

LIMIT OF LIABILITY NOTICE...
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City of Puyallup
Development
Engineering
APPROVED

See permit
for additional
requirements.

Linda Lian
05/09/2024
9:55:14 AM



City of Puyallup
Planning
Division
APPROVED

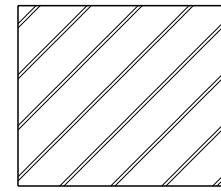
See permit
conditions.

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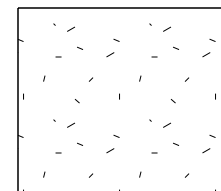


An internal grease trap is required. It must meet the requirements based upon the manufacture model specification calculations and that of the 2018 Uniform Plumbing Code or as directed by the Building Plan's examiner

OCCUPANT CALCULATION



200 GROSS SQUARE FEET PER OCCUPANT
- KITCHEN
= 2 OCCUPANTS



15 NET SQUARE FEET PER OCCUPANT
- ASSEMBLY UNCONCENTRATED
= 32 OCCUPANTS

TOTAL OCCUPANT COUNT = 34 PERSONS

EXISTING BUILDING CONSTRUCTION

TYPE 5B - NON SPRINKLERED

EXISTING & PROPOSED OCCUPANCY TYPE

B - BUSINESS / CAFE

AREA CALCULATIONS

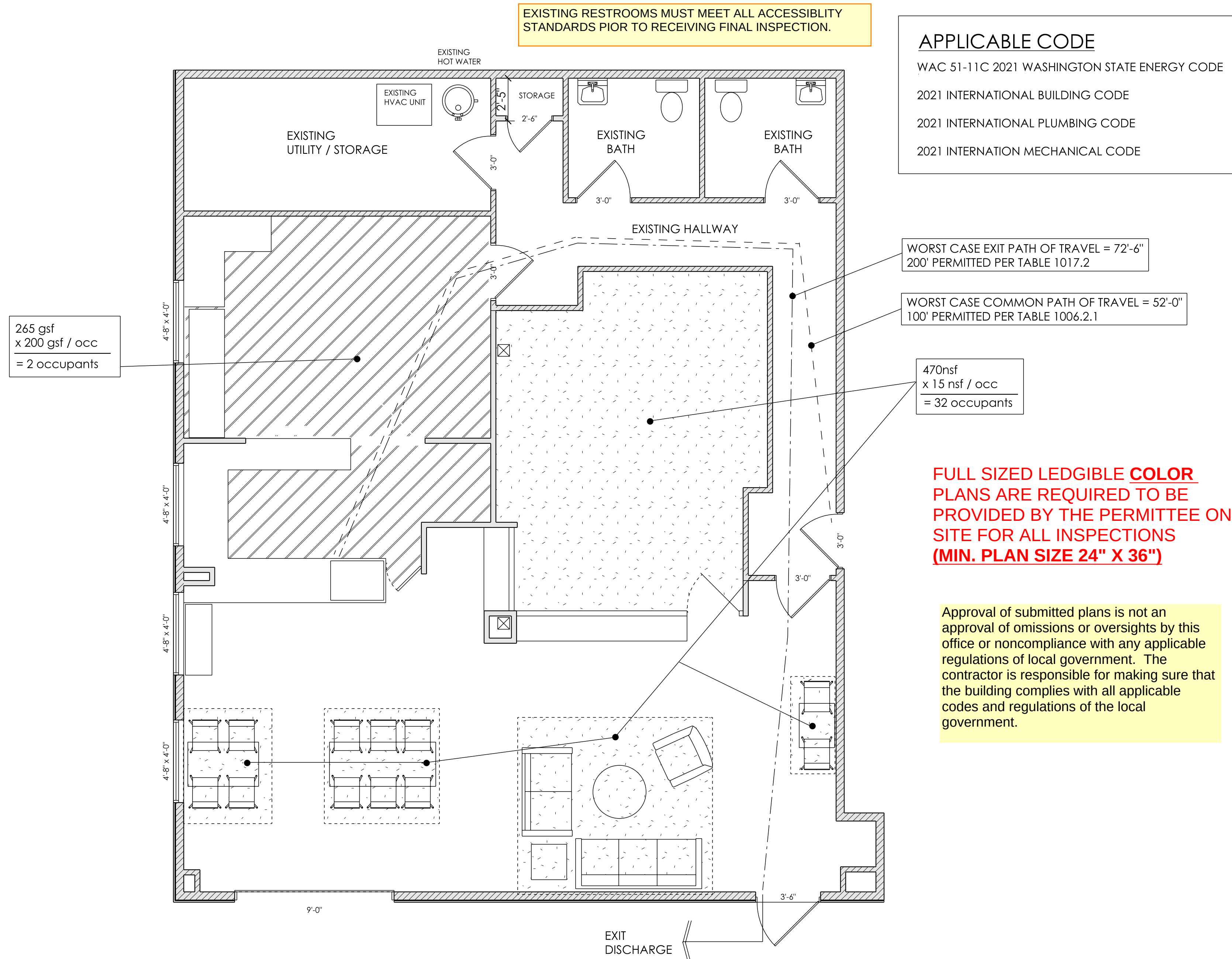
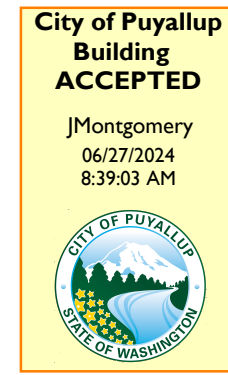
TENENT IMPROVEMENT AREA : 1258 SQ.FT.

EXISTING CONDITIONS / LANDLORD PROVIDED

- HVAC UNIT, SUPPLY RUNS AND RETURN AIR EXISTING
- PROVIDED FINISHED WALLS AND CEILINGS
- ALL WINDOWS EXISTING AND REMAIN UNCHANGED
- WATER & WASTE SUPPLY LINES CARPED FOR FUTURE EXTENSION
- BATHROOMS FINISHED UNDER PERMIT # PRCTI20230139
- HALLWAYS FINISHED UNDER PERMIT #PRCTI20240431

TENANT IMPROVEMENT SCOPE OF WORK

- WRAP (2) METAL COLUMNS WITH WOOD
- FRAME PROPOSED WALLS 8'-3" +/- TO MATCH EXISTING HALLWAY HEIGHT
- REPLACE EXISTING ENTRANCE DOOR WITH NEW DOOR
- INSTALL ALL PLUMBING PER SCHEDULE FOR REQUIRED KITCHEN / CAFE
- INSTALL ALL ELECTRICAL PER SCHEDULEE FOR REQUIRED KITCHEN / CAFE
- INSTALL NEW LIGHT LOCATIONS PER REFLECTED CEILING PLAN
- INSTALL POINT OF SALE COUNTERS / CABINETS
- INSTALL HALF WALL & SEATING BAR FOR PLAY AREA PER DRAWINGS



OCCUPANCY PLAN

SCALE : 1/4" = 1'-0"

PRCTI20240689

zetterberg
gregory
design

ZETTERBERG GREGORY
DESIGN, LLC
2905 220TH AVE E
LAKE TAPPS, WA 98391

253.820.6309
ZETTERBERGGREGORY.COM

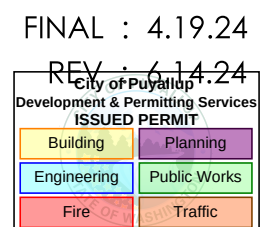
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TENANT IMPROVEMENT
103 WEST PIONEER AVE
PUYALLUP, WA 98371

SITE :

HOLIDAY CAFE LLC
NICHOLE THACKER

CLIENT :



sheet #

A1

CODE & EXITING

adoption of these plans to meet special site, local codes, regulations and specific site conditions is the responsibility of the Owner and/or Contractor. Hesterberg Gregory Design LLC, its owners and employees shall not be responsible for any damages resulting from the accuracy and overall integrity of these plans. The Owner and Contractor must inspect all dimensions and details in these plans for errors or omissions prior to construction.

SITE :

HOLIDAY CAFE LLC
NICHOLE THACKER

CLIENT :

FINAL : 4.19.24
REV : 6.14.24
City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

Sheet #

A2

LAYOUTS

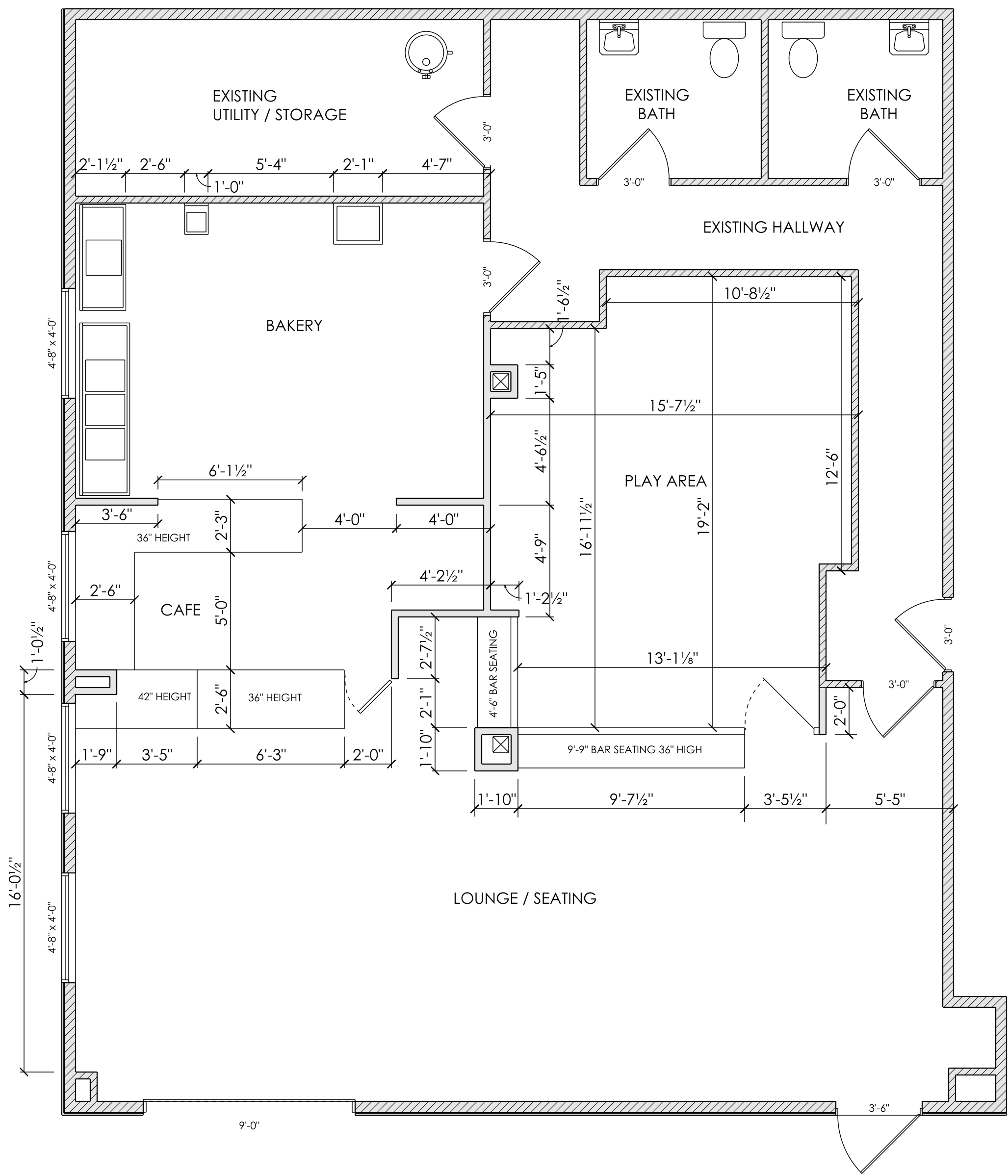
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HARDWARE GROUPS

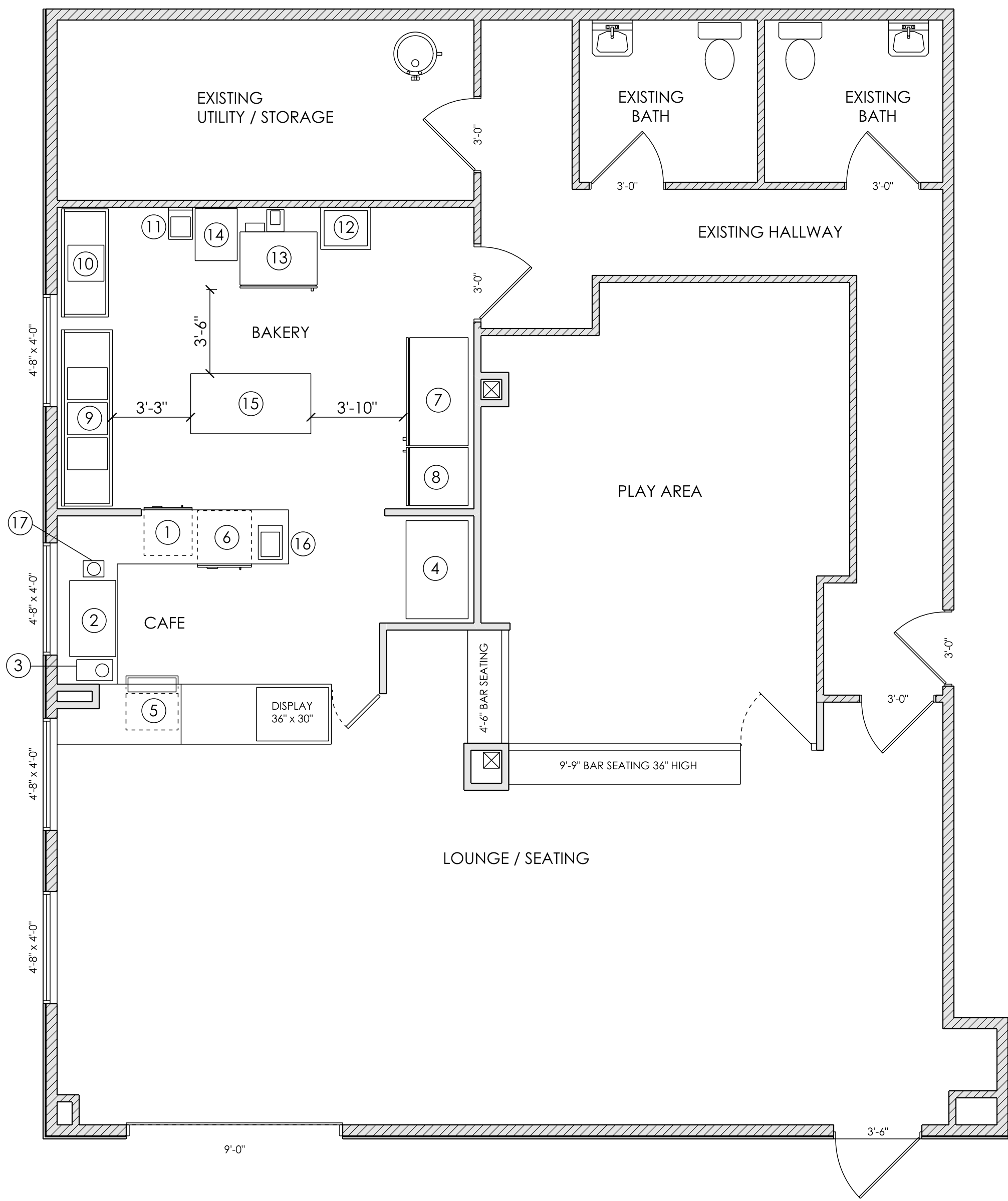
 = EXISTING EXTERIOR WALL TO REMAIN UNCHANGED
 = EXISTING INTERIOR WALL 8'-6" +/- HEIGHT
 = PROPOSED 2" x 4" WALL 8'-6" +/- HEIGHT

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KITCHEN & CAFE DIMENSIONS
SCALE : 1/4" = 1'-0"



KITCHEN & CAFE EQUIPEMENT
SCALE : 1/4" = 1'-0"

PRCTI20240689



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DESIGN, LLC
2905 220TH AVE E
LAKE TAPPS, WA 98391
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ZETTERBERGGREGORY.COM

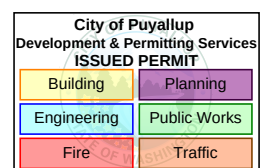
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TENANT IMPROVEMENT
103 WEST PIONEER AVE
PUYALLUP, WA 98371

SITE :

CLIENT :

FINAL : 4.19.24

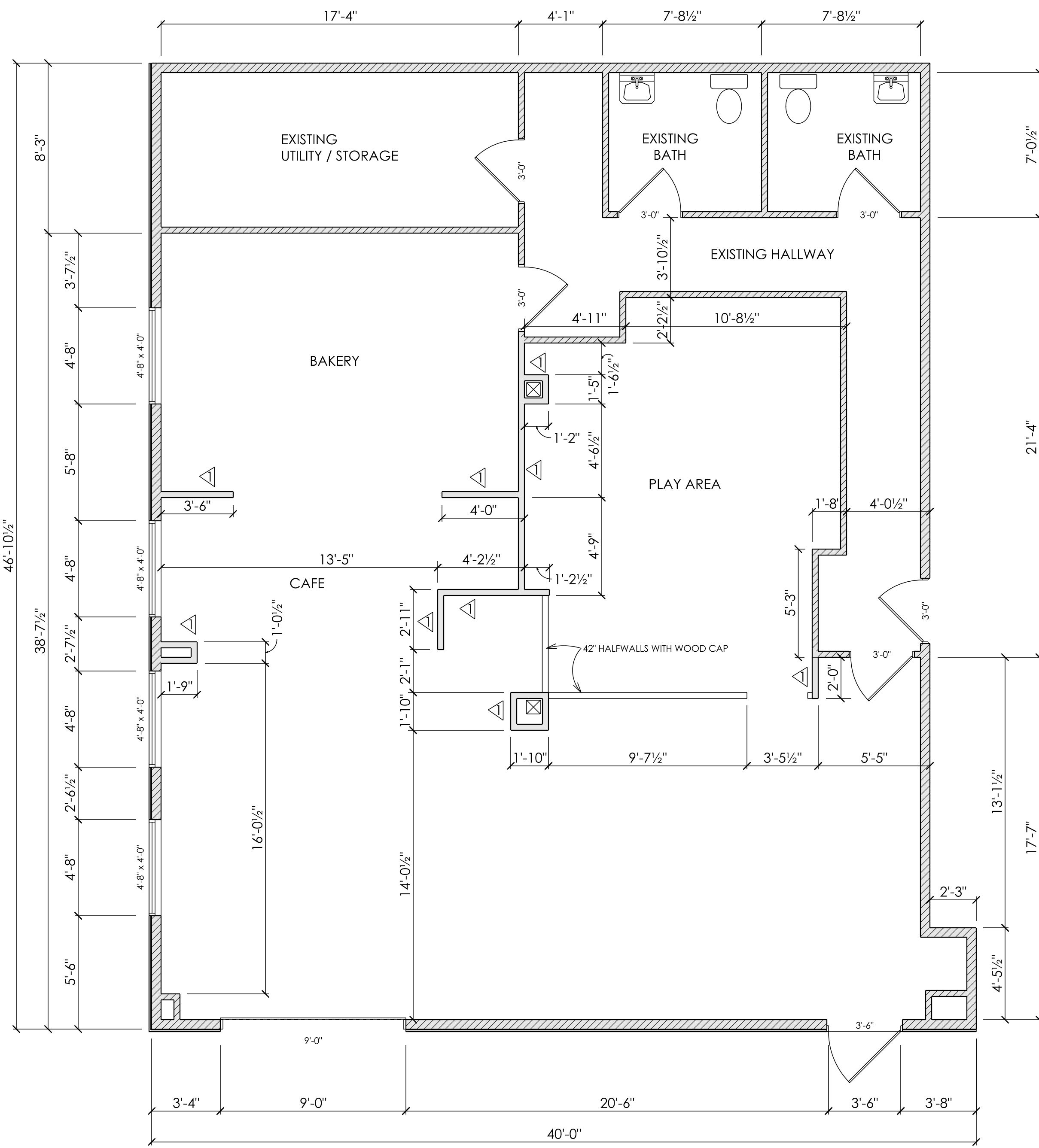
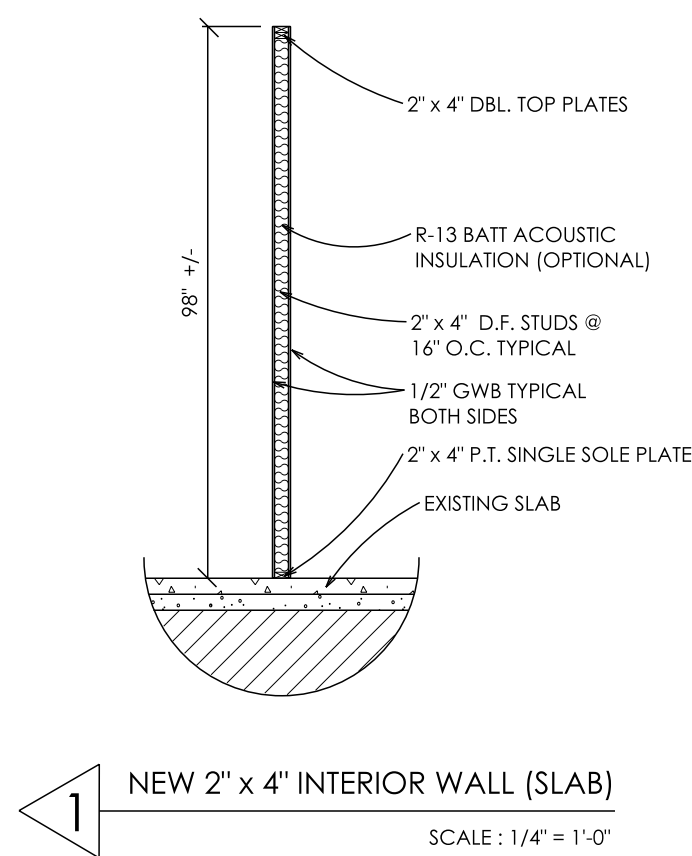


sheet #

A3

KITCHEN & CAFE

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PROPOSED TENANT IMPROVEMENT

SCALE : 1/4" = 1'-0"

- = EXISTING EXTERIOR WALL TO REMAIN UNCHANGED
- = EXISTING INTERIOR WALL 8'-6" +/- HEIGHT
- = PROPOSED 2" x 4" WALL 8'-6" +/- HEIGHT

PRCTI20240689



ZETTERBERG GREGORY
DESIGN, LLC
2905 220TH AVE E
LAKE TAPPS, WA 98391
253.820.6309
ZETTERBERGGREGORY.COM

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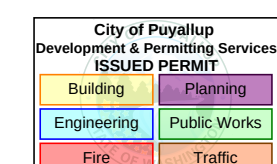
TENANT IMPROVEMENT
103 WEST PIONEER AVE
PUYALLUP, WA 98371

SITE :

HOLIDAY CAFE LLC
NICHOLE THACKER

CLIENT :

FINAL : 4.19.24



sheet #

A4

FRAMING

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DAYLIGHT SWITCHING

ALL PERMANENT LUMINARIES LOCATED WITHIN DAYLIGHT ZONES SHALL BE CONTROLLED BY AUTOMATIC DAYLIGHT SENSING CONTROLS.

CONTROLS MUST COMPLY WITH THE FOLLOWING REQUIREMENTS:

1) BE CAPABLE OF REGULATING THE POWER INPUT TO THE ELECTRIC LIGHTING FIXTURES TO REDUCE THEIR LIGHT OUTPUT WHILE MAINTAINING A UNIFORM LEVEL OF ILLUMINANCE WITHIN THE SPACE.

2) MUST HAVE TIME DELAY CIRCUITS THAT PREVENT LIGHT LEVEL ADJUSTMENTS FROM OCCURRING IN LESS THAN THREE-MINUTE INTERVALS.

3) ONLY CONTROL LUMINAIRES WITHIN THE DAYLIGHT AREA. THIS INCLUDES PRIMARY AND SECONDARY DAYLIGHT ZONES ADJACENT TO VERTICAL GLAZING AND DAYLIGHT ZONES UNDER OVERHEAD GLAZING. ALL DAYLIGHT ZONE AREAS (PRIMARY, SECONDARY) SHALL BE CONTROLLED SEPARTELY FROM EACH OTHER.

PROVIDE ENHANCED DIGITAL LIGHTING CONTROLS PER ENERGY CODE C406.4

1) CONTINUOUS DIMMING
2) INDIVIDUAL FIXTURE CONTROL (WITH EXCEPTIONS)
3) 8 FIXTURES MAX. PER DAYLIGHT ZONE PER CONTROL
4) PROGRAMMABLE DIGITAL CONTROLS

CEILING VENTS, REGISTERS, ACCESS SCHEDULE

S8  = EXISTING 8" SUPPLY AIR TO REMAIN UNCHANGED

R14  = EXISTING 14" RETURN AIR TO REMAIN UNCHANGED

SD/CO  = COMBO SMOKE & CARBON-MONOXIDE DETECTOR

CEILING TYPE / HEIGHT SCHEDULE

A  = EXISTING 14'-9" HIGH GWB CEILING

B  = EXISTING 7'-9" HIGH GWB CEILING

NOTE : ALL LIGHT FIXTURES IN BLOWN ATTICS TO BE CAULKED & SEALED PER 2021 WSEC SECTION C402.5.8.

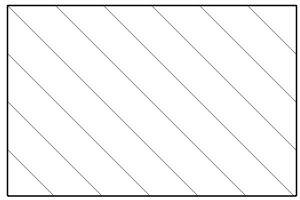
ELECTRICAL LEGEND

 = C1 (HANGING LIGHT)

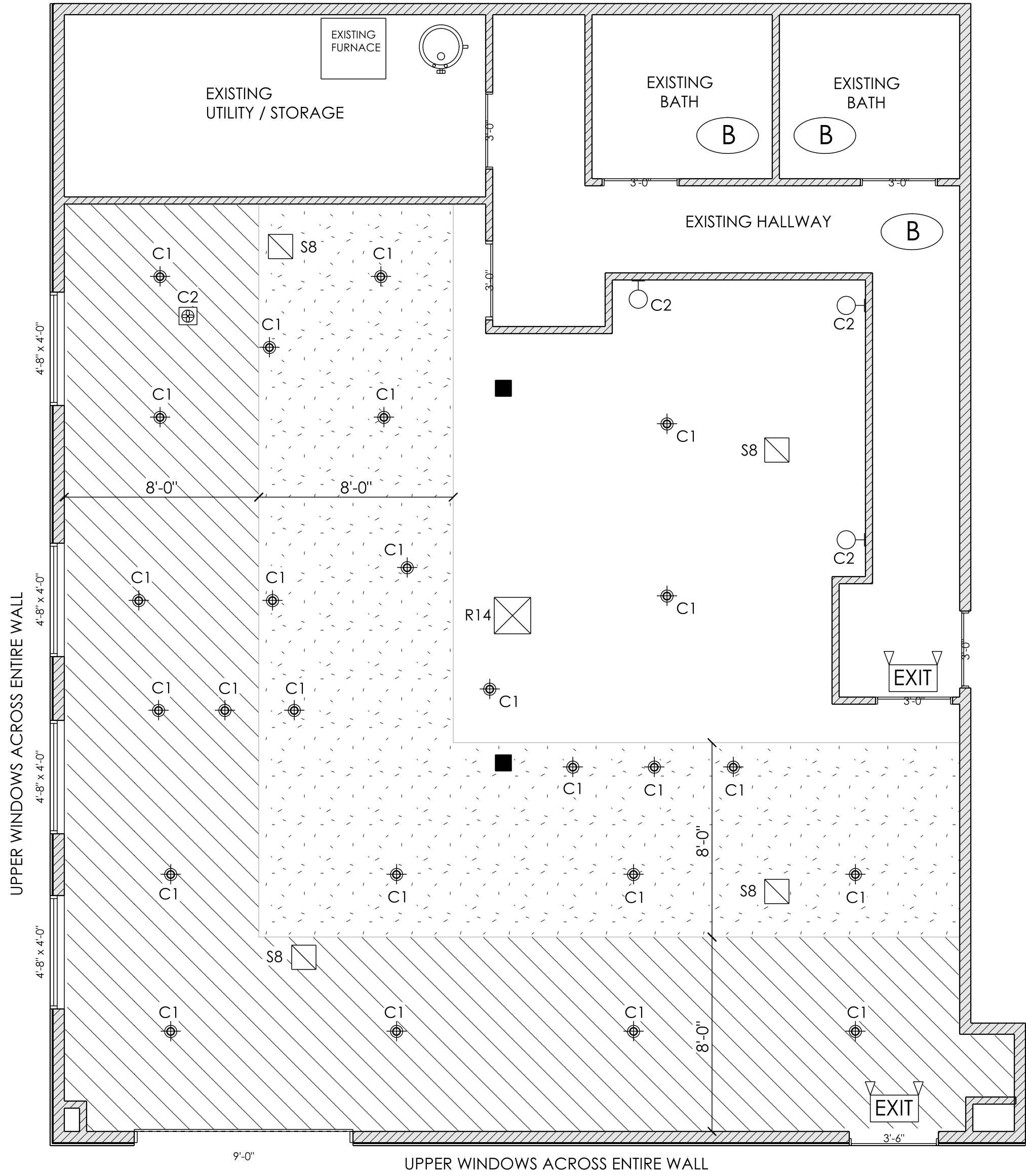
 = C2 EXHAUST FATH 100 CFM

 = C3 (WALL MOUNT)

 = C4 EXIT SIGN WITH ILLUMINATION

 = PRIMARY DAYLIGHT ZONE

 = SECONDARY DAYLIGHT ZONE



REFLECTED CEILING PLAN

SCALE : 1/4" = 1'-0"

INTERIOR LUMINARE SCHEDULE					TOTAL ALLOWABLE WATTS = 808 / PROPOSED TOTAL = 464	
SYM.	QTY	LABEL	MAN.	DESCRIPTION	WATTS	TOTAL WATTS
	25	C1	TBD	SUSPENDED PENANT LED LIGHT	16	400
	3	C2	TBD	DECORATIVE WALL SCONCE	18	54
	2	C3	TBD	EXIT SIGN & PATHWAY LIGHTING WITH BATTERY BACK UP	5	10

PRCTI20240689

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TENANT IMPROVEMENT
103 WEST PIONEER AVE
PUYALLUP, WA 98371

SITE :

HOLIDAY CAFE LLC
NICHOLE THACKER

CLIENT :

FINAL : 4.19.24

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building Permitting
Engineering Public Works
Fire Traffic

sheet #

A5

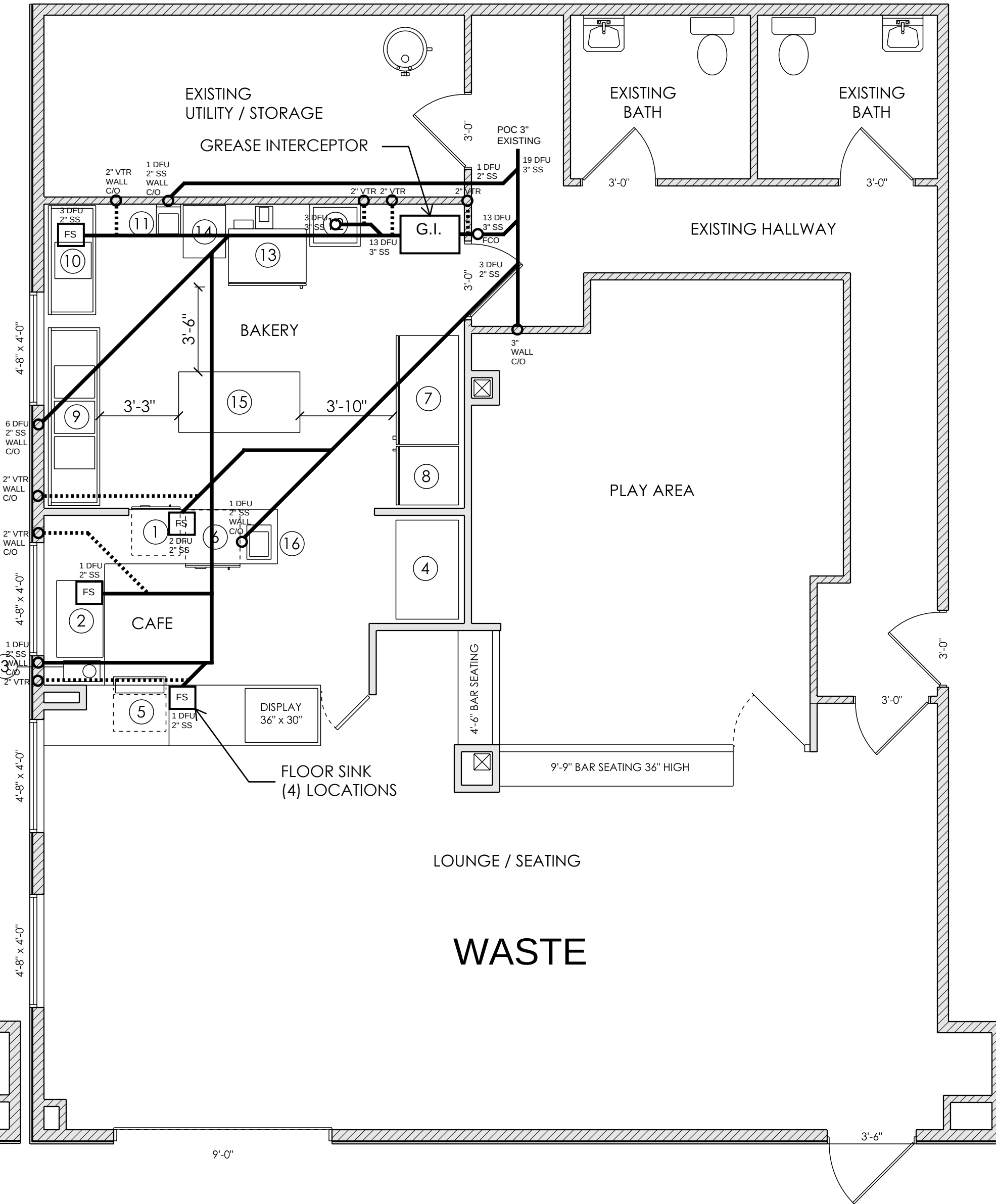
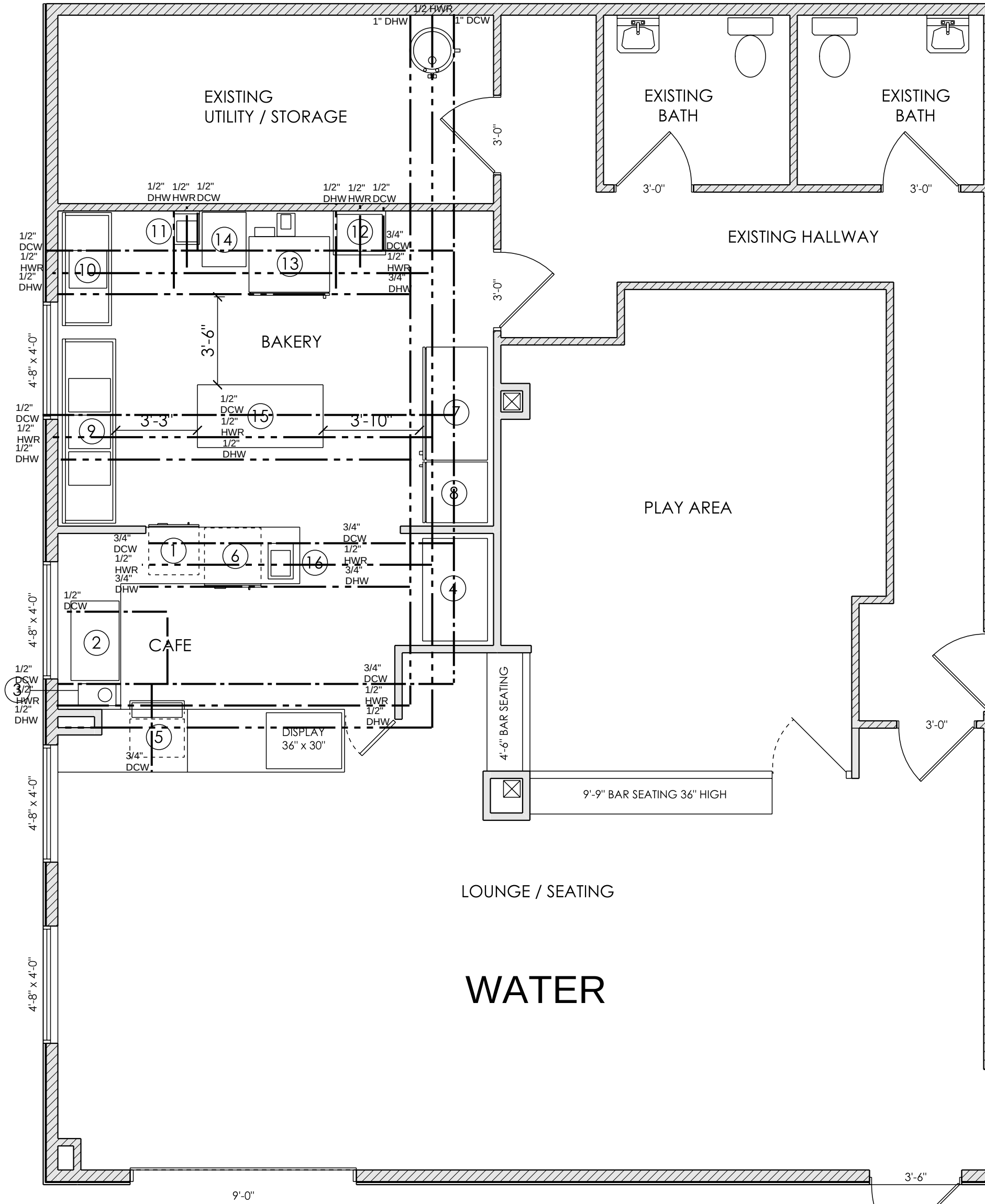
REFLECTED CEILING
PLAN

The floor plan is divided into several functional zones:

- EXISTING UTILITY / STORAGE:** Located at the top left, containing a sink and a toilet.
- EXISTING BATH:** Two bathrooms located at the top right.
- EXISTING HALLWAY:** A central corridor connecting the utility, bathrooms, and main areas.
- BAKERY:** Located in the center, containing equipment numbered 11, 12, 13, 14, and 15. It is separated from the utility area by 2" VTR walls and from the cafe by a 3'-6" wall.
- CAFE:** Located at the bottom left, containing equipment numbered 1, 2, 3, 4, 5, 6, 7, 8, 9, and 10. It is separated from the utility area by 2" VTR walls and from the bakery by a 3'-6" wall.
- LOUNGE / SEATING:** A large area at the bottom right, containing a 4'-6" BAR SEATING and a 9'-9" BAR SEATING 36" HIGH.
- PLAY AREA:** A large open area in the center right, adjacent to the lounge/seating area.

Other features include a POC 2" EXISTING 2" VTR 19 DFLU, a sink, and a toilet in the utility area, and a sink and toilet in the existing bathrooms. Dimensions for walls and openings are provided throughout the plan.

SCHIER MODEL	Description: GREASE INTERCEPTOR 35 GPM / 50 GPM, 4" FPT CONNECTIONS W/ 3" AND 4" PLAIN END ADAPTERS, PEDESTRIAN RATED POLYPROPYLENE COVER
GB2	Dimensions: Length: 35", Width: 23", Height: 13.75" Flow Rate/Grease Capacity: 50 GPM / 127 lbs Liquid Capacity: 20 gal



SCALE : 1/4" = 1'-0"

[illegible]

**** An internal grease trap is required. It must meet the requirements based upon the manufacture model specification calculations and that of the 2018 Uniform Plumbing Code or as directed by the Building Plan's examiner ****

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g	

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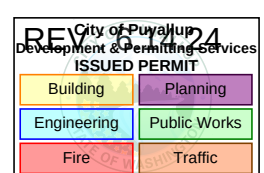
TENANT IMPROVEMENT
212 SOUTH MERIDIAN
PUYALLUP, WA 98371

SITE :

HOLIDAY CAFE LLC
NICHOLE THACKER

CLIENT:

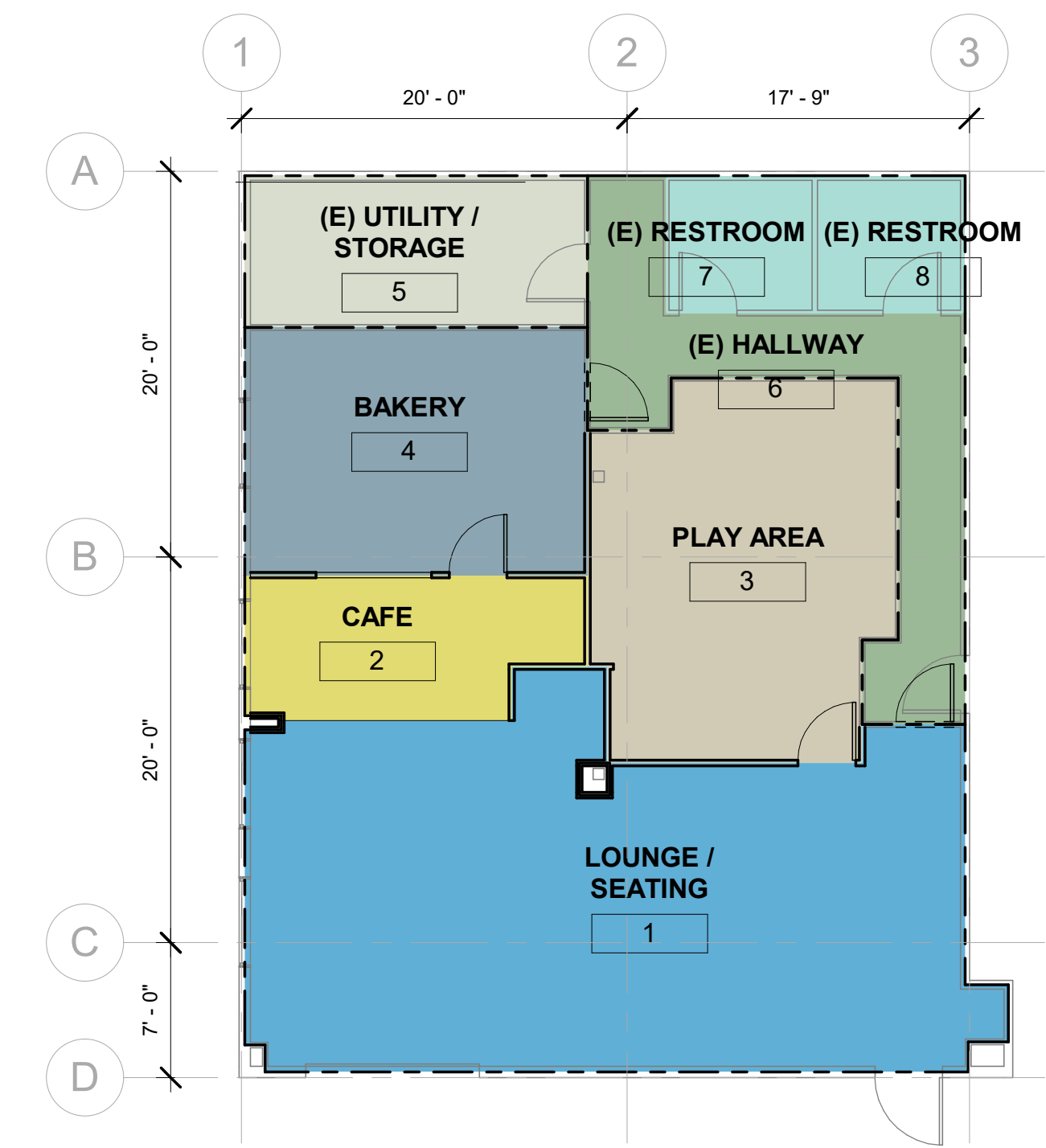
FINAL : 4.19.24



sheet #

P1

KITCHEN & CAFE



1 MECH LEVEL 1 SPACES
1/8" = 1'-0"

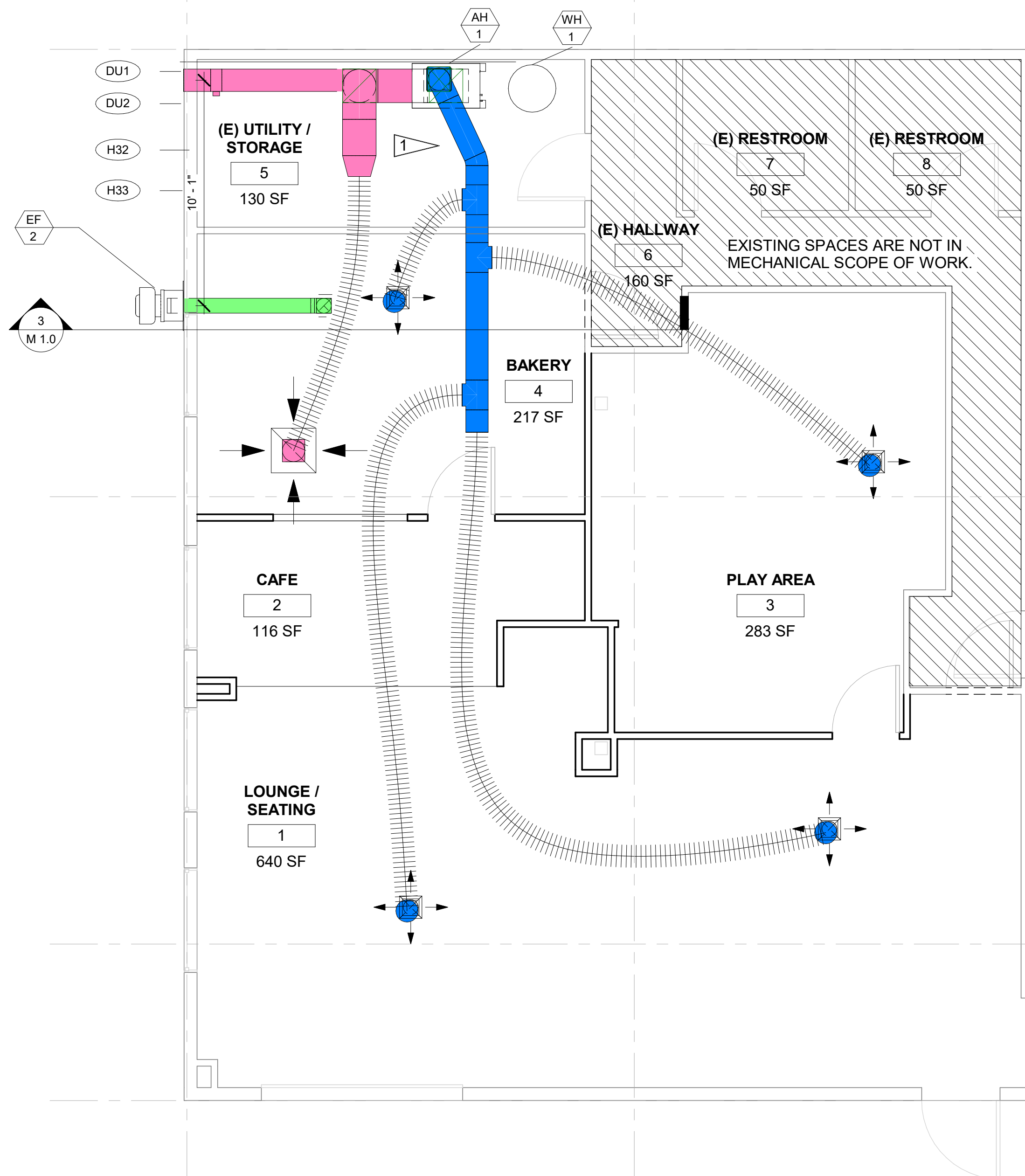
SPACES

- (E) HALLWAY
- (E) RESTROOM
- (E) UTILITY / STORAGE
- BAKERY
- CAFE
- LOUNGE / SEATING
- PLAY AREA

EXISTING MECHANICAL EQUIPMENT SCHEDULE															
QTY	TYPE MARK	MARK	DESCRIPTION	MANUFACTURER	MODEL	COOLING	MBH	CFM	STATIC PRESSURE	VOLTAGE	AMPS	MOP	WEIGHT (LBS)	COMMENTS	
1	AH	1	AIR HANDLER / FURNACE + EVAPORATOR	LENNOX	G51MP-60D-135-08 + C17860	5.0 ton	135000.0 Btu/h	2500 CFM	0.50 in-wg	208 V	5 A	20 A	206	1HP FAN MOTOR, EXISTING UNIT TO REMAIN	
1	CU	1	CONDENSING UNIT	TRANE	2TTR3060A1000AA	5.0 ton				208 V		50 A		LOCATED ON ROOF ABOVE AH-1, EXISTING UNIT TO REMAIN	
1	EF	2	Direct Drive Upblast Centrifugal Wall Exhaust Fan	Greenheck	CUE-080-VG			400 CFM	0.50 in-wg	120 V	3 A	5 A	76		
1	WH	1	WATER HEATER	RHEEM	PRO+G75-75N RH									EXISTING WATER HEATER	

SPACE SCHEDULE 2									
NAME	NUMBER	AREA	NO. OF PEOPLE	Calculated Cooling Load	Calculated Heating Load	Calculated Heating Load per area	Calculated Supply Airflow	Calculated Supply Airflow per area	
LOUNGE / SEATING	1	640 SF	8.9	1.7 ton	6027.6 Btu/h	9.42 Btu/(h-ft²)	918 CFM	1.43 CFM/SF	
CAFE	2	116 SF	1.6	0.3 ton	1106.5 Btu/h	9.54 Btu/(h-ft²)	158 CFM	1.37 CFM/SF	
PLAY AREA	3	283 SF	10.5	0.9 ton	2844.6 Btu/h	9.36 Btu/(h-ft²)	465 CFM	1.64 CFM/SF	
BAKERY	4	217 SF	4.0	0.5 ton	2059.2 Btu/h	9.47 Btu/(h-ft²)	257 CFM	1.18 CFM/SF	
(E) UTILITY / STORAGE	5	130 SF	0.4	0.2 ton	1262.6 Btu/h	9.72 Btu/(h-ft²)	125 CFM	0.96 CFM/SF	
(E) HALLWAY	6	160 SF	1.5	0.3 ton	1599.8 Btu/h	10.01 Btu/(h-ft²)	186 CFM	1.16 CFM/SF	
(E) RESTROOM	7	50 SF	0.5	0.1 ton	495.8 Btu/h	9.90 Btu/(h-ft²)	57 CFM	1.13 CFM/SF	
(E) RESTROOM	8	50 SF	0.5	0.1 ton	501.1 Btu/h	10.01 Btu/(h-ft²)	57 CFM	1.14 CFM/SF	
		1,846 SF	27.9	4.2 ton					

KEYNOTE LEGEND	
NO.	NARRATIVE
DU1	DUCT: JOINTS, SEAMS, & CONNECTIONS (IMC 603.9). METALLIC & NONMETALLIC DUCTS SHALL BE CONSTRUCTED AS SPECIFIED IN SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE AND NAIMA FIBROUS GLASS DUCT CONSTRUCTION STANDARDS. DUCTWORK SHALL BE SECURELY FASTENED AND SEALED WITH WELDS, GASKET, MASTICS, ADHESIVES, MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS, LIQUID SEALANT OR TAPES.
DU2	DUCT SHALL BE SUPPORTED (603.10) AT INTERVALS NOT TO EXCEED 12 FEET AND SHALL BE IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE. FLEXIBLE AND OTHER FACTORY MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
H32	INTERNATIONAL MECHANICAL CODE, CHAPTER 4 VENTILATION: SECTION 402 NATURAL VENTILATION 402.1 NATURAL VENTILATION OF AN OCCUPIED SPACE SHALL BE THROUGH WINDOWS, DOORS, LOUVERS, OR OTHER OPENING TO THE OUTDOORS. THE OPERATING MECHANISM FOR SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS SO THAT THE OPENING ARE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.
H33	INTERNATIONAL MECHANICAL CODE, CHAPTER 4 VENTILATION: 402.2 VENTILATION AREA REQUIRED. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED.



1 EXISTING FURNACE + AC SPLIT SYSTEM TO REMAIN. VERIFY FUNCTIONALITY AND SERVICE AS REQUIRED.

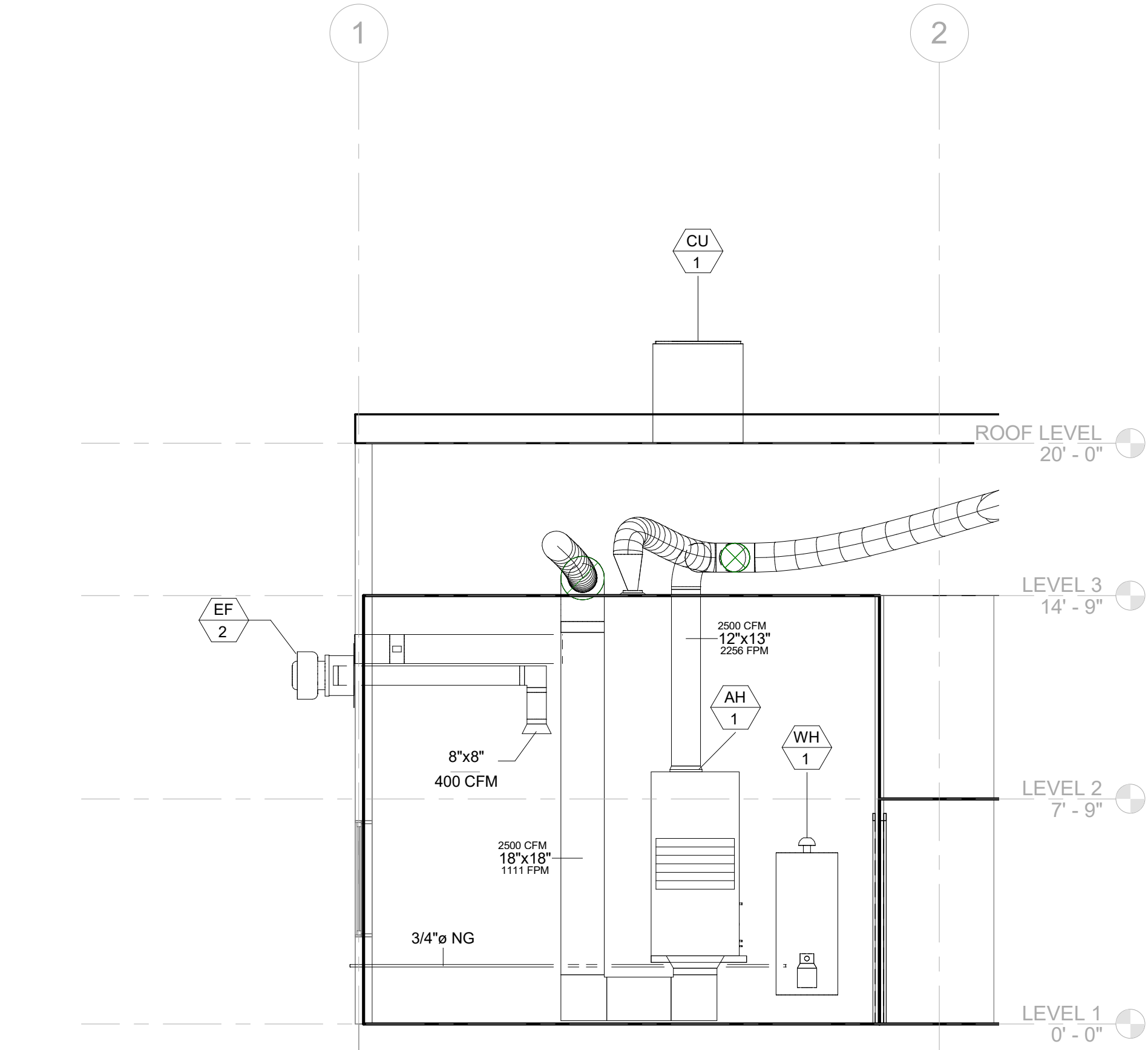
B

NATURAL VENTILATION: BAKERY+CAFE+LOUNGE+PLAY AREA

TOTAL AREA: APPROX. ~1300 SF
OPERABLE OPENING AREA: ~ 105 SF - GARAGE DOOR + MAN DOOR
PERCENT OF OPERABLE OPENING: ~8.0%

ACTUAL CONSTRUCTED SPACE MUST ADHERE TO NATURAL VENTILATION REQUIREMENTS;
OPERABLE OPENING AREA MUST BE A MINIMUM OF 4% OF THE TOTAL ROOM AREA.

CEILING HEIGHT 14'9"
NEW WALLS ARE APPROX. 8' TALL.
THEREFORE, THE BAKERY, CAFE, LOUNGE, AND PLAY AREA HAVE BEEN CALCULATED AS A SINGLE SPACE-VOLUME FOR VENTILATION REQUIREMENTS.



3 Section 3
1/4" = 1'-0"

2 MECH LEVEL 1 HVAC
1/4" = 1'-0"

Revisions

NO.	DATE	ITEM
1	6/11/24	PERMIT APPLICATION STATUS, PRCTI 20240689, ITEM 6