



LEGEND

- Existing Lawn
- Existing Asphalt
- Existing Concrete
- Proposed Concrete
- Proposed Permeable Asphalt
- Proposed Asphalt
- Proposed Lawn

GENERAL NOTE

- Amend all disturbed soil per City of Puyallup Standard Detail 01.02.08a on this sheet.
- A minimum of (8) inches of top soil, containing ten percent dry weight in planting beds, and 5% organic matter content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original soil. The topsoil layer shall have a minimum depth of eight inches (8") except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at 6 inches in some incorporation of the upper material to avoid stratified layers, where feasible. Installation of the eight inches (8") of top soil, as described above, shall generally be achieved by placing five inches (5") of imported sandy-loam top soil into planned landscape areas (sub-base scarified four inches (4") with a three-inch (3") layer of compost tilled into the entire depth.
- All planting areas shall be mulched with a uniform four (4") inch layer of organic compost mulch material or wood chips over a properly cleaned, amended and graded subsurface.
- All proposed lawn space to be solid sod.

SOIL QUANTITY

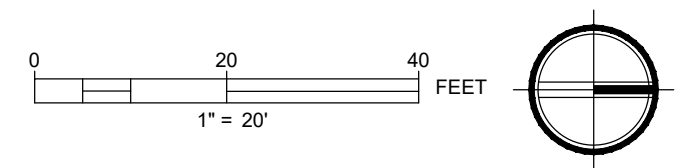
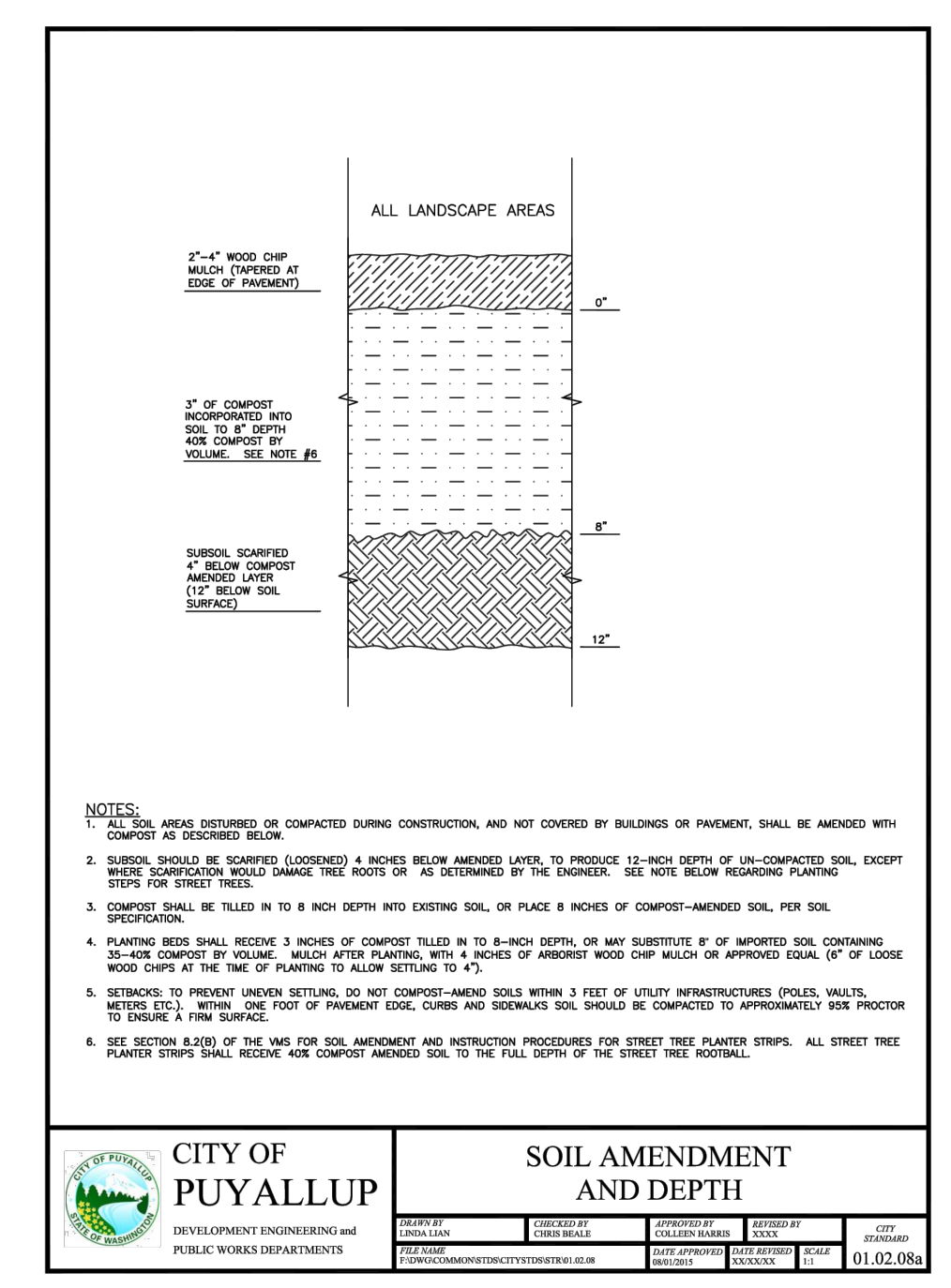
- Topsoil: 280 CY

CITY OF PUYALLUP
 Planning Division
 Approved Landscape Plan
 (253) 864-4165

Staff: NComstock
 Date: 09/26/2024

THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING DIRECTOR, DESIGNER, OR PROJECT PLANNER.

NOTE: If street trees are required, Call Planning Division for final inspection: (253) 864-4165 (Option 3) Root barriers are required around street trees in accordance with city standard detail. Top soil shall be installed in accordance with city standards - field verification required. Failure to install top soil and root barriers in accordance with the city standards may result in rejection of installation.



Owner/Developer:
Washington State Fair
 PUYALLUP
 Washington State Fair
 110 9th Ave SW
 Puyallup, WA 98371
 (253) 841-5356

Architect:
 Jeff Brown Architecture
 12181 C Street South
 Tacoma, WA 98444
 (253) 606-8324
 Contact: Jeff Brown

Engineer:

 Justin Jones, PE
 905 Main St. Suite 200
 Sumner, WA 98390
 (206) 596-2020

Project:
Washington State Fair International Village Redevelopment

ONE INCH AT FULL SCALE. IF NOT, SCALE ACCORDINGLY

Civil Construction Permit



REV	DATE	DESCRIPTION
1	09-20-24	City Comment Cycle #1
2	10-04-24	City Comment Cycle #2

DRAWN BY: MO DESIGN BY: JJ

PROJ. NO: 1507-014
 DATE: October 4, 2024

SHEET NAME

Landscape Plan

CALL TWO BUSINESS DAYS BEFORE YOU DIG
 UTILITIES UNDERGROUND LOCATION CENTER
 1-800-424-5555

DWG. **L-01**
 1 OF 1

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