTIRETY AT ENTRY VESTIBULE, RESTROOMS, OFFICES, AND MEZZANINE SPACES.
- EXISTING ROOFTOP HVAC UNITS AND MAIN FEEDER BRANCHES TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION. DEMOLISH EXISTING SUPPLY AND RETURN DUCTWORK AS NOTED IN THESE PLANS.
- EXCAVATE AND LOCATE UNDERGROUND UTILITIES TO BE REPLACED AND/OR ABANDONED.
- DEMOLISH AND REMOVE EXISTING COLUMN WRAPS IN THEIR ENTIRETY.
- EXISTING BUILDING SERVICES TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.

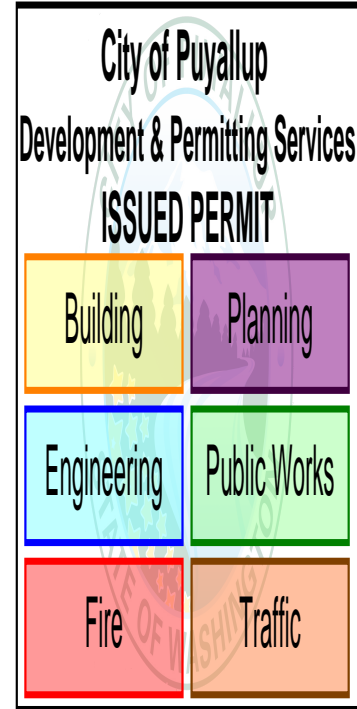
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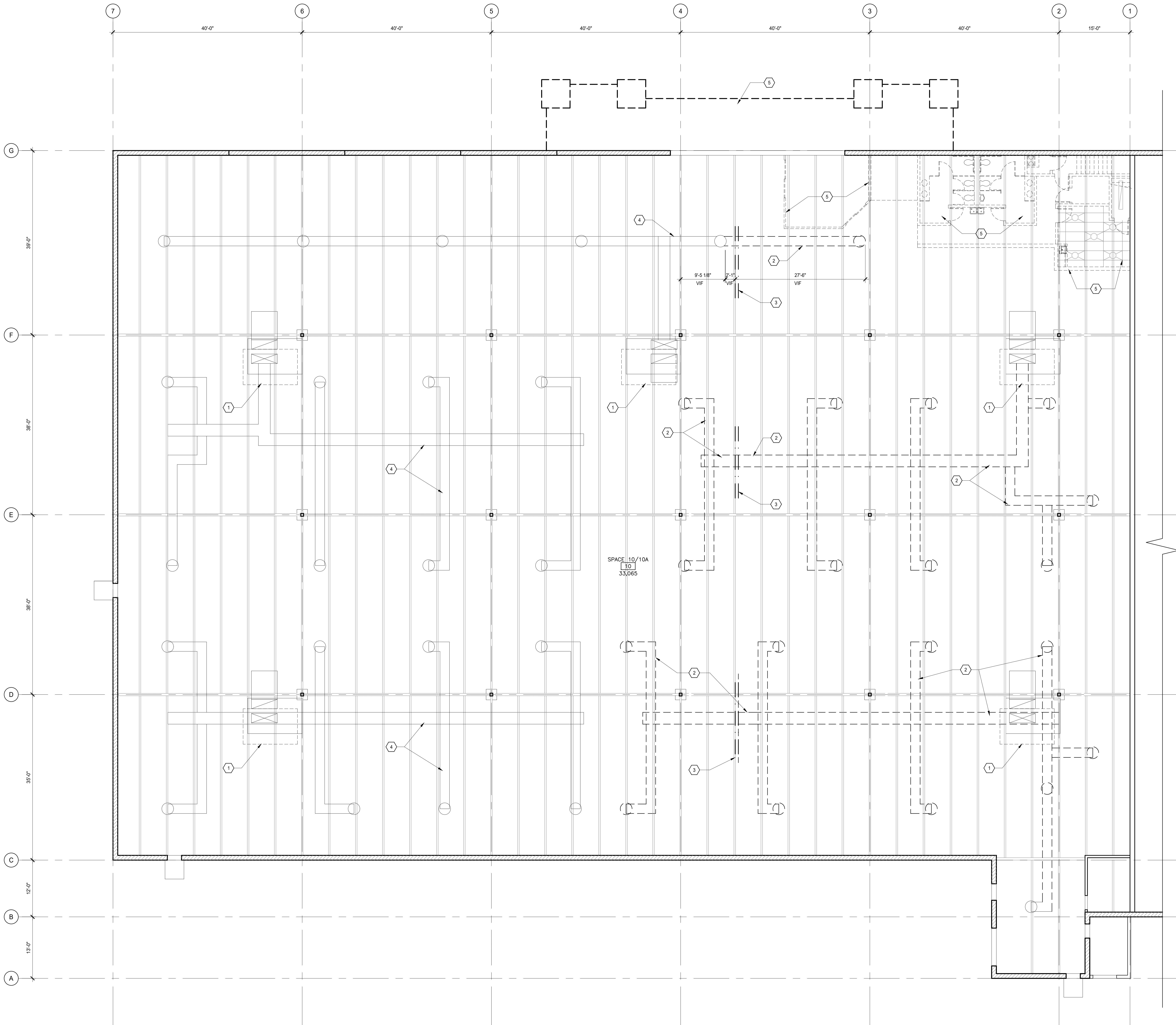
DATE	NO.	DESCRIPTION



PROJECT NO.: 23149.00
PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

OVERALL
DEMOLITION PLAN

AD2.00



GENERAL NOTES

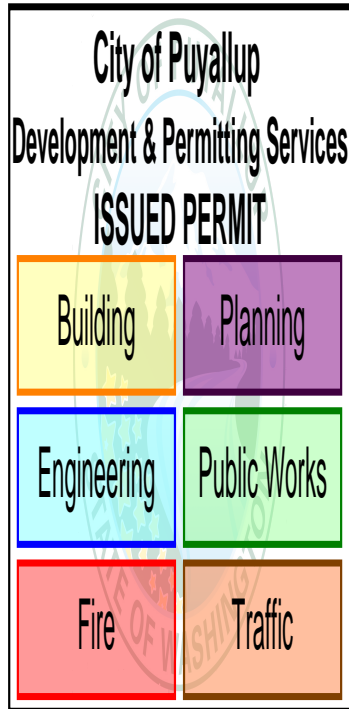
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6. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
7. FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4-12" FROM PERPENDICULAR FRAMING U.N.O.
8. FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.

DEMOLITION NOTES

1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: ITEMS SHOWN ON THE PLANS WITH DASHED LINES, NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH ALL CONSTRUCTIONS AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
3. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTORS NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS/HER COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PATCH ALL FINISHES TO MATCH ADJACENT EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. PER THE FINISH SCHEDULE TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
6. PATCH EXISTING WALLS, GYPSUM DRYWALL, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
7. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

DEMOLITION KEYNOTES

1. EXISTING ROOFTOP HVAC UNITS AND MAIN FEEDER BRANCHES TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
2. DEMOLISH EXISTING SUPPLY AND RETURN DUCTWORK FROM EXISTING UNITS BACK TO EACH UNIT (OR AS NOTED IN THESE PLANS). PROVIDE LOCAL, 24/7 PROGRAMMABLE THERMOSTAT SET TO MAINTAIN A MINIMUM TEMPERATURE OF 40F (ADJUSTABLE). INSTALL THERMOSTAT WITH ONBOARD TEMPERATURE SENSOR ON NEAREST COLUMN AT 5'4" A.F.F.
3. EXTENT OF FUTURE DEMISING WALL, SHOWN FOR REFERENCE ONLY.
4. EXISTING SUPPLY AND RETURN DUCTWORK TO BE REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
5. EXISTING INTERIOR AND EXTERIOR SPACES TO BE DEMOLISHED, REFER AD2.00 PLAN.



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DATE	NO.	DESCRIPTION



PROJECT NO.: 23149.00
PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

OVERALL
DEMOLITION RCP

AD2.10

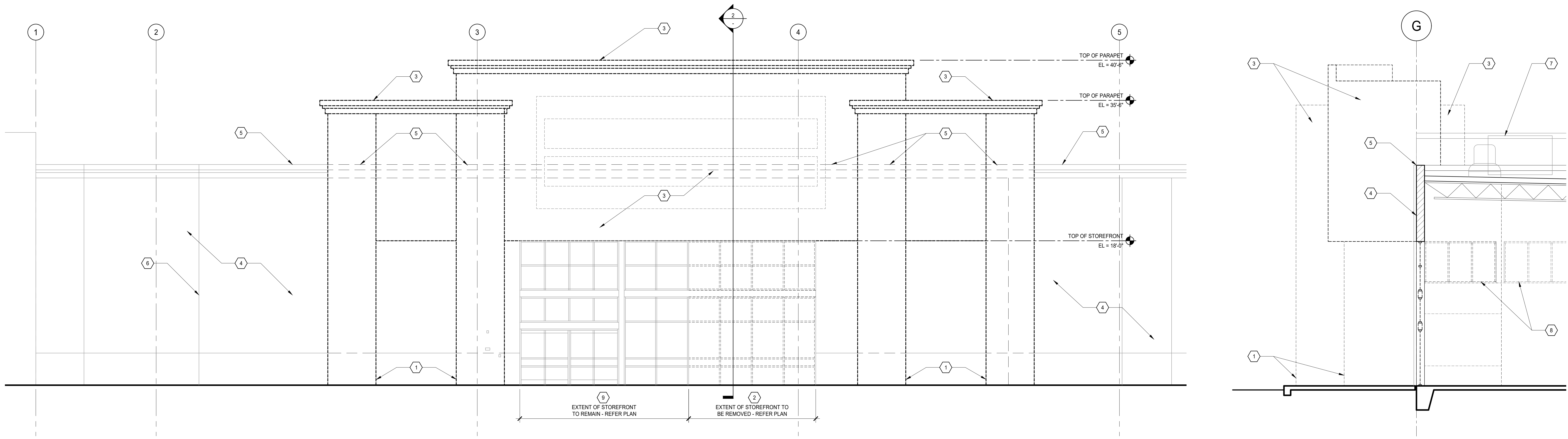
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PROJECT NO.: 23149.00
PROJECT MGR.: DR
DRAWN BY: DH
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ENLARGED ELEVATION
- DEMOLITION

AD3.01

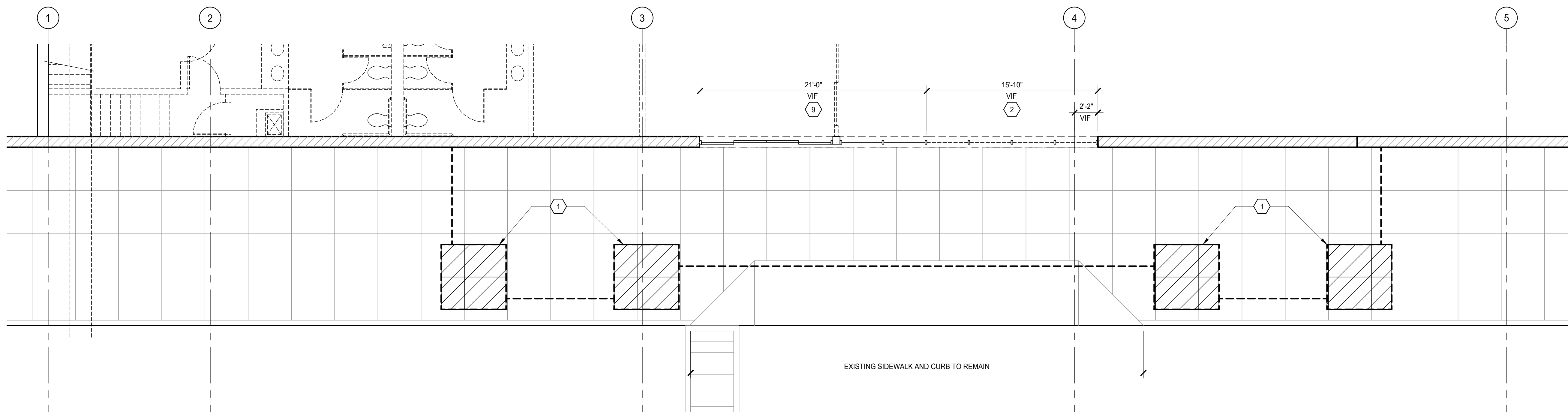


1 ENLARGED ELEVATION - DEMO

Scale: 3/16" = 1'-0"

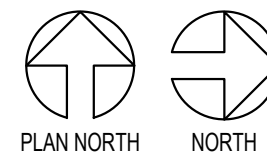
2 ENLARGED SECTION - DEMO

Scale: 3/16" = 1'-0"



3 ENLARGED DEMO PLAN

Scale: 1/8" = 1'-0"



DEMOLITION NOTES

- EXISTING ENTRY FEATURE BASE(S) TO BE DEMOLISHED AND REMOVED IN ITS ENTIRETY. EXCAVATE AND REMOVE ALL ASSOCIATED STRUCTURAL FOUNDATIONS TO ONE (1) FOOT BELOW FINISHED SURFACES.
- EXTENT OF EXISTING STOREFRONT SYSTEM TO BE DEMOLISHED AND REMOVED; PATCH AND REPAIR EXISTING CONCRETE SLAB AND FOOTING ALONG BUILDING PERIMETER.
- EXISTING ENTRY FEATURE TO BE DEMOLISHED AND REMOVED IN ITS ENTIRETY. PROTECT EXISTING CONCRETE PANEL WALLS TO REMAIN.
- EXISTING CONCRETE PANEL WALLS TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING PRECAST COPING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING CONCRETE PANEL WALL JOINT, VIF.
- EXISTING ROOFTOP MECHANICAL EQUIPMENT TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- INTERIOR DEMOLITION WORK, REFER PLANS.
- EXTENT OF EXISTING STOREFRONT SYSTEM TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.

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- FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.
- ALL CEILING FIXTURES AT EXISTING SPACES TO REMAIN AS IS.

