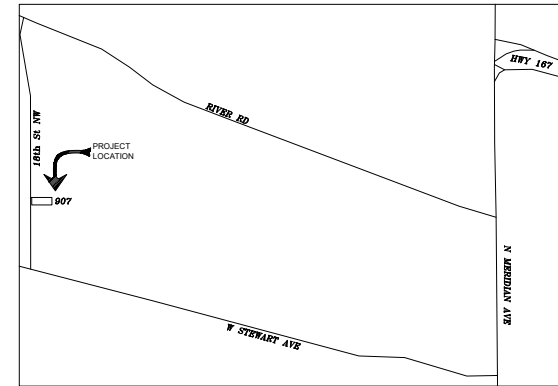
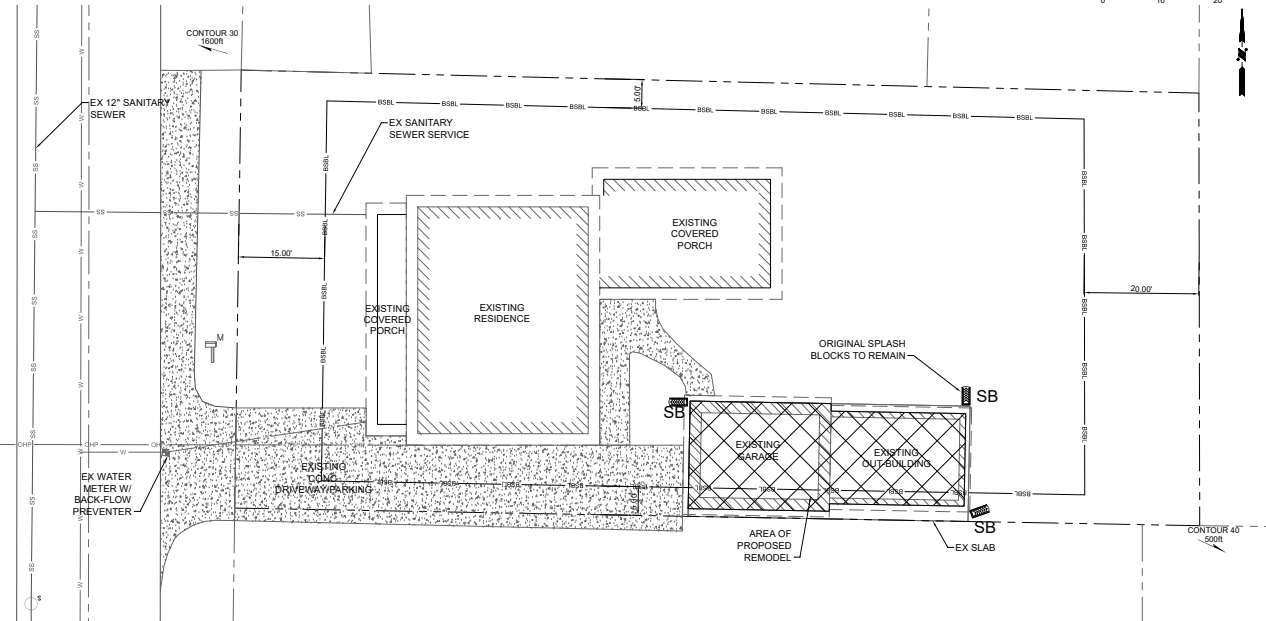


SW 1/4, SECTION 20, TOWNSHIP 20 N., RANGE 4 E., W.M.

PUYALLUP REMODEL

907 18TH ST NW, PUYALLUP, WA 98371



VICINITY MAP

LEGEND

	EXISTING	PROPOSED
SUBJECT PROPERTY LINE	---	---
ADJACENT LOT LINE	---	---
HABITAT BUFFER LINE	---	---
WETLAND BUFFER LINE	---	---
EASEMENT LINE	---	---
RIGHT-OF-WAY LINE	---	---
CENTER LINE	---	---
CONTOUR, MAJOR	---	---
CONTOUR, MINOR	---	---
CONIFEROUS TREE	---	---
DECIDUOUS TREE	---	---
STREET SIGN	---	---
POWER LINE	---	---
OVERHEAD POWER LINE	---	---
POWER POLE	---	---
GLY WIRE	---	---
POWER VAULT	---	---
STREET LIGHT	---	---
NATURAL GAS LINE	---	---
TELEPHONE LINE	---	---
TELEPHONE MANHOLE	---	---
TELEPHONE PEDESTAL	---	---
CABLE LINE	---	---
CABLE PEDESTAL	---	---
STORM MAIN LINE	---	---
FOOTING DRAIN LINE	---	---
ROOF DRAIN LINE	---	---
CATCH BASIN	---	---
TYPE I CATCH BASIN	---	---
YARD DRAIN	---	---
DOWNSPOUT	---	---
WATER MAIN LINE	---	---
WATER METER	---	---
BLOWOFF VALVE FIRE HYDRANT	---	---
GATE VALVE	---	---
SEWER MANHOLE	---	---
CLEANOUT	---	---
SEWER MAIN LINE	---	---
CONCRETE	---	---
ASPHALT PAVEMENT	---	---
POROUS ASPHALT	---	---
LANDSCAPING	---	---
GRAVEL	---	---

PROJECT INFO

OWNER:
THOMSON KELLIE & TIMOTHY D
907 18TH ST NW
PUYALLUP, WA 98371

LEGAL DESCRIPTION

Section 20 Township 20 Range 04 Quarter 44 - S 75 FT OF W 190 FT OF POLL BEG 100 FT N OF INTER OF E LI OF BELL DC & S LI SEC TH NALG E LI SD D.C. 235.10 FT W 380 FT TO CL OF 18TH ST NW TH S 236.10 FT E 390 FT TO BEG LESS W 25 FT FOR ST

BASIS OF BEARING

PIERCE COUNTY ASSESSOR MAP

VERTICAL DATUM

PIERCE COUNTY AERIAL

PARCEL NUMBER

0420204110

BUILDING AREA

LOT SIZE: 12,197 SF
FOOTPRINT RESIDENCE: 1,300 SF
FOOTPRINT OUT BLDG: 920 SF
DRIVEWAY/PARKING: 1,250 SF
TOTAL COVERAGE: 3,470 SF OR 28.4%

MAX LOT COVERAGE RS-06 45%

CONTRACTOR AS-BUILT:

THE CONTRACTOR SHALL MAINTAIN ONE SET OF THE CONTRACT DRAWINGS THAT SHALL INCLUDE, CLEARLY AND LEGIBLY MARKED, ANY ALTERATIONS OR LOCATIONS OF UNDERGROUND UTILITIES ENCOUNTERED DURING PROGRESS OF THIS PROJECT, AND ANY ALTERATIONS MADE TO THE FACILITIES BEING INSTALLED. SAID DRAWINGS SHALL BE MARKED "AS-BUILT" AND SHALL BE SUBMITTED TO THE PROJECT ENGINEER UPON COMPLETION OF THE PROJECT.

CONSTRUCTION STAKING:

THIS PROJECT MUST BE STAKED PRIOR TO CONSTRUCTION BY THE DESIGN ENGINEER OR BY A LICENSED LAND SURVEYOR.

THIS DRAWING DOES NOT REPRESENT A RECORD DOCUMENT UNLESS CERTIFIED BY THE LAND DEVELOPER'S INC.

ANY ALTERATIONS TO THE DESIGN SHOWN HEREON MUST BE REVIEWED AND APPROVED BY THE LAND DEVELOPER'S, INC.

TOPOGRAPHIC NOTE:

THE EXISTING TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, THE LAND DEVELOPER'S, INC. CANNOT ENSURE ITS ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

NOTE:

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 800-424-6225 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



THE LAND DEVELOPER'S ENGINEERED SOLUTION
a division of THE LAND DEVELOPER, INC.
5737 LINDEMAN WAY SW,
TUMWATER, WA 98501
PHONE: (360) 990-4806
E-MAIL: enr@thelanddeveloper.com

DATE: _____
REVISIONS: _____

PUYALLUP REMODEL

COVER SHEET AND SITE PLAN

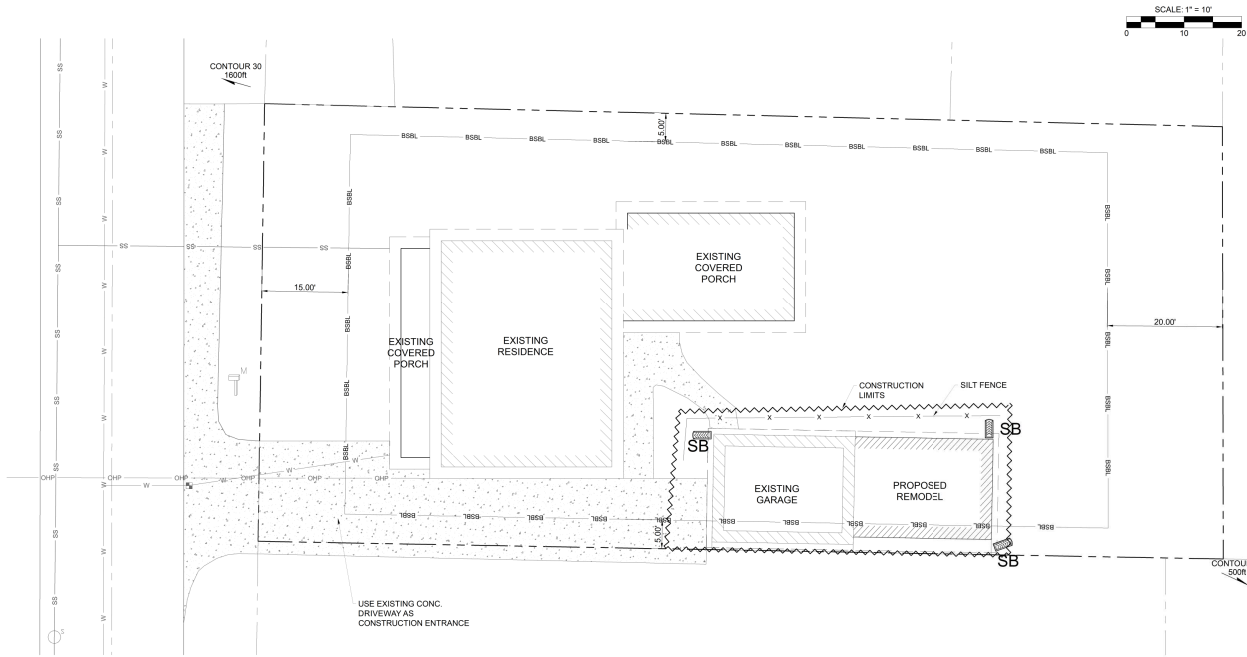
PROJECT:
PUYALLUP REMODEL
907 18TH ST NW
PUYALLUP, WA 98371
CLIENT:
THOMSON KELLIE & TIMOTHY D
907 18TH ST NW
PUYALLUP, WA 98371

DRAWN BY: SAG
DATE: 08/20/23
AGENCY NO: _____
SHEET: 1 OF 3
JOB NO: 23-044

Planning Condition: (2) A nonconforming accessory or primary structure in an R zone which is nonconforming as to setback location (e.g., encroaching within a prescribed setback area), maximum size (as stipulated by PMC 20.20.040(5) – detached accessory buildings) and/or total quantity of permitted accessory structure(s) (as stipulated by PMC 20.20.010(2)) may be replaced, enlarged or modified in volume, area, or space; provided, that:

(a) Total or partial replacement of the nonconforming accessory structure in an R zone is permitted only if it involved the same or less extent of setback encroachment and/or total square footage, including no greater structural height, bulk or floor area than previously existed within a setback area, and the replacement is completed within one year of the demolition and the building to be replaced is an accessory structure in an R zone.

SW 1/4, SECTION 20, TOWNSHIP 20 N., RANGE 4 E., W.M.



CITY OF PUYALLUP
Planning Division Approved Site Plan
(253) 864-4165
MINIMUM SETBACK REQUIREMENTS

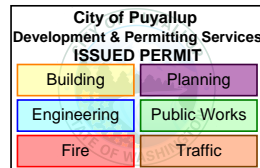
Front Yard: 20ft Rear Yard: 20ft
Interior Side Yard: Left: 1.6ft Right: 2.1ft
Street Side Yard: N/A
Zoning District: RS-08
Permit #: PRRSF20231418

Additional Conditions/Comments

Please see conditions
in CityView.

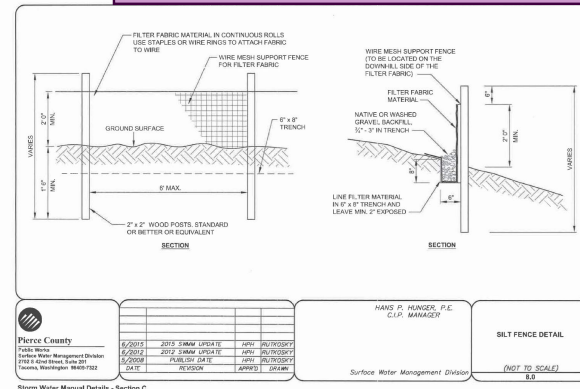
Staff: ARamirez
Date: 07/31/2024

Front, rear, and side yard property lines shall be marked with string from surveying pins prior to footing inspection.



Planning Condition: (2) A nonconforming accessory or primary structure in an R zone which is nonconforming as to setback location (e.g., encroaching within a prescribed setback area), maximum size (as stipulated by PMC 20.20.040(5) – detached accessory buildings) and/or total quantity of permitted accessory structure(s) (as stipulated by PMC 20.20.010(2)) may be replaced, enlarged or modified in volume, area, or space; provided, that:

(a) Total or partial replacement of the nonconforming accessory structure in an R zone is permitted only if it involved the same or less extent of setback encroachment and/or total square footage, including no greater structural height, bulk or floor area than previously existed within a setback area, and the replacement is completed within one year of the demolition and the building to be replaced is an accessory structure in an R zone.



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TUMWATER, WA 98501
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FAX: (360) 890-4806
E-MAIL: enl@thelanddeveloper.com

REVISIONS: DATE:

PUYALLUP REMODEL
EROSION CONTROL PLAN

PROJECT: PUYALLUP REMODEL
907 18TH ST NW
PUYALLUP, WA 98371
CLIENT: CHOROSAN, KELLY K & TIMOTHY D
907 18TH ST NW
PUYALLUP, WA 98371
DRAWN BY: SAG
DATE: 6/8/2023
AGENCY NO:
SHEET: 2 OF 3
JOB NO: 23-544

SW 1/4, SECTION 20, TOWNSHIP 20 N., RANGE 4 E., W.M.



Development Engineering Handout 9
Soil Amendment

Summary: Soil amendment is a process of treating disturbed soils on a construction site in order to restore the stormwater treatment capacities of the soil with respect to absorption, storage and filtration. This process serves to reduce runoff and improve water quality from developed sites. Soil amendment is an explicit requirement of Pierce County's National Pollution Discharge Elimination System Permit (NPDES Permit) and was implemented via the 2008 edition of the Pierce County Stormwater Management and Site Development Manual (aka the Stormwater Manual).

Soil Amendment Requirement: The Stormwater Manual requires amendment of disturbed soils for all sites which either create 2000 sf or more impervious surface OR disturb 7000 sf or more of the site. This threshold would include all new home construction, but may exclude some smaller projects with limited site disturbance. All disturbed areas on a project site must be amended except:

- The building footprint and all areas within 10 feet of the actual building.
- Areas that are or will be made impervious in conjunction with the current project such as driveways and sidewalks.
- Areas where actual septic drain fields have been or will be installed in conjunction with the current project (this exception does not apply to reserve drain field areas, these must be amended).
- Areas within the drip line of existing trees to be retained.
- Anywhere the original native soils have not been significantly disturbed and/or displaced. This may be a difficult judgment call in some cases. While it is not our intent that vegetation removal alone trigger the requirement to amend soils, traditional clearing with a layered piece of equipment will certainly 'significantly disturb or displace' the top layer of native soil.
- Any areas classified as critical slopes or with slopes of 33% or greater.

In many cases an applicant can greatly reduce the cost and effort required to amend soils by strictly limiting the disturbance of native soils on his or her project site.

Soil Amendment Methods: The stormwater manual provides three different approved methods or options for amending soils. Each of the options includes a requirement to scarify or till the existing subgrade and then add a soil mixed with an amending component in order to achieve a target percentage of organic content to a given depth. It is important to note that simply importing and spreading material on top of an existing, undisturbed subgrade is not an acceptable method of soil amendment. It is also important to note that each method or option includes one set of specifications for amending lawn areas and another for amending landscape areas (planting beds and any other landscaped areas not designated to be lawn). Specific requirements for amending soils by each of the acceptable methods are provided on the following pages.

Development Engineering Handout 9
Soil Amendment

6. Native Site/Soil Preservation – As mentioned on page 1, native soils which have not been removed or disturbed do not have to be amended. Planning for and strictly controlling soils disturbance on your site can greatly reduce your soil amendment burden.

Material Quantity Estimates: The following are generic estimates of the required amounts of materials required to amend each 1000 square feet of disturbed area by either Option 1 or 3 above;

Option 1 – Amend with Organic Compost – Lawn Areas

2 inches compost material per square foot = .167 cf/sf x 1000 sf = 167 cf + 27 cf/cy = 6.2 cy

Plan on 6.2 cubic yards of compost material per 1000 sf to be amended.

Option 1 – Amend with Organic Compost – Landscape Areas

3 inches compost material per square foot = .25 cf/sf x 1000 sf = 250 cf + 27 cf/cy = 9.26 cy

Plan on 9 ¼ cubic yards of compost material per 1000 sf to be amended.

Option 3 – Amend with Imported Topsoil – Lawn Areas

3 inches imported topsoil per square foot = .25 cf/sf x 1000 sf = 250 cf + 27 cf/cy = 9.26 cy

Plan on 9 ¼ cubic yards of imported topsoil per 1000 sf to be amended.

Option 3 – Amend with Imported Topsoil – Landscape Areas

6 inches of imported topsoil per square foot = .5 cf/sf x 1000 sf = 500 cf + 27 cf/cy = 18.5 cy
2 inches of organic mulch per square foot = .167 cf/sf x 1000 sf = 167 cf + 27 cf/cy = 6.2 cy

Plan on 18.5 cubic yards of imported topsoil per 1000 sf to be amended.

Plan on 6.2 cubic yards organic mulch per 1000 sf planting beds to be amended.

Amended Soils Inspection Method: When the approved site development plan indicates that soil amendment is required, the Pierce County inspector will verify soil amendment prior to final inspection approval for residential and commercial projects, and prior to bond release for subdivisions. The inspector will take the following steps to verify soil amendment;

1. Look to see that it appears that soil amendment has been completed over all disturbed areas.
2. Take at least three soil samples per acre (2 minimum for very small sites) using a step probe. This should reveal that soil is loose and contains organic material to the design depth by method employed.
3. Require delivery tickets, receipts (specifying delivery address) or lab test results for suitable amending media according to method chosen. The document provided will be reviewed to

Development Engineering Handout 9
Soil Amendment

Option 1 – Amend with Organic Compost

Lawn Areas – Amend to 5% Organic Content

- Scarify or till existing soils to a depth of 10 inches.
- Place and rototill 2 inches of composted material into the top 6 inches of scarified soil for a finished depth of 12 inches of un-compacted soil.
- Water or roll to compact soil to 85% of maximum.
- Rake to level and remove woody debris and rocks larger than 1 inch in diameter.

Landscape Areas/Planting Beds – Amend to 10% Organic Content

- Scarify or till existing soils to a depth of 9 inches.
- Place and rototill 3 inches of composted material into the top 5 inches of scarified soil for a finished depth of 12 inches of un-compacted soil.
- Rake and remove rocks larger than 2 inches in diameter.
- Mulch planting areas with 2 inches of organic mulch.

Compost used for Soil Amendment must be "Class A Compost" per Washington DOE Interim Compost Quality Guidelines (WAC Ch 173-350 See 220), which lists the following criteria;

- 35% Organic Content Minimum.
- P of 6.0 – 8.0 (up to 8.5 in wetlands or stream banks).
- Carbon to Nitrogen Ratio of < 25:1.
- 100% passing a 1 inch sieve.

The local products "Cedar Grove Compost" & "Corliss Fine Prep Organic Compost" meet these standards.

Option 2 – Stockpile, Protect & Reuse Existing Soils

Lawn Areas – Amend to 5% Organic Content

Landscape Areas/Planting Beds – Amend to 10% Organic Content

- Remove, Stockpile & Protect existing topsoil for reuse.
- Test stockpiled soils to determine organic content & suitability. Submit test results and mix proposal to county for approval.
- Scarify or till existing subgrade 4 inches.
- Place and till a total 9.5 inches of replaced topsoil and imported compost according to approved mix ratio to achieve finished depth of 12 inches (4 inch scarification + 8 settled inches of placed mix) of un-compacted soil.
- Water or roll lawn areas to compact soil to 85% of maximum.
- Rake to level and remove woody debris and rocks larger than 1 inch in diameter in lawn areas or 2 inch in diameter in landscape areas.
- Mulch planting areas with 2 inches of organic mulch or stockpiled turf.

Development Engineering Handout 9
Soil Amendment

Option 3 – Amend with Imported Topsoil

Lawn Areas – Amend to 3-5% Organic Content

Use imported topsoil mix comprised primarily of sand or sandy loam and containing 3-5% organic matter (Typically ~25% compost).

- Scarify or till existing subgrade in two directions to a 6 inch depth.
- Place 3 inches of topsoil mix on surface.
- Water or roll to compact soil to 85% maximum.
- Rake smooth and remove surface rocks over 1 inch in diameter.

Landscape Areas – Amend to 10% Organic Content

Use imported topsoil mix comprised primarily of sand or sandy loam and containing 10% organic matter (Typically ~40% compost).

- Scarify or till existing subgrade in two directions 6 inch depth.
- Place 3 inches of topsoil mix on surface and till into 2 inches of soil.
- Place additional 3 inches of topsoil mix on the surface to achieve a finished, uncompacted depth of 12 inches.
- Rake smooth and remove surface rocks over 2 inches in diameter.
- Mulch planting beds with 2 inches organic mulch.

Planning Considerations: Many contractors have been frustrated by delays in securing final project approvals because they did not properly plan to meet amended soil requirements. Pierce County recommends proponents consider the following issues when planning site work for projects subject to amended soil requirements;

1. **Cost** – When this requirement was first implemented, Pierce County requested estimates from several contractors to amend soil on 10,000 square feet of a typical residential lot. Four contractors responded and the least expensive estimate was \$4,816 utilizing Option 1.
2. **Placement** – Soil amendment requires significant manual labor to avoid compaction of soils by traditional heavy equipment.
3. **Elevation Changes** – Soil amendment results in a finished elevation increase of approximately 3-8 inches over pre-existing subgrade depending on the method of amendment.
4. **Materials Availability** – Don't wait to the last minute to verify that the material you hope to use for soil amendment are both suitable and readily available. See Material Quantity Estimates section below.
5. **Inspection and Documentation Requirements** – Pierce County inspectors will verify soil amendment and will require documentation for the testing and/or purchase of the media used to amend. Insure that your receipts or product documentation clearly state that the product conforms with the applicable specification for the method chosen.

SITE CONSTRUCTION NOTES:

1. SEE ATTACHED GEOTECHNICAL REPORT, DATED ----- FOR ADDITIONAL INFO.
2. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHOWN ON THESE DRAWINGS SHALL BE INSTALLED AS THE FIRST STAGE OF SITE PREPARATION. SEE DETAIL 2/A1.0 AND -----
3. REMOVAL OF VEGETATION SHALL BE LIMITED TO THE ACTIVE CONSTRUCTION AREAS.
4. UPON REMOVAL OF VEGETATION AND RE-CONTOURING OF THE SITE, ANY EXPOSED SOILS SHALL BE COVERED WITH A 2" LAYER OF STRAW FOR EROSION CONTROL.
5. ON-SITE SOILS ARE NOT RECOMMENDED FOR STRUCTURAL FILL. STRUCTURAL FILL PER RECOMMENDATIONS IN GEOTECH REPORT SHALL BE COMPACTED TO 90% OF MDD.
6. HYPOTHESIZED ALL EXPOSED AREAS UPON COMPLETION OF GRADING.
7. CONTRACTOR TO DEPOSIT EXCESS CUT MATERIAL IN DESIGNATED ON-SITE APPROVED LOCATIONS (SEE DETAIL SITE PLAN).
8. FLAGGING OF WETLAND BUFFERS TO BE PRESERVED.
9. ROOF DRAINS TO BE TIGHTENED AND DIRECTED TO RAIN GARDEN, SEE ATTACHED DESIGN.
10. RETAINING WALLS TO BE CONSTRUCTED OF 18"-30" DECORATIVE ROCKS. SEE RETAINING WALL DESIGN DATED ----- BY ERIC ANDRORTH, P.E.
11. FOUNDATION DRAINS TO BE TIGHTENED AND DIRECTED TO RAIN GARDEN, SEE ATTACHED DESIGN.

NOTES FOR CONSTRUCTION STORMWATER POLLUTION PREVENTION

1. APPROVAL OF THIS CONSTRUCTION SWPPP DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION/ DETENTION/FILTRATION FACILITIES, UTILITIES, ETC.)
2. THE IMPLEMENTATION OF THIS CONSTRUCTION SWPPP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE CONSTRUCTION SWPPP FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE CONSTRUCTION SWPPP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE CONSTRUCTION SWPPP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE CONSTRUCTION SWPPP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE CONSTRUCTION SWPPP FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE CONSTRUCTION SWPPP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN 1 FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. THE PROJECT ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

THE LAND DEVELOPER'S ENGINEERED SOLUTION
a division of THE LAND DEVELOPER, INC.

5737 LINDEBERG WAY SW,
TUMWATER, WA 98501
P: (360) 890-4806
F: (360) 890-4806
E-MAIL: enr@landdeveloper.com

DATE: _____
REVISIONS: _____

PUYALLUP REMODEL

NOTES

PROJECT: PUYALLUP REMODEL
807 18TH ST NW
PUYALLUP, WA 98371
CLIENT: CHOROSKI, KELLER & TIMOTHY D
807 18TH ST NW
PUYALLUP, WA 98371

DRAWN BY: Sdg

DATE: 6/8/2023

AGENCY NO: _____

SHEET: 3 OF 3

JOB NO: 23-544