

LEGAL DESCRIPTION

(PER FIRST AMERICAN TITLE INSURANCE COMPANY'S FILE NO. NCS-811513-WA1, DATED AUGUST 30, 2016 AT 7:30 A.M.)

PARCEL A: REVISED PARCEL 2 OF CITY OF PUYALLUP BOUNDARY LINE ADJUSTMENT NO. 06-84-007, RECORDED AUGUST 18, 2006 UNDER RECORDING NO. 200608185003 AND AFFIDAVIT OF MINOR CORRECTION OF SURVEY RECORDED NOVEMBER 30, 2006 UNDER RECORDING NO. 200611300893, RECORDS OF PIERCE COUNTY, WASHINGTON.

PARCEL B: A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS CREATED BY INSTRUMENT RECORDED APRIL 26, 2007 UNDER RECORDING NO. 200704260812, IN PIERCE COUNTY, WASHINGTON.

HORIZONTAL DATUM (NAD 83/91)-- BASIS OF BEARINGS SOUTH 05°28'09" EAST, AS MEASURED BETWEEN W.S.D.O.T. MONUMENT ID 244 AND 4208.

VERTICAL DATUM -- (NAVD 1988)

BENCHMARK: W.S.D.O.T. MONUMENT ID 244 (GP27512-17), BEING THE TOP OF A FOUND 3" BRASS DISK "1991 GP27512-17" ON NORTH SIDE OF MERIDIAN AVE., 30' EAST OF N.E. CORNER OF SR-512 OVERPASS ELEV. = 409.93 US FEET

PROCEDURE / NARRATIVE

A FIELD TRAVERSE USING A "TOPCON QS" AND SPECTRA "FOCUS 30" TOTAL STATION, "TOPCON GR5" AND "TDS RANGER" DATA COLLECTOR SUPPLEMENTED WITH GPS AND FIELD NOTES WAS PERFORMED, ESTABLISHING THE ANGULAR, DISTANCE, BETWEEN THE MONUMENTS, PROPERTY LINES, AND TOPOGRAPHIC FEATURES AS SHOWN HEREON. THE RESULTING DATA MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC 332-130-090.

DATES OF SURVEYS:

FIELD SURVEY BY BARGHAUSEN CONSULTING ENGINEERS, INC. CONDUCTED IN MAY 2015 AND SEPTEMBER 2016. ALL MONUMENTS SHOWN AS FOUND WERE VISITED IN 2015.

TAX ACCOUNT NUMBERS:

0419037014

CALCULATED AREA:

625,733.52± SQ. FT. (14.36± ACRES)

PROPERTY ADDRESS:

707 39TH AVE. S.E. PUYALLUP, WA 98374

SURVEYORS NOTES:

1. UNDERGROUND UTILITIES AND FEATURES DEPICTED HEREON ARE BASED ON FIELD OBSERVATION, MARKINGS, DEVELOPMENT PLANS, AND/OR AVAILABLE RECORD DOCUMENTS ONLY. THE TRUE LOCATION, NATURE AND/OR EXISTENCE OF BELOW GROUND FEATURES, DETECTED OR UNDETECTED, SHOULD BE VERIFIED.

- 2. ALL DISTANCES ARE IN US FEET
3. NO BUILDINGS ARE WITHIN THE SURVEYED AREA
4. THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED AT THE TIME OF THE FIELD SURVEY.
5. THERE WAS NO EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS OBSERVED AT THE TIME OF THE FIELD SURVEY.
6. NO PARKING OR STRIPING WAS FOUND ON SITE.
7. FLAGGED WETLANDS SHOWN AS LOCATED IN THE FIELD IN 2015.
8. NO ZONING INFORMATION HAS BEEN PROVIDED AS OF OCTOBER 13, 2016

REFERENCE SURVEYS:

- 1. R.O.S., REC. NO. 8410300247
2. R.O.S., REC. NO. 8603170340
3. R.O.S., REC. NO. 8604080409
4. PUYALLUP B.L.A., REC. NO. 200608185003

ZONING: "CB" COMMUNITY BUSINESS.

GEOTECHNICAL NOTE:

- 1. DURING SITE GRADING AND BUILDING CONSTRUCTION THE GEOTECHNICAL ENGINEER OF RECORD OR HIS/HER REPRESENTATIVE WILL PERFORM BI-WEEKLY RECONNAISSANCE OF THE SLOPE AND ISSUE A FIELD REPORT REGARDING SITE CONDITIONS. THESE BI-WEEKLY SLOPE RECONS WILL CONTINUE UNTIL BUILDING SHELL CONSTRUCTION AND STORMWATER FACILITIES ARE COMPLETED AND FUNCTIONAL. POST BUILDING CONSTRUCTION SLOPE RECONS SHALL OCCUR ON A QUARTERLY BASIS FOR A PERIOD OF NO LESS THAN TWO YEARS. IF NO INSTABILITY OR EROSION ISSUES ARE PRESENT AT THAT TIME, MONITORING CAN BE TERMINATED.

CONSTRUCTION SEQUENCE:

- 1. SCHEDULE AND ATTEND PRE-CONSTRUCTION MEETING WITH CITY OF PUYALLUP OFFICIALS.
2. FLAG ALL TREES TO REMAIN, CLEARING AND GRADING LIMITS FOR PROJECT AS SHOWN ON THE PLANS.
3. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
4. INSTALL TEMPORARY FILTER FABRIC FENCE AND CB PROTECTION AS SHOWN ON PLANS.
5. REMOVE EXISTING SITE IMPROVEMENTS AS INDICATED ON PLANS.
6. CONSTRUCT INTERCEPTOR DITCHES WHERE SHOWN.
7. TIME LIMIT APPLIES TO ANY WORK PERFORMED IN THE CITY OF PUYALLUP. CONTRACTOR TO COORDINATE WITH CITY OFFICIAL FOR TIMING OF ANY CONSTRUCTION WITHIN ROW.
8. PROTECT ALL PROPERTIES ADJACENT TO THE PROJECT FROM SEDIMENT DEPOSITION.
9. NO RUNOFF IS TO LEAVE SITE WITHOUT TREATMENT.
10. CLEAR AND GRADE SITE AMEND E.S.C. FACILITIES AS REQUIRED.
11. WHEREVER CONSTRUCTION VEHICLES ACCESS ROUTE CROSSES PAVED ROADS, CARE MUST BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO PAVED SURFACE, THE ROAD SHALL BE CLEANED IMMEDIATELY.
12. WITH EACH LAYER OF FILL MATERIAL, INTERCEPTOR DITCHES AND T.E.S.C. FACILITIES MUST BE GRADED AND MAINTAINED TO PROVIDE POSITIVE SLOPE FOR DRAINAGE TO DISCHARGE POINT.
13. INSTALL SANITARY SEWER, WATER, AND STORM SYSTEMS.
14. CONSTRUCT BUILDING.
15. CONSTRUCT RIGHT-OF-WAY IMPROVEMENTS.
16. ONCE THE INSTALLED SYSTEMS ARE TESTED AND APPROVED, COMMENCE SITE PAVING.
17. MAINTAIN T.E.S.C. FACILITIES UNTIL ALL RISK OF EROSION/SEDIMENTATION DRAINAGE HAS PASSED AND PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL. DO NOT CONVEY SEDIMENT-LADEN WATER INTO STORM DRAINAGE SYSTEM. REMOVE TEMPORARY EROSION & SEDIMENTATION CONTROL MEASURES UPON FINAL SITE STABILIZATION AND APPROVAL FROM THE CITY INSPECTOR.
18. COMPLETE INSPECTION/ PUNCHLIST

COVER SHEET

FOR

PHASE 2 - WESLEY BRADLEY PARK

A PORTION OF THE SE1/4 OF THE SW1/4 OF SEC. 3, TWP. 19 NORTH, RGE. 4 EAST, W.M. CITY OF PUYALLUP, PIERCE COUNTY WA

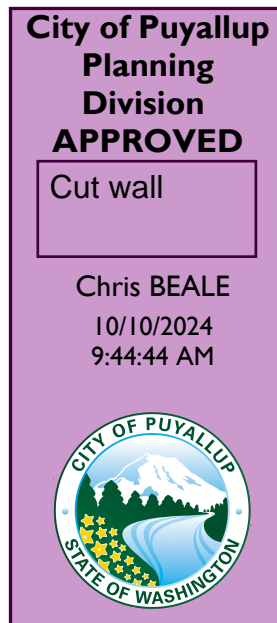
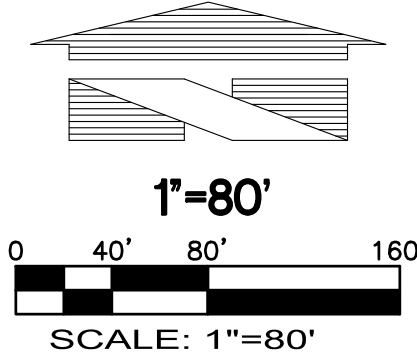
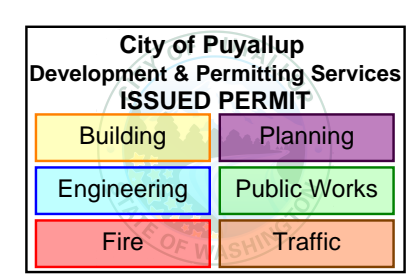


Table with 2 columns: Sheet Number and Sheet Title. Lists sheets C1 through C21 including COVER SHEET, EXISTING SITE AND TESC PLAN NORTH, etc.

Legend table with columns for EXISTING and PROPOSED symbols for various features like CURB AND GUTTER, CONCRETE, ASPHALT, PAINT STRIPING, etc.



CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY...

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES PUBLIC LAND SURVEY OFFICE 1111 WASHINGTON STREET S.E. P.O. BOX 47060 OLYMPIA, WASHINGTON 98504-7060

UTILITY CONFLICT NOTE: CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION...

CALL BEFORE YOU DIG: 1-800-424-5555

OWNER/DEVELOPER

WESLEY HOMES 815 SOUTH 216TH STREET DES MOINES, WA 98190 (206) 870-1209 CONTACT: KEVIN ANDERSON

ENGINEER/SURVEYORS

BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 72ND AVENUE SOUTH KENT, WA 98032 (425) 251-6222 CONTACT: DAN BALMELLI, P.E. (ENGINEERING) CONTACT: BRIAN GILLOULY, P.L.S. (SURVEY)

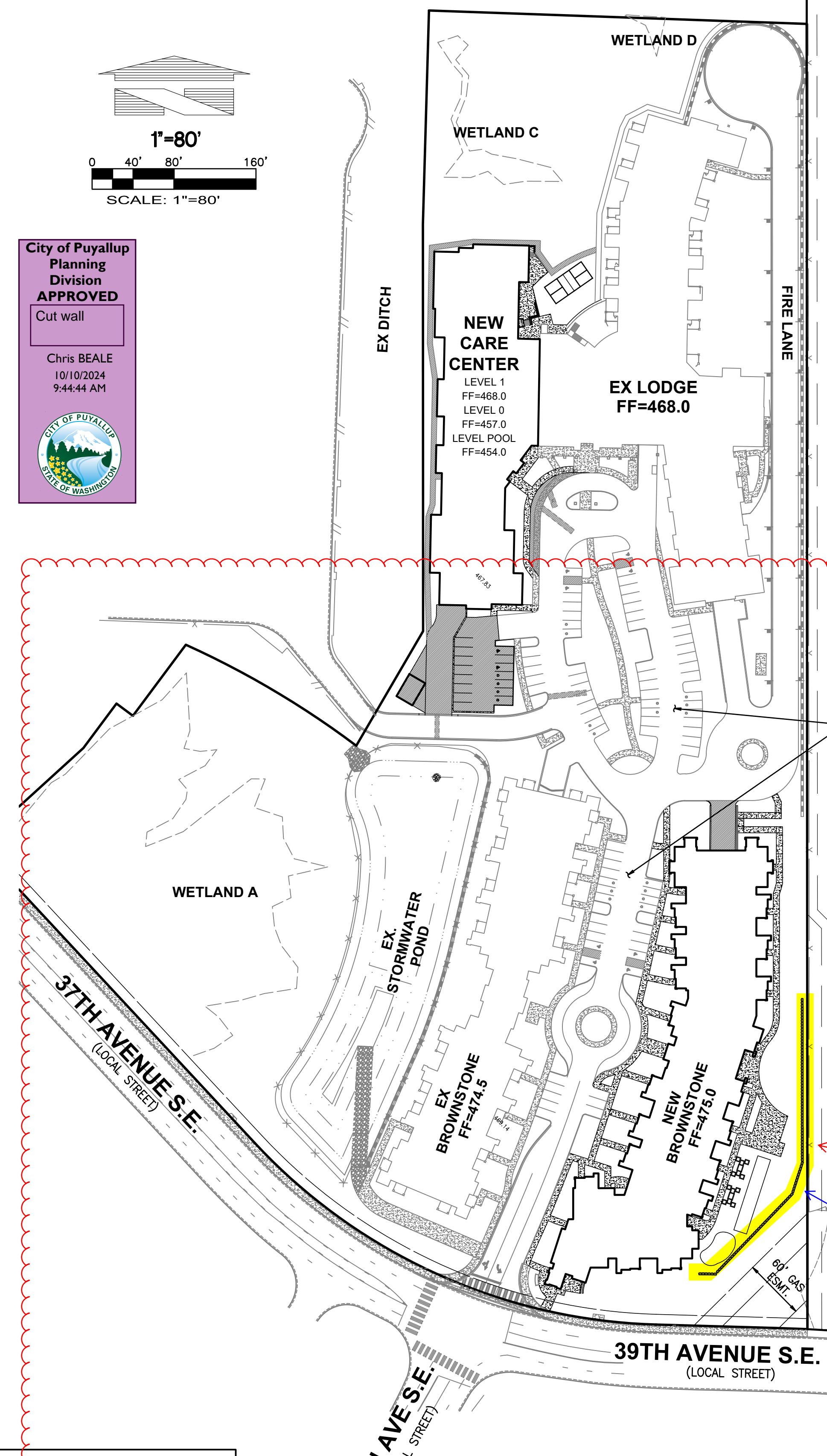
APPROVED BY: CITY OF PUYALLUP ENGINEERING SERVICES DATE: NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

ARCHITECT:

IN-SITE ARCHITECTS 2324 UNIVERSITY AVE. WEST, SUITE 105 ST. PAUL, MN 55114 (612) 252-4822 CONTACT: JILL KRANCE

BCE GENERAL SITE NOTES:

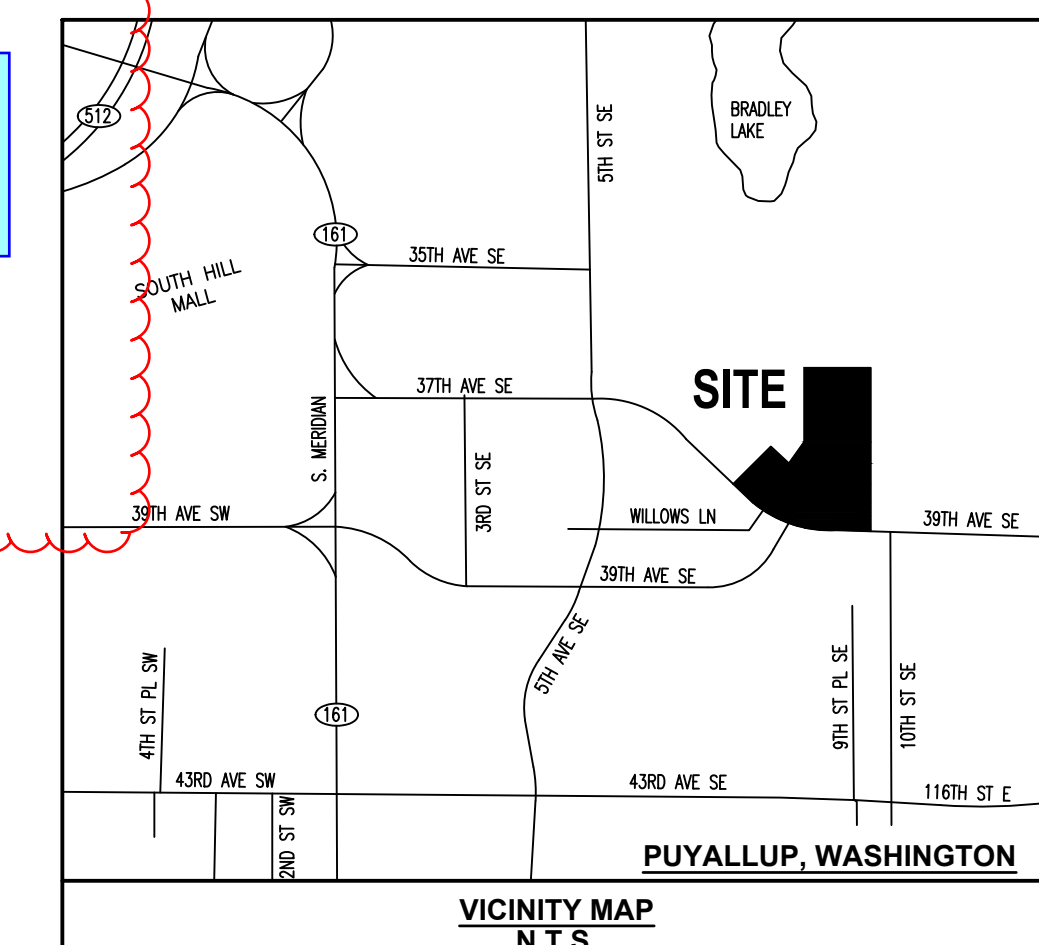
- 1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ASSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AT COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.



No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place. Rockery Location

Rockery wall shall not be built within water easement (AFN 201903120139, 8212010250)

ESTIMATED CUT AND FILL QUANTITIES: CUT: 13,807 CY FILL: 2,366 CY (QTY'S ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL VERIFY EXACT QTY'S BEFORE CONSTRUCTION.)

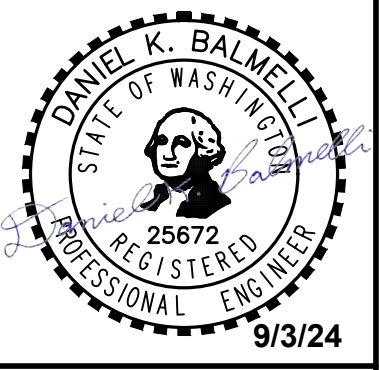


PROPERTY ADDRESS: 707 39TH AVE. S.E. PUYALLUP, WA 98374

PRRWF20241506

COVER SHEET FOR CIVIL PLANS PHASE 2 - WESLEY BRADLEY PARK

WESLEY HOMES 815 SOUTH 216TH STREET DES MOINES, WA 98190 (206) 870-1209



Scale: Horizontal 1" = 80' Vertical N/A

Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com

Job Number 16718 Sheet C1 of C21