

# PUYALLUP 2ND STREET APARTMENTS

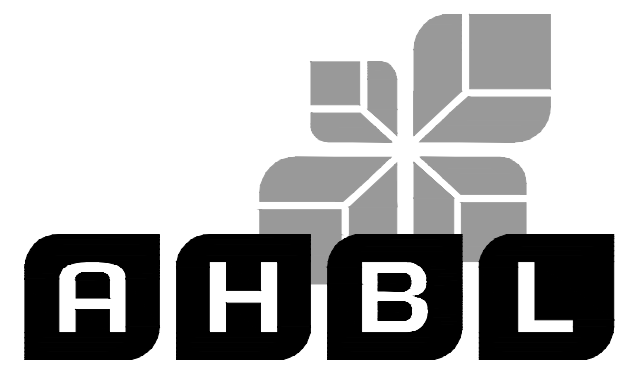
## A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 27, TWN. 20 N., RGE. 04 E. W.M. CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

**APPROVED**

BY: *[Signature]*  
CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
08/23/2024

DATE: \_\_\_\_\_

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.



TACOMA · SEATTLE · SPOKANE · TRI-CITIES

2215 North 30th Street, Suite 300, Tacoma, WA 98403  
253.383.2422 TEL. 253.383.2572 FAX www.ahbl.com WEB

Project Title: \_\_\_\_\_

### PUYALLUP 2ND STREET APARTMENTS

Client: **SPP MANUFACTURING**

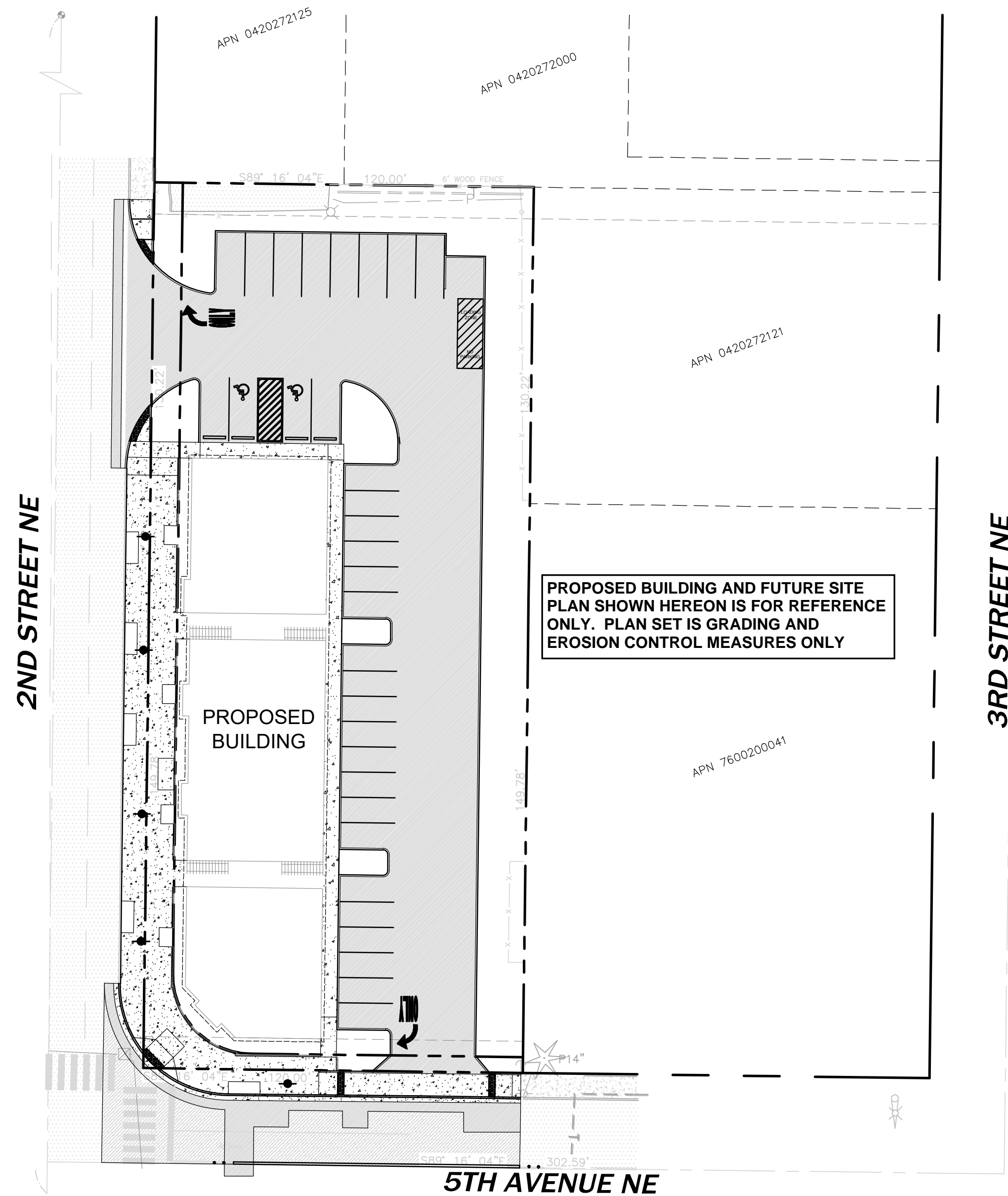
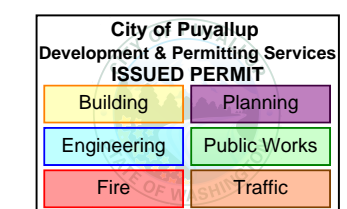
P.O. BOX 64160  
TACOMA, WA 98464  
DON HUBER

Project No. 2190606.10

Issue Set & Date: **FILL AND GRADE PERMIT SET**  
8/13/2024



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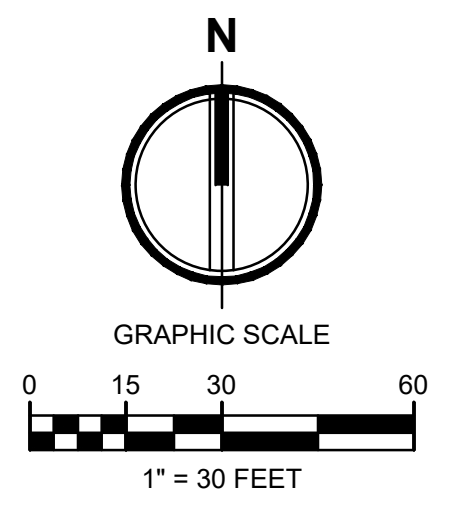


**OWNER**  
DOCE LLC  
P.O. BOX 64160  
TACOMA, WA 98464  
CONTACT: DON HUBER

**SURVEYOR**  
AHBL, INC  
2215 NORTH 30TH STREET,  
SUITE 300 TACOMA, WA 98403  
PH. (253) 383-2422  
CONTACT: DAVE FOLLANSBEE, PLS

**CIVIL ENGINEER**  
AHBL, INC.  
2215 NORTH 30TH STREET,  
SUITE 300 TACOMA, WA 98403  
PH. (253) 383-2422  
CONTACT: MATT WEBER, PE

**ARCHITECT**  
JAMES GUERRERO ARCHITECTS  
7520 BRIDGEPORT WAY W  
LAKEWOOD, WA 98499  
PH. (253) 851-6000  
CONTACT: JAMES GUERRERO, AIA



EXISTING	PROPOSED
⊙	FOUND MONUMENT AS NOTED
⊕	HUB AND TACK
⊖	SET NAIL AND WASHER
⊗	FOUND PROPERTY CORNER
⊘	BOLLARD
⊙	SIGN AS NOTED
⊕	SANITARY SEWER MANHOLE
⊖	STORM CATCH BASIN
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⊘	TRAFFIC SIGNAL POLE W/ LIGHT
⊙	GUY ANCHOR
⊕	UTILITY POWER POLE
⊖	JUNCTION BOX
⊗	FIRE HYDRANT
⊘	WATER METER
⊙	WATER VALVE
⊕	P=PINE
⊖	U=UNKNOWN
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⊙	WATER LINE
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⊖	COMMUNICATION LINE
⊗	OVERHEAD UTILITIES
⊘	FENCE
⊙	ASPHALT
⊕	CONCRETE
⊖	GRAVEL

**TOPOGRAPHIC NOTE**

THE EXISTING CULTURAL AND TOPOGRAPHIC DATA SHOWN ON THESE DRAWINGS HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, AHBL CANNOT ENSURE ACCURACY AND THIS IS NOT RESPONSIBLE FOR THE ACCURACY OF THAT INFORMATION OR FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

**FILL SPECIFICATION**

FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW, ORDINANCE, CODE, REGULATION, RULE, ORDER, OR STANDARD.

**TRENCH NOTE**

IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)B, IT SHALL BE SHORED AND CRIBBED. THE CONTRACTOR ALONE SHALL BE RESPONSIBLE FOR WORKER SAFETY AND AHBL ASSUMES NO RESPONSIBILITY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW.

**UTILITY NOTE**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT HAPPEN DUE TO THE CONTRACTOR'S FAILURE TO LOCATE EXACTLY AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. AHBL ASSUMES NO LIABILITY FOR THE LOCATION OF UNDERGROUND UTILITIES.

**UTILITIES**  
WATER - CITY OF PUYALLUP  
SANITARY SEWER - CITY OF PUYALLUP  
ELECTRICITY - PUGET SOUND ENERGY  
NATURAL GAS - PUGET SOUND ENERGY  
TELEPHONE - CENTURY LINK

**SITE**  
SITE ADDRESS - XXX 2ND STREET NE  
PUYALLUP WA 98371

PARCEL - 7600200051

SITE AREA - 33,600 SF (0.77 ACRES)

ZONING- CBD

**VERTICAL DATUM**

NAVD 1988 VERTICAL DATUM ON ORTHOMETRICALLY CORRECTED GPS OBSERVATION USING WSRN AND GEOID 2012A.

**BASIS OF BEARING**

NAD 1983 WASHINGTON STATE PLANE SOUTH PROJECTION, BASED ON GPS OBSERVATIONS USING WSRN AND GEOID 2012A. UNITS OF MEASUREMENT ARE US SURVEY FEET.

**AMR NOTE**

REFER TO APPROVED AMR E21-570 AND APPROVED AMR E21-0571 FOR APPROVED MODIFICATIONS TO PUYALLUP ROAD STANDARDS.

SHEET INDEX	
Sheet Number	Sheet Title
C0.1	COVER SHEET
C0.2	EXISTING CONDITIONS MAP
C1.0	TESC, DEMO AND GRADING PLAN
C1.1	TESC NOTES AND DETAILS
C1.2	TESC NOTES AND DETAILS

**GENERAL NOTES**

- ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT CENTER TO BE ATTENDED BY ALL MAJOR CONTRACTORS, REPRESENTATIVES OF INVOLVED UTILITIES, AND THE CITY OF PUYALLUP. CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF PLANS AT THE MEETING.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
- A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST 48 HOURS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.

- ANY STRUCTURE AND/OR OBSTRUCTION WHICH REQUIRE REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
- LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY.
- THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.
- POWER, STREET LIGHT, CABLE, AND TELEPHONE LINES SHALL BE IN A TRENCH LOCATED WITHIN A 10-FOOT UTILITY EASEMENT ADJACENT TO PUBLIC RIGHT-OF-WAY. RIGHT-OF-WAY CROSSINGS SHALL HAVE A MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES (SEWER, WATER, STORM) OF 5 FEET.
- ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
- DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
- CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
- A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF ECOLOGY AT (360)407-6300.
- ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.

**LEGAL DESCRIPTION**

(PER OLD REPUBLIC TITLE, LTD., ORDER NUMBER 5217024093-CB, EFFECTIVE DATE MAY 23, 2018, AT 8:00 A.M.):

PARCEL A:

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M., DESCRIBED AS FOLLOWS:

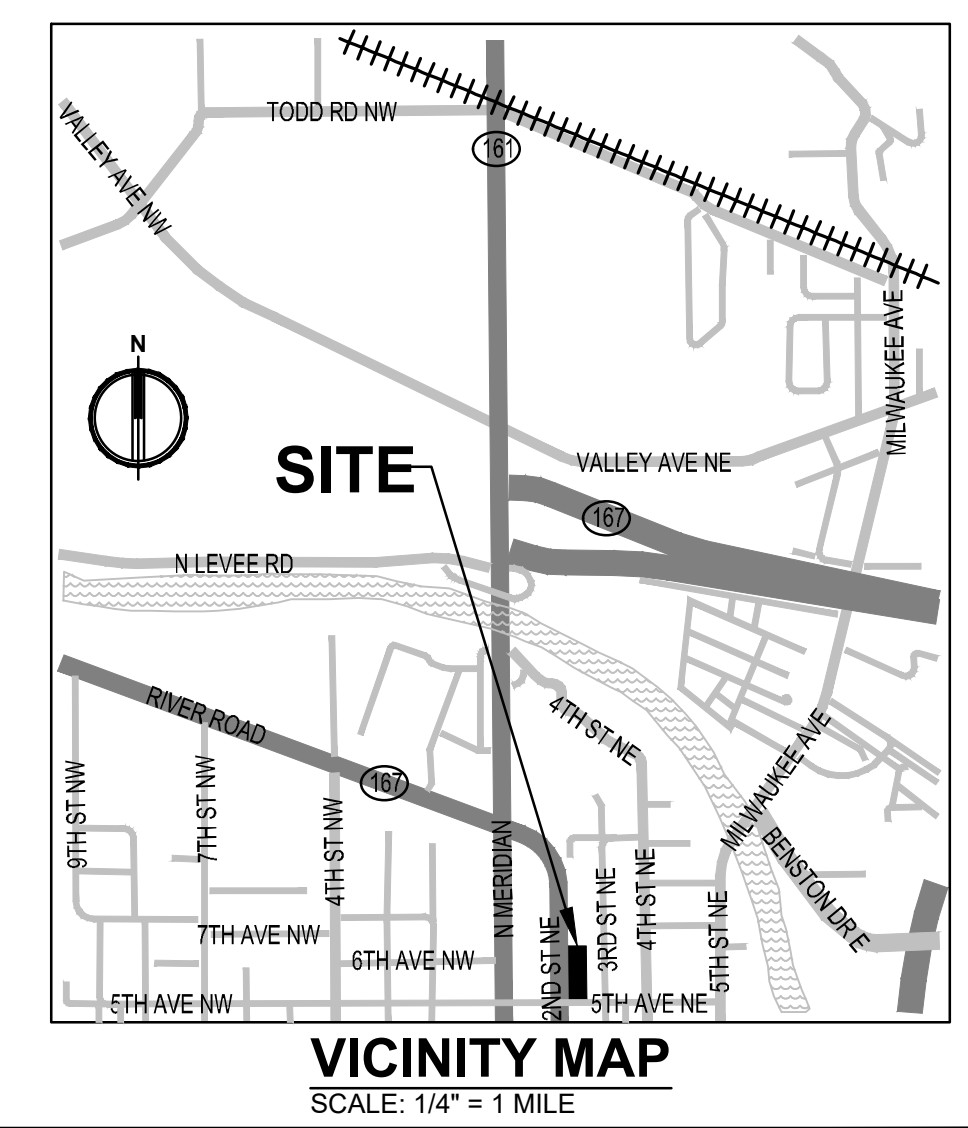
BEGINNING ON THE EAST BOUNDARY OF 2ND STREET N.E. IN THE CITY OF PUYALLUP, 149.78 FEET NORTH OF THE SOUTHWEST CORNER OF BLOCK 4, SHUMAN'S ADDITION TO PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 99, RECORDS OF PIERCE COUNTY, WASHINGTON;

THENCE CONTINUE NORTH ON SAID BOUNDARY, 130.22 FEET;  
THENCE EAST PARALLEL WITH THE SOUTH LINE OF SAID BLOCK 4, 120 FEET;  
THENCE SOUTH PARALLEL WITH SAID EAST BOUNDARY OF 2ND STREET N.E., 130.22 FEET TO THE NORTH LINE OF SAID BLOCK 4;  
THENCE WEST 120 FEET TO THE POINT OF BEGINNING.

PARCEL B:

LOTS 1, 2 AND 3, BLOCK 4, SHUMAN'S SECOND ADDITION TO PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 99, RECORDS OF PIERCE COUNTY, WASHINGTON.

BOTH SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.



Revisions:

Sheet Title: **COVER SHEET**

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No. **C0.1**  
1 of 5 Sheets

# PUYALLUP 2ND STREET APARTMENTS

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 27, TWN. 20 N., RGE. 04 E. W.M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

**APPROVED**

BY *James L. ...*  
CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
08/23/2024  
DATE

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253.383.2422 TEL 253.383.2572 FAX www.ahbl.com WEB

Project Title:

## PUYALLUP 2ND STREET APARTMENTS

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SPP MANUFACTURING

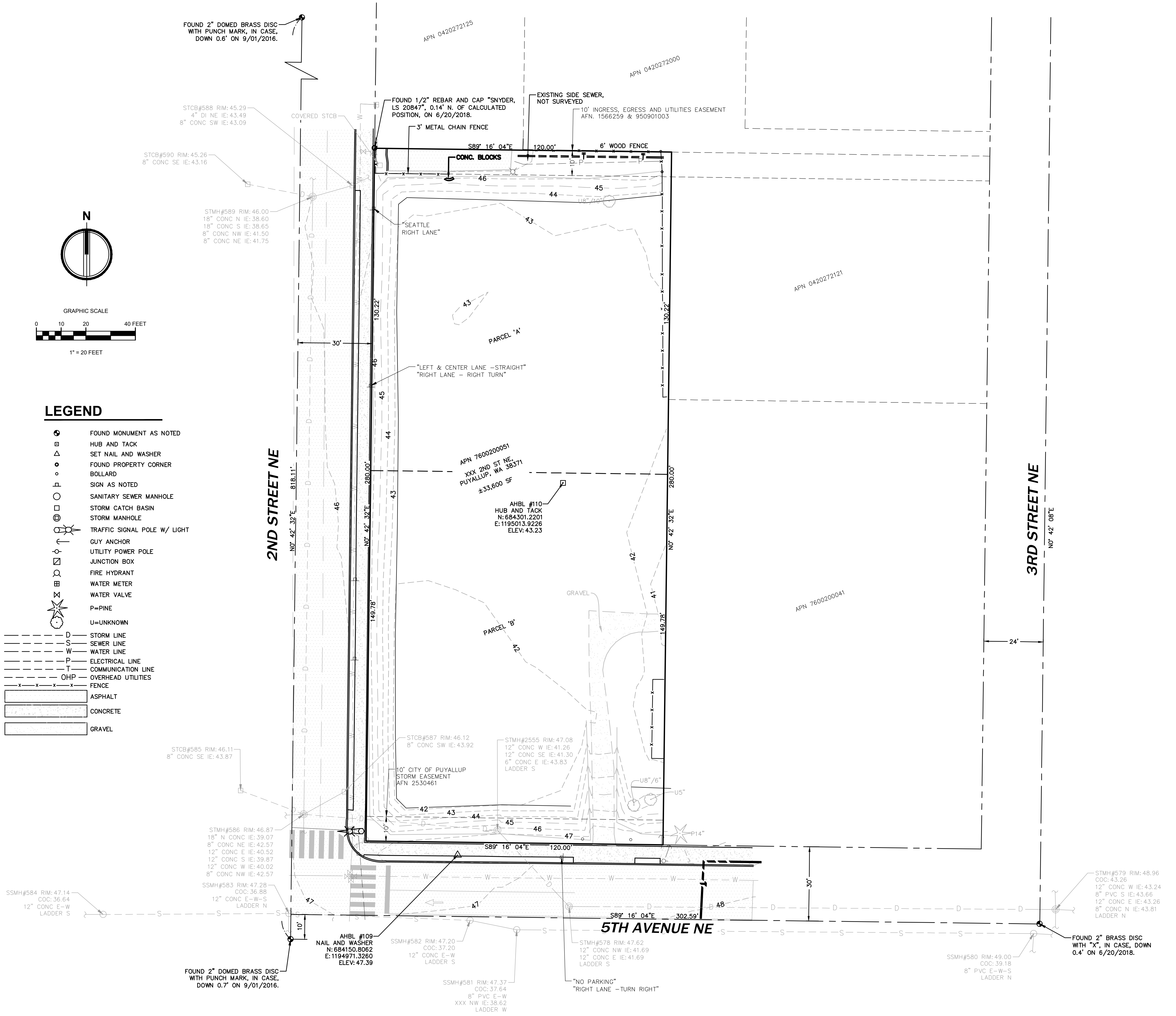
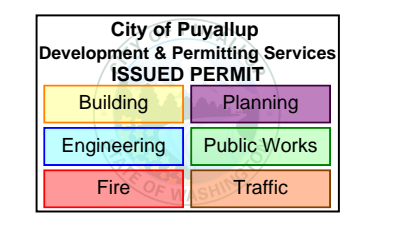
P.O. BOX 64160  
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DON HUBER

Project No.  
2190606.10

Issue Set & Date:  
**FILL AND GRADE PERMIT SET**  
8/13/2024



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### LEGEND

- FOUND MONUMENT AS NOTED
- HUB AND TACK
- △ SET NAIL AND WASHER
- FOUND PROPERTY CORNER
- BOLLARD
- ⊕ SIGN AS NOTED
- SANITARY SEWER MANHOLE
- STORM CATCH BASIN
- STORM MANHOLE
- ⊕ TRAFFIC SIGNAL POLE W/ LIGHT
- ⊕ GUY ANCHOR
- ⊕ UTILITY POWER POLE
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- ⊕ FIRE HYDRANT
- ⊕ WATER METER
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- P=PINE
- U=UNKNOWN
- D --- STORM LINE
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- E --- ELECTRICAL LINE
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Revisions:


Sheet Title:

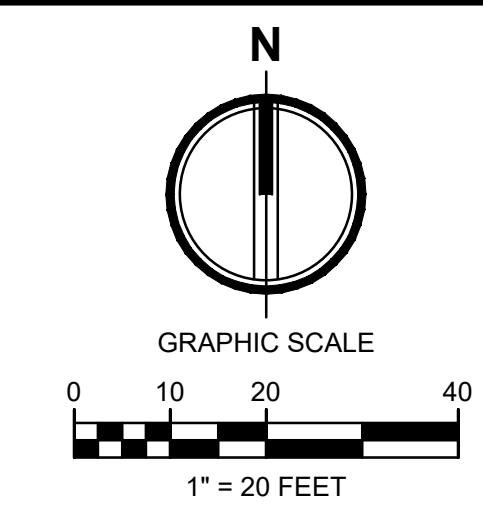
### EXISTING CONDITIONS MAP

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No.  
**C0.2**  
2 of 5 Sheets

# PUYALLUP 2ND STREET APARTMENTS

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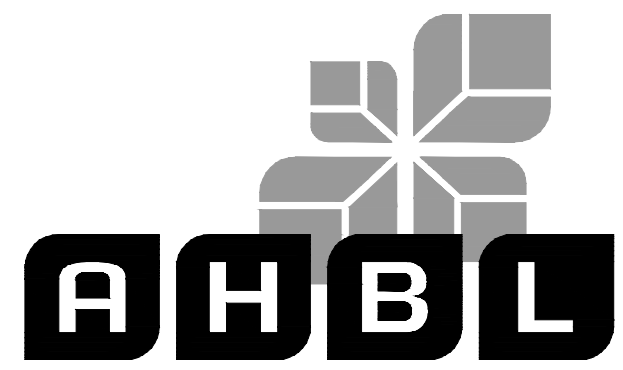


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Project Title: \_\_\_\_\_

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Client: **SPP MANUFACTURING**

P.O. BOX 64160  
TACOMA, WA 98464  
DON HUBER

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### FILL AND GRADE PERMIT SET

8/13/2024



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City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic

Revisions:

Sheet Title: \_\_\_\_\_

### TESC, DEMO AND GRADING PLAN

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No. \_\_\_\_\_

# C1.0

3 of 5 Sheets

#### EARTHWORK QUANTITIES

CUT = 30 CUBIC YARDS  
FILL = 3,490 CUBIC YARDS  
NET = 3,460 CUBIC YARDS (IMPORT)

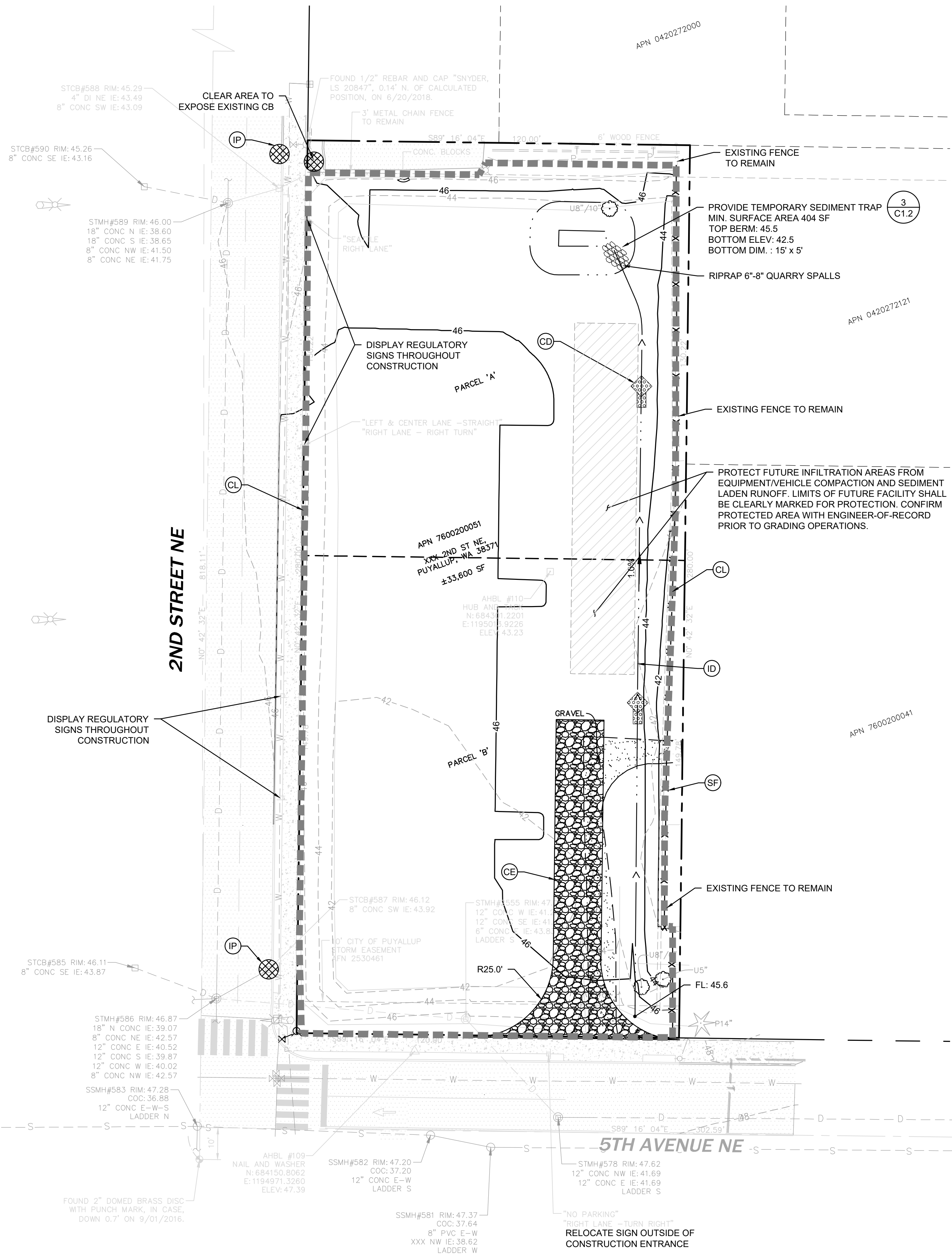
NOTES:  
1. THE ABOVE QUANTITIES ARE ESTIMATES ONLY INTENDED FOR THE PERMITTING PROCESS. DO NOT USE FOR BID PURPOSES. THE QUANTITIES DO NOT HAVE STRIPPING, COMPACTION, OR CUT OR FILL ADJUSTMENT FACTORS APPLIED TO THEM, NOR DO THEY ACCOUNT FOR PAVEMENT, SIDEWALK OR BUILDING SERVICES.

#### CONSTRUCTION SEQUENCE

- HOLD A PRECONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- STAKE OR PAINT CLEARING AND GRADING LIMITS.
- PROVIDE INLET PROTECTION AS SHOWN.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
- INSTALL SILT FENCE AND INFILTRATION AREA PROTECTION.
- INSTALL TEMPORARY SEDIMENT TRAP.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- PROVIDE COVER MEASURES (ARMORING, MULCHING, AND HYDROSEEDING) AS REQUIRED TO STABILIZE DENUDED AREAS AND PREVENT THE TRANSPORT OF SEDIMENT-LADEN STORMWATER OFF-SITE.
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL MEASURES A MINIMUM OF ONCE WEEKLY AND AFTER EVERY STORM EVENT THAT PRODUCES RUNOFF FROM THE SITE. THE CONTRACTOR SHALL REPAIR OR ADD EROSION CONTROL MEASURES AS REQUIRED.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- AFTER SITE HAS BEEN PERMANENTLY STABILIZED, REMOVE SEDIMENT FROM STORM PIPES AND CATCH BASIN SUMPS.
- COORDINATE WITH THE CITY OF PUYALLUP AND ENGINEER FOR FINAL INSPECTION.
- REMOVE REMAINING TEMPORARY EROSION CONTROL DEVICES WHEN AREA HAS BEEN PERMANENTLY STABILIZED WITH VEGETATION OR SURFACING, AND REMOVAL IS APPROVED BY THE ENGINEER AND THE CITY OF PUYALLUP.

#### GRADING, EROSION & SEDIMENTATION CONTROL NOTES:

- ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT CITY HALL TO BE ATTENDED BY ALL MAJOR CONTRACTORS, REPRESENTATIVES OF INVOLVED UTILITIES AND THE CITY OF PUYALLUP. CONTACT THE ENGINEERING DIVISION AT THE CITY OF PUYALLUP TO SCHEDULE THE MEETING (253-864-4165). THE CONTRACTOR IS RESPONSIBLE TO HAVE HIS SET OF PLANS AT THE MEETING.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
- A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (1-800-424-5555) AT LEAST 48 HOURS IN ADVANCE. THE OWNER AND HIS ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.
- AT ANY TIME DURING CONSTRUCTION IT IS DETERMINED BY THE CITY THAT MUD AND DEBRIS ARE BEING TRACKED ONTO PUBLIC STREETS WITH INSUFFICIENT CLEANUP, ALL WORK SHALL CEASE ON THE PROJECT UNTIL THIS CONDITION IS CORRECTED. THE CONTRACTOR AND/OR THE OWNER SHALL IMMEDIATELY TAKE ALL STEPS NECESSARY TO PREVENT FUTURE TRACKING OF MUD AND DEBRIS INTO THE PUBLIC ROW, WHICH MAY INCLUDE THE INSTALLATION OF A WHEEL WASH FACILITY ON-SITE.
- CONTRACTOR SHALL DESIGNATE A WASHINGTON DEPARTMENT OF ECOLOGY CERTIFIED EROSION AND SEDIMENT CONTROL LEAD PERSON, AND SHALL COMPLY WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THEIR PROJECT.
- SEDIMENT-LADEN RUNOFF SHALL NOT BE ALLOWED TO DISCHARGE BEYOND THE CONSTRUCTION LIMITS IN ACCORDANCE WITH THE PROJECT'S NPDES GENERAL STORMWATER PERMIT.



# PUYALLUP 2ND STREET APARTMENTS

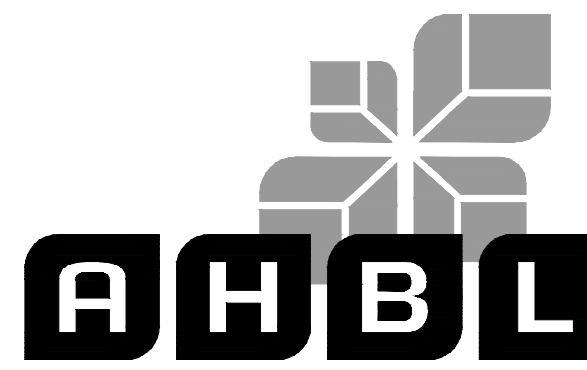
## A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 27, TWN. 20 N., RGE. 04 E. W.M. CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

**APPROVED**

BY *[Signature]*  
CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
08/23/2024

DATE \_\_\_\_\_

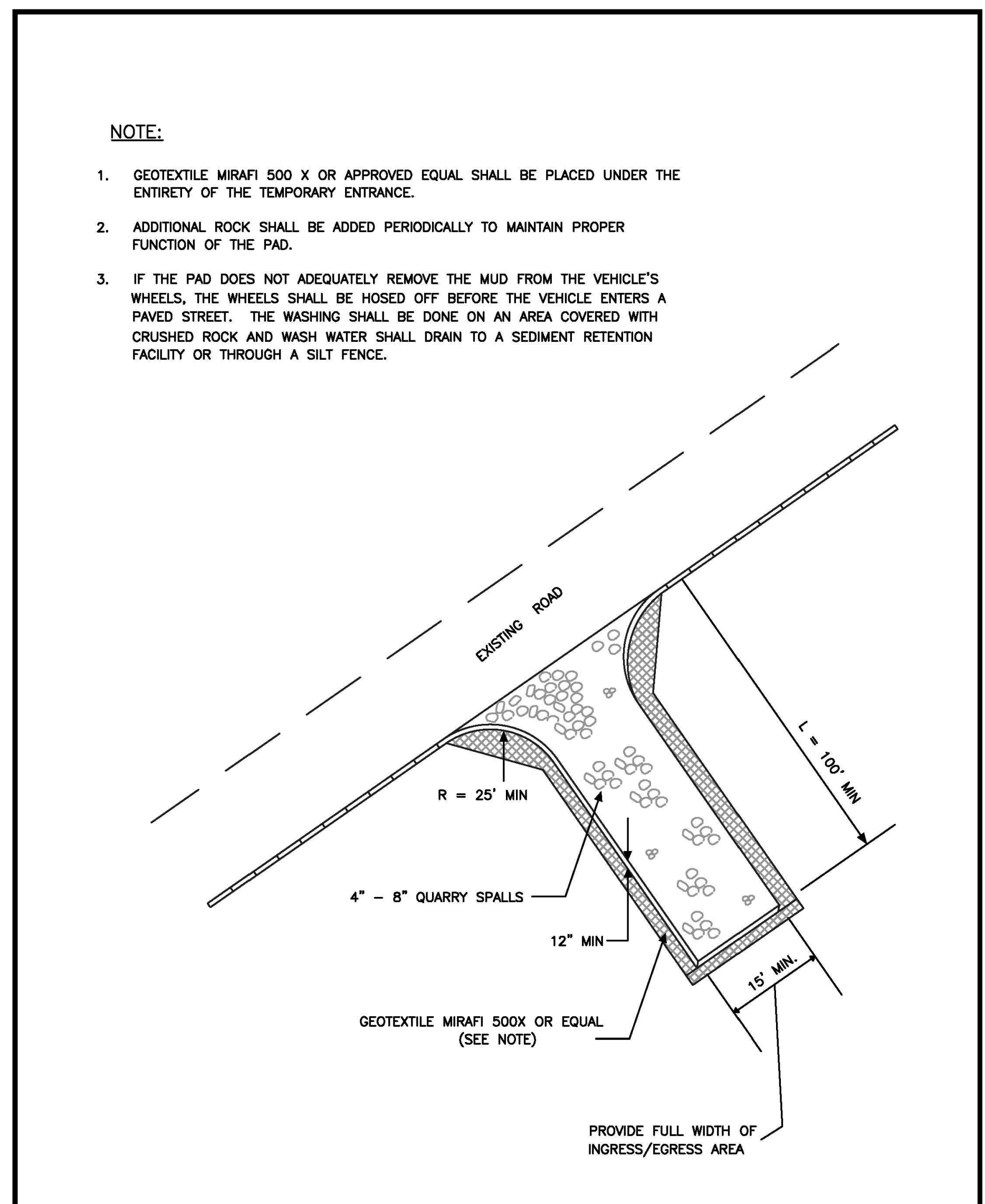
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.




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Project Title: \_\_\_\_\_



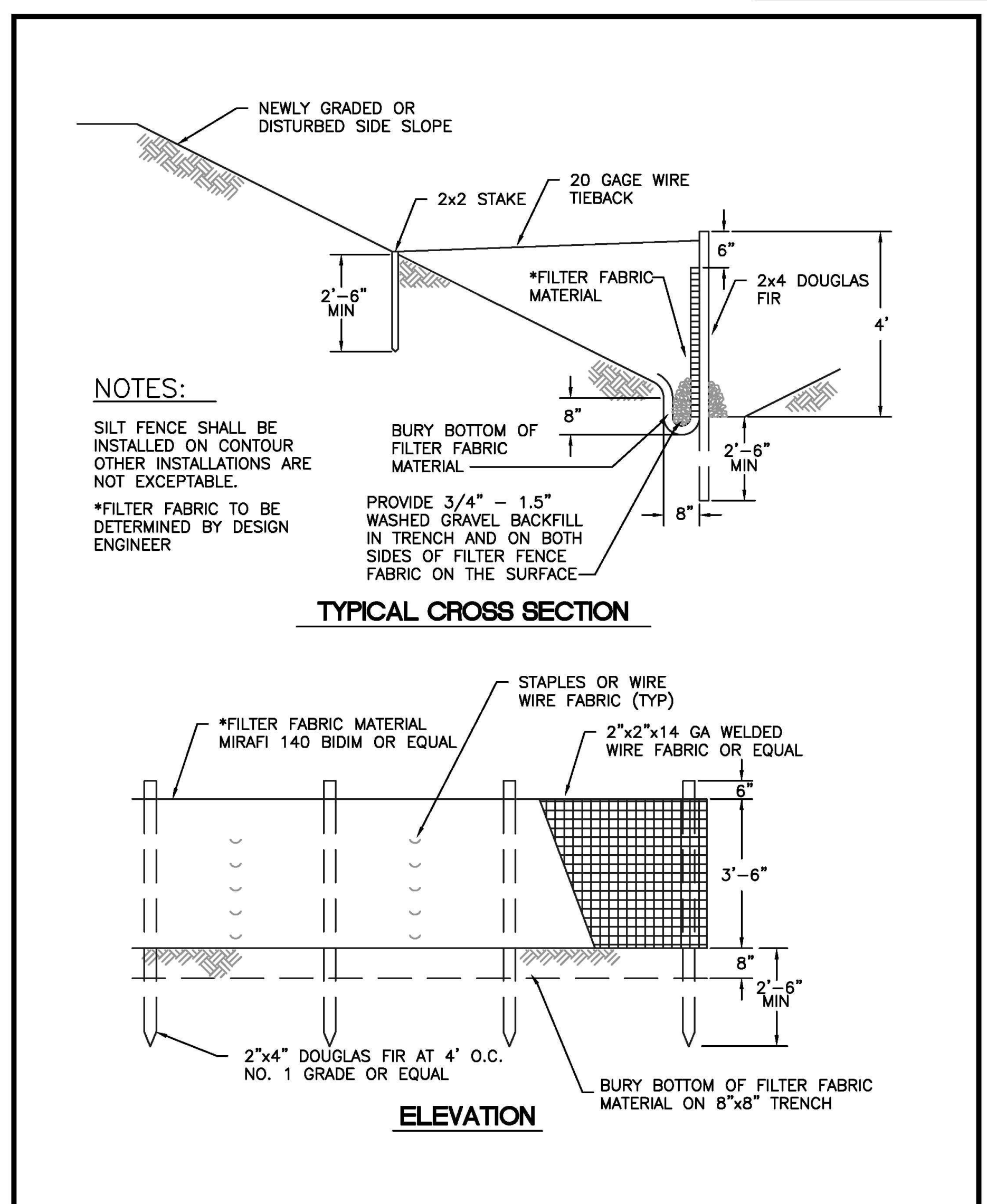
 <b>CITY OF PUYALLUP</b> DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	<b>TEMPORARY CONSTRUCTION ENTRANCE</b>				CITY STANDARD 05.01.01
	<small>DRAWN BY</small> JIM DEWINS-SVORODA	<small>CHECKED BY</small> LINDA LIAN	<small>APPROVED BY</small> COLLEEN HARRIS	<small>REVISED BY</small> XXXX	
<small>FILE NAME</small> F:\DWG\COMMON\STD\STD\200905_GRD\05.01\05.01.01	<small>DATE APPROVED</small> 07/02/2009	<small>DATE REVISION</small> XX/XX/XX	<small>SCALE</small> 1:40		


**1 TEMPORARY CONSTRUCTION ENTRANCE**  
NOT TO SCALE

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

 <b>CITY OF PUYALLUP</b> DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	<b>GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES</b>				CITY STANDARD 05.02.01
	<small>DRAWN BY</small> JIM DEWINS-SVORODA	<small>CHECKED BY</small> LINDA LIAN	<small>APPROVED BY</small> COLLEEN HARRIS	<small>REVISED BY</small> LINDA LIAN	
<small>FILE NAME</small> F:\DWG\COMMON\STD\STD\200905_GRD\05.01\05.02.01	<small>DATE APPROVED</small> 07/02/2009	<small>DATE REVISION</small> 11/19/2014	<small>SCALE</small> 1:1		

**2 GRADING AND T.E.S.C. NOTES**  
NOT TO SCALE



 <b>CITY OF PUYALLUP</b> DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	<b>SILTATION FENCE</b>				CITY STANDARD 02.03.02
	<small>DRAWN BY</small> LINDA LANSING	<small>CHECKED BY</small> LINDA LIAN	<small>APPROVED BY</small> COLLEEN HARRIS	<small>REVISED BY</small> XXXX	
<small>FILE NAME</small> F:\DWG\COMMON\STD\STD\200905_GRD\05.01\02.03.02	<small>DATE APPROVED</small> 08/01/2009	<small>DATE REVISION</small> 06/02/2009	<small>SCALE</small> N/A		

**3 SILTATION FENCE**  
NOT TO SCALE

### PUYALLUP 2ND STREET APARTMENTS

Client: **SPP MANUFACTURING**

P.O. BOX 64160  
TACOMA, WA 98464  
DON HUBER

Project No. \_\_\_\_\_  
2190606.10

Issue Set & Date: **FILL AND GRADE PERMIT SET**  
8/13/2024



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City of Puyallup Development & Permitting Services ISSUED PERMIT			
Building	Planning	Engineering	Public Works
Fire	Traffic		

Revisions:

Sheet Title: \_\_\_\_\_

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No. \_\_\_\_\_

### TESC NOTES AND DETAILS

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No. \_\_\_\_\_

# C1.1

4 of 5 Sheets



# PUYALLUP 2ND STREET APARTMENTS

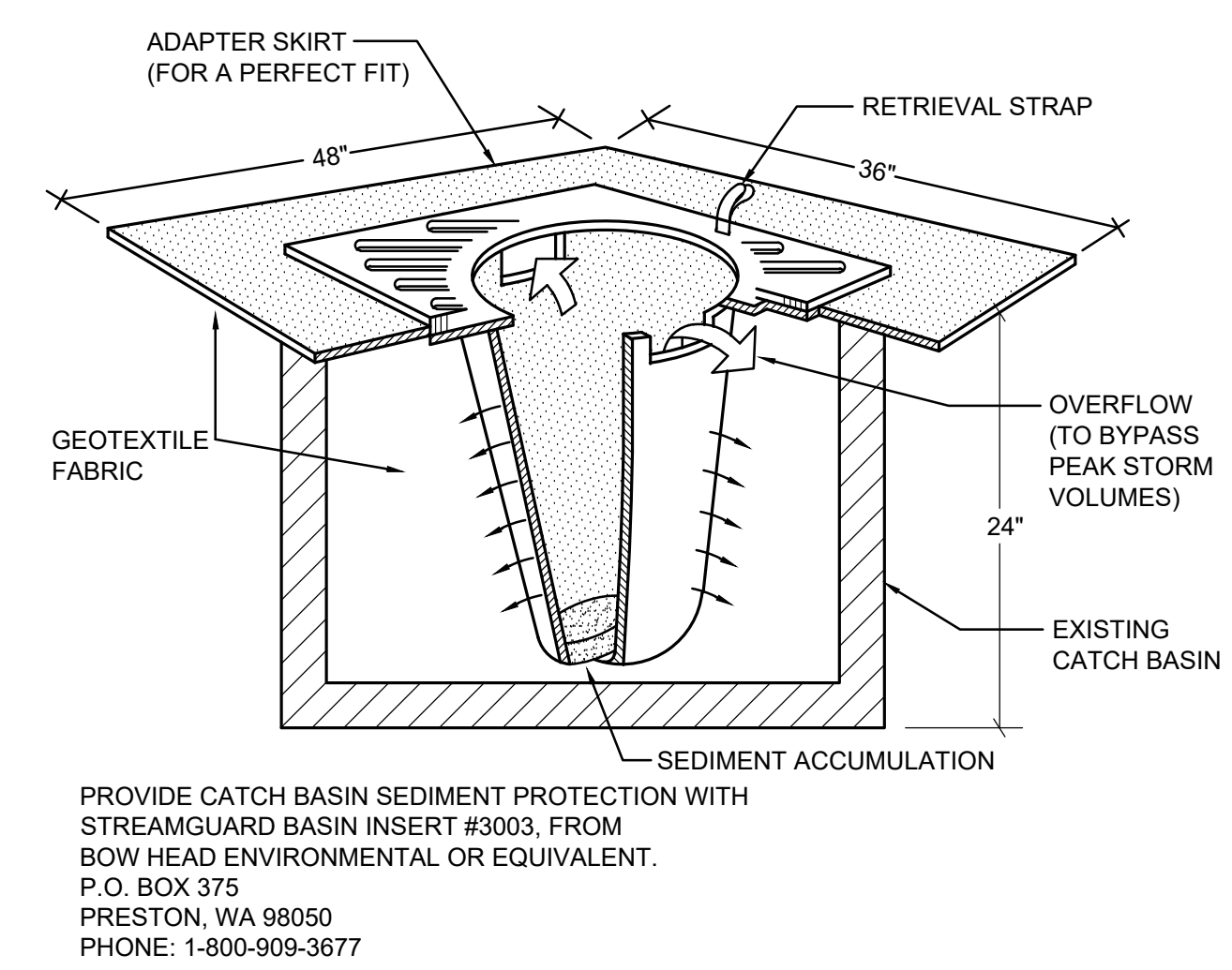
A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 27, TWN. 20 N., RGE. 04 E. W.M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

**APPROVED**

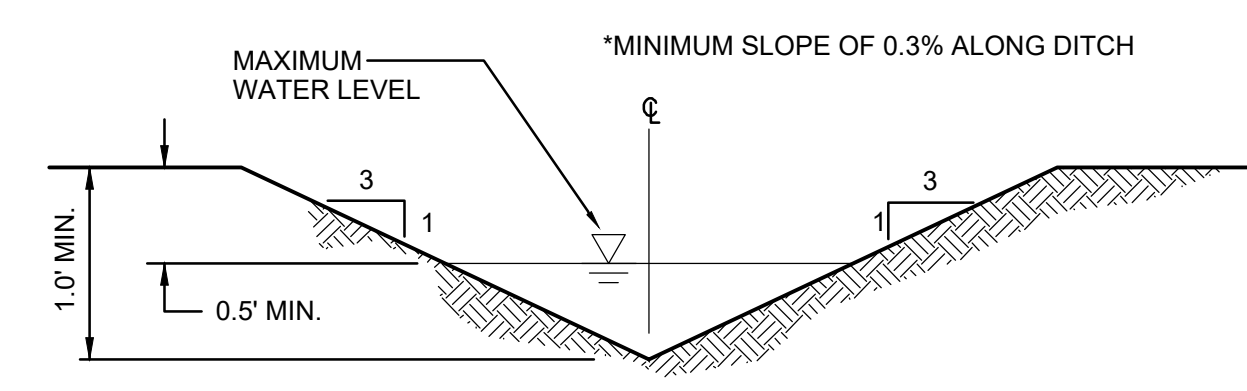
BY *James Huber*  
CITY OF PUYALLUP  
DEVELOPMENT ENGINEERING  
08/23/2024

DATE \_\_\_\_\_

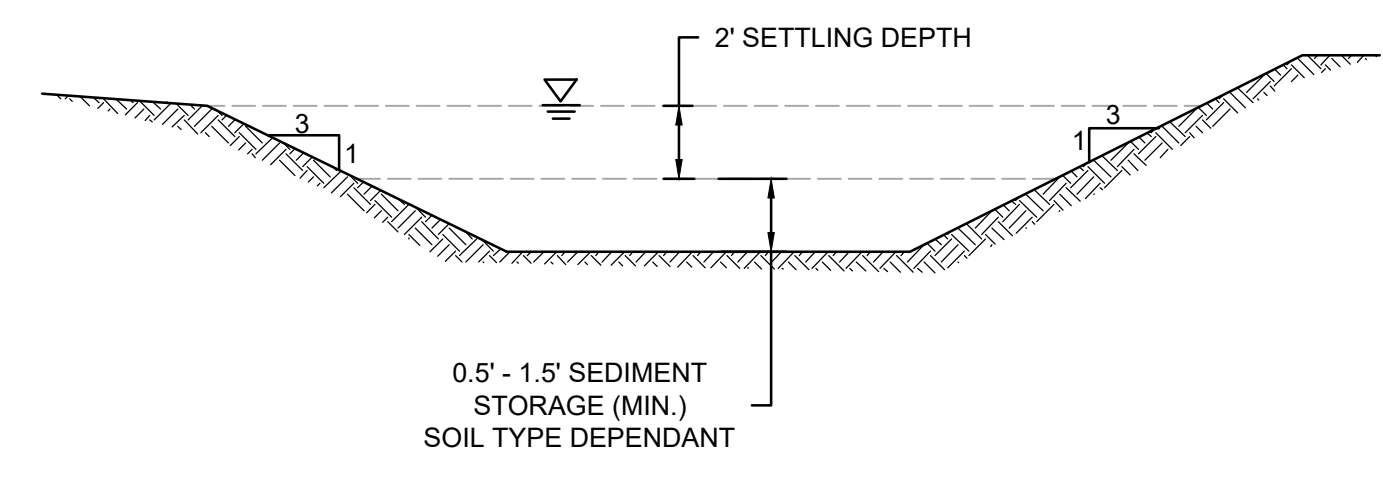
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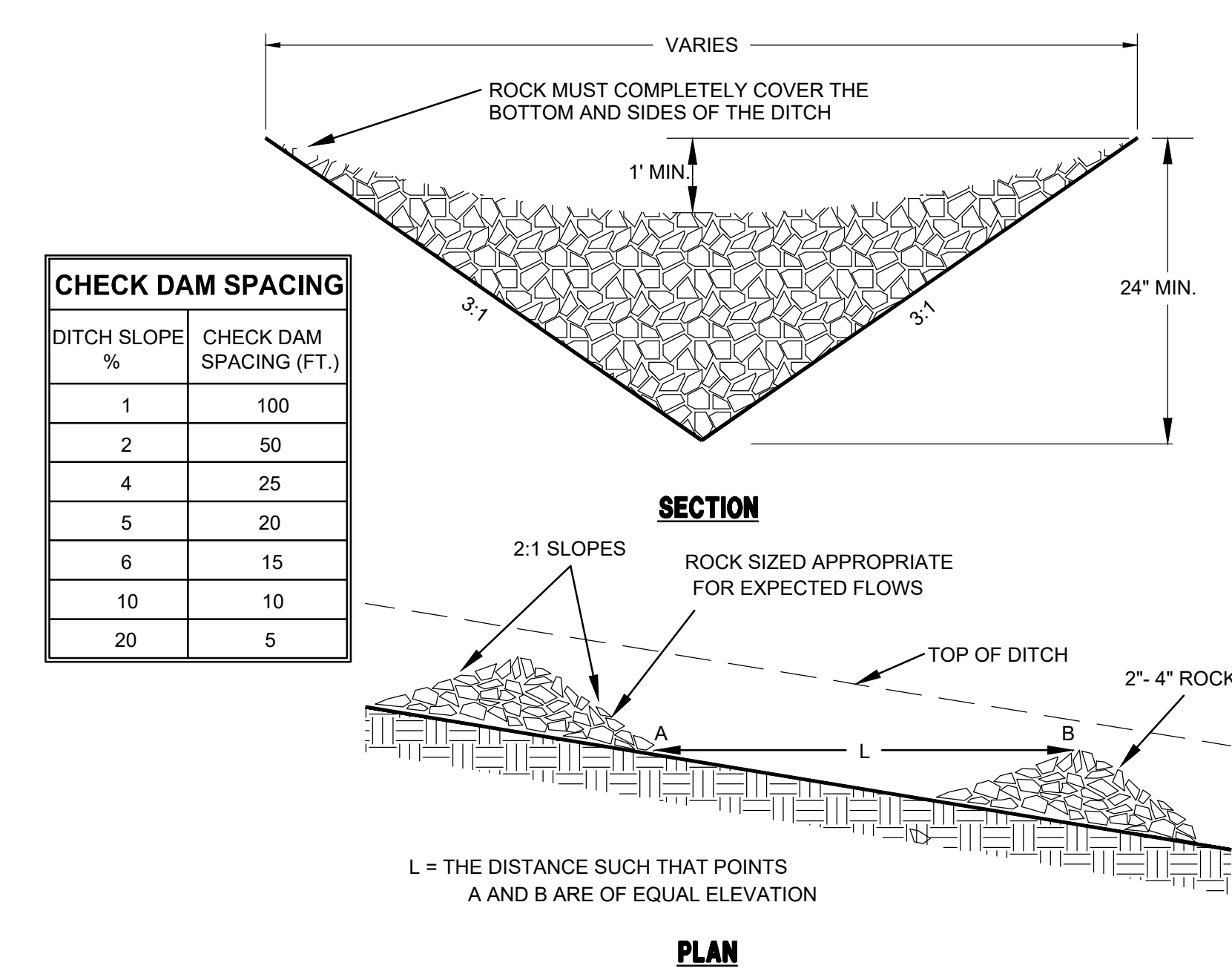
**1 INLET PROTECTION**  
NOT TO SCALE



**2 INTERCEPTOR DITCH**  
NOT TO SCALE



**3 SEDIMENT TRAP**  
NOT TO SCALE



- CHECK DAM NOTES:**
- THE MAXIMUM SPACING BETWEEN THE DAMS SHALL BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
  - ROCK CHECK DAMS SHALL BE CONSTRUCTED OF 2- TO 4- INCH DIAMETER QUARRY SPALLS. THE QUARRY SPALLS MUST BE PLACED BY HAND OR MECHANICAL PLACEMENT (NO DUMPING OF SPALLS TO FORM DAM) TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
  - LOG CHECK DAMS SHALL BE CONSTRUCTED OF 4- TO 6- INCH DIAMETER LOGS. THE LOGS SHALL BE EMBEDDED INTO THE SOIL AT LEAST 18 INCHES.
  - IN THE CASE OF GRASS-LINED DITCHES AND SWALES, CHECK DAMS SHALL BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER DAM REMOVAL.
  - CHECK DAMS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL DAM HEIGHT OR BEFORE.

**4 CHECK DAM**  
NOT TO SCALE

Project Title:  
**PUYALLUP 2ND STREET APARTMENTS**

Client:  
SPP MANUFACTURING

P.O. BOX 64160  
TACOMA, WA 98464  
DON HUBER

Project No.  
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City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic

Revisions:

Sheet Title:  
**TESC NOTES AND DETAILS**

Designed by: MW    Drawn by: MW    Checked by: BB

Sheet No.  
**C1.2**  
5 of 5 Sheets

