

DRAWING SYMBOLS

ABBREVIATIONS

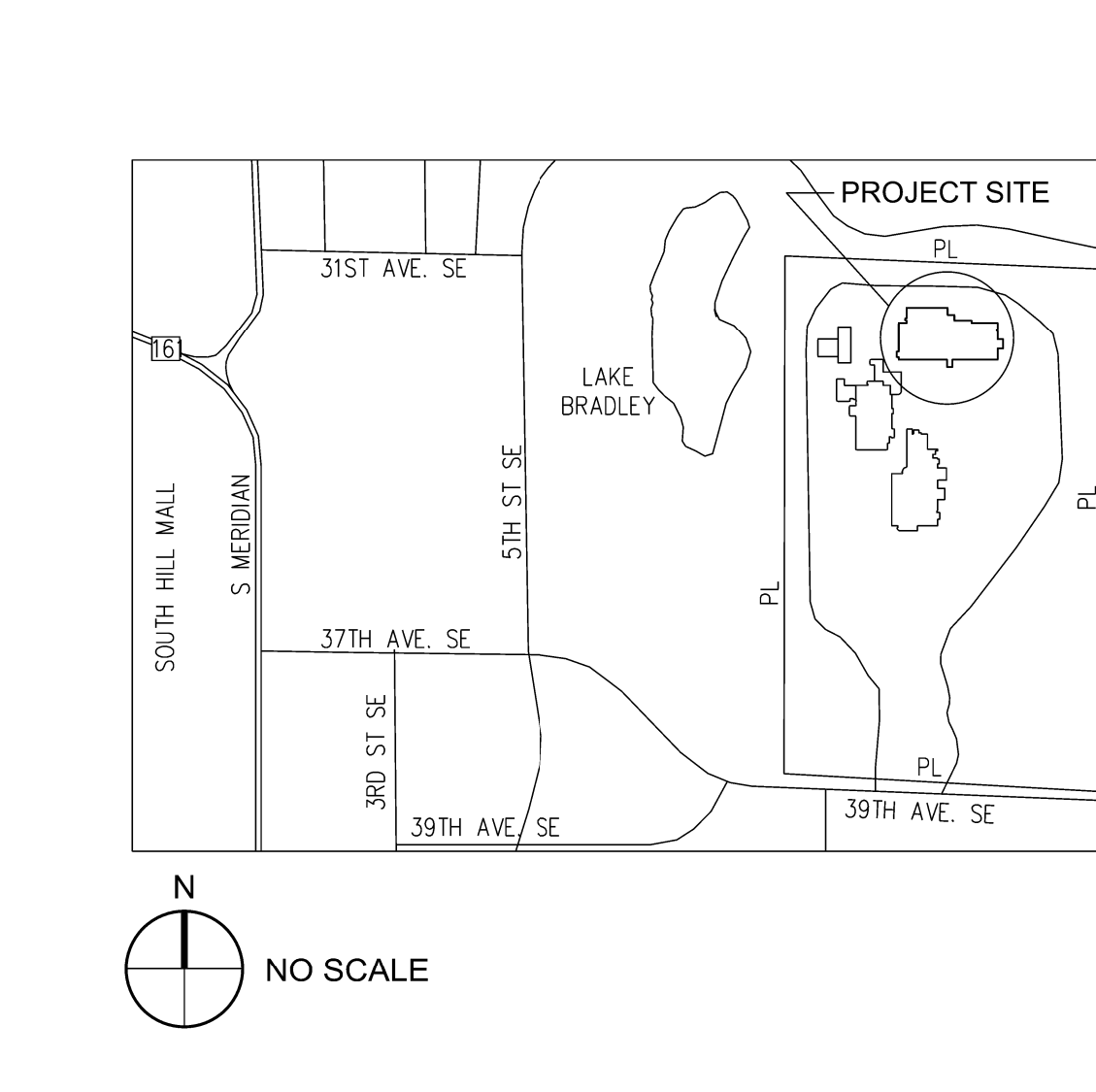
VICINITY MAP

PROJECT DIRECTORY

SHEET INDEX

Table of drawing symbols including North Indicator, Section Callout, Detail Callouts, Match Line, Key Note Callout, Existing/New Grid, Partition Type Callout, Elevation/Datum Callout, and Equipment Callout.

Table of abbreviations for various materials and components such as Amp, Fire Alarm, Fire Extinguisher, and various structural and electrical terms.



OWNER: BENAROYA CAPITAL, LLC
ARCHITECT: CASCADE MISSION CRITICAL, LLC
STRUCTURAL ENGINEER: QUANTUM CONSULTING ENGINEERS

Table listing sheet numbers and their corresponding content, such as A-000-11 for General Information and A-103-10 for Section Details.

PLAN SYMBOLS

Table of plan symbols for fire extinguishers, cabinets, signs, lighting fixtures, and other building features.

Continuation of abbreviations for materials like wood, metal, and various construction methods.

PROJECT INFORMATION

SCOPE OF WORK

PROJECT ADDRESS: 1023 39TH AVENUE SE, PUYALLUP, WA 98374-2121
PARCEL NUMBER: 0419034037
LEGAL DESCRIPTION: SECTION 03 TOWNSHIP 19 RANGE 04 QUARTER 43 PARCEL "1" OF ROS 2007-04-30-5001

WORK UNDER THIS PERMIT: CONSTRUCT NEW EXTERIOR ROOF SHELTER AND CONDUIT SUPPORT FRAME AT EXTERIOR SWITCHGEAR AREA.
NEW ROOF AREA: 2,400 SF
WORK UNDER SEPARATE PERMITS: ELECTRICAL WORK

SECURITY SYMBOLS

Table of security symbols including cameras, card readers, door contacts, duress buttons, intercoms, and motion detectors.

Continuation of abbreviations for various materials and components like insulation, masonry, and plumbing.

CODE INFORMATION

APPLICABLE CODES: WASHINGTON BUILDING CODE, 2021 EDITION
LAND USE CODES: PUYALLUP MUNICIPAL CODE
BUILDING CODE INFORMATION: BUILDING OCCUPANCY GROUP: TYPE B, DATA CENTER

GENERAL NOTES

- 1. DO NOT SCALE THE DRAWINGS.
2. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY.
3. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS...

CONSULTANT: CASCADE MISSION CRITICAL, LLC
Data Center Consulting and Design
P: 206-294-1288 www.cascademissioncritical.com

CENTERIS VOLTAGE PARK
1023 39th Avenue South East
Puyallup, WA 98374-2121
WB02 VOLTAGE PARK & SWITCHGEAR ROOF & CONDUIT SUPPORTS

City of Puyallup Building Reviewed for Compliance stamp with date 06/14/2024 and 3:32:07 PM.

Vertical sidebar containing project details, owner information (BENAROYA CAPITAL, LLC), consultant info, and sheet index.

SITE INFORMATION

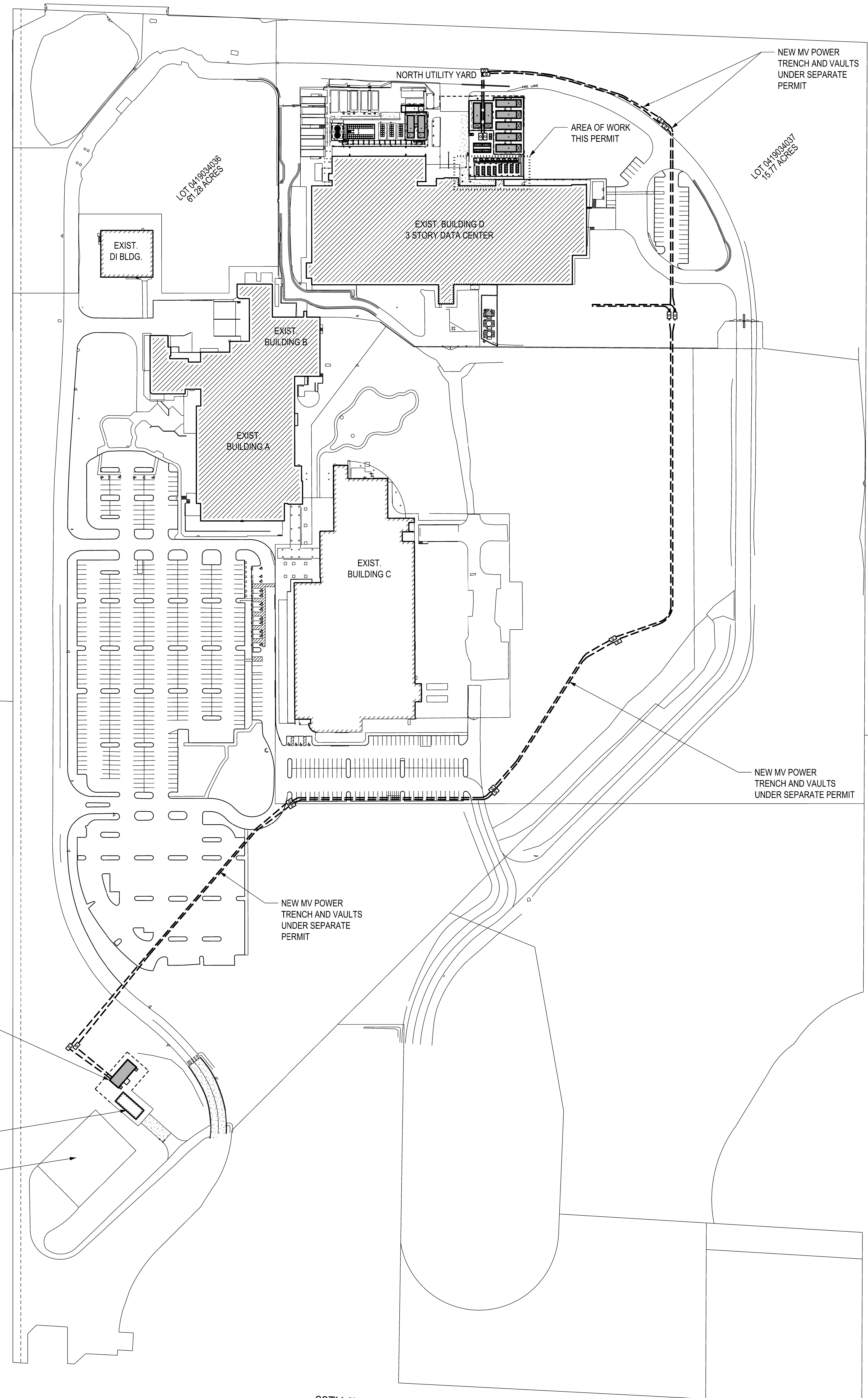
PARCEL NO. 0419034037
 ADDRESS: 1023 39TH AVENUE S.E.
 PARCEL AREA: 15.77 ACRES

LEGAL DESCRIPTION
 Section 03 Township 19 Range 04 Quarter 42 LOT 2 OF BLR 2022-03-22-5003 A POR OF BLR 2019-05-22-5002 LY IN CY OF PUYALLUP
 MORE PARTICULARLY DESC AS FOLL COM AT STONE MON MARKING S 1/4 COR OF SEC 3 SD STONE MON LIES N 86 DEG 31 MIN 42
 SEC E 2621.06 FT FROM SE COR OF SD SEC 3 TH N 00 DEG 00 MIN 24 SEC E 2599.51 FT TH S 87 DEG 44 MIN 17 SEC E 496.53 FT TO
 POB TH S 00 DEG 04 MIN W 132.96 FT TH S 16 DEG 29 MIN 57 SEC E 15.96 FT TH S 00 DEG 00 MIN 36 SEC E 335.82 FT TH S 52 DEG 49 MIN
 01 SEC E 132.81 FT TH S 89 DEG 15 MIN 41 SEC E 28.82 FT TH S 82 DEG 14 MIN 13 SEC E 58.63 FT TH S 53 DEG 48 MIN 38 SEC E 78.9 FT TH
 S 89 DEG 41 MIN 48 SEC E 655.79 FT TH S 83 DEG 08 MIN 36 SEC E 199.54 FT TH N 00 DEG 13 MIN 45 SEC E 602.4 FT TH N 87 DEG 44 MIN 17
 SEC W 1118.01 FT TO POB EASE OF REC. OUT OF 04-19-03-4-031 & 4-034 SEG 2019-0472 05/30/19 JP 20190652DC 03/31/22 JP

OVERALL SCOPE OF WORK

DATA CENTER BUILDING (PARCEL 0419034037)
TENANT IMPROVEMENTS
 CONSTRUCT A NEW 2,400 SF STEEL ROOF STRUCTURE AND CONDUIT
 SUPPORT FRAME OVER EXISTING ELECTRICAL SWITCHGEAR.

CITY OF PUYALLUP
 Planning Division Approved Site Plan
 (253) 864-4165
 MINIMUM SETBACK REQUIREMENTS
 Front Yard: 30 ft Rear Yard: 75 ft
 Interior Side Yard: Left: 75 ft Right: 15 ft
 Street Side Yard:
 Zoning District: MP
 Permit #:
 Additional Conditions/Comments
 Staff: RNBrown
 Date: 06/11/2024
 Front, rear, and side yard property lines shall be
 marked with staking from surveying pins prior to footing
 inspection.



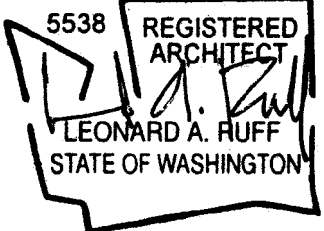
OVERALL SITE PLAN
 SCALE: 1" = 100'

City of Puyallup
 Development & Permitting Services
 ISSUED PERMIT
 Building Planning
 Engineering Public Works
 Fire Traffic

PRCNC20240601

OWNER:
BENAROYA CAPITAL, LLC
 Centeris Data Centers
 9675 SE 36th St, Suite 115
 Mercer Island, WA 98040
 +1.253.200.4120

CONSULTANT:



CASCADE MISSION CRITICAL, LLC
 Data Center Consulting and Design
 6210 36th Avenue N.E. Seattle, WA 98115
 P: 206-294-1288 www.cascadecommissioncritical.com

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ISSUED/REVISED DATE
 PERMIT SUBMITTAL 4/9/24

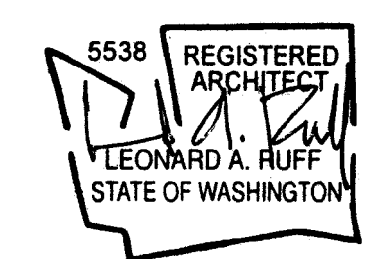
PERMIT SUBMITTAL
 APRIL 9, 2024

OVERALL SITE PLAN
 SWITCHGEAR ROOF &
 CONDUIT SUPPORT

A-101-11

OWNER:
BENAROYA CAPITAL, LLC
 Centeris Data Centers
 9675 SE 36th St, Suite 1.15
 Mercer Island, WA 98040
 +1.253.200.4120

CONSULTANT:



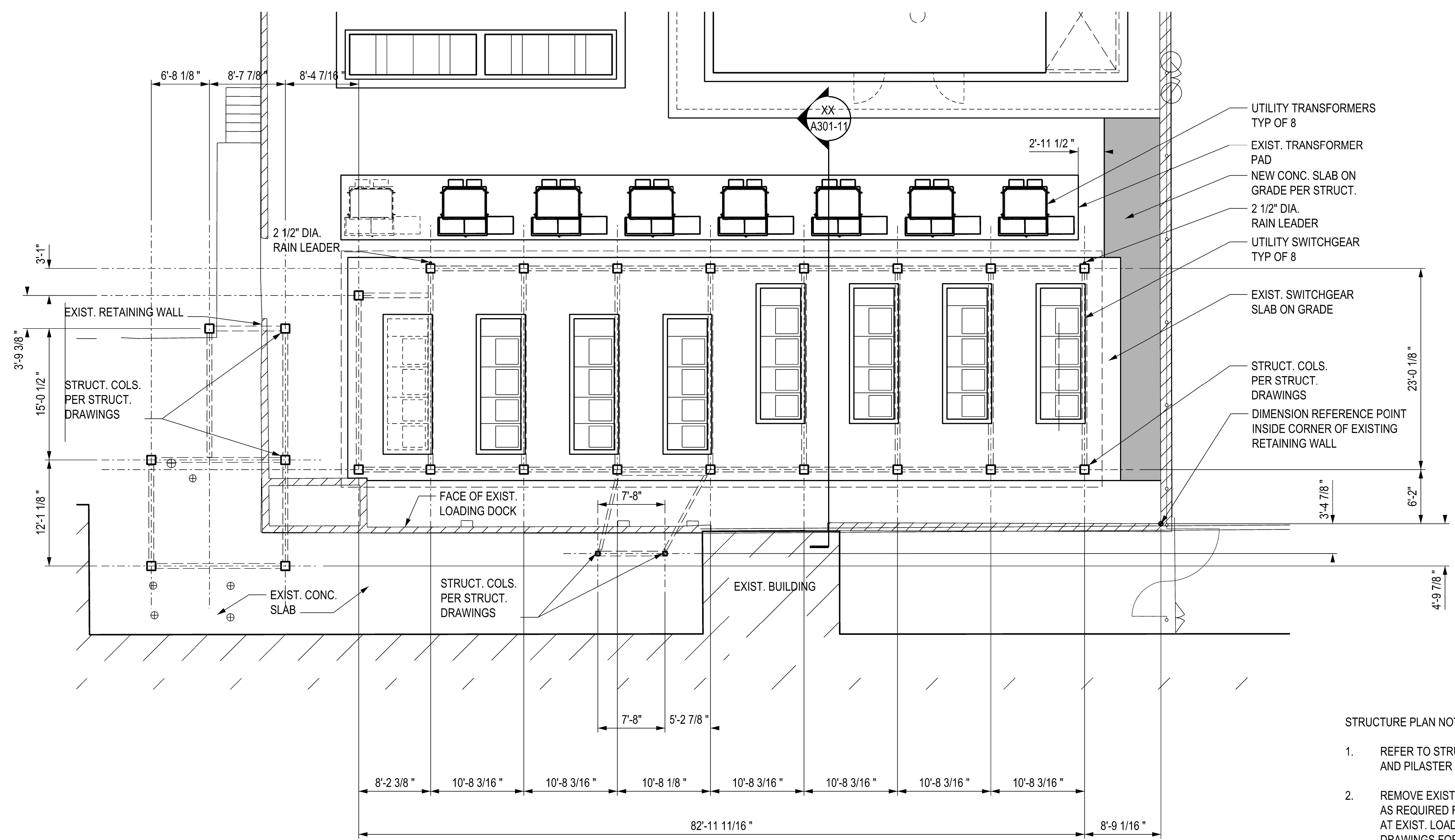
CASCADE MISSION CRITICAL, LLC
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 P: 206-294-1288 www.cascademissioncritical.com

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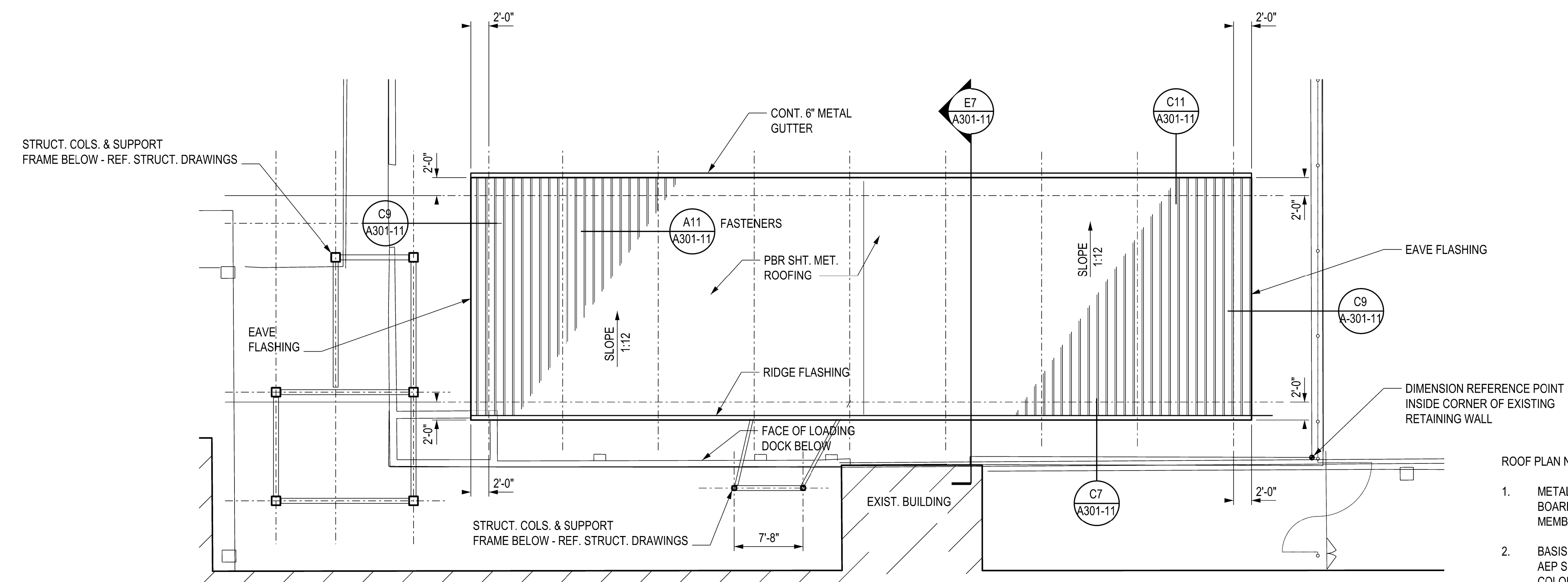
PERMIT SUBMITTAL
 APRIL 9, 2024

ENLARGED SITE PLAN
 SWITCHGEAR ROOF
 COLUMN PLAN
 ROOF PLAN



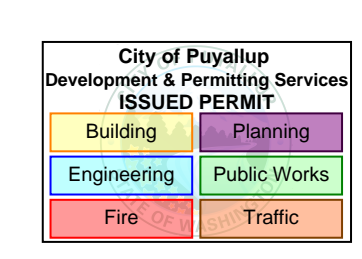
E5 SWITCHGEAR ROOF STRUCTURE PLAN
 SCALE: 1/8" = 1'-0"

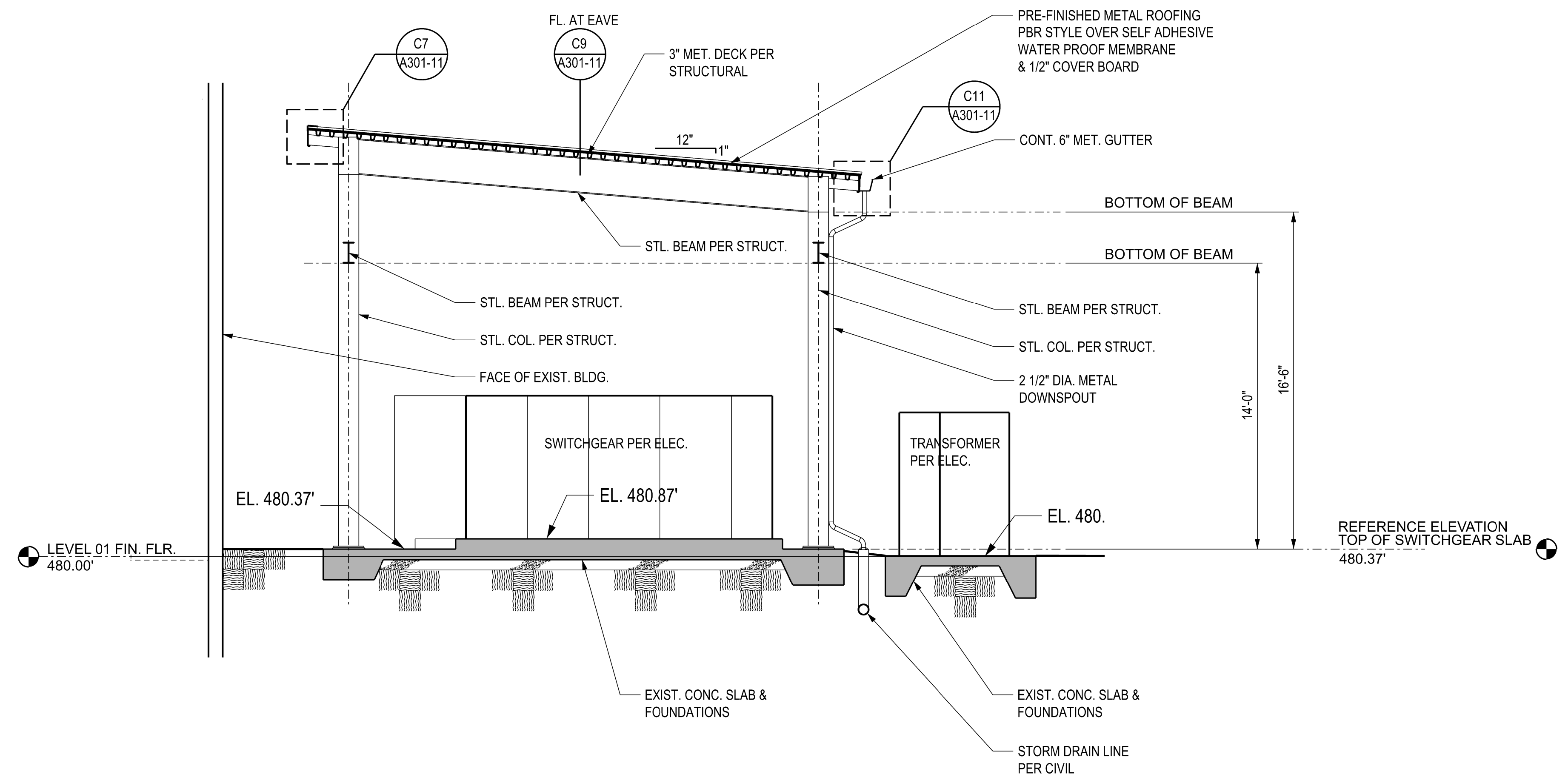
- STRUCTURE PLAN NOTES**
- REFER TO STRUCTURAL DRAWINGS FOR COLUMN BASE AND PILASTER CONDITIONS.
 - REMOVE EXIST. CONCRETE SLAB ON GRADE AS REQUIRED FOR NEW COLUMN FOOTINGS AT EXIST. LOADING DOCK. REFER TO STRUCTURAL DRAWINGS FOR FOOTING CONDITIONS.
 - CONNECT RAIN LEADERS TO EXISTING STORM DRAIN LINE PER CIVIL DRAWINGS.
 - ALL STEEL FRAMING MEMBERS SHALL BE GALVANIZED.



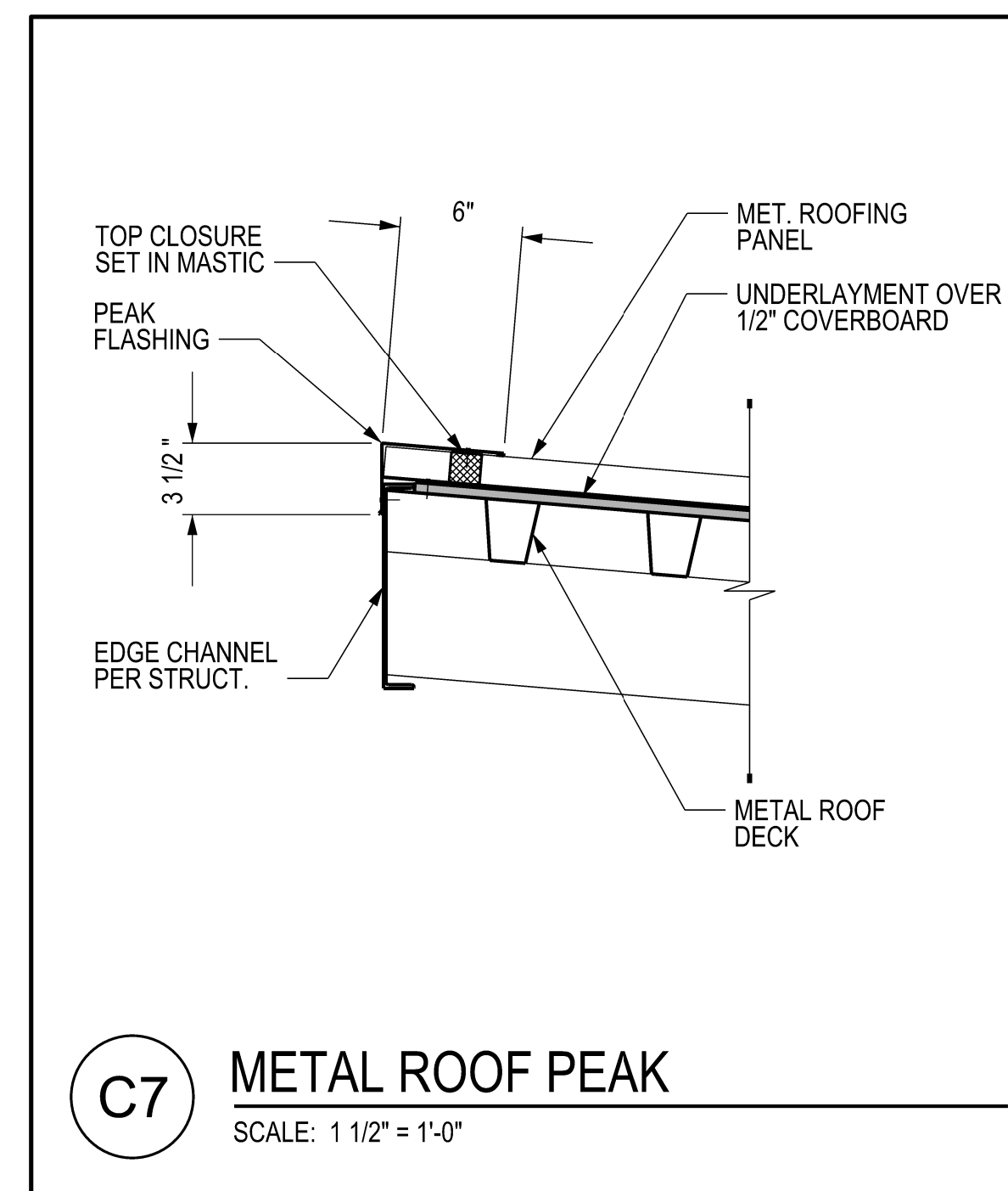
A5 SWITCHGEAR ROOF PLAN
 SCALE: 1/8" = 1'-0"

- ROOF PLAN NOTES**
- METAL ROOFING SHALL BE INSTALLED OVER 1/2" COVER BOARD WITH SELF ADHERING WATERPROOF MEMBRANE.
 - BASIS OF DESIGN ROOFING PRODUCT: AEP SPAN PBR METAL BUILDING PANEL, 36" WIDE COLOR: DARK BRONZE, SRI: 32, LRV: 8 UNDERLAYMENT: AEPSPAN UNDERLAYMENT HT
 - RAINLEADER CONDUCTORS SHALL BE SOLDERED AND SEALED TO THE GUTTER.
 - ROOF DRAINAGE CALCULATED PER IPC 1106: SEATTLE AREA RAINFALL (R): 1.4 IN/HR ROOF AREA (A): 2,400 SF GPM = R X A X 0.0104 GPM = 35 1-2 1/2" DIA. RAIN LEADER = 54 GPM PROVIDE 2 - 1 1/2" DIA. RAIN LEADERS

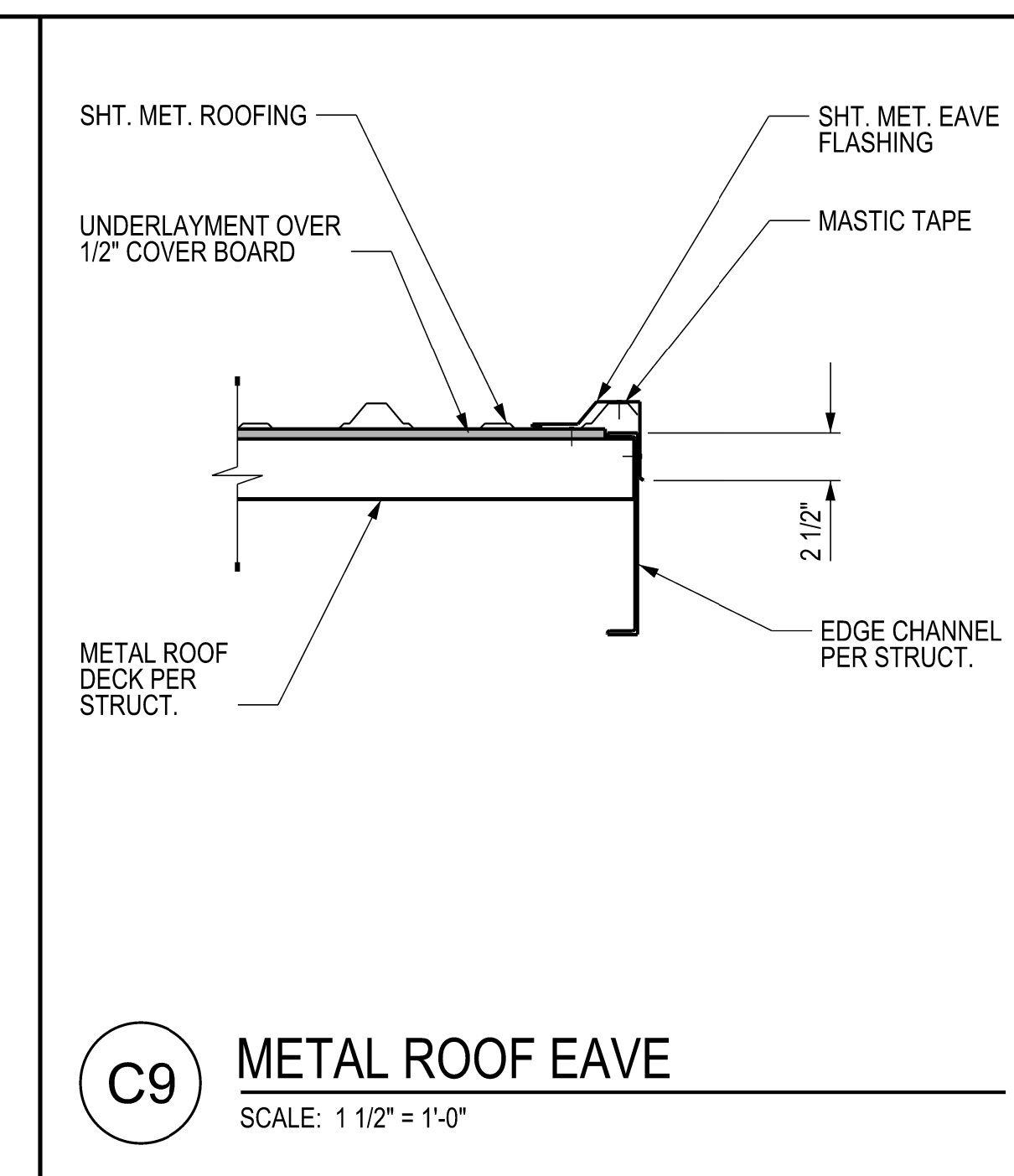




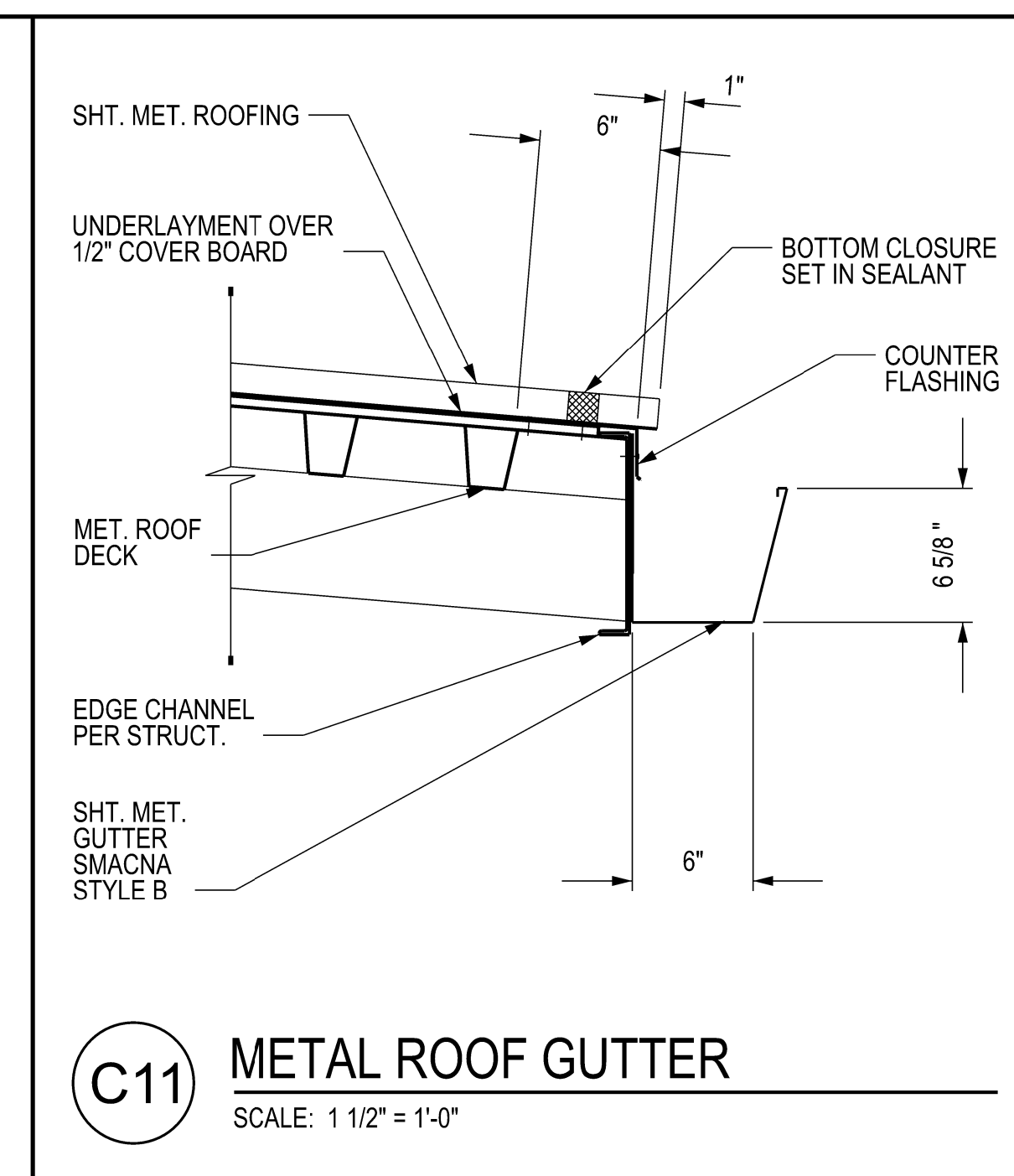
E7 SWITCHGEAR ROOF SECTION
SCALE: 1/4" = 1'-0"



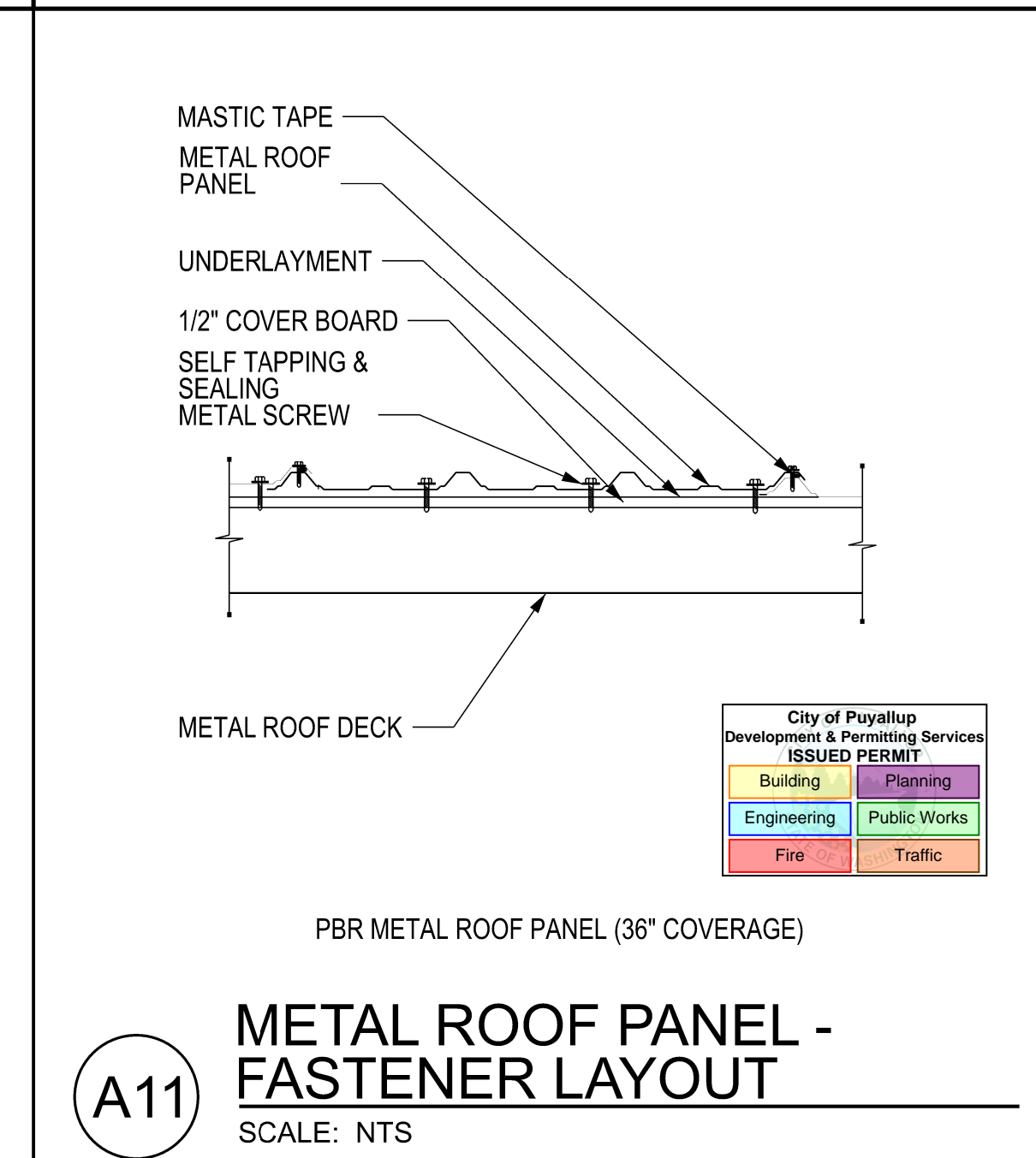
C7 METAL ROOF PEAK
SCALE: 1 1/2" = 1'-0"



C9 METAL ROOF EAVE
SCALE: 1 1/2" = 1'-0"



C11 METAL ROOF GUTTER
SCALE: 1 1/2" = 1'-0"

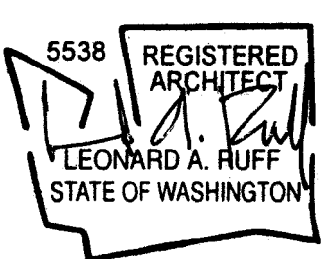


A11 METAL ROOF PANEL - FASTENER LAYOUT
SCALE: NTS

PRCNC20240601

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APRIL 9, 2024

SWITCHGEAR ROOF
SECTION
DETAILS

A-301-11