

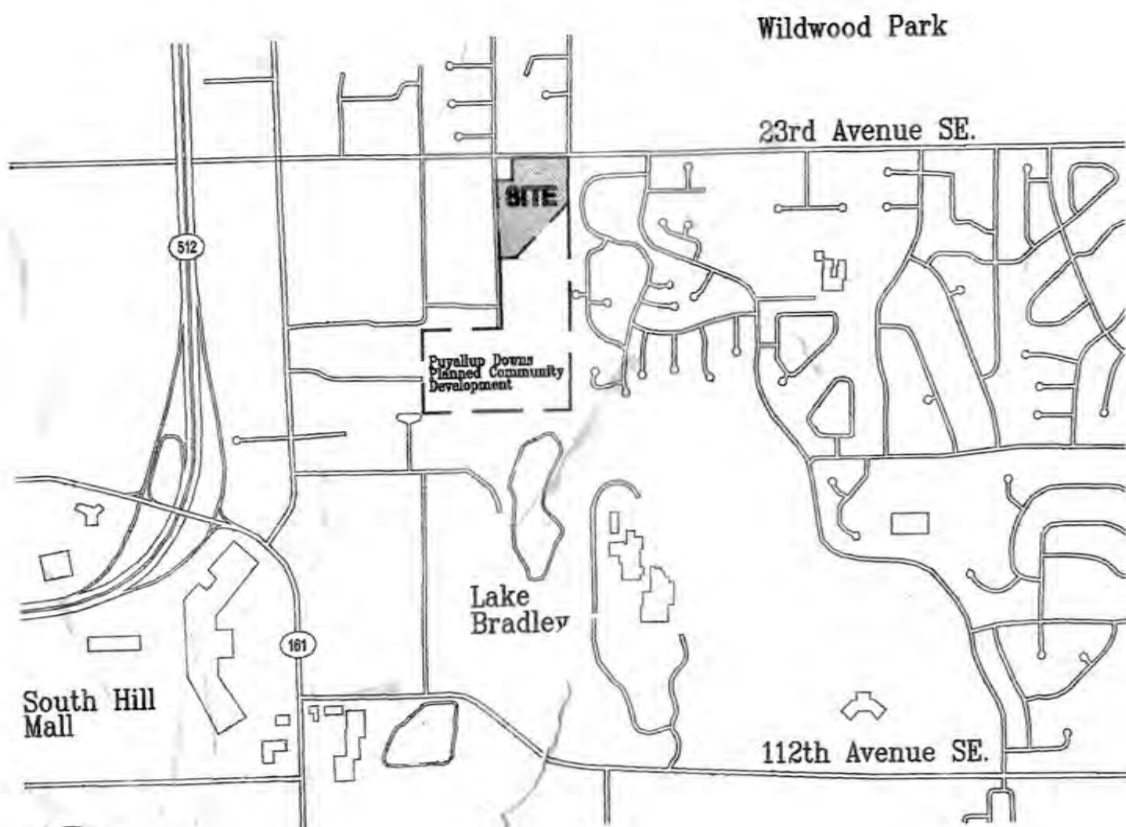
PRCT120241261

This plan is provided for reference and repair work of an existing building.
Print and provide a color, legible scaled version of this plan on site for construction and inspection.
Separate cover approval is required for electrical and plumbing as needed.
This permit is issued **subject to field inspection**.
Notes by Building Review RC 8/13/2024

THE APPROVED CONSTRUCTION PLANS AND ALL
ENGINEERING MUST BE POSTED ON THE JOB AT ALL
INSPECTIONS IN A VISIBLE AND READILY
ACCESSIBLE LOCATION.
PRINT in COLOR and to SCALE.

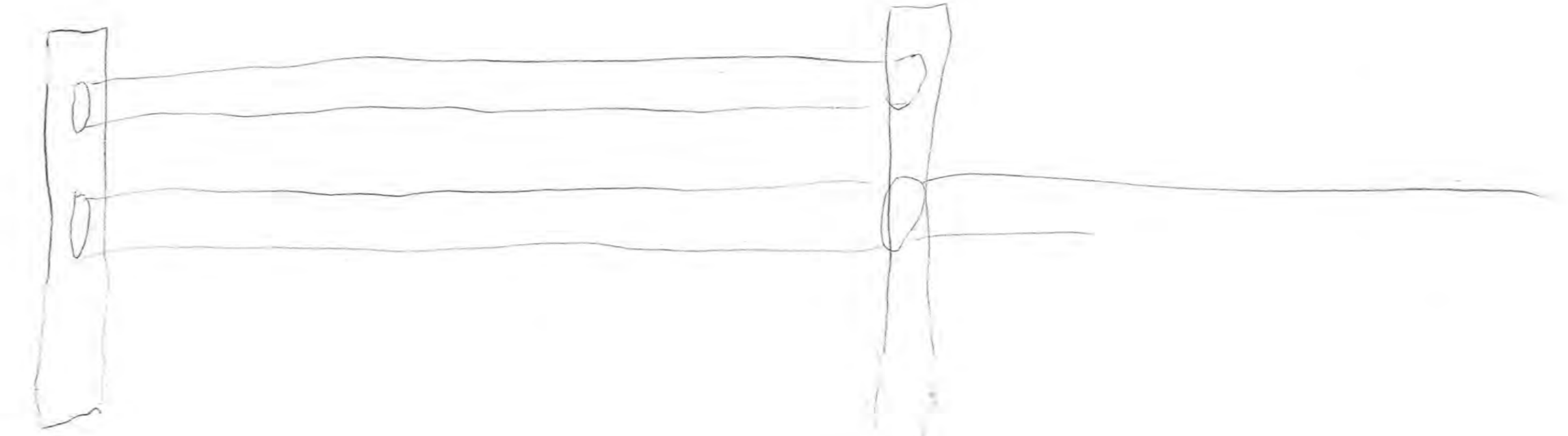
Approval of submitted plans is not an approval of
omissions or oversight by this office or
noncompliance with any applicable regulations of
local government. The contractor is responsible for
making sure that the building complies with all
applicable building codes and regulations of the
local government.

VICINITY MAP



Puyallup Downs

Puyallup, Washington



PROJECT TEAM

OWNER

CARINO HOMES
2010 65th AVE WEST, SUITE 100
FIRCREST, WA 98466
(206) 565-6090
CONTACT: SCOTT CARINO

ARCHITECT

MITHUN PARTNERS
414 OLIVE WAY, SUITE 500
SEATTLE, WASHINGTON 98101
(206) 823-3344
CONTACT: MAX K. ANDERSON

STRUCTURAL

SWENSON SAY FAYET
2124 THIRD AVENUE - SUITE 100
SEATTLE, WASHINGTON 98121
(206) 443-6212
CONTACT: BLAZE BRESKO

CIVIL

APEX
2901 SOUTH 95TH, SUITE 200
TACOMA, WASHINGTON 98409-7479
(253) 473-4494
CONTACT: ROD EMMONS

NOTE:

CIVIL INFORMATION TO BE PERMITTED
SEPARATELY.

LEGAL DESCRIPTION

DIV I PARCEL 'A' SHOWN : 4 R.O.S. RECORDED UNDER APN 9902045001
DIV II PARCEL 'C' SHOWN : 4 R.O.S. RECORDED UNDER APN 9902045001
DIV III PARCEL 'D' SHOWN : 0 R.O.S. RECORDED UNDER APN 9902045001
WETLAND PARCEL 'B' SHOWN : 0 R.O.S. RECORDED UNDER APN 9902045001

PROJECT DATA

JURISDICTION: CITY OF PUYALLUP
PROJECT ZONING: PLANNED COMMUNITY DEVELOPMENT ZONE (PDC)
SITE AREA: 444,302 SF = 10.2 ACRES
OCCUPANCY: GROUP R-DIV. 1
UNITS: GROUP U-DIV. 1
GARAGES: GROUP B
RECREATION BUILDING: 3
SEISMIC ZONE: 3
WINDS: 90mph, exposure B
CONSTRUCTION TYPE: YARDS PER BUILDING - SEE BUILDING CONSTRUCTION INFORMATION A-0.0
BUILDING CODE: UBC 1997 ED. w/ WASHINGTON STATE AMENDMENTS
ENERGY CODE: WASH. ST. ENERGY CODE 1997 ED.
ACCESSIBILITY CODE: WASH. ST. BLDG. CODE 1997 ED.

NOTE ALL CODES ARE AS ADOPTED AND AMENDED BY THE CITY OF PUYALLUP

DWELLING UNIT COUNT

CARRIAGE BLDGS.	1 BEDROOM	2 BEDROOM	3 BEDROOM
CARRIAGE UNIT		2	
8-UNIT BLDG.			
UNIT A		18	
UNIT B		18	
UNIT C		18	
UNIT D		18	
UNIT E	18		
UNIT F			18
9-UNIT BLDG.			
UNIT A-BF (BARRIER FREE TYPE 'A' UNIT)			5
UNIT B-BF (BARRIER FREE TYPE 'A' UNIT)	84		
UNIT C		5	
UNIT D			5
UNIT E	5		
UNIT F		5	
UNIT G			5
UNIT H			5
UNIT I (UNIT I NOT USED)			
SUB TOTAL	28	94	33
TOTAL UNITS	156 = 156/10.2 ACRES = 15.196 UNITS/ACRE		
ALLOWABLE DENSITY (MODERATE URBAN DENSITY RESIDENTIAL = 9-14 UNITS/ACRE)			
NOTE: NET DENSITY OF PROJECT = 15.2 UNITS/ACRE, GROSS PROJECT DENSITY = 7.5 UNITS/ACRE, CONSISTENT W/ COMPREHENSIVE PLAN.			

PARKING

RESIDENTIAL UNITS	
GARAGES (CARRIAGE UNIT GARAGES INCL.)	155
DRIVEWAY PARKING	155
OFF STREET PARKING	0
PUBLIC STREET PARKING	0
TOTAL UNIT PARKING SPACES	310 (0 ACCESSIBLE STALLS REQUIRED PER WAC 51-40-1103 TABLE 11-7, 9 PRIVATE SINGLE GARAGE STALLS PROVIDED PER PLANS)
REQUIRED	310 = REQUIRED 2 PER DWELLING UNIT.
TOTAL CLUBHOUSE PARKING SPACES	
PUBLIC STREET PARKING PROVIDED (1 DEDICATED ACCESSIBLE STALLS PROVIDED PER SITE PLAN SHEET A-0.2)	

ACCESSIBILITY CALCULATIONS

TYPE 'A' DWELLING UNITS (PER WAC 51-40-1103 TABLE NO. 11-B) 156 TOTAL UNITS = 8 TYPE 'A' UNITS REQUIRED
TYPE 'B' DWELLING UNITS 9 TYPE 'A' UNITS PROVIDED
GROUND FLOOR UNITS = 51 TOTAL MINUS 9 TYPE 'A' UNITS MINUS 1 SLOPE EXEMPT UNIT (UNIT NO. B-BF BLDG. B) = 41 TYPE 'B' UNITS PROVIDED

BUILDING HEIGHT CALCULATIONS

ALLOWABLE: 36' ABOVE AVERAGE FINISH GRADE
ACTUAL: 32'-7" MAX. BLDG. HT. TYP.

BUILDING CONSTRUCTION APPLICABLE CODE SECTIONS:

CONSTRUCTION, HEIGHT & ALLOWABLE AREA FOR GROUP R OCCUPANCIES PER UBC. SECT. 310.2.2 SPECIAL PROVISIONS:
GROUP R DIV. 1 OCCUP. MORE THAN 2 STORIES IN HT. OR HAVING MORE THAN 3000 SF. OF FLOOR AREA ABOVE THE FIRST STORY SHALL NOT BE LESS THAN 1-HR FIRE RESIST. CONST. THROUGHOUT.
ALLOWABLE FLOOR AREA FOR TYPE V-NR CONST. (GROUP U-1 OCCUP. ASSUMES THE CONST. TYPE & AREA OF THE R-1 MAJOR OCCUP. PER UBC. 312.2.2 SPECIAL AREA PROVISIONS.)
6,000 SF. FOR SINGLE STORY BUILDINGS (PER 1997 UBC. TABLE 5-B)
12,000 SF. FOR MULTI-STORY BUILDINGS (PER 1997 UBC. SECTION 504.2)
8000 SF. FOR SINGLE STORY BUILDINGS, GROUP B OCCUP. (PER 1997 UBC. TABLE 5-B)
8000 SF. FOR SINGLE STORY BUILDINGS, GROUP B OCCUP. (PER 1997 UBC. TABLE 5-B)

FIRE RESISTIVE SUBSTITUTION PER UBC. SECT. 506:
WHEN AN APPROVED SPRINKLER SYSTEM IS NOT REQUIRED THROUGHOUT A BUILDING BY OTHER SECTIONS OF THE CODE, IT MAY BE USED IN A BUILDING OF TYPE V-1-HR CONSTRUCTION AS A SUBSTITUTE FOR 1-HR FIRE RESISTIVE CONSTRUCTION.

BUILDING CONSTRUCTION:

CARRIAGE BUILDING ELEVATION 'A' & 'B' SIM. 2426 SF. TOT. CONSTRUCTION TYPE = TYPE V-NR. - SPRINKLED
6-UNIT BUILDING ELEVATION 'A' & 'B' SIM. 8896 SF. TOT. (4340 SF. ON SECOND STORY) CONSTRUCTION TYPE = TYPE V-NR. - SPRINKLED (SECTION 506 - EXERCISED)
9-UNIT BUILDING ELEVATION 'A' & 'B' SIM. 13820 SF. TOT. (8771 SF. ON SECOND STORY) CONSTRUCTION TYPE = TYPE V-NR. - SPRINKLED (SECTION 506 - EXERCISED)
RECREATION BUILDING 2251 SF. TOT. CONSTRUCTION TYPE = TYPE V-NR.

BUILDING SQUARE FOOTAGES

CARRIAGE BUILDING ELEVATION 'A' & 'B' SIM.

UNIT	UNIT AREA	DECK	PORCH	TOTAL
CARRIAGE UNIT	1267 SF.	119 SF.	0	1370 SF.
EXT. STAIRS & LANDINGS	0	0	0	0
GARAGE(S)	1056 SF.	0	0	1056 SF.
TOTAL	2426 SF.			

NOTE: SQUARE FOOTAGES TO BE USED FOR OCCUPANCY LOAD CALC. (WHERE APPLICABLE) & ENERGY CODE CALCULATIONS ONLY.

6-UNIT BUILDING ELEVATION 'A' & 'B' SIM.

UNIT	UNIT AREA	DECK	PORCH	TOTAL
A	1093		93	1186
B	1078		90	1168
C	1021	94		1115
D	1005	105		1110
E	676	75		751
F	1284	80		1364
EXT. STAIRS & LANDINGS				316
GARAGES	1886			1886
TOTAL	8896			

9-UNIT BUILDING ELEVATION 'A' & 'B' SIM.

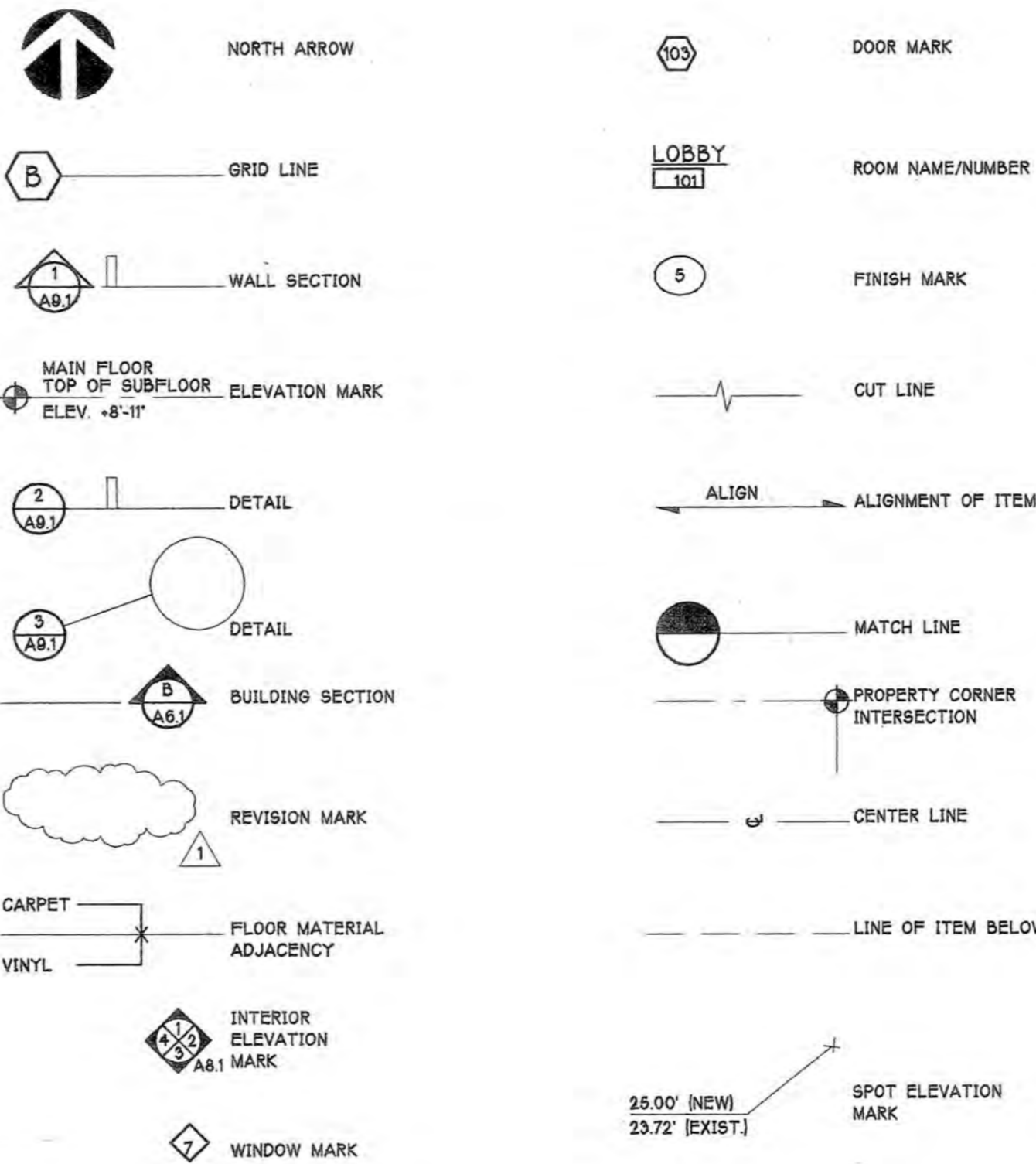
UNIT	UNIT AREA	DECK	PORCH	TOTAL
A-HC	1346		85	1431
B-HC	775		89	864
C	1068		80	1148
D	1346	85		1431
E	676	89		765
F	1014	92		1106
G	1297	80		1377
H	614	81		695
J	1012	85		1097
EXT. STAIRS & LANDINGS	444			444
GARAGES	3162			3162
TOTAL	13820			

RECREATION BUILDING

UNIT	BLDG. AREA	DECK	PORCH	TOTAL
RECREATION BLDG.	2251 SF.	0	0	2251 SF.
EXT. STAIRS & LANDINGS	0	0	0	0
GARAGE(S)	0	0	0	0
TOTAL	2251 SF.			

NOTE: SQUARE FOOTAGES TO BE USED FOR OCCUPANCY LOAD CALC. (WHERE APPLICABLE) & ENERGY CODE CALCULATIONS ONLY. TYP.

SYMBOLS



ABBREVIATIONS

AB	ANCHOR BOLT	NA	NOT APPLICABLE
ACT	ACTUAL	NIC	NOT IN THIS CONTRACT
APPROX	APPROXIMATELY	NO., #	NUMBER
ARCH	ARCHITECTURAL	NOM	NOMINAL
AVG	AVERAGE	N.S.F.	NET SQUARE FEET
		NTS	NOT TO SCALE
BD	BOARD	OC	ON CENTER
BF	BARRIER FREE	OH	OVERHEAD
BLKG	BLOCKING	OPEN'G	OPENING
BM	BEAM	OPP	OPPOSITE
B.O.	BOTTOM OF	P LAM	PLASTIC LAMINATE
C TILE	CERAMIC TILE	PL	PLATE
CFM	CUBIC FEET PER MINUTE	PLYWD	PLYWOOD
CIP	CAST IN PLACE	PNT	PAINT
C.J.	CONTROL JOINT	PT	PRESSURE TREATED
CL	CENTERLINE	QT	QUARRY TILE
CLG	CILING	R	RISER, RADIUS
CLO	CLOSET	REBAR	REINFORCING BAR
CAR	CARPET	REF	REFERENCE
CONC	CONCRETE	REQ'D	REQUIRED
CONT	CONTINUOUS	RESIL	RESILIENT
CSMT	CASEMENT	REV	REVISION
		RM	ROOM
DBL	DOUBLE	RND	ROUND
DET	DETAIL	RO	ROUGH OPENING
DIA	DIAMETER	SC	SOLID CORE
DN	DOWN	SCHED	SCHEDULE
DR	DOOR	SECT	SECTION
DS	DOWNSPOUT	SF	SQUARE FEET
DTL	DETAIL	SG	SAFETY GLASS
DWG	DRAWING	SGD	SLIDING GLASS DOOR
EA	EACH	SH	SINGLE HUNG
ELEC	ELECTRICAL	SL	SHEET
ELEV	ELEVATION	SPTS	SPECIFICATIONS
E.J.	EXPANSION JOINT	STD	STANDARD
EQ	EQUAL	STOR	STORAGE
EW	EACH WAY	STRUCT	STRUCTURAL
EXIST	EXISTING		
EXT	EXTERIOR		
		T	TREAD
FF	FINISH	TB	TOWEL BAR
FIN	FINISH	TBD	TO BE DETERMINED
FL	FLOOR	TEL	TELEPHONE
GL	GLASS	TEMP	TEMPERED
PT	FOOT, FEET	TH	THICKNESS
FXD	FIXED	THRESH	THRESHOLD
		T.O.	TOP OF
GA	Gauge	TP	TOLLET PAPER DISPENSER
GALV	GALVANIZED	TYP	TYPICAL
GL	GLASS		
G.S.F.	GROSS SQUARE FEET		
GWB	GYPSSUM WALL BOARD	UNFIN	UNFINISHED

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Planning

Engineering

Public Works

Fire

Traffic

ABBREVIATIONS CONT.

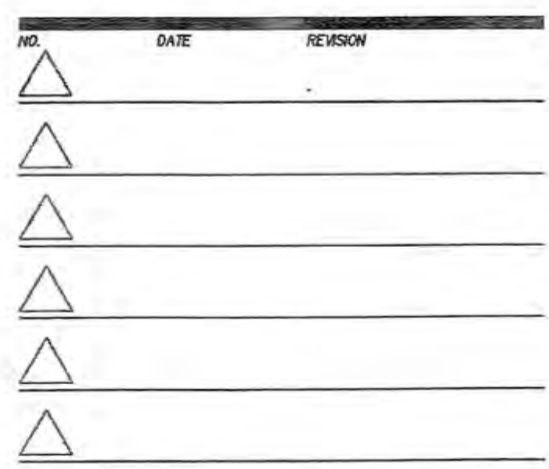
HB	HOSE HIBB	VB	VAPOR BARRIER
HC	HOLLOW CORE	VERT	VERTICAL
HM	HOLLOW METAL	VIN	VINYL
HOR	HORIZONTAL	VLOS	VENT TO OUTSIDE
HT	HEIGHT	VTR	VENT THROUGH ROOF
HW	HOT WATER	WC	WATER CLOSET
HWT	HOT WATER TANK	WD	WOOD
		WIDW	WINDOW
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR	WM	WATER METER
LAV	LAVATORY	WP	WATERPROOF
LB	POUND		
L.F.	LINEAL FOOT	YD	YARD
LT	LIGHT		
MAT'L	MATERIAL		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MIN	MINIMUM		
MTL	METAL		

DRAWING INDEX

ARCHITECTURAL	
A-0.0	COVER SHEET / PROJECT DATA
A-0.1	GENERAL NOTES
A-0.2	PROJECT SITE PLAN
A-0.3	CARRIAGE & CLUBHOUSE ENERGY CALC.
A-0.4	6-UNIT BUILDING ENERGY CALC.
A-0.5	9-UNIT BUILDING ENERGY CALC.
A-3.0	CARRIAGE UNIT FIRST STORY FLOOR PLANS, ROOF PLAN, VENTING CALC. & DIM. FNDN. PLAN
A-3.1A	6-UNIT BLDG. 'A' ELEV. DIM. FNDN. PLAN
A-3.2A	6-UNIT BLDG. 'A' ELEV. FIRST STORY FLOOR PLAN
A-3.3A	6-UNIT BLDG. 'A' ELEV. SECOND STORY FLOOR PLAN
A-3.4A	6-UNIT BLDG. 'A' ELEV. ROOF PLAN & VENTING CALC.
A-3.5B	6-UNIT BLDG. 'B' ELEV. DIM. FNDN. PLAN
A-3.6B	6-UNIT BLDG. 'B' ELEV. FIRST STORY FLOOR PLAN
A-3.7B	6-UNIT BLDG. 'B' ELEV. SECOND STORY FLOOR PLAN
A-3.8B	6-UNIT BLDG. 'B' ELEV. ROOF PLAN & VENTING CALC.
A-3.9A	9-UNIT BLDG. 'A' ELEV. DIM. FNDN. PLAN
A-3.10A	9-UNIT BLDG. 'A' ELEV. FIRST STORY FLOOR PLAN
A-3.11A	9-UNIT BLDG. 'A' ELEV. SECOND STORY FLOOR PLAN
A-3.12A	9-UNIT BLDG. 'A' ELEV. ROOF PLAN & VENTING CALC.
A-3.13B	9-UNIT BLDG. 'B' ELEV. DIM. FNDN. PLAN
A-3.14B	9-UNIT BLDG. 'B' ELEV. FIRST STORY FLOOR PLAN
A-3.15B	9-UNIT BLDG. 'B' ELEV. SECOND STORY FLOOR PLAN
A-3.16B	9-UNIT BLDG. 'B' ELEV. ROOF PLAN & VENTING CALC.
A-3.17	RECREATION BUILDING FNDN. PLAN
A-3.18	FLOOR PLAN
A-3.19	ROOF PLAN, ROOF FRAMING PLAN & VENT. CALC.
A-5.0	CARRIAGE UNIT ELEV. 'B' EXT. ELEV.
A-5.1A	6-UNIT BLDG. 'A' ELEV. EXT. ELEVATIONS
A-5.2A	6-UNIT BLDG. 'A' ELEV. EXT. ELEVATIONS
A-5.3B	6-UNIT BLDG. 'B' ELEV. EXT. ELEVATIONS
A-5.4B	6-UNIT BLDG. 'B' ELEV. EXT. ELEVATIONS
A-5.5A	9-UNIT BLDG. 'A' ELEV. EXT. ELEVATIONS
A-5.6A	9-UNIT BLDG. 'A' ELEV. EXT. ELEVATIONS
A-5.7B	9-UNIT BLDG. 'B' ELEV. EXT. ELEVATIONS
A-5.8B	9-UNIT BLDG. 'B' ELEV. EXT. ELEVATIONS
A-5.9	RECREATION BUILDING EXT. ELEV. & BLDG. SECT.
A-6.0	6-UNIT BUILDING SECTIONS
A-6.1	9-UNIT BUILDING SECTIONS
D-1.0	ARCHITECTURAL DETAILS - TYP. WALL SECTIONS
D-2.0	ARCHITECTURAL DETAILS
D-3.0	ARCHITECTURAL DETAILS
STRUCTURAL	
S-1.1	GENERAL STRUCTURAL NOTES
S-2.1	FOUNDATION PLANS FOR BUILDING 6A & 6B
S-2.2	SECOND FLOOR FRAMING PLANS FOR BUILDING 6A & 6B
S-2.3	ROOF FRAMING PLANS FOR BUILDING 6A & 6B
S-2.4	FOUNDATION PLANS FOR BUILDING 9A & 9B
S-2.5	SECOND FLOOR FRAMING PLANS FOR BUILDING 9A & 9B
S-2.6	ROOF FRAMING PLANS FOR BUILDING 9A & 9B
S-2.7	REC. BLDG. FOUNDATION, FLOOR & ROOF FRAMING PLANS
S-3.1	TYPICAL CONCRETE & FOUNDATION DETAILS
S-4.1	FRAMING DETAILS



P u y a l l u p D o w n s
Puyallup Washington
CARINO HOMES



BILL KREAGER
OWNER
BRIAN SULLIVAN
PROJECT MANAGER
MAX ANDERSON 208.971.5579
PROJECT ARCHITECT

DRAWN
FRED BROWN
DESK

2029 REGISTERED ARCHITECT
BRIAN SULLIVAN
THOMAS D. EMRICH
STATE OF WASHINGTON

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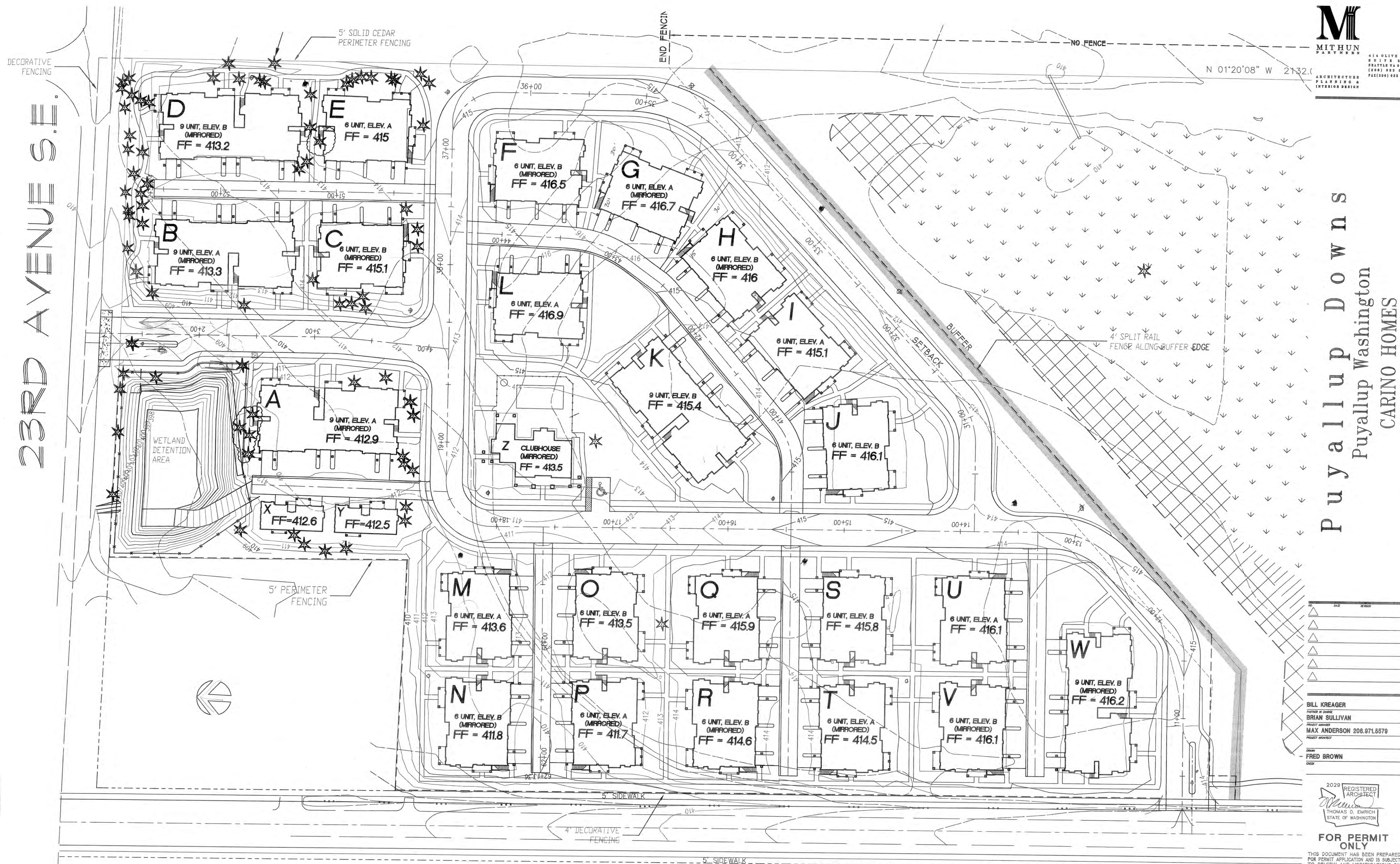
COVER SHEET
PROJECT DATA

MPL. NO. 98247.00

PROJECT NO.
06.21.98
DATE

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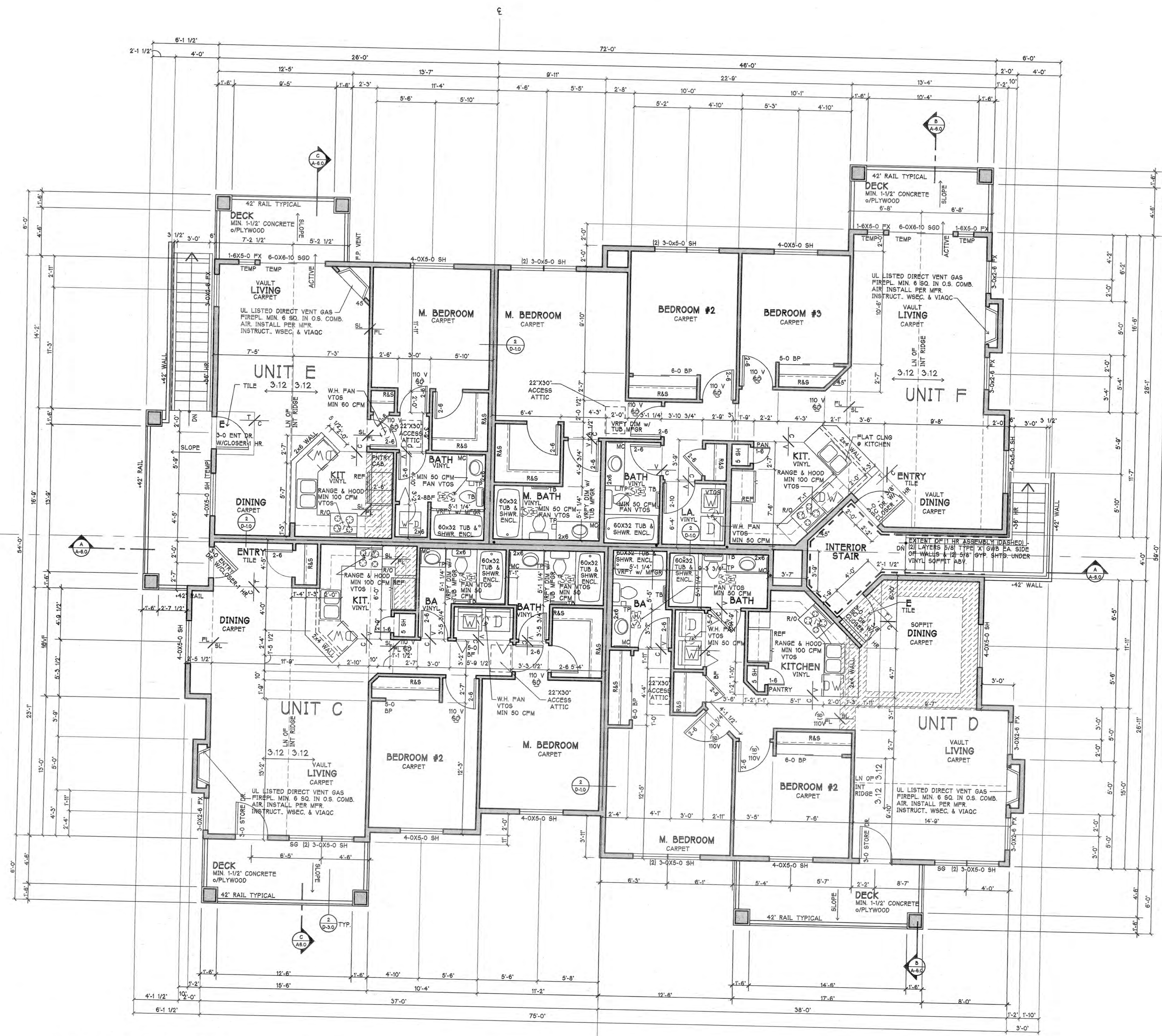


City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



Puyallup Downs
Puyallup Washington
CARINO HOMES



6-UNIT BUILDING - SECOND FLOOR PLAN

NO.	DATE	REVISION

BILL KREAGER
OWNER
BRIAN SULLIVAN
PROJECT MANAGER
MAX ANDERSON 206.971.5770
PROJECT ARCHITECT

FRED BROWN
CHECK

2029 REGISTERED ARCHITECT
THOMAS D. ENRICH
STATE OF WASHINGTON

FOR PERMIT ONLY

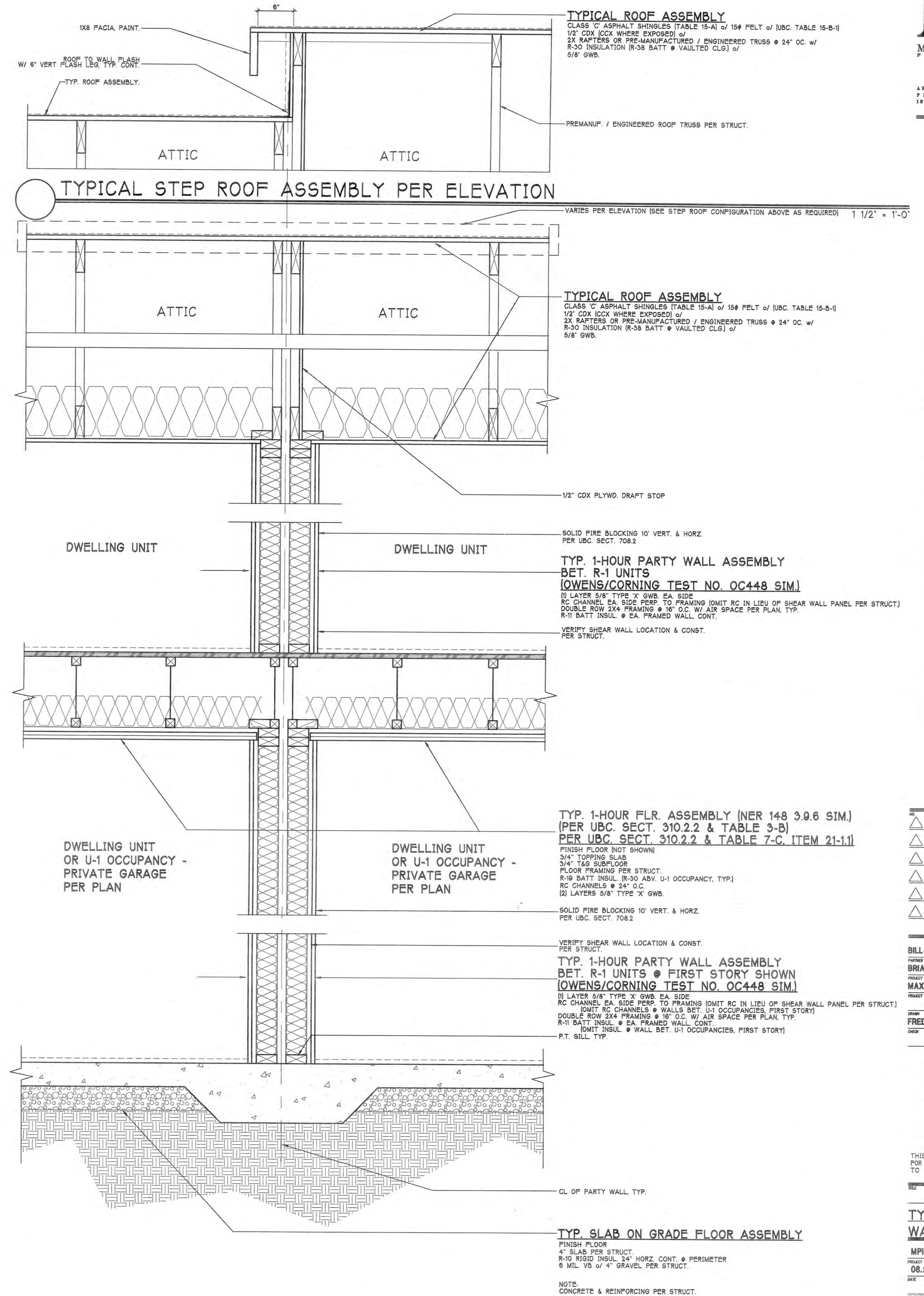
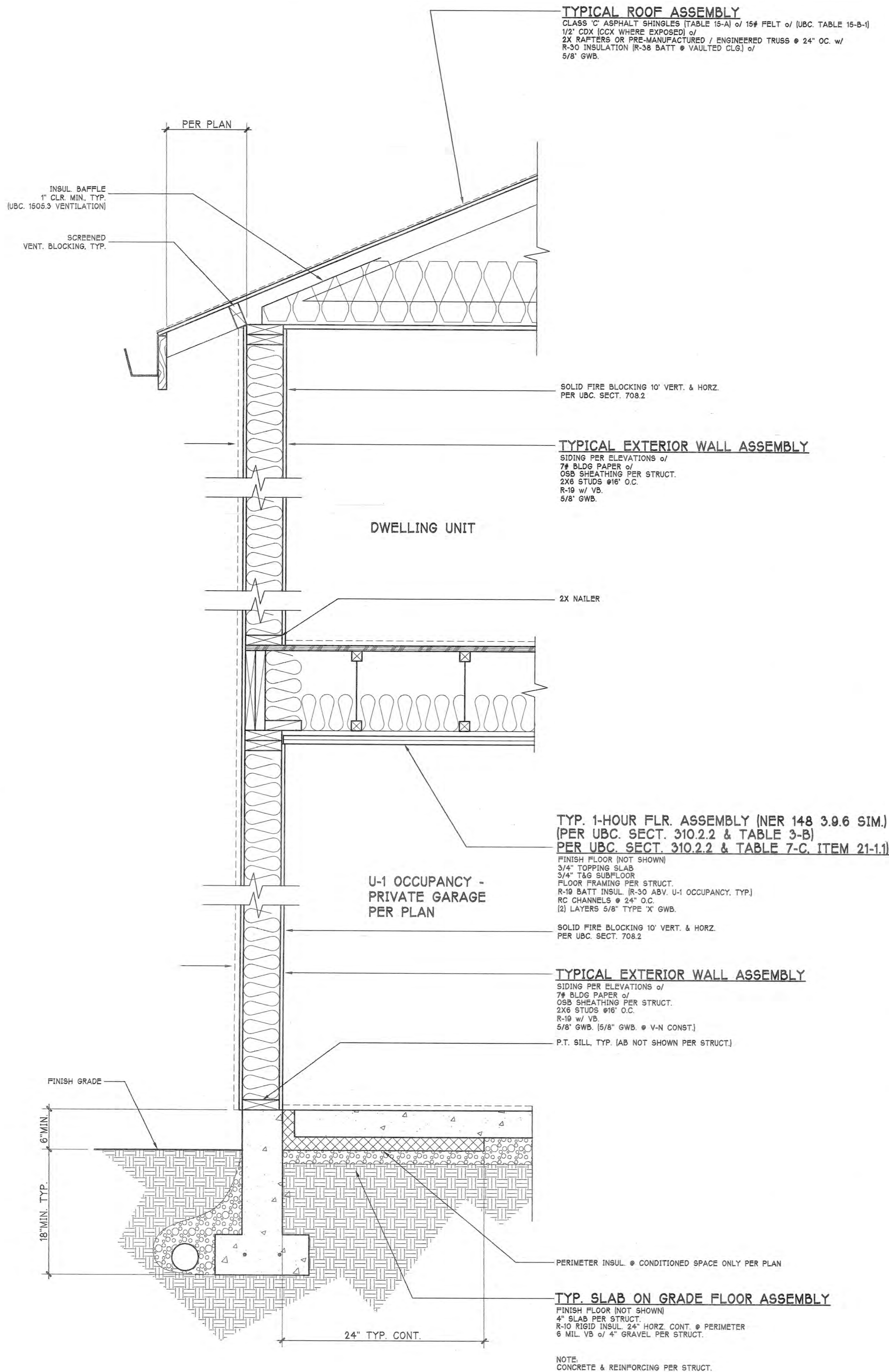
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6-unit bldg/elev. 'B'
level 02
floor plan

MPI. NO. 98247.00
PROJECT NO. 06.21.98
DATE

COMPUTER FILE NAME
PERMIT
DRAWING SCALE

A-3.7B



Puyallup Downs
Puyallup Washington
CARINO HOMES

REV	DATE	REVISION
1		
2		
3		
4		
5		
6		

BILL KREAGER
OWNER
BRIAN SULLIVAN
PROJECT MANAGER
MAX ANDERSON 208.971.5579
PROJECT ARCHITECT

FRED BROWN
DESK

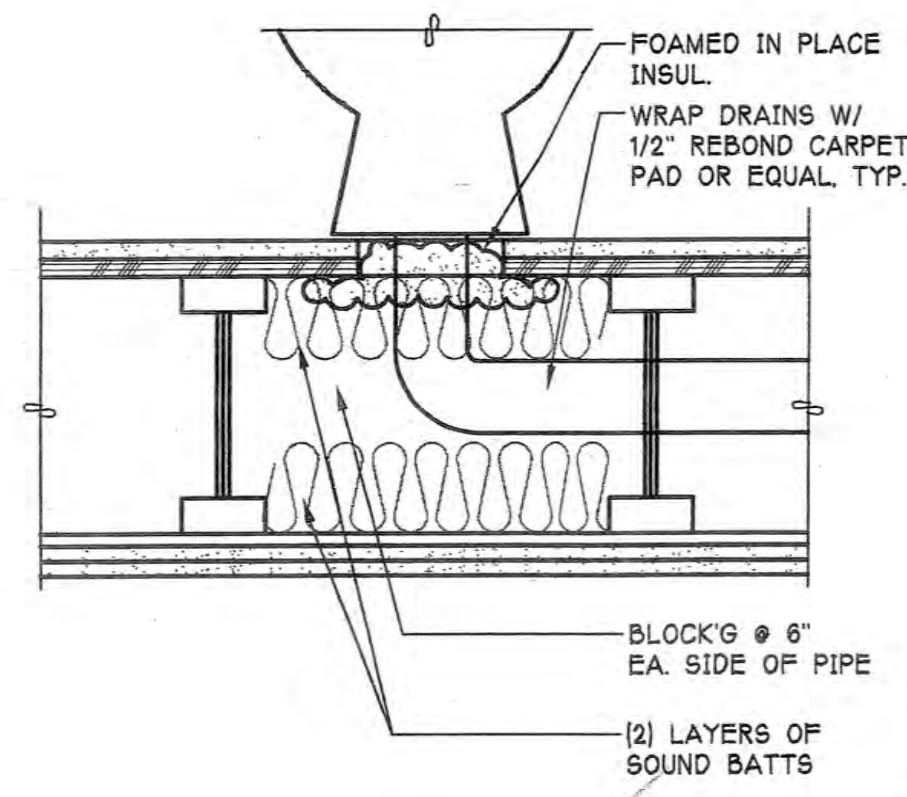
2029 REGISTERED
ARCHITECT
THOMAS D. ENRICH
STATE OF WASHINGTON

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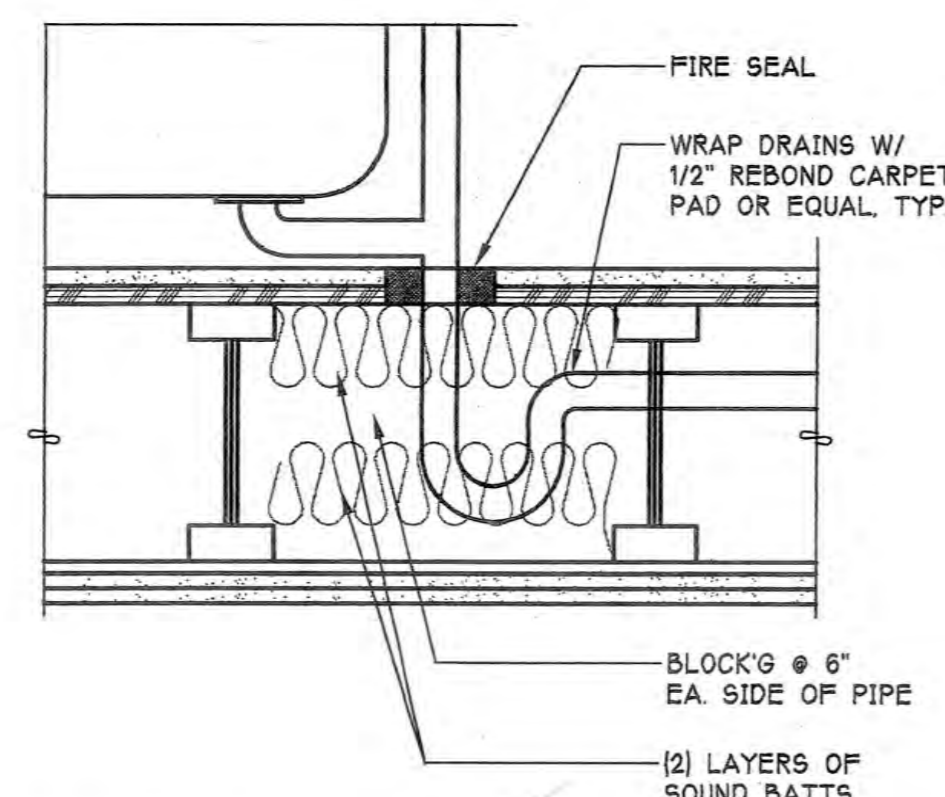
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MPI. NO. 98247.00
PROJECT NO. 06.21.98
DATE

CONTRACT FILE NAME
PERMIT
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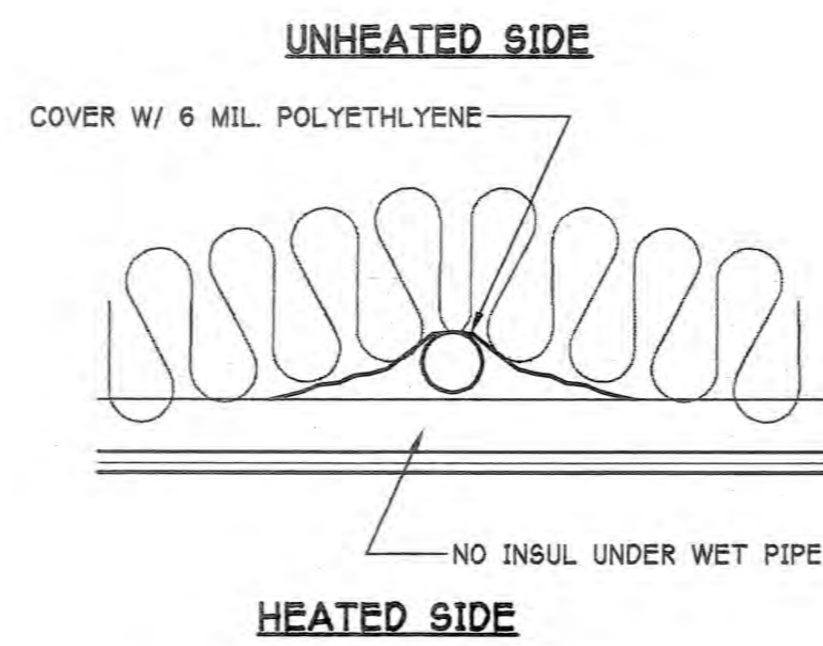
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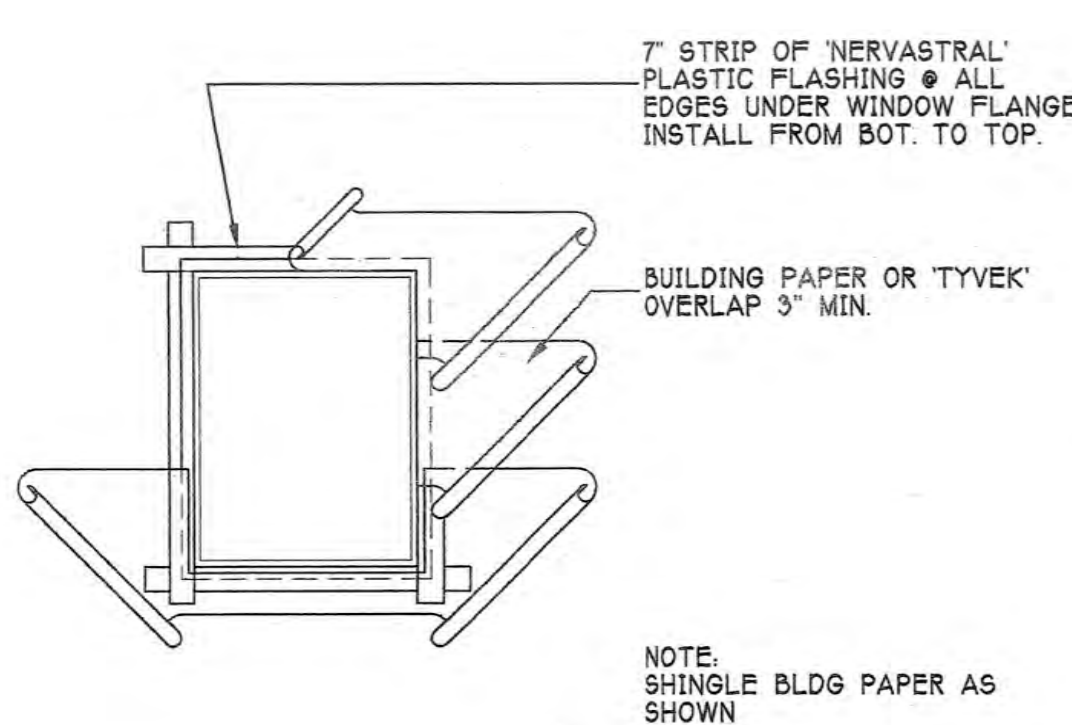
1 SOUND TREATED WC DRAIN
1 1/2" x 1'-0"



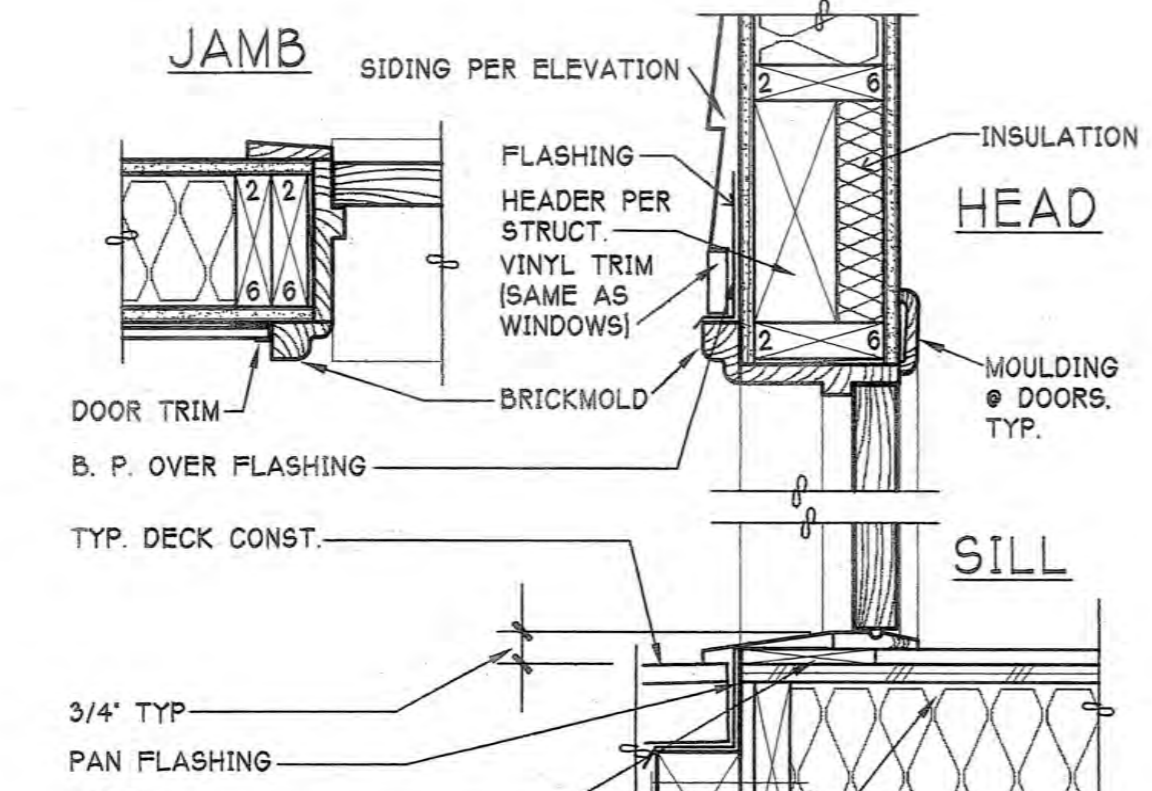
2 SOUND TREATED TUB DRAIN
1 1/2" x 1'-0"



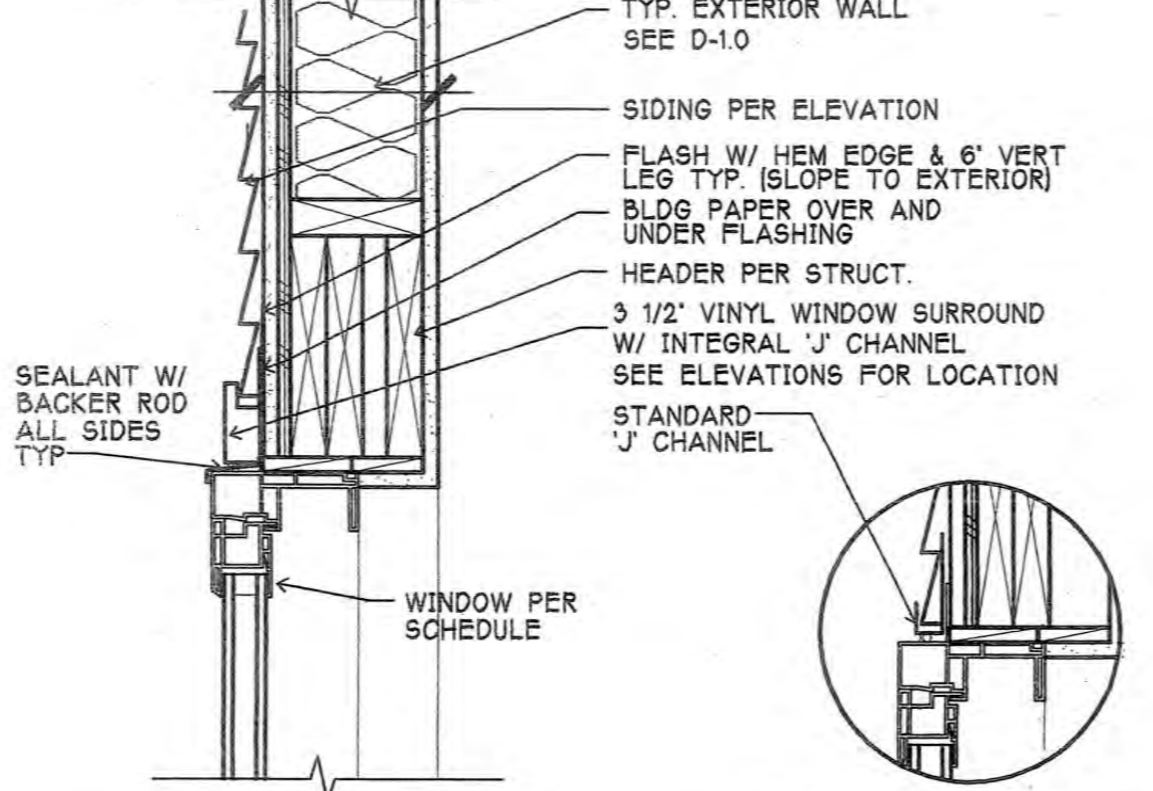
3 INSUL. @ SPRINKLER PIPE
1 1/2" x 1'-0"



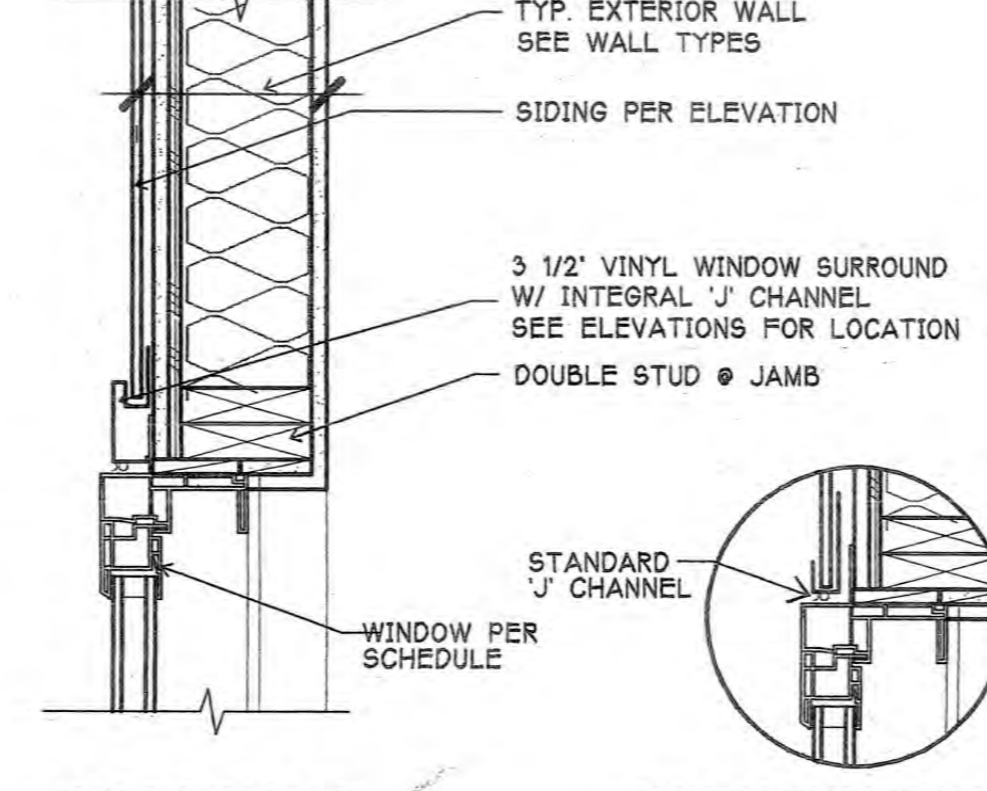
7 TYP. WINDOW INSTALL.
NTS



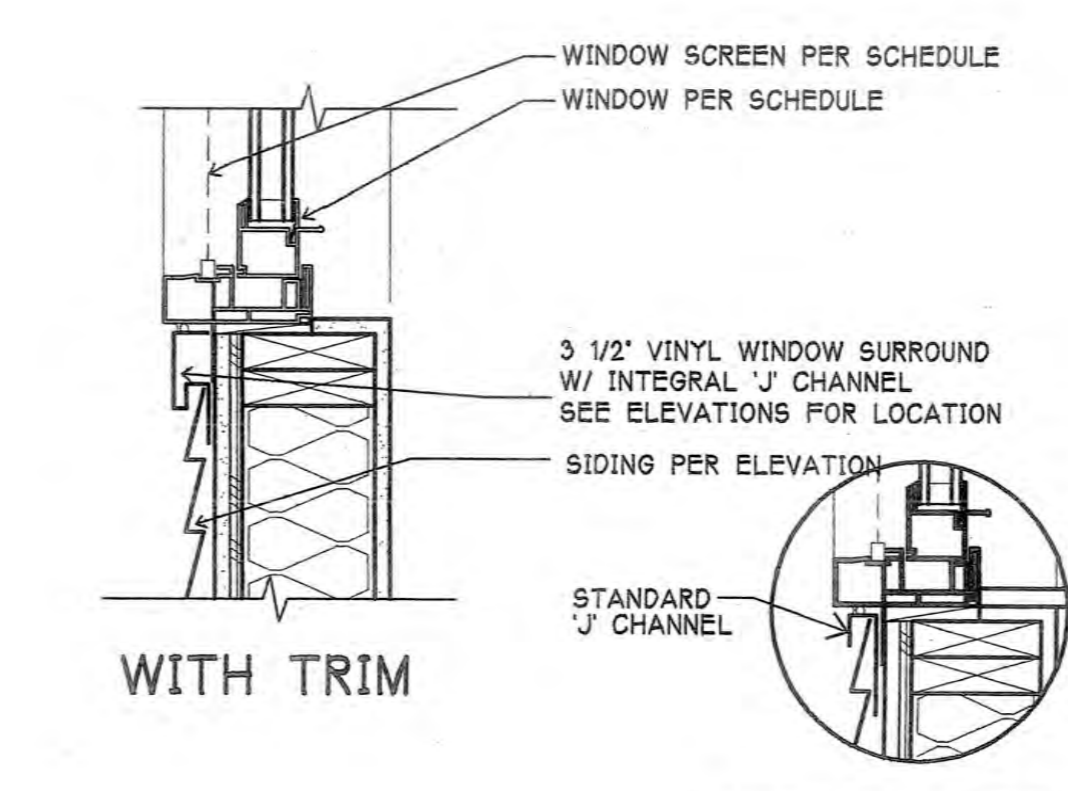
8 EXTERIOR DOOR DETAILS
1 1/2" x 1'-0"



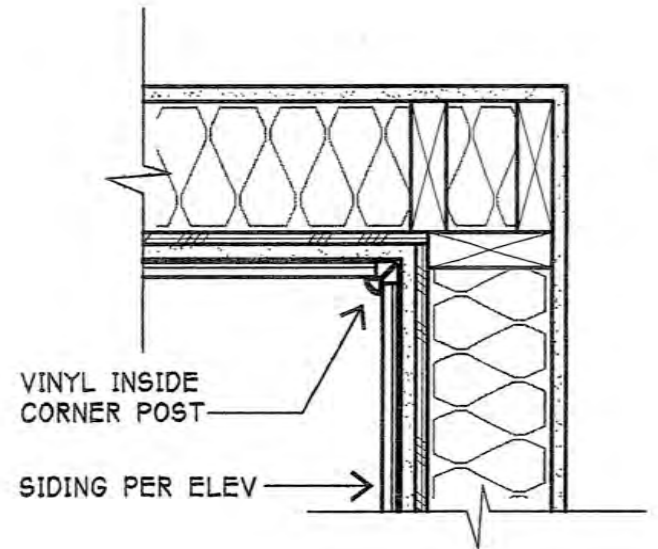
9 WINDOW HEAD TYP
1 1/2" x 1'-0"



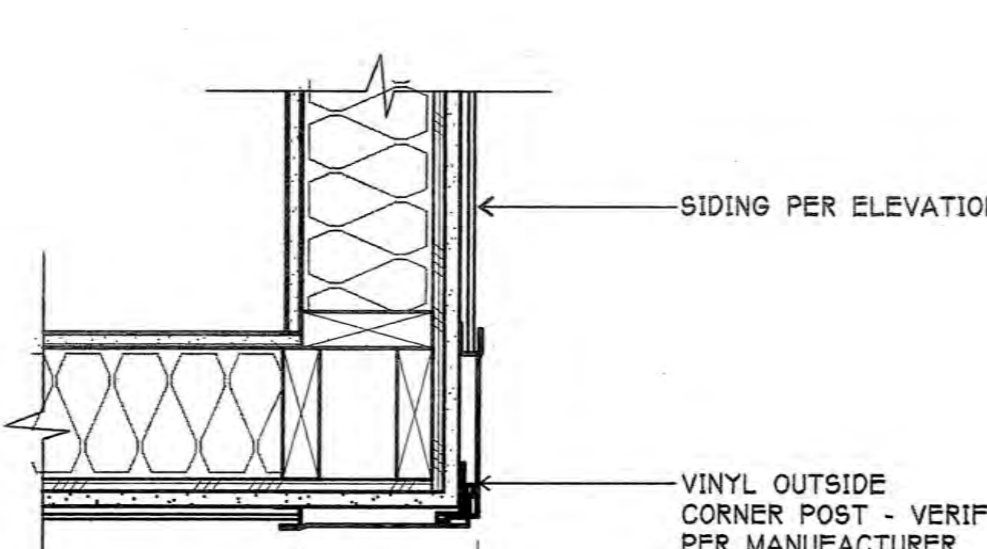
10 WINDOW JAMB TYP
1 1/2" x 1'-0"



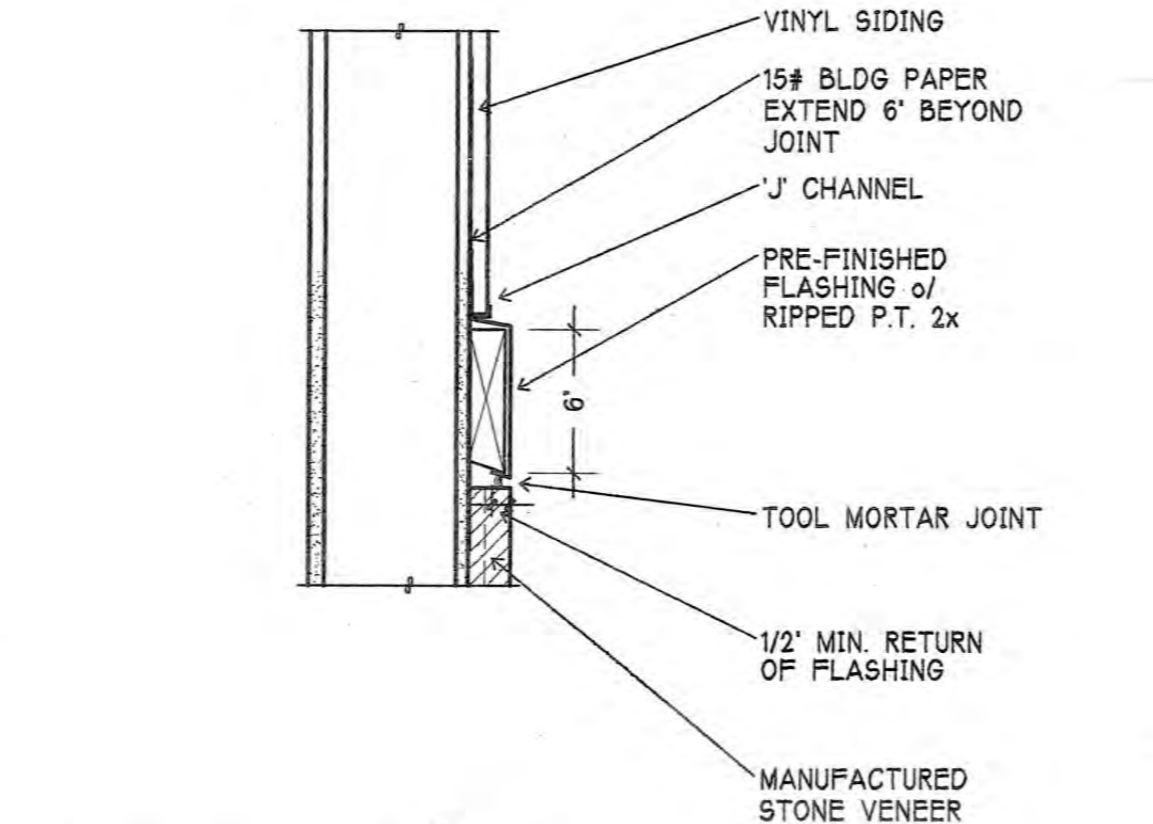
11 WINDOW SILL TYP
1 1/2" x 1'-0"



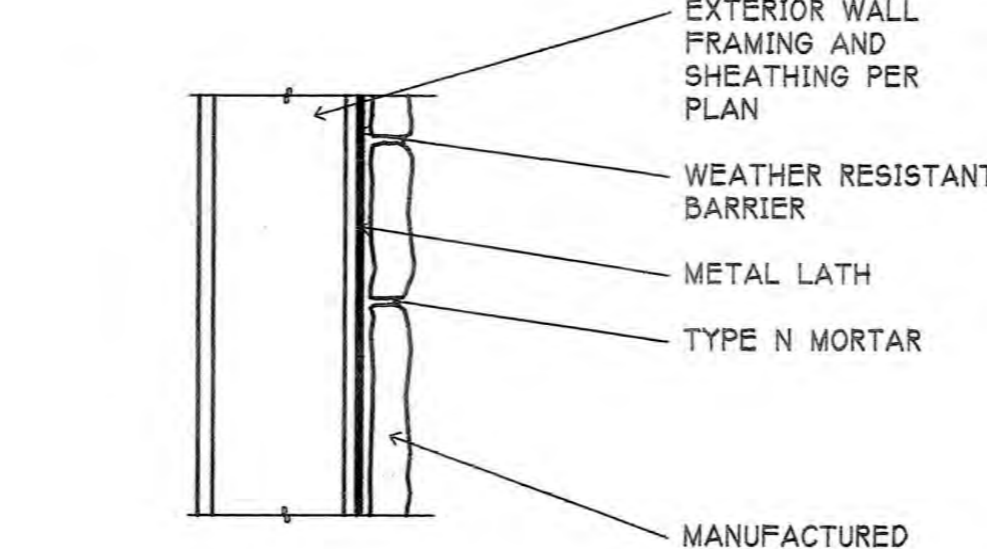
13 VINYL INSIDE CORNER
1-1/2" x 1'-0"



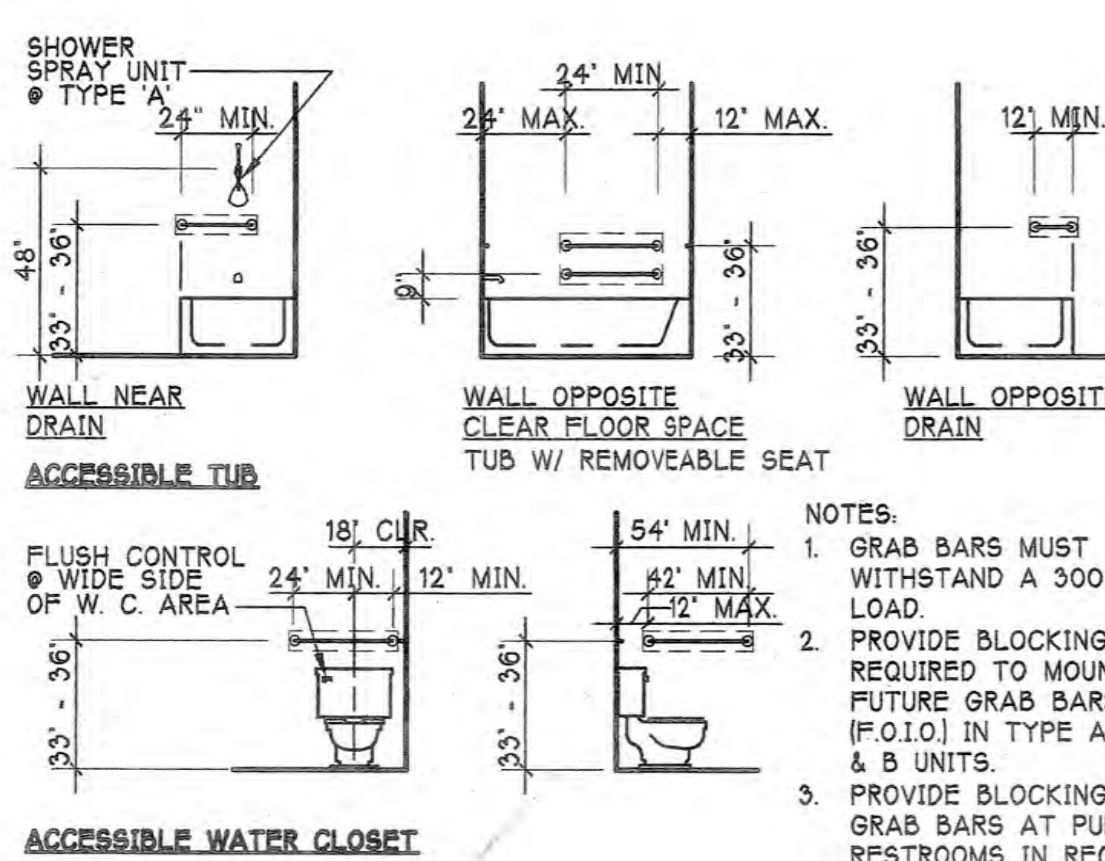
14 VINYL OUTSIDE CORNER
1-1/2" x 1'-0"



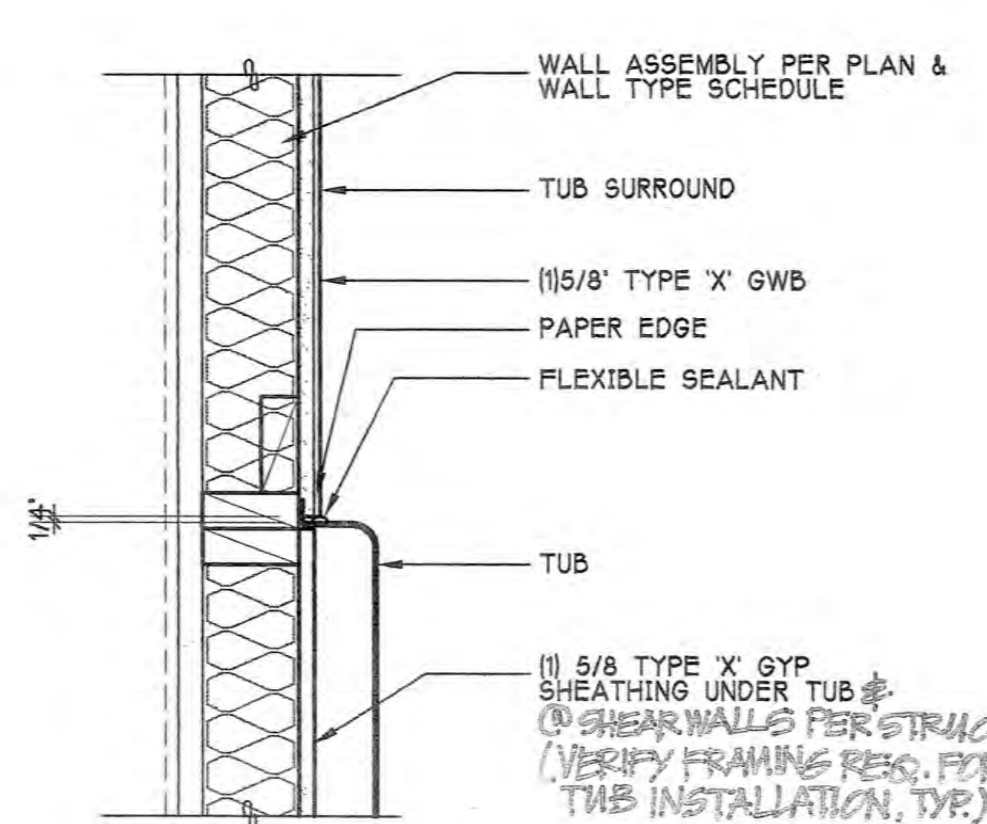
11 TRIM DETAIL
1 1/2" x 1'-0"



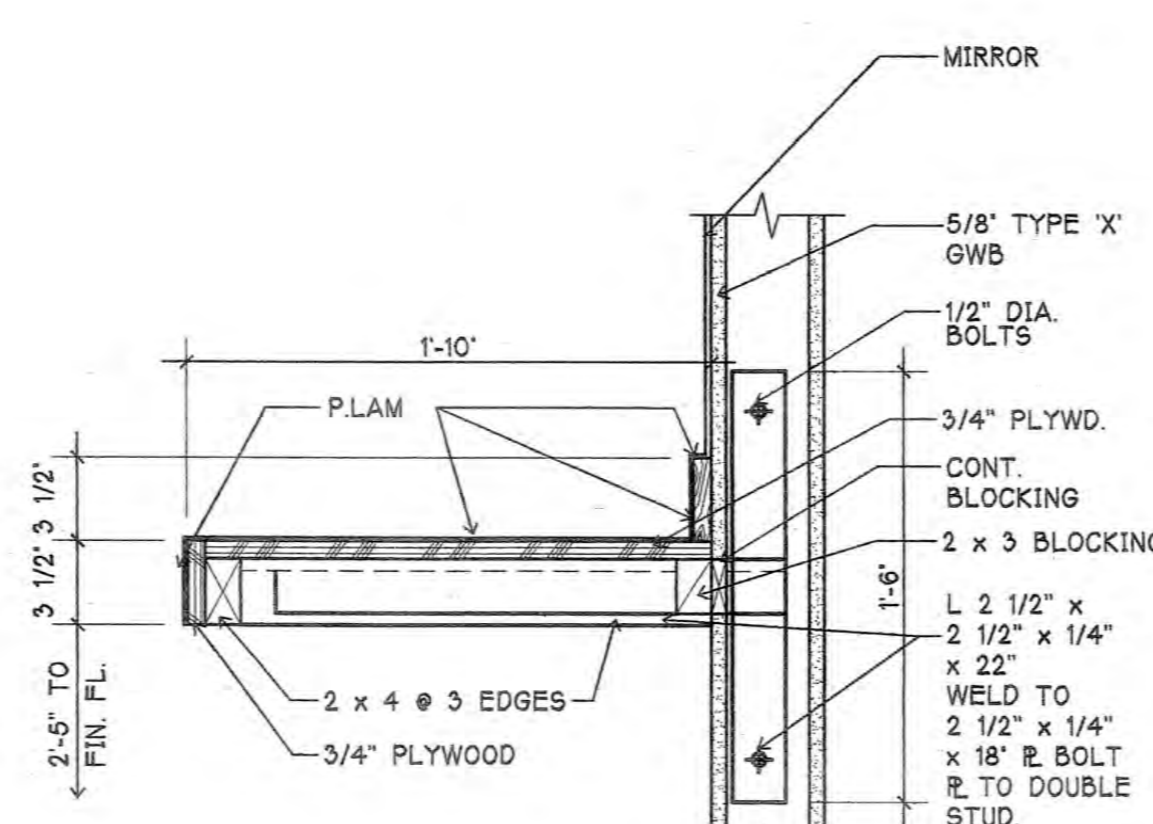
12 SIDING DETAIL
1 1/2" x 1'-0"



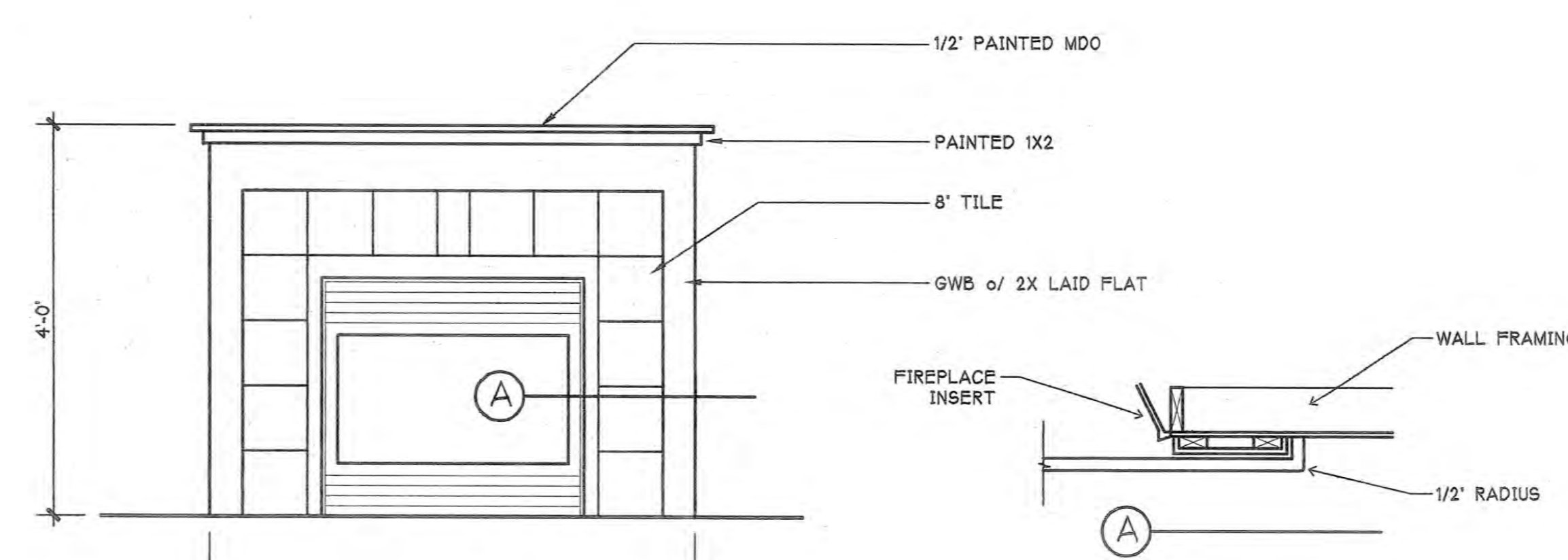
25 GRAB BAR REINFORCING - ALL BARRIER FREE UNITS
NTS



26 TUB DETAIL (ONE HR WALL)
1 1/2" x 1'-0"



27 BARRIER FREE VANITY
1 1/2" x 1'-0"



29 TYP FIREPLACE - UNITS
3/4" x 1'-0"

DATE	REVISION

BK
PARTNER IN CHARGE
BRIAN SULLIVAN
PROJECT NUMBER
MAX ANDERSON 206.971.5579
PROJECT ARCHITECT
MB&BW
DRAWN
FB
CHECK
CJW

2029 REGISTERED ARCHITECT
THOMAS D. EMRICH
STATE OF WASHINGTON

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DETAILS
MPL NO. 98247.00
PROJECT NO. 08.21.20
DATE
CONVISED FILE NAME
PERMIT
DESIGNED BY

D-2.0
SHEET NUMBER
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