City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

Walmart

SUPERCENTER REMODEL

PUYALLUP, WA
STORE NO.: 02403 - 254

EXISTING SQFT:	197,124
REMODELED SQFT:	30,000
PROTO CYCLE:	03/29/24
DATE:	05/10/24
PROTO:	192

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SPECIAL ELEMENTS
OS1 OWNER SUPPLIED ITEMS

BUILDING CODE SUMMARY

	NAME OF PROJECT	02403-254 PUYALLUP, WA
	STREET ADDRESS	310 31ST AVE SE
	PROPOSED USE	RETAIL
CODES	BUILDING CODE	2021 IEBC, WORK AREA METHOD, LEVEL 2 ALTERATION
	ELECTRICAL CODE	2020 NEC
	PLUMBING CODE	2021 UPC
	MECHANICAL CODE	2021 IMC
	FIRE CODE	2021 IFC
	ACCESSIBILITY CODE	2017 ICC A 117.1
	ENERGY CODE	2021 WASHINGTON STATE ENERGY CODES
OCCUPANCY		M - MERCANTILE; WHOLESALE OR RETAIL STORE (MAIN OCCUPANCY) S1 - STORAGE AREA; RECEIVING AND STOCKROOMS (MIXED OCCUPANCY) A2 - ASSEMBLY USE; BREAKROOM AND FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY) B - BUSINESS; NON FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY)
TYPE OF CONSTRUCTION		V-B UNPROTECTED (SPRINKLERED)
ALLOWABLE AREA		UNLIMITED
FIRE PROTECTION		BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND IS SURROUNDED ON ALL SIDES BY 60 FEET MINIMUM OF PERMANENT OPEN SPACE. UNLIMITED AREA CRITERIA IS APPLICABLE.

Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permitee on site for inspection.

Calculations required to be provided by the Permittee on site for all Inspections

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections
or call for Licensing Information:
1-800-647-0982

City of Puyallup
Building
REVIEWED
FOR
COMPLIANCE
SKinnear
07/25/2024
3:16:29 PM
CITY OF PUYALLUP
STATE OF WASHINGTON

SEPARATE PERMIT

- SIGNAGE

DEFERRED SUBMITTALS

- FIRE ALARM

VICINITY MAP

NORTH

GENERAL SCOPE OF WORK

- INTERIOR WALLS: CLEAN, PREP AND PAINT.
- PHARMACY: PAINT, FIX, AND CLEAN.
- PHOTO LAB: RELOCATE AND REMODEL.
- RESTROOMS: REMODEL EXISTING CUSTOMER RESTROOMS AND FAMILY RESTROOM. INSTALL FIXTURES, EQUIPMENT, AND FINISHES.
- COURTESY DESK: CLEAN, PREP AND PAINT.
- FLOORING: VCT CONVERSION AND PVC.
- GROCERY: REMOVE REFRIGERATED CASES AND EQUIPMENT. ADD REFRIGERATED CASES, EQUIPMENT, DIGITAL DISPLAYS AND FINISHES.
- ENTRY VESTIBULE: CLEAN AND PAINT.
- ROOF: ADD ROOF TOP EQUIPMENT.
- VISION CENTER: REMODEL.
- BREAKROOM: PAINT, FIX, AND CLEAN. ADD DOOR.

GENERAL NOTES

1. BUILDING IS FULLY SPRINKLERED AS REQUIRED BY CONTRACT DOCUMENTS
   - SUBMIT FIRE SPRINKLER SYSTEM DRAWINGS AND CALCULATIONS TO AUTHORITIES HAVING JURISDICTION (FIRE DEPARTMENT AND FIRE MARSHAL)
   - OBTAIN ALL APPROVALS PRIOR TO FABRICATION OR INSTALLATION
2. OWNER WILL PROVIDE, OR HAS ALREADY PROVIDED, FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10
   - AUTHORITY HAVING JURISDICTION WILL APPROVE FINAL FIRE EXTINGUISHER LOCATIONS.
3. WALMART'S ALARM CENTRAL'S ENGINEERING TEAM HAS CONTACTED THE AUTHORITY HAVING JURISDICTION FOR PRE-PLAN DATA ABOUT STATE AND LOCAL REQUIREMENTS THAT DIFFER FROM THE NATIONALLY PUBLISHED CODES AND STANDARDS
   - A COMPLETE SITE SPECIFIC SUBMITTAL IS BEING MADE DIRECTLY TO THE AUTHORITY HAVING JURISDICTION
   - QUESTIONS SHALL BE DIRECTED TO 1-800-530-9924, OPTION 3
4. THE MAXIMUM STORAGE HEIGHT IS TWELVE FEET EXCEPT IN THE GENERAL MERCHANDISE RECEIVING AREA IMMEDIATELY ADJACENT TO THE DOCK DOORS
   - THE STOCKROOM WILL HAVE A STACKING HEIGHT OF 15 FEET OF CLASS I-IV COMMODITIES IN FIXED, SINGLE AND DOUBLE ROW RACKS
   - THE STACKING HEIGHT OF THE ROLLING RACK AREA WILL NOT EXCEED 12 FEET
5. REINSTALL ALL FIRE EXTINGUISHERS IMMEDIATELY FOLLOWING COMPLETION OF FINAL FINISH TO MOUNTING SURFACE.
6. REFER TO GENERAL CONTRACTOR PERMIT, REGISTRATION, NOTIFICATION INSPECTION AND INSTALLER CERTIFICATION(GCPRN) REPORT LOCATED IN GC PERMIT INFORMATION FOLDER ON OWNER'S DOCUMENT DELIVERY WEBSITE

ARCHITECTURAL	STRUCTURAL/RACKING	FIRE PROTECTION	PLUMBING	MECHANICAL	REFRIGERATION	ELECTRICAL	CIVIL	BUILDING OFFICIAL
BRR ARCHITECTURE, INC. ARCHITECT OF RECORD 8131 METCALF AVENUE, SUITE 300 OVERLAND PARK, KANSAS 66204	JOHNSTON BURKHOLDER ASSOCIATES ENGINEER OF RECORD 930 CENTRAL KANSAS CITY, MISSOURI 64105	TELGIAN ENGINEERING & CONSULTING ENGINEER OF RECORD 900 CIRCLE 75 PARKWAY SE SUITE 680 ATLANTA, GA 30339	HARGIS ENGINEERS, INC. BRIAN A. HAUGK 1201 THIRD AVE, SUITE 600 SEATTLE, WA 98101	HARGIS ENGINEERS, INC. BRIAN A. HAUGK 1201 THIRD AVE, SUITE 600 SEATTLE, WA 98101	HARGIS ENGINEERS, INC. BRIAN A. HAUGK 1201 THIRD AVE, SUITE 600 SEATTLE, WA 98101	HARGIS ENGINEERS, INC. ROBERT D. SMITH 1201 THIRD AVE, SUITE 600 SEATTLE, WA 98101	GALLOWAY & COMPANY BRANDON ALLEY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111	CITY OF PUYALLUP BUILDING SERVICES & FIRE PREVENTION 333 S MERIDIAN, 2ND FLOOR PUYALLUP, WA, 98371

brr
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9095
FAX: 913-262-9044

PRCTI20241065

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CONSULTANTS

Walmart
PUYALLUP, WA
310 31ST AVE SE
STORE NO: 02403 - 254
JOB NUMBER: 9654624 | PROTO: 192

ISSUE BLOCK

CHECKED BY:	DMJ KJS EK
DRAWN BY:	EP
PROTO CYCLE:	03/29/24
DOCUMENT DATE:	05/10/24

13088 REGISTERED ARCHITECT
MARIAH MEYER
STATE OF WASHINGTON
06/13/2024

COVER SHEET

SHEET: C1

6/10/2024 11:05:49 AM

3302.1 ALTERATIONS, REPAIRS AND ADDITIONS. REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.

EXCEPTIONS:

1.WHERE SUCH REQUIRED ELEMENTS OR DEVICES ARE BEING ALTERED OR REPAIRED, ADEQUATE SUBSTITUTE PROVISIONS SHALL BE MADE.

2.MAINTENANCE OF SUCH ELEMENTS AND DEVICES IS NOT REQUIRED WHERE THE EXISTING BUILDING IS NOT OCCUPIED.

THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ENSURING THAT EXIT ACCESS AND EXITING CAPACITY WILL BE MAINTAINED IN A CODE COMPLIANT MANNER WHILE WORK IS BEING PERFORMED ON SITE. COORDINATION WILL BE REQUIRED WITH THE STORE MANAGER AND CLIENT CONSTRUCTION MANAGER, TO ENSURE CUSTOMER AND ASSOCIATE SAFETY IN THE EVENT OF AN EMERGENCY.

APPROVED PLAN
CITY OF PUYALLUP
PLANNING DIVISION

APPROVED BY: ARamirez

DATE: 07/09/2024

CASE NO.:PRCTI20241065

CONDITIONS:

City of Puyallup
Development
Engineering
APPROVED

See permit conditions.

AHunt
07/22/2024
11:12:07 AM

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

OCCUPANCY COLOR LEGEND
A2 - ASSEMBLY
A3 - TRAINING
B - BUSINESS
F1 - KITCHEN
M - INSIDE SEASONAL
M - MERCANTILE
M - OUTSIDE SEASONAL
S1 - STORAGE

DISTANCE OF TRAVEL

SPRINKLERED 250'

OCCUPANCY LOAD CALCULATIONS:

A2 - ASSEMBLY:	1,075	SF/ 15	=	72
A3 - TRAINING:	531	SF/ 15	=	36
B - BUSINESS:	2,836	SF/ 150	=	19
F1 - KITCHEN:	3,380	SF/ 200	=	17
M - INSIDE SEASONAL:	3,518	SF/ 60	=	59
M - MERCANTILE:	149,544	SF/ 60	=	2,492
M - OUTSIDE SEASONAL:	19,161	SF/ 60	=	319
S1 - STORAGE:	34,550	SF/ 300	=	115
TOTAL OCCUPANCY LOAD				3,129

EGRESS WIDTH REQUIRED:

EGRESS INCHES REQUIRED 0.2 INCHES PER PERSON SERVED

MINIMUM CLEAR WIDTH =
33" FOR 3'-0" DOOR OPENING
45" FOR 4'-0" DOOR OPENING
129" FOR 12'-0" BANK OF SLIDERS

EGRESS WIDTH REQUIRED (INCHES) EQUALS:
(AREA OCCUPANT LOAD) X (EGRESS WIDTH PER PERSON SERVED)

INSIDE SEASONAL/MERCANTILE/OUTSIDE SEASONAL:

(59+2,492+319) = 2,870	OCCUPANTS	X	0.2	= 574	INCHES REQUIRED
2	3'-0" DOORS	X	33	= 66	INCHES PROVIDED
5	6'-0" DOORS	X	66	= 330	INCHES PROVIDED
5	8'-0" DOORS	X	88	= 440	INCHES PROVIDED
	VESTIBULE A			= 176	INCHES PROVIDED
	VESTIBULE B			= 176	INCHES PROVIDED
	TOTAL INCHES PROVIDED			= 1,188	INCHES PROVIDED

ASSEMBLY/TRAINING/BUSINESS/KITCHEN/STORAGE:

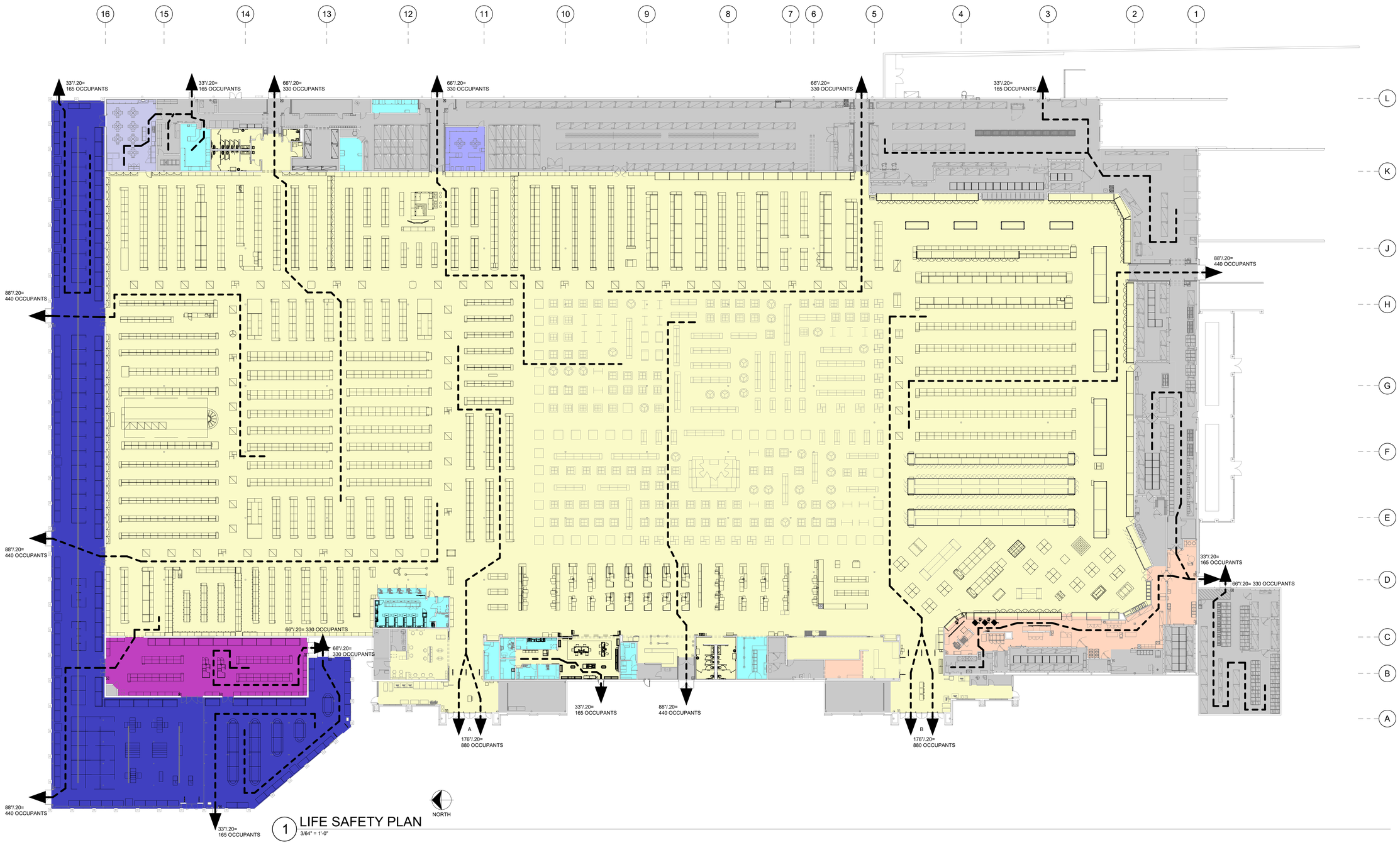
(72+36+19+17+115) = 259	OCCUPANTS	X	0.2	= 52	INCHES REQUIRED
4	3'-0" DOORS	X	33	= 132	INCHES PROVIDED
1	6'-0" DOORS	X	66	= 66	INCHES PROVIDED
	TOTAL INCHES PROVIDED			= 198	INCHES PROVIDED

TOTAL:

3,129	OCCUPANTS	X	0.2	= 626	INCHES REQUIRED
6	3'-0" DOORS	X	33	= 198	INCHES PROVIDED
6	6'-0" DOORS	X	66	= 396	INCHES PROVIDED
5	8'-0" DOORS	X	88	= 440	INCHES PROVIDED
	VESTIBULE A			= 176	INCHES PROVIDED
	VESTIBULE B			= 176	INCHES PROVIDED
	TOTAL INCHES PROVIDED			= 1,386	TOTAL INCHES PROVIDED

SHEET NOTES

1. MAINTAIN A MINIMUM OF 3'-0" AISLE WIDTH ON THE SALES FLOOR WHERE MERCHANDISE OR OTHER OBSTRUCTIONS ARE PLACED ON ONE SIDE OF THE AISLE, AND 3'-6" AISLE WIDTH WHEN SUCH OBSTRUCTIONS ARE PLACED ON BOTH SIDES OF THE AISLE.
2. ALL EXIT SIGNS AND EMERGENCY LIGHTS ARE SHOWN ON SHEET E1, (SYMBOL LEGEND ON E3), AND WILL BE SUBJECT TO INSPECTION FROM THE FIRE MARSHAL HAVING AUTHORITY PRIOR TO FINAL APPROVALS.
3. 250' MAX. TRAVEL DISTANCE IS SHOWN AS A DASHED LINE.
4. REF N1 FOR TACTILE EXIT SIGNAGE.



1 LIFE SAFETY PLAN
3/64" = 1'-0"

brr
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9095
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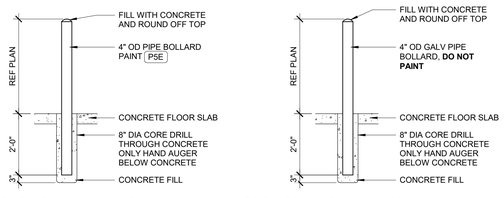
13088 REGISTERED ARCHITECT
MARIAH MEYER
STATE OF WASHINGTON
06/13/2024

LIFE SAFETY PLAN

SHEET:
LS1

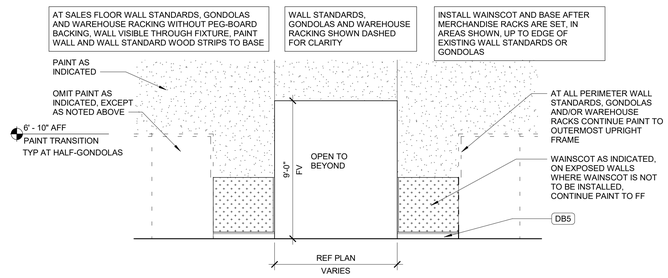
6/6/2024 4:33:41 PM

NOTE TO GC:
CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITIES IN AREA OF BOLLARD BEFORE EXCAVATING

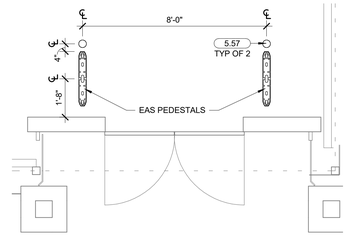


SECTION AT INTERIOR **SECTION AT GARDEN CENTER**

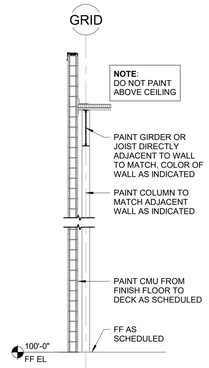
9 GARDEN CENTER/INTERIOR BOLLARD DETAIL
1/2" = 1'-0"



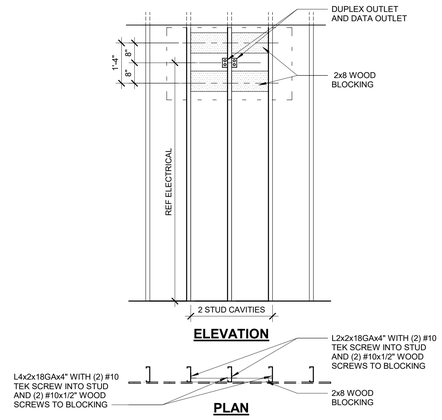
7 SALES WALL FINISHES @ PERIMETER HALF-GONDOLAS
1/4" = 1'-0"



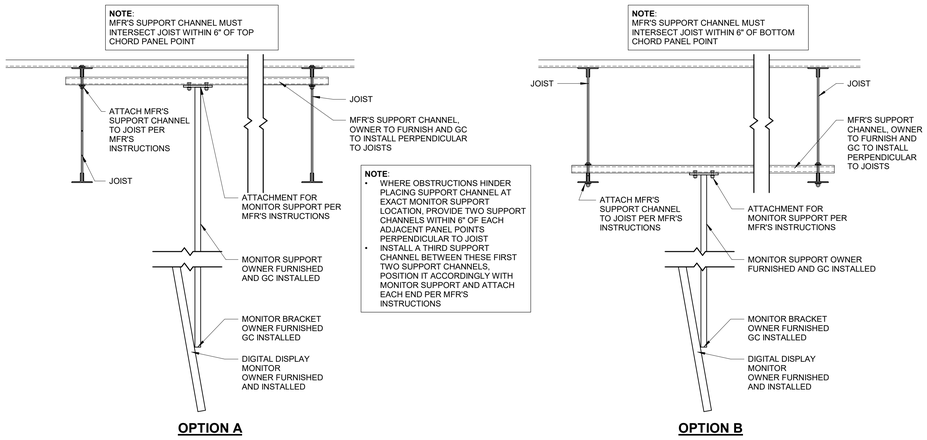
8 BOLLARDS AT GC EAS PEDESTALS
3/8" = 1'-0"



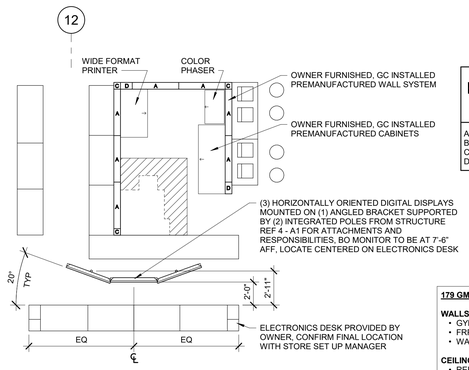
6 EXISTING EXT CMU WALL SECTION
1/4" = 1'-0"



5 TV BRACKET BLOCKING
1/2" = 1'-0"



4 MONITOR SUPPORT BRACKET (OWNER FURNISHED)
3/4" = 1'-0"



3 PHOTO LAB PLAN
3/16" = 1'-0"

PRE-MANUFACTURED WALL SCHEDULE

A	4'-0" LONG WALL PANEL ASSEMBLY
B	2'-0" LONG WALL PANEL ASSEMBLY
C	CORNER ASSEMBLY
D	1'-0" LONG WALL PANEL ASSEMBLY

179 GM STOCKROOM

WALLS
- GYP BD: PATCH AND REPAIR, REF FINISH PLAN
- FRP: REPLACE IF DAMAGED
- WAINSCOT: REPLACE IF DAMAGED, REF FINISH PLAN

CEILING
- REF SHEET SA1 FOR CEILING SCHEDULE

REPAIR / REMOVE / REPLACE
- REPLACE MOP SINK IF BROKEN, CRACKED

500 GLAZED CANOPY, 501 GARDEN CENTER

WALLS
- CLEAN ENTIRE STRUCTURE (INTERIOR)

FLOOR
- CLEAN ENTIRE STRUCTURE (INTERIOR)

CEILING
- CLEAN ENTIRE STRUCTURE (INTERIOR)

REPAIR / REMOVE / REPLACE
- DEEP CLEAN ALL FANS
- CONFIRM ALL FANS ARE WORKING, IF DAMAGED REPLACE

100 SALES, 126 SEASONAL SHOP

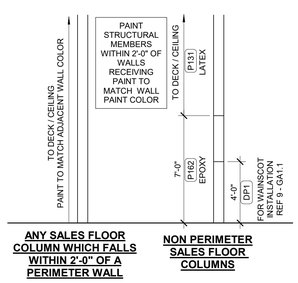
WALLS
- GYP BD: PATCH AND REPAIR DAMAGED AND PAINT TO CEILING OR STRUCTURE, REF A1 FOR PAINT,
- INSTALL PS7 WAINSCOT AND DB5 BASE UNO, EXTEND WAINSCOT AND BASE AT EXPOSED WALL TO NEAREST MERCHANDISE RACK, REF 7-A3
- CMU: REF A1 FOR PAINT, WHERE BASE IS EXISTING, IT IS ETR

FLOOR
- REF FLOOR FINISH PLAN

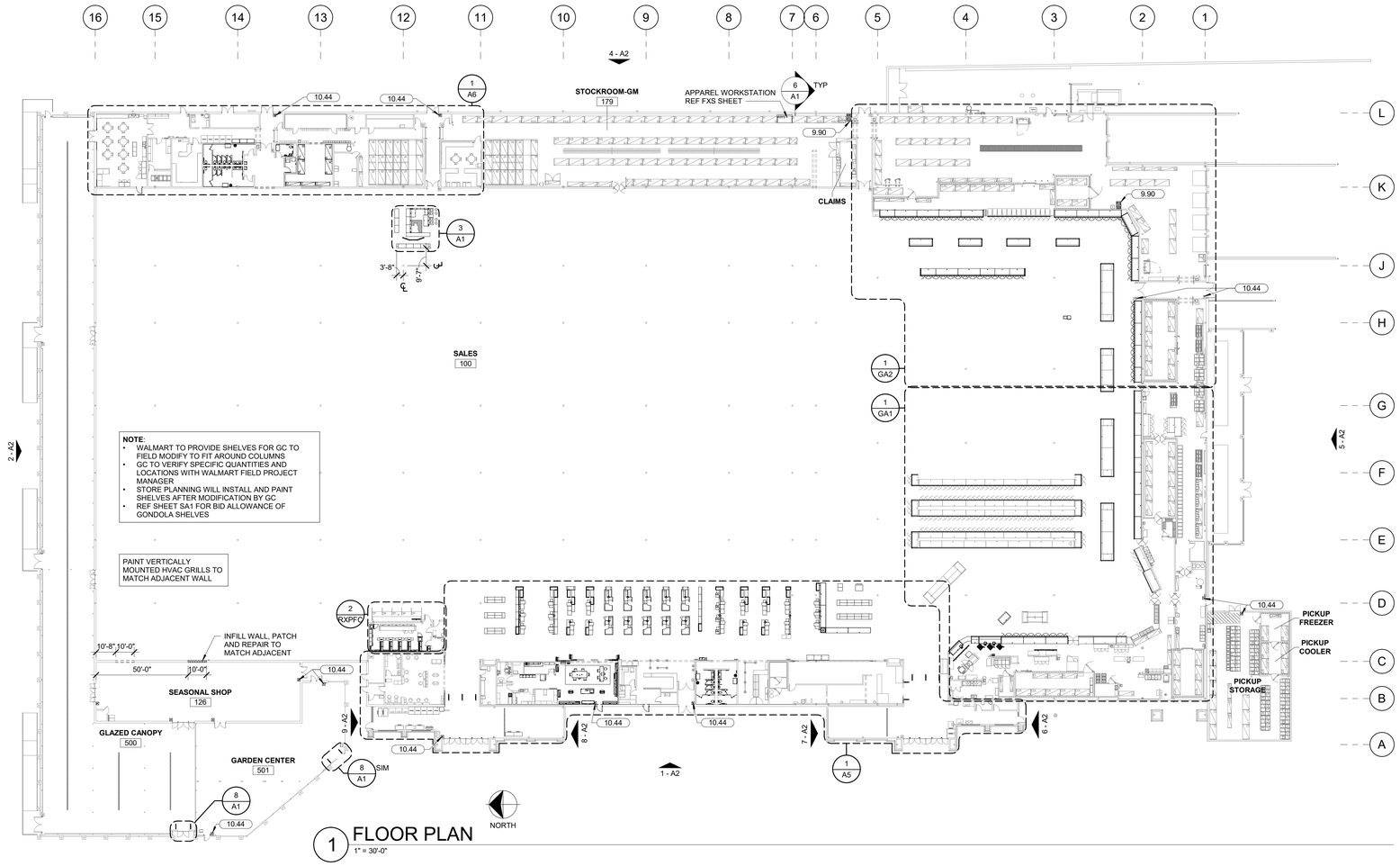
CEILING
- REF SHEET SA1 FOR CEILING SCHEDULE
- REMOVE ANY UNUSED ELECTRICAL DROPS THROUGHOUT SALES FLOOR
- ADD LIGHTING TO SOFFITS GREATER THAN 24" ABOVE BREAD WALL, IF EXISTING LIGHTING IS NON-LED, REPLACE WITH LED

COLUMNS
- REF DETAILS 2-A1

REPAIR / REMOVE / REPLACE
- REPLACE DAMAGED OUTLETS, NON-ALMOND TO MATCH EXISTING COLOR, REPLACE ALMOND WITH WHITE
- REPLACE CUSTOMER VISIBLE ALMOND OUTLETS WITH WHITE
- REPLACE DAMAGED AND CUSTOMER VISIBLE OUTLET COVER PLATES WITH BRUSHED STAINLESS STEEL, INCLUDING BLANK PLATES, INCLUDING COLUMNS
- CLEAN OR REPLACE DAMAGED DIFFUSERS AND RETURNS
- REPLACE DAMAGED PARTS OF IMPACT DOORS



2 COLUMN COLORS
1/4" = 1'-0"



1 FLOOR PLAN
1" = 30'-0"

City of Puyallup Development & Permitting Services ISSUED PERMIT

Building | Planning | Engineering | Public Works | Fire | Traffic

SHEET NOTES

1. ENSURE ALL EXISTING WALL STANDARDS AND HALF GONDOLAS TO REMAIN ARE SECURE TO WALL
2. RELOCATE AND/OR INSTALL PREFABRICATED CASH WRAP(S) FOR CHECKOUTS AND SERVICE COUNTERS
   - CAULK BASE TO FLOOR WHEN LOCATION IS FINALIZED
3. RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OTHERS
   - ANCHORING OF UPRIGHTS TO BE PERFORMED BY GC
4. IF PRICE READERS, FIRE EXTINGUISHERS, PAPER TOWEL DISPENSERS, ETC ARE STRAPPED TO COLUMNS ON SALES FLOOR, REMOVE AND REINSTALL USING SCREWS. STRAPPED ATTACHMENT TO REMAIN AT BRACE FRAMED COLUMNS. REF SHEET SA1 FOR BID ALLOWANCE

KEYNOTES

5.57	32" STAINLESS STEEL BOLLARD, 4" OD FURNISHED BY OWNER, INSTALLED BY GC
9.90	FLOOR STRIPES. REF N1 FOR STRIPING CONDITIONS.
10.44	PROVIDE TACTILE "EXIT" SIGN. REF N1.

brr
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com
TEL: 913-262-9095
FAX: 913-262-9044

PRCTI20241065

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PROTO CYCLE:	03/29/24
DOCUMENT DATE:	05/10/24

13088 REGISTERED ARCHITECT
MARIAH MEYER
STATE OF WASHINGTON
06/13/2024

FLOOR PLAN

SHEET: A1

5/10/2024 11:30:39 PM

GENERAL NOTES

1.0 GENERAL
- 1.1 ALL FIXTURES SHALL BE DESIGNED TO MEET ALL BUILDING CODE REQUIREMENTS INCLUDING SECTION 2209.1 OF THE 2021 IBC.
- 1.2 JOHNSTON BURKHOLDER ASSOCIATES HAS DESIGNED THE BASE ANCHORAGE, MEMBERS AND CONNECTIONS FOR THE FIXTURES SHOWN ON THIS INSTALLATION DRAWING TO RESIST DESIGN SEISMIC LATERAL FORCES FOR THE BUILDING CODES NOTED IN THE "DESIGN LOADS" TABLE ON THIS SHEET. INSTALLATION OF THE FIXTURES SHALL MEET THE LAYOUT SHOWN ON THE FIXTURE LAYOUT PLAN, PROVIDED BY OWNER.

2.0 SLAB AND FOUNDATION
- 2.1 SLAB ON GRADE IS ASSUMED TO HAVE A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH.
- 2.2 THE SLAB ON GRADE IS ASSUMED TO BE A MINIMUM OF 4 INCHES THICK (5 1/2 INCHES THICK MINIMUM AT THE EXTERIOR GARDEN CENTER AND RECEIVING AREAS), UNREINFORCED AND PLACED OVER A MINIMUM OF 4 INCHES OF DRAINAGE FILL.
- 2.3 THE SLAB ON GRADE IS DESIGNED TO BEAR ON A NET SOIL BEARING CAPACITY OF 1500 PSF MINIMUM.

3.0 MATERIAL FOR RACKS AND ANCHORAGE
- 3.1 ALL ANCHORS TO THE SLAB SHALL BE AS NOTED ON THESE PLANS.
- 3.2 OWNER IS TO PROVIDE MAINTENANCE PER RMI/ANSI MH16.1 SECTION 1.4.1.
- 3.3 FIXTURE INSTALLER SHALL OBTAIN OUT-OF-PLUMB INSTALLATION TOLERANCE FROM FIXTURE SUPPLIER PRIOR TO INSTALLATION PER RMI/ANSI MH16.1 SECTION 1.4.11.1.
- 3.4 NO FIELD WELDING IS PERMITTED. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS, IN AN APPROVED SHOP. USE E70xx WELD RODS OR EQUAL TO TENSILE STRENGTH OF BASE METAL OF WELDMENTS. PER AWS D1.1 OR D1.3.
- 3.5 PROVIDE 6" AT 120° TALL RACKS AND 4 1/2" AT RACKS LESS THAN 120° (OR EQUAL TO 5% OF THE UPRIGHT FRAME HEIGHT) MINIMUM CLEARANCE BETWEEN OTHER RACK FIXTURES OR ADJACENT BUILDING ELEMENTS PER ASCE 7-16, SECTION 15.5.3.3.4.

4.0 ROLES AND RESPONSIBILITIES FOR DEMOLITION AND INSTALLATION OF SHELVING AND RACKING FIXTURES
- 4.1 RELOCATION AND SETUP OF GONDOLAS AND/OR RACKING AS INDICATED ON FXS SHEETS WILL BE PERFORMED BY OTHERS. ANCHORING OF UPRIGHTS TO BE PERFORMED BY GENERAL CONTRACTOR.
- 4.2 GENERAL CONTRACTOR TO ANCHOR ALL SHELVING AND RACKING FIXTURES ACCORDING TO THE REQUIREMENTS NOTED ON THE FXS SHEETS.
- 4.3 FIXTURE ANCHORING SHALL BE ACCOMPLISHED SIMULTANEOUSLY WITH FIXTURE INSTALLATION.
- 4.4 ENSURE ALL EXISTING WALL STANDARDS AND HALF GONDOLAS TO REMAIN ARE SECURE TO WALL.
- 4.5 GENERAL CONTRACTOR SHALL ENSURE THAT PROPER PROCEDURES AND WORK SEGREGATION ARE IN PLACE DURING ALL FIXTURE ANCHORING PROCEDURES.
- 4.6 GENERAL CONTRACTOR TO CLEAN ALL RESIDUE FROM SURROUNDING FIXTURES AND AREA AS ANCHORING IS COMPLETED (CLEAN AS YOU GO).
- 4.7 GENERAL CONTRACTOR IS TO PERFORM ALL REMOVAL AND INSTALLATION OF ANCHOR STRAPS AND/OR BOLTS AT FIXTURES REQUIRING PERMANENT OR TEMPORARY RELOCATION.

DESIGN LOADS

1. BUILDING CODE	
A. BUILDING CODE	2021 IBC
2. GRAVITY LOADS	
A. REFER TO MANUFACTURER'S RATED LOADS.	
3. LATERAL LOADS	
A. SEISMIC LOADS	
1. 5% DAMPED SPECTRAL RESPONSE COEFF (Sds)	0.841 g
2. 1-SEC PERIOD SPECTRAL RESPONSE COEFF (Sd1)	0.541 g
3. SEISMIC DESIGN CATEGORY	D
4. SEISMIC SITE CLASS	D (DEFAULT)
5. NON-BUILDING STRUCTURAL SYSTEM AND SEISMIC RESISTING SYSTEM	STEEL STORAGE RACKS
6. RESPONSE MODIFICATION FACTOR (R)	4.0
7. OVERSTRENGTH FACTOR (Ωo)	2.0
8. IMPORTANCE FACTOR (Ip)	
- SALES FLOOR & GARDEN CENTER AREA	1.5 (PUBLIC ACCESS AREA)
- STORAGE AREA	1.0 (NO PUBLIC ACCESS)
9. ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE
10. DESIGN BASE SHEAR (PER RMI 2.6.2)	
- SALES FLOOR & GARDEN CENTER FIXTURES	0.315W (PUBLIC ACCESS AREA)
- STORAGE AREA RACKS	0.210W (NO PUBLIC ACCESS)

SPECIAL INSPECTIONS REQUIRED

SPECIAL INSPECTION AS REQUIRED BY SECTION 1704 OF THE 2021 INTERNATIONAL BUILDING CODE OR BY THE ENGINEER OF RECORD:

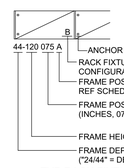
PERIODIC SPECIAL INSPECTIONS:

1. POST INSTALLED ANCHORS - MECHANICAL - USED FOR THE ANCHORAGE OF STORAGE RACK OR SALES FLOOR SHELVING FIXTURES, PER SECTION 1705.3, TABLE 1705.3(4.b.) AND 1705.13.7 OF THE 2021 INTERNATIONAL BUILDING CODE FOR EACH ANCHOR LISTED IN THE "ANCHOR BOLT DETAIL" ON SHEET FXS2.

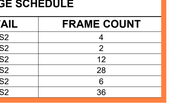
NOTES:
1. SPECIAL INSPECTIONS NOTED ABOVE SHALL BE PROVIDED BY, BUT NOT LIMITED TO, THE OWNER'S CONSTRUCTION TESTING LABORATORY (CTL). REFERENCE SPECIFICATIONS FOR DETAILS.

RACK FIXTURE SCHEDULE

FIXTURE MARK	FIXTURE DESCRIPTION	TOP SHELF HEIGHT	FRAME MARK	MAX SHELF LOAD (LBS)
AWS	DESK STORAGE RACK	120"	DESK : 24/44-120 075A	1035
B	STORAGE RACK	120"	FRAME : 44-120 125S	3300
D	STORAGE RACK	120"	FRAME : 24-120 075A	1035
T	SALES FLOOR RACK	60"	FRAME : 36-60 075B	600
W-int	SALES FLOOR RACK	84"	FRAME : 44-84 075B	1200
W-int	SALES FLOOR RACK	84"	FRAME : 48-84 075B	1200



TYP RACK FIXTURE SYMBOL



RACK SYMBOL LEGEND

RACK FRAME & ANCHORAGE SCHEDULE

FRAME MARK	ANCHOR DETAIL	FRAME COUNT
24-120 075A	2-FXS2 & 6A-FXS2	4
24/44-120 075A	2-FXS2 & 6A-FXS2	2
36-60 075B	2-FXS2 & 6B-FXS2	12
44-84 075B	2-FXS2 & 6B-FXS2	28
44-120 125S	2-FXS2 & 6A-FXS2	6
48-84 075B	2-FXS2 & 6B-FXS2	36

ANCHORAGE BILL OF MATERIALS

USAGE	MATERIAL TYPE	COUNT
ANCHOR	HILTI KWIK BOLT TZ2 – 1/2" DIAMETER x 3 3/4"	59
ANCHOR	HILTI KWIK BOLT TZ2 – 3/8" DIAMETER x 3 3/4"	3886
STRAP	ANCHOR STRAPS (GONDOLA)	3428
WALL ANCHOR	CMU - 3/8" DIA x 5" ITW RED HEAD LARGE DIAMETER TAPCON (#LDT3850)	95
WALL ANCHOR	MTL STUD WALLS – 1/4" DIA x 6" LAG SCREWS	121

NOTES:
1. ANCHOR BOLTS AND STRAPS AS NOTED ARE FURNISHED BY AND INSTALLED BY THE GENERAL CONTRACTOR (GC).
2. ANCHOR STRAP SUPPLIER CONTACT INFORMATION:
   LOZIER: JOSH GOEDKEN, joshua.goedken@lozier.biz, (402) 457-8379
   MADIX: CHERI BAGLEY, cbagley@madixinc.com, (256) 839-6354

TEMPORARY ANCHORAGE BILL OF MATERIALS

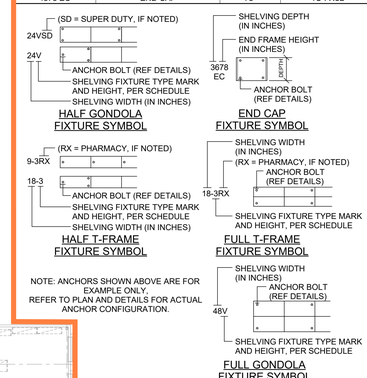
USAGE	MATERIAL TYPE	COUNT
TEMP ANCHOR	HILTI KWIK HUS-EZ - 3/8" DIAMETER x 3"	1656
TEMP STRAP	ANCHOR STRAPS (GONDOLA)	1460

RACK'S LENGTH BY TYPE

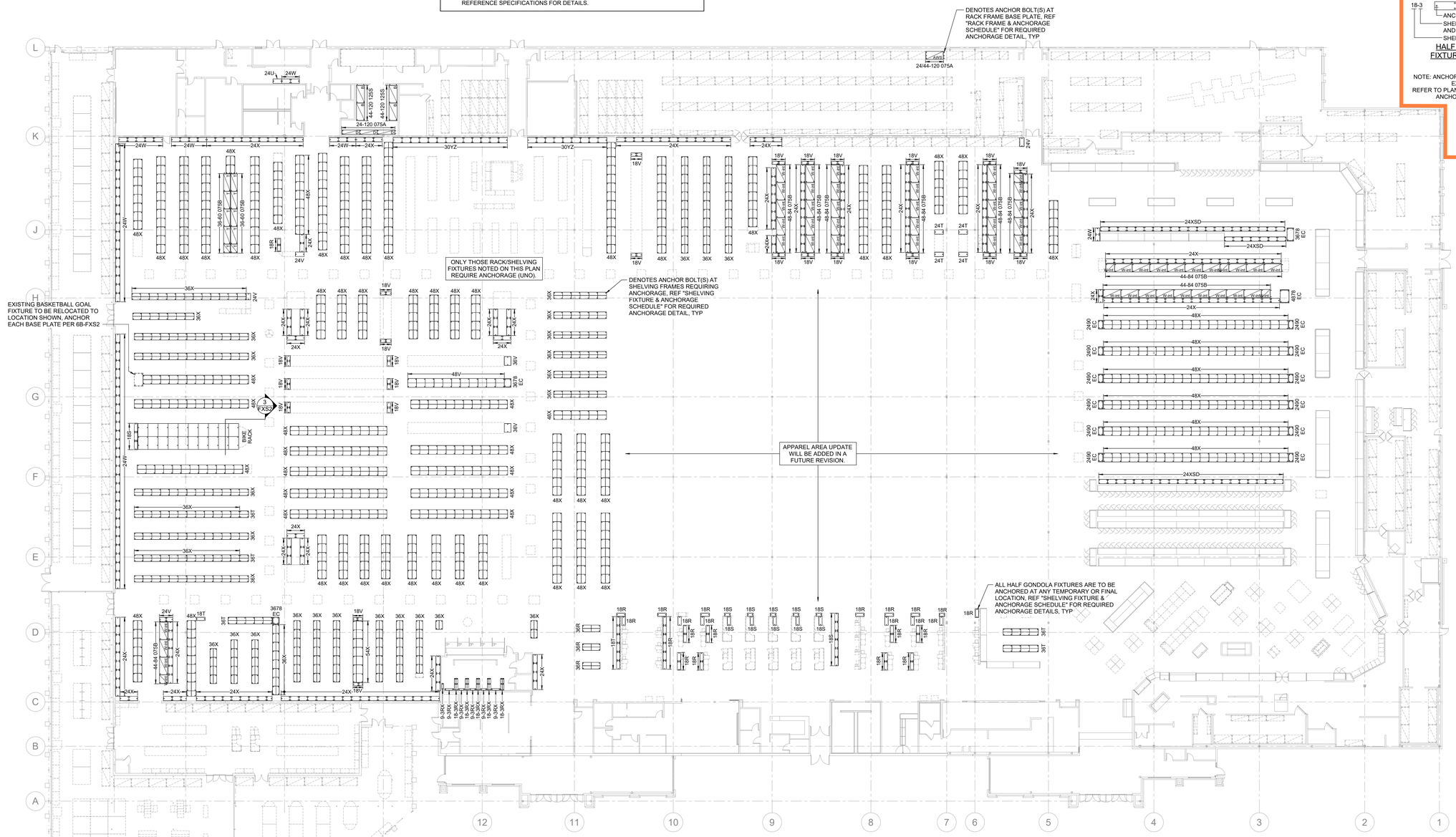
RACK MARK	RACK'S SHELF ENGTH	RACK'S FRAME POST WIDTH	RACK LENGTH
AWS	7' - 9"	3"	8' - 3"
B	7' - 9"	3"	8' - 3"
D	7' - 9"	3"	8' - 3"
T	3' - 9"	3"	4' - 3"
T	7' - 9"	3"	8' - 3"
W-int	3' - 9"	3"	4' - 3"
W-int	7' - 9"	3"	8' - 3"

SHELVING FIXTURE & ANCHORAGE SCHEDULE

FIXTURE MARK	FIXTURE DESCRIPTION	FIXTURE HEIGHT	ANCHORAGE DETAIL
9-3RX	PHARMACY HALF T-FRAME	84"	1B-FXS2
18-3RX	PHARMACY FULL T-FRAME	84"	1B-FXS2
18R	HALF GONDOLA	48"	1A-FXS2
18S	HALF GONDOLA	54"	1A-FXS2
18T	HALF GONDOLA	60"	1A-FXS2
18V	HALF GONDOLA	78"	1A-FXS2
24T	HALF GONDOLA	60"	1A-FXS2
24U	HALF GONDOLA	66"	1A-FXS2
24V	HALF GONDOLA	78"	1A-FXS2
24W	HALF GONDOLA	84"	1A-FXS2
24X	HALF GONDOLA	90"	1A-FXS2
24XSD	SUPER DUTY HALF GONDOLA	90"	1D-FXS2
30YZ	HALF GONDOLA	120"	1A-FXS2
36R	FULL GONDOLA	48"	1E-FXS2
36T	FULL GONDOLA	60"	1E-FXS2
36V	HALF GONDOLA	78"	1A-FXS2
36X	FULL GONDOLA	90"	1E-FXS2
48V	FULL GONDOLA	78"	1E-FXS2
48X	FULL GONDOLA	90"	1E-FXS2
54X	FULL GONDOLA	90"	1E-FXS2
2490 EC	END CAP	90"	1C-FXS2
3678 EC	END CAP	78"	1C-FXS2
4878 EC	END CAP	78"	1C-FXS2



NOTE: ANCHORS SHOWN ABOVE ARE FOR EXAMPLE ONLY, REFER TO PLAN AND DETAILS FOR ACTUAL ANCHOR CONFIGURATION.



1 **RACK AND SHELVING FIXTURE ANCHOR PLAN**
1" = 20'-0"

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CONSULTANTS

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CONSULTING STRUCTURAL ENGINEERS
9225 COLLEGE BLVD., SUITE 200, OVERLAND PARK, KS 66210
913-421-6200 WWW.JBASINC.COM
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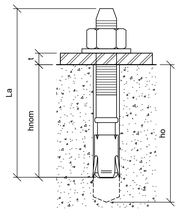
FOR CONSTRUCTION

BRIAN C. BELDEN, STATE OF WASHINGTON, 22034447, PROFESSIONAL ENGINEER
04/25/24

FIXTURE ANCHORAGE PLAN AND NOTES

SHEET:
FXS1

4/25/2024 1:16:10 PM
C:\Users\jeanne.hall\Documents\02403_PUYALLUP_WA_WM Rack_V23_brjeanne.hall.rvt



NOTE:
REF SHEET FXS1 FOR SPECIAL INSPECTIONS REQUIREMENTS FOR CONCRETE EXPANSION ANCHOR BOLTS.

TIGHTENING REQUIREMENTS:
TIGHTEN ANCHOR BOLT PER EACH DIAMETER:

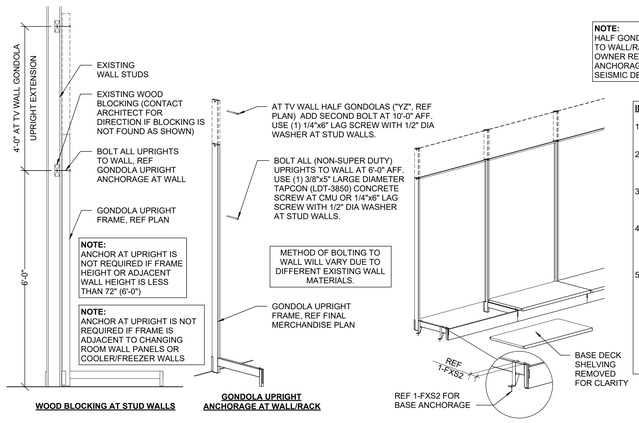
	S.S.
3/8" DIA - 30 FT-LBS	30 FT-LBS
1/2" DIA - 50 FT-LBS	40 FT-LBS
5/8" DIA - 40 FT-LBS	60 FT-LBS

t - PLATE THICKNESS
hnom - EMBEDMENT DEPTH
ho - MIN HOLE DEPTH
La - LENGTH OF ANCHOR

NOTE:
ALL ANCHOR BOLTS SHALL BE HILTI KWIK BOLT TZ2. THE ANCHORS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND PER ICC ESR-4266 REPORT. (IN CASE OF CONFLICT THE ICC ESR-4266 REPORT GOVERNS). REF BASE PLATE DETAIL FOR DIAMETER AND EMBEDMENT.

NOTE:
IF CENTERLINE OF ANCHOR BOLTS FALLS WITHIN 1" OF CONTROL JOINT, SHIFT FIXTURE 2" (MAX) PERPENDICULAR TO THE JOINT, OTHERWISE SUBMIT RFI TO THE ARCHITECT FOR ALTERNATE INSTALLATION BEFORE INSTALLING BOLTS.

12 CONCRETE EXPANSION ANCHOR BOLT DETAIL
NTS



NOTE:
ANCHOR AT UPRIGHT IS NOT REQUIRED IF FRAME HEIGHT OR ADJACENT WALL HEIGHT IS LESS THAN 72" (6'-0")

NOTE:
ANCHOR AT UPRIGHT IS NOT REQUIRED IF FRAME IS ADJACENT TO CHANGING ROOM WALL PANELS OR COOLER/FREEZER WALLS

NOTE:
HALF GONDOLAS SHALL BE ANCHORED TO WALL/RACK AS SHOWN TO SATISFY OWNER REQUIREMENTS. WALL/RACK ANCHORAGE IS NOT REQUIRED FOR SEISMIC DESIGN OR CODE COMPLIANCE.

INSTALLATION NOTES:
1. GAPS BETWEEN SHELVES SHALL NOT EXCEED 5/8".
2. UPRIGHT DEFLECTION SHALL NOT EXCEED 1 3/8" IN A HORIZONTAL PLANE.
3. SHELVES SHALL NOT SLOPE DOWN TO THE FRONT DUE TO UPRIGHT DEFLECTION.
4. SHELVES ABOVE BASE DECK SHELVING LEVEL SHALL NOT EXTEND BEYOND BASE DECK SHELVING AT ANY TIME.
5. EXTENDERS SHALL NOT BE USED ON ANY HALF GONDOLA THAT WILL CREATE A HEIGHT OF 72" OR TALLER UNLESS IT IS ANCHORED TO THE WALL. ALL HALF GONDOLAS 72" OR TALLER MUST BE ANCHORED TO THE WALL AT 72" AFF, REF GONDOLA UPRIGHT ANCHORAGE AT WALL/RACK.

10 WALL ANCHOR AT HALF GONDOLA UPRIGHT
NTS

Special Inspection required for Hilti anchors. Please see Hilti's product specifications for requirements and details.

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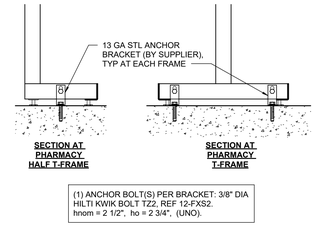
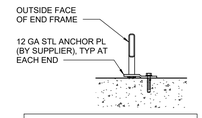


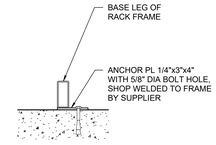
(1) ANCHOR BOLT(S) PER BRACKET: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", (UNO).

9 TYPICAL ANCHOR AT PHARMACY T-FRAMES
1 1/2" = 1'-0"



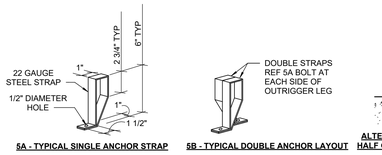
(1) ANCHOR BOLT(S) PER PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", (UNO).

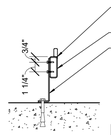
8 ANCHOR AT END CAP FRAMES
1 1/2" = 1'-0"

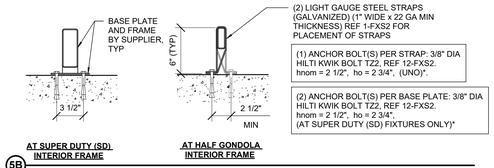


(1) ANCHOR BOLT(S) PER PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", (UNO).

7 ANCHOR AT BIKE RACK
1 1/2" = 1'-0"

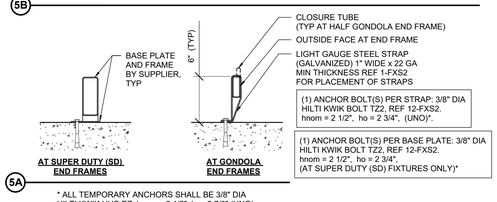






(1) ANCHOR BOLT(S) PER STRAP: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", (UNO)*.

(2) ANCHOR BOLT(S) PER BASE PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4",
(AT SUPER DUTY (SD) FIXTURES ONLY)*

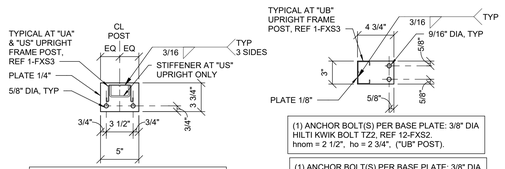


(1) ANCHOR BOLT(S) PER STRAP: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", (UNO)*.

(1) ANCHOR BOLT(S) PER BASE PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4",
(AT SUPER DUTY (SD) FIXTURES ONLY)*

* ALL TEMPORARY ANCHORS SHALL BE 3/8" DIA HILTI KWIK HUS-EZ. hnom = 2 1/2", ho =2 7/8" (UNO) REF DETAIL 4-FXS2

5 TYPICAL ANCHOR AT GONDOLA FRAMES
1 1/2" = 1'-0"



(1) ANCHOR BOLT(S) PER BASE PLATE: 1/2" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", ("UA" & "US" POST).

6A - BASE PLATE "UA" & "US" POST

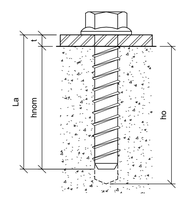
(1) ANCHOR BOLT(S) PER BASE PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4", ("UB" POST).

(1) ANCHOR BOLT(S) PER BASE PLATE: 3/8" DIA HILTI KWIK BOLT TZ2, REF 12-FXS2.
hnom = 2 1/2", ho = 2 3/4",
(AT BASKETBALL GOAL FIXTURE ONLY)

6B - BASE PLATE "UB" POST

NOTES:
1. PROVIDE SIZE AND QUANTITY OF ANCHORS AS NOTED ABOVE AT EACH UPRIGHT FRAME POST.
2. WHEN BASE PLATE CONTAINS GREATER NUMBER OF BOLT HOLES THAN ANCHORS SPECIFIED. ADDITIONAL HOLES IN BASE PLATE NEED NOT BE FILLED WITH ANCHOR BOLTS.
3. PROVIDE WASHERS AS REQUIRED TO ESTABLISH REQUIRED EMBEDMENT DEPTH "hnom".

6 TYPICAL ANCHOR AT RACK FRAMES
1 1/2" = 1'-0"



NOTE:
REF SHEET FXS1 FOR SPECIAL INSPECTIONS REQUIREMENTS FOR CONCRETE SCREW ANCHOR BOLTS.

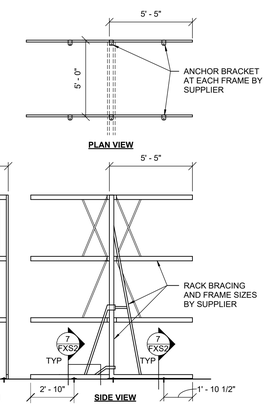
TIGHTENING REQUIREMENTS:
"SNUG TIGHT" - NO GAP BETWEEN HEAD OF ANCHOR BOLT AND BASE PLATE OR ANCHOR STRAP.

t - PLATE/STRAP THICKNESS
hnom - EMBEDMENT DEPTH
ho - MIN HOLE DEPTH
La - LENGTH OF ANCHOR

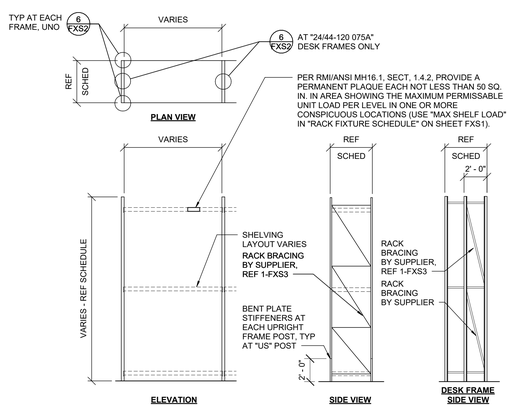
NOTE:
ALL ANCHOR BOLTS SHALL BE HILTI KWIK HUS-EZ. THE ANCHORS MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND PER ICC ESR-3027 REPORT. (IN CASE OF CONFLICT, THE ICC ESR-3027 GOVERNS). REF ANCHOR DETAILS FOR DIAMETER AND EMBEDMENT.

NOTE:
IF CENTERLINE OF ANCHOR BOLTS FALLS WITHIN 1 3/4" OF CONTROL JOINT, SHIFT FIXTURE 2" (MAX) PERPENDICULAR TO THE JOINT, OTHERWISE SUBMIT RFI TO THE ARCHITECT FOR ALTERNATE INSTALLATION BEFORE INSTALLING BOLTS.

4 ANCHOR BOLT DETAIL
NTS



3 BIKE RACK ELEVATION
1/4" = 1'-0"

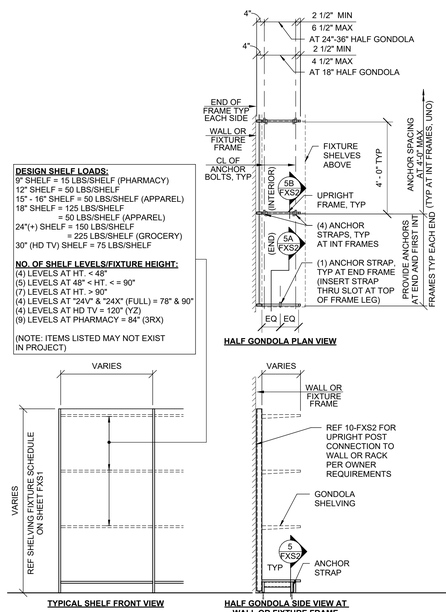


2 SALES FLOOR AND STORAGE AREA RACK ELEVATIONS
3/16" = 1'-0"

DESIGN SHELF LOADS:
9" SHELF = 15 LBS/SHELF (PHARMACY)
12" SHELF = 50 LBS/SHELF
15" - 16" SHELF = 50 LBS/SHELF (APPAREL)
18" SHELF = 125 LBS/SHELF
= 50 LBS/SHELF (APPAREL)
24"(+) SHELF = 150 LBS/SHELF
= 225 LBS/SHELF (GROCERY)
30" (HD TV) SHELF = 75 LBS/SHELF

NO. OF SHELF LEVELS/FIXTURE HEIGHT:
(4) LEVELS AT HT. < 48"
(5) LEVELS AT 48" < HT. < = 90"
(7) LEVELS AT HT. > 90"
(4) LEVELS AT "24V" & "24X" (FULL) = 78" & 90"
(4) LEVELS AT HD TV = 120" (YZ)
(9) LEVELS AT PHARMACY = 84" (3RX)

(NOTE: ITEMS LISTED MAY NOT EXIST IN PROJECT)



1 TYPICAL GONDOLA, PHARMACY T-FRAME AND END CAP SHELVING ELEVATIONS
3/8" = 1'-0"

brr
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04/25/24

FIXTURE ANCHORAGE DETAILS

SHEET:
FXS2

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City of Puyallup
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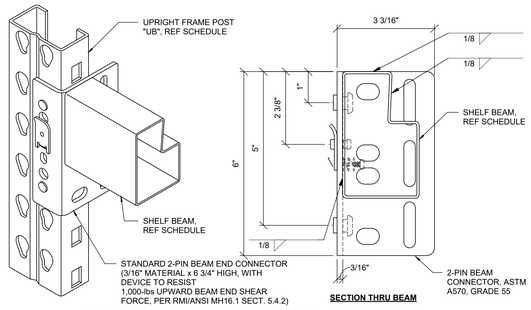
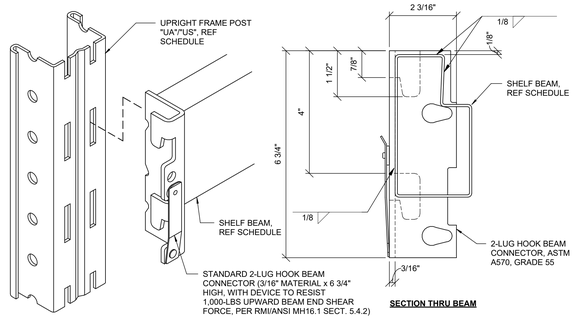
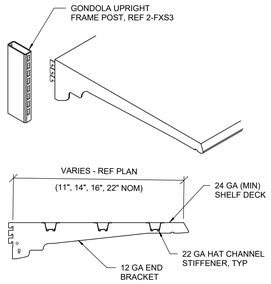
Engineering	Public Works
Fire	Traffic



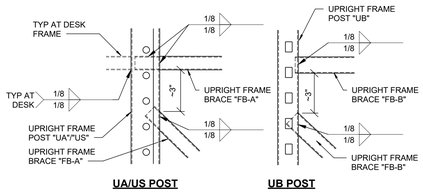
9 UPRIGHT FRAME "UB" POST TO SHELF BEAM CONNECTION
6" = 1'-0"



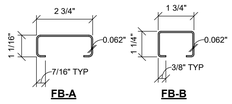
8 UPRIGHT FRAME "UA"/"US" POST TO SHELF BEAM CONNECTION
6" = 1'-0"



7 TYPICAL GONDOLA SHELF SECTION
1 1/2" = 1'-0"



6 UPRIGHT FRAME - HORIZ/DIAGONAL BEAM-TO-POST CONNECTION DETAILS
3" = 1'-0"

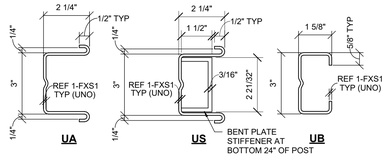


NOTE: ASTM A570, GRADE 55, Fy = 55 KSI

5 UPRIGHT FRAME BRACE SECTIONS
4" = 1'-0"

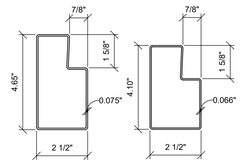
POST SCHEDULE

MARK	WIDTH	DEPTH	THICKNESS
UA-075	3"	2 1/4"	0.075"
UB-075	3"	1 5/8"	0.075"
US-125	3"	2 1/4"	0.125"



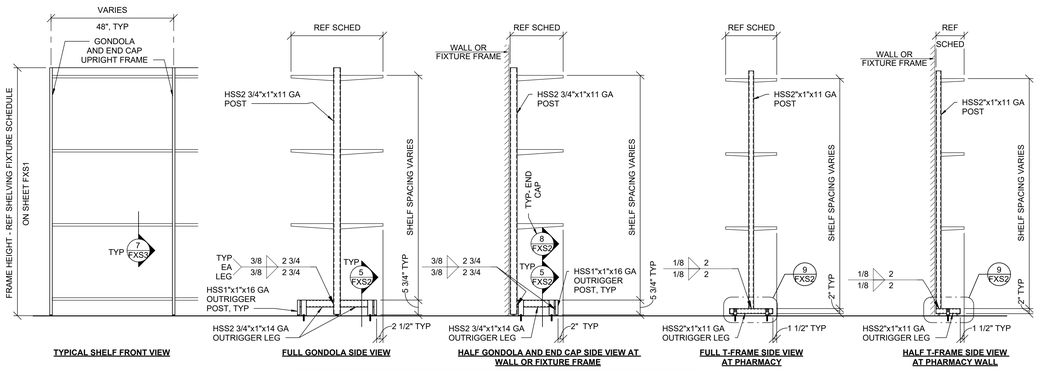
NOTE: ASTM A570, GRADE 55, Fy = 55 KSI

4 UPRIGHT FRAME POST SECTIONS
4" = 1'-0"



NOTE: ASTM A570, GRADE 55, Fy = 55 KSI

3 RACK SHELF BEAM SECTIONS
4" =1'-0"



NOTE: GONDOLA UPRIGHT AND OUTRIGGER LEG MEMBERS USE ASTM A570, GRADE 45 MATERIAL.

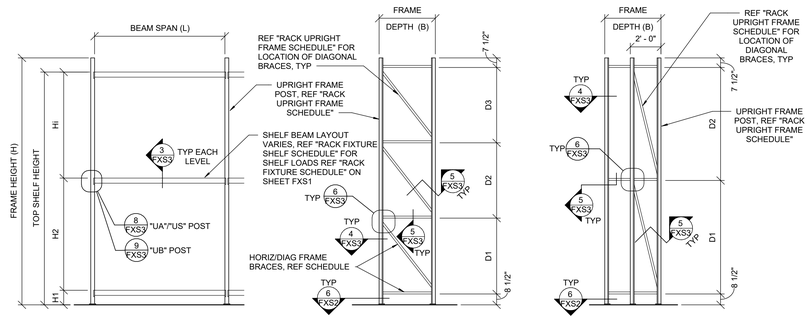
2 TYPICAL GONDOLA, PHARMACY T-FRAME AND END CAP FRAMING ELEVATIONS
1/2" = 1'-0"

RACK FIXTURE SHELF SCHEDULE

FIXTURE MARK	FRAME DEPTH (B)	FRAME HEIGHT (H)	TOP SHELF HEIGHT	RACK FIXTURE SHELF BEAM							
				BEAM MARK	BEAM SPAN (L)	H1	H2	H3	H4	H5	H6
AWS	44"	120"	120"	BEAM : SB-A	93"	36"	48"	36"	0"	0"	0"
B	44"	120"	120"	BEAM : SB-A	93"	12"	36"	36"	36"	0"	0"
D	24"	120"	120"	BEAM : SB-A	93"	12"	36"	36"	36"	0"	0"
T	36"	60"	60"	BEAM : SB-B	45"	8"	26"	26"	0"	0"	0"
T	36"	60"	60"	BEAM : SB-B	93"	8"	26"	26"	0"	0"	0"
W-int	44"	84"	84"	BEAM : SB-B	45"	12"	36"	36"	0"	0"	0"
W-int	48"	84"	84"	BEAM : SB-B	45"	12"	36"	36"	0"	0"	0"
W-int	44"	84"	84"	BEAM : SB-B	93"	12"	36"	36"	0"	0"	0"
W-int	48"	84"	84"	BEAM : SB-B	93"	12"	36"	36"	0"	0"	0"

RACK UPRIGHT FRAME SCHEDULE

FRAME MARK	FRAME DEPTH (B)	FRAME HEIGHT (H)	POST TYPE	BASE PLATE TYPE	HORIZ/DIAG FRAME BRACES				FRAME DIAGONALS		
					BRACE TYPE	D1	D2	D3	D1	D2	D3
24-120 075A	24"	120"	POST : UA-075	BASE : BP-UA	BRACE : FB-A	40"	40"	24"	Yes	Yes	No
24/44-120 075A	44"	120"	POST : UA-075	BASE : BP-UA	BRACE : FB-A	52"	52"	0"	Yes	Yes	No
36-60 075B	36"	60"	POST : UB-075	BASE : BP-UB	BRACE : FB-B	44"	0"	0"	Yes	No	No
44-84 075B	44"	84"	POST : UB-075	BASE : BP-UB	BRACE : FB-B	40"	28"	0"	Yes	No	No
44-120 125S	44"	120"	POST : US-125	BASE : BP-US	BRACE : FB-A	40"	40"	24"	Yes	Yes	No
48-84 075B	48"	84"	POST : UB-075	BASE : BP-UB	BRACE : FB-B	40"	28"	0"	Yes	No	No



1 STORAGE AREA AND SALES FLOOR RACK FRAMING ELEVATIONS
1/4" = 1'-0"

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BRIAN C. HEIDEL, STATE OF WASHINGTON, 20090449, REGISTERED PROFESSIONAL ENGINEER
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FIXTURE FRAMING DETAILS

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