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<div>PORTABLE CLASSROOMS P16-17 AT PUYALLUP HIGH SCHOOL 711 W MAIN, PUYALLUP, WA 98371</div>			<div>GENERAL NOTES</div> <div><div>1.</div><div>CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE PROJECT AS PART OF THIS CONTRACT.</div></div> <div><div>2.</div><div>CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.</div></div> <div><div>3.</div><div>CONTRACTOR SHALL PROVIDE A COMPLETE AND PROPER EXECUTION OF THE WORK AS INDICATED ON ALL DRAWINGS. IF ANY ERROR BETWEEN ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL OR LANDSCAPE DRAWINGS IS FOUND, CONTACT THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING.</div></div> <div><div>4.</div><div>REGULATIONS, STANDARDS, CONSTRUCTION, MATERIALS AND REQUIREMENTS FOR INSTALLATION OF MATERIALS SHALL CONFORM TO AND BE GOVERNED BY THE EDITION OF THE CODE IDENTIFIED IN THE CODES SECTION OF THIS SHEET.</div></div> <div><div>5.</div><div>REFERENCING DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF DRAWINGS OR DETAILS.</div></div> <div><div>6.</div><div>NIC EQUIPMENT IS FURNISHED AND INSTALLED BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION AND PERFORMING WORK AS REQUIRED BY DETAILS OR SPECIFICATIONS FOR EQUIPMENT INSTALLATION.</div></div> <div><div>7.</div><div>OFFICE EQUIPMENT IS FURNISHED BY OWNER AND INSTALLED AS PART OF THIS WORK. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK AS REQUIRED FOR INSTALLATION.</div></div> <div><div>8.</div><div>DO NOT SCALE DRAWINGS: CONTACT ARCHITECT FOR ANY NEEDED CLARIFICATIONS.</div></div> <div><div>9.</div><div>WHERE EXTERIOR CONCRETE WALKS AND LANDINGS ABUT BUILDINGS, THEY SHALL BE SLOPED AWAY FROM THE BUILDING AS NOTED, BUT IN NO CASE LESS THAN 1/8":12".</div></div> <div><div>10.</div><div>THE PORTABLES IN THE PROJECT SCOPE ARE EXISTING PORTABLES PURCHASED FROM SUMNER SCHOOL DISTRICT BY PUYALLUP SCHOOL DISTRICT.</div></div> <div><div>11.</div><div>SITE DRAINAGE TO CONFORM TO ALL LOCAL REGULATIONS AND ORDINANCES. TIGHT-LINE ALL ROOF DRAINS TO STORM SYSTEM OR APPROVED DISCHARGE PER CIVIL. DO NOT CONNECT FOUNDATION AND RETAINING WALL PERIMETER/FOOTING DRAINS TIGHT-LINE TO ROOF DRAIN TIGHT-LINES OR OTHER SITE DRAINAGE UNLESS PER CIVIL. FINISH GRADE AT THE BUILDING FACE TO HAVE A POSITIVE SLOPE AWAY FROM THE BUILDING. ALL SITE HARD SURFACES TO HAVE A MINIMUM SLOPE OF 1/4" IN 12" TO DRAINS UNLESS NOTED OTHERWISE.</div></div> <div><div>12.</div><div>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDING ADDITIONAL PERMITS AND SUBCONTRACTOR WORK.</div></div> <div><div>13.</div><div>CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL BUILDING INSPECTIONS WITH LOCAL JURISDICTION IN AUTHORITY.</div></div> <div><div>14.</div><div>CONTRACTOR SHALL CLEAN ALL SURFACES PRIOR TO OCCUPANCY.</div></div> <div><div>15.</div><div>CONTRACTOR SHALL MAINTAIN A TRASH BIN IN AN AREA DESIGNATED BY THE OWNER'S REPRESENTATIVE FOR THE COLLECTION OF ALL CONSTRUCTION DEBRIS. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND REMOVE TRASH BIN PRIOR TO OCCUPANCY.</div></div> <div><div>16.</div><div>CONTRACTOR AND SUB-CONTRACTORS SHALL MARK DRAWINGS FOR AS MECHANICAL, ELECTRICAL, AND FIRE DRAWINGS TO BE REVISED FOR AS-BUILT CONDITIONS BY THEIR RESPECTIVE AUTHORS. SUBMIT FINAL AS-BUILT REPRODUCIBLE DRAWINGS TO OWNER'S REPRESENTATIVE.</div></div> <div><div>17.</div><div>AN APPROVED MAUAL AND AUTOMATIC FIRE ALARMS SHALL BE INSTALLED AS SPECIFIED IN THE FIRE CODE; VISIBLE ALARMS COMPLYING WITH WSBC SECTION 1106.15.2 SHALL BE INSTALLED IN ALL COMMON-USE AREAS, ASSEMBLY AREAS, TOILET ROOMS, HALLWAYS, LOBBIES AND CORRIDORS.</div></div> <div><div>18.</div><div>IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE COMPLIANCE AND CONFORMANCE WITH THE VARIOUS PROVISIONS WITHIN ALL APPLICABLE ORDINANCES AND CODES FOR ALL OF THE WORK.</div></div> <div><div>19.</div><div>SAFETY: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.</div></div> <div><div>20.</div><div>CHANGES:CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.</div></div> <div><div>21.</div><div>PROJECT DRAWINGS INDICATE GENERAL CONFIGURATION OF CONSTRUCTION. WHERE CONDITIONS REQUIRE SPECIFIC DETAIL INFORMATION NOT INCLUDED WITH THESE DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM INTENT WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.</div></div> <div><div>22.</div><div>STUDIO MENG STRAZZARA ASSUMES NO RESPONSIBILITY AS TO THE PHYSICAL CHARACTERISTICS OF THE SOILS.</div></div> <div><div>23.</div><div>STUDIO MENG STRAZZARA ASSUMES NO RESPONSIBILITY FOR, NOR VERIFIES THE ACCURACY OF, ANY ENGINEERING DATA SUPPLIED BY OTHERS.</div></div> <div><div>24.</div><div>CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AMONG ALL DRAWINGS PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED LENGTHS AND HEIGHTS IN ALL CASES.</div></div> <div><div>25.</div><div>IN THE EVENT OF DISCREPANCIES OR CONTRADICTORY INFORMATION IN THE DRAWINGS, NOTES, OR SPECIFICATIONS, IT IS THE OBLIGATION OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF SAME AND TO OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK.</div></div> <div><div>26.</div><div>ALL CONTRACT DOCUMENTS PERTAINING TO THIS PROJECT ARE TO BE CONSIDERED AND INTERPRETED FOR BIDDING AND CONSTRUCTION PURPOSES AS A COMPLETE WHOLE. NO PART OF THE CONTRACT DOCUMENTS SHALL BE DISTRIBUTED, CONSIDERED, OR USED IN ANY WAY INDEPENDENT OF THE COMPLETE SET OF DOCUMENTS.</div></div> <div><div>27.</div><div>THE ARCHITECT SHALL HAVE FINAL AUTHORITY WITH REGARD TO INTERPRETATION OF THE INTENT AND SPIRIT OF THE CONTRACT DOCUMENTS.</div></div>
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INDEX OF DRAWINGS

Sheet No.

Sheet Name

GENERAL

G000

G001

G002

GENERAL PROJECT INFORMATION

ABBREVIATIONS, SYMBOLS, AND CODE/AHJ NOTES

ARCHITECTURAL CODE SHEET

SURVEY

1 OF 2

2 OF 2

TOPOGRAPHIC SURVEY N.W. PORTABLES BLOCK

TOPOGRAPHIC SURVEY N.W. PORTABLES BLOCK

ARCHITECTURAL SITE DEMOLITION

ASD 100

OVERALL ARCHITECTURAL SITE DEMOLITION PLAN

OVERALL ARCHITECTURAL SITE DEMOLITION PLAN

ARCHITECTURAL SITE

AS100

AS101

OVERALL ARCHITECTURAL SITE PLAN

ENLARGED ARCHITECTURAL SITE PLAN & DETAILS

STRUCTURAL FOUNDATION

S1.0

S4.0

S4.1

S4.2

S4.3

FOUNDATION PLAN

FOUNDATION NOTES & DETAILS

FOUNDATION DETAILS

FOUNDATION DETAILS

FOUNDATION DETAILS

WELCOME RAMP STRUCTURAL

1 OF 1

ACCESS RAMPS & STAIRS STANDARD PLANS/DETAIL/NOTES

ARCHITECT

studioMENG
STRAZZARA

2001 WESTERN AVE. STE 200, SEATTLE, WA 98121
www.studiomeng.com | P: 206.087.3707

CONSULTANT

CLIENT/OWNER

PUYALLUP
SCHOOL DISTRICT
A Tradition of Excellence

PRPF20241043

TITLE

PUYALLUP HS NEW PORTABLES 2023

711 W MAIN
PUYALLUP, WA
98371

STAMP

6181 REGISTERED ARCHITECT
PHILIP S. STRAZZARA
STATE OF WASHINGTON

ISSUED:

DATE:

CONDITIONAL USE PERMIT OCT, 11 2023

CUP CC#1 RESPONSE APR 5, 2024

BUILDING PERMIT SET MAY 3, 2024

ROW PERMIT SET JUL 10, 2024

CIVIL PERMIT SET JUL 12, 2024

CONSTRUCTION SET JUL 17, 2024

ROW PERMIT SET CC#1 AUG 20, 2024

ROW PERMIT SET CC#2 OCT 2, 2024

CIVIL PERMIT SET CC#1 OCT 8, 2024

BUILDING PERMIT CC#1 OCT 8, 2024

GENERAL PROJECT INFORMATION

Building Permit #:

CUP #:

Owner's Project #:

Architect's Project #:

Drawn By:

Checked By:

PLCUP20230109

2023106

RL

RL

G000

PROJECT INFORMATION

TAX ID ADDRESS:

711 W MAIN
Puyallup, WA 98371

OCCUPANCY GROUP:

E

ZONING:

PF-PUBLIC FACILITIES

TYPE OF CONSTRUCTION:

PORTABLE

BLDG AREA & COVERED PLAY (EX):

0 SF *Other campus buildings occur outside of parcels

PORTABLE AREA (EX):

0 SF *Other existing portable buildings occur outside of parcels

PORTABLE AREA (NEW):

1,792 SF

TOTAL BUILDING AREA:

1,792 SF

PROPERTY SIZE:

29,652 SF - COMBINED PARCELS SF

PARCEL NUMBERS:

5870000191

LEGAL DESCRIPTION:

Parcel: 5870000191
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP REVISED LOT 1 OF LOT COMBO 2024-08-07-0138 DESC AS L 3, 4, 5 & 9 TOG W/ W 7.1 FT OF L 2 B 7 EASE OF REC APPROVED COMBO BY CY OF PUYALLUP PLAN DEPT 06/03/24 COMB OF 587000-019-0 & 023-1 SEG 2025-0004 06/12/2024MC

GOVERNING CODES:

1. AUTOMATIC FIRE DETECTION & SUPPRESSION SYSTEMS ORDINANCE NO. 1902-92
2. IBC, 2018 EDITION WITH WA AMENDMENTS
3. ACCESSIBLE AND USABLE BUILDINGS & FACILITIES, ANSI A117.1-2009 WITH WA AMENDMENTS
4. INTERNATIONAL FIRE CODE (IFC), 2019 EDITION WITH WA AMENDMENTS
5. INTERNATIONAL MECHANICAL CODE (IMC), 2019 EDITION WITH WA AMENDMENTS
6. NATIONAL ELECTRIC CODE (NEC), 2019 EDITION WITH WA AMENDMENTS
7. UNIFORM PLUMBING CODE (UPC), 2019 EDITION WITH WA AMENDMENTS
8. INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2019 EDITION WITH WA AMENDMENTS
9. PIERCE COUNTY DESIGN & CONSTRUCTION STANDARDS & SPECIFICATIONS
10. PIERCE COUNTY STORMWATER MANAGEMENT MANUAL

LOCATION MAPS

REGION MAP

NEIGHBORHOOD MAP

VICINITY MAP

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.

<https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections>

or call for Licensing Information:
1-800-647-0982

Calculations required to be provided by the Permittee on site for all Inspections

NOTE: Building inspector shall be provided with a report on the HVAC system. This report will include the following:

1. That the existing HVAC system has been inspected and tested to show that it is in good working order. Report will include service provided if needed.

2. That the existing HVAC system can provided the needed ventilation.

City of Puyallup
Building
REVIEWED
FOR
COMPLIANCE

SKinnear
10/16/2024
9:07:46 AM

CITY OF PUYALLUP
STATE OF WASHINGTON

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Planning

Engineering

Public Works

Fire

Traffic

DEFERRED SUBMITTALS

1. ELECTRICAL, LOW-VOLTAGE, AND
FIRE ALARM PERMIT SUBMITTALS TO BE SUBMITTED SEPARATELY
3. ONSITE CIVIL/LANDSCAPE PERMIT SUBMITTALS TO BE SUBMITTED SEPARATELY
4. TEMP ROAD CLOSURE R.O.W. CIVIL/LANDSCAPE PERMIT SUBMITTALS TO BE SUBMITTED SEPARATELY
5. FINAL ROAD CLOSURE R.O.W. CIVIL/LANDSCAPE PERMIT SUBMITTALS TO BE SUBMITTED SEPARATELY
AFTER 6 MONTH PILOT CLOSURE STUDY AND CITY OF PUYALLUP DETERMINATION TO PERMANENTLY CLOSE AND VACATE STREET.

PROJECT TEAM

OWNER

Puyallup School District
323 12th St NW
Puyallup, WA 98371
P: (206) 587-3797
Agent: Larry Vandenberg

ARCHITECT

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PIC: Steve Lee
Project Manager: Robert Landa

CIVIL ENGINEER

JMJ Team
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Sumner WA 98390
P: (206) 596-2020
Project Manager: Justin Jones

LANDSCAPE ARCHITECT

Fora
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Seattle, WA 98115
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PIC: Andy Rasmussen

ELECTRICAL ENGINEER

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1201 Third Ave, Suite #600
Seattle, WA 98101
P: (206) 436-0457
Project Manager: Brandon Inman

PROJECT SCOPE OF WORK

THE WORK WILL BE, BUT NOT LIMITED TO RELOCATE ONE EXISTING DOUBLE PORTABLE FROM SUMNER SCHOOL DISTRICT AS PORTABLE P16-17. WORK SCOPE INCLUDED INSTALLING MODULAR WELCOME RAMPS SYSTEMS AND CONNECTING ASPHALT PATHWAYS TO ADJACENT EXISTING PORTABLES, CROSS WALK AND ACCESSIBILITY IMPROVEMENTS AT W MAIN, AND PILOT CLOSURE OF STREET WITH VEHICLE GATES, BARRIERS, AND MUTCD COMPLIANT SIGNAGE AT PUYALLUP HIGH SCHOOL. THIS WORK IS BEING PERFORMED IN COMBINATION WITH SEPARATE PERMITS FOR DOUBLE PORTABLES P14-15 AND P18-19 BUILDINGS.

PERMIT REVIEWER STAMP

ABBREVIATIONS & SYMBOLS

&	AND	FG	FINISHED GRADE	PCF	POUNDS PER CUBIC FOOT
<	ANGLE	FH	FULL HEIGHT	PED	PEDESTAL
@	AT	FIN	FINISH, FINISHED	PERF	PERFORATE
#	NUMBER,POUNDS	FJ	FINISH JOINT	PFB	PREFABRICATED
[CHANNEL	FLR	FLOOR	PFN	PREFINISHED
AB	AIR BARRIER	FLSH	FLASH, FLASHING	PKG	PARKING
ABV	ABOVE	FLX	FLEXIBLE	PL	PLATE
AC	AIR CONDITIONING, ACOUSTIC	FND	FOUNDATION	PLAM	PLASTIC LAMINATE
ACC	ACCESS	FO	FACE OF	PLF	POUNDS PER LINEAR FOOT
ACM	ALUMINUM COMPOSITE MATERIAL	FP	FIREPLACE, FIREPROOF	PLL	PARALLEL
ACP	ACOUSTIC CEILING PANEL	FR	FIRE RESISTANT	PLY	PLYWOOD
ACT	ACOUSTIC CEILING TILE	FS	FULL SIZE	PLYWD	PLYWOOD
ADD	ADDENDUM	FSK	FLOOR SINK	PNL	PANEL
ADJ	ADJUST, ADJUSTABLE	FST	FOLDING SHOWER SEAT	PNT	PAINT
AFF	ABOVE FINISH FLOOR	FT	FOOT, FEET	POLY	POLYETHYLENE
AL	ALUMINUM	FTG	FOOTING	PR	PAIR
ALT	ALTERNATE, ALTERNATIVE	FUR	FURRING	PROP	PROPERTY LINE
ALUM	ALUMINUM			PSF	POUNDS PER SQUARE FOOT
ANOD	ANODIZED			PSI	POUNDS PER SQUARE INCH
APPR	APPROXIMATE			PT	PAINT
ARCH	ARCHITECT, ARCHITECTURAL			PTD	PAPER TOWEL DISPENSER
AVG	AVERAGE			PVC	POLY VINYL CHLORIDE
AWC	ACOUSTICAL WALL COVERING				
BB	BOARD & BATTEN	GA	GAGE, GAUGE	R	RADIUS, RISERS
BD	BOARD	GB	GRAB BAR	R&S	ROD AND SHELF
BF	BARRIER FREE	GC	GENERAL CONTRACTOR	RA	RETURN AIR
BLDG	BUILDING	GBR	GRAB BAR REAR	RAD	RADIUS
BLK	BLOCK, BLOCKING	GBS	GRAB BAR SIDE	RBB	REVERSE BOARD & BATTEN
BLW	BELOW	GBV	GRAB BAR VERTICAL	RD	ROOF DRAIN
BM	BEAM	GF	GROUND FACE	REF	REFERENCE, REFRIGERATOR
B.O.	BOTTOM OF	GL	GLAZING	REINF	REINFORCE, REINFORCEMENT
BS	BOTH SIDES	GLB	GLASSBLOCK	RF	ROOF
BSBL	BUILDING SETBACK LINE	GLV	GALVANIZE, GALVANIZED	RFL	REFLECTED
BSMT	BASEMENT	GL	GLASS, GLAZE, GLAZING	RH	RIGHT HAND, ROBE HOOK
BTM	BOTTOM	GRD	GRADE	RM	ROOM
BTWN	BETWEEN	GSKT	GASKET	RMV	REMOVE
BW	BOTH WAYS	GWB	GYPNUM WALLBOARD	RO	ROUGH OPENING
		GYP	GYPNUM	ROW	RIGHT OF WAY
				RVS	REVERSE
CAB	CABINET	H	HIGH, HEIGHT	S	SOUTH
CB	CATCH BASIN	HB	HOSE BIBB	SAM	SELF-ADHESIVE MEMBRANE
CFCI	CONTRACTOR FURNISHED-CONTRACTOR INSTALLED	HD	HEAVY DUTY	SBK	SETBACK
CFM	CUBIC FEET PER MINUTE	HDR	HEADER	SC	SOLID CORE
CFR	CHAMFER	HDW	HARDWARE	SCD	SEAT COVER DISPENSER
CFT	CUBIC FEET	HDWD	HARDWOOD	SCHED	SCHEDULE
CIP	CAST IN PLACE	HEX	HEXAGONAL	SCON	SEALED CONCRETE
CJ	CONTROL JOINT	HJ	HEAD JOINT	SCR	SHOWER CURTAIN ROD
CL	CENTERLINE	HM	HOLLOW METAL	SD	SMOKE DETECTOR, SOAP DISPENSER
CLG	CEILING	HORIZ	HORIZONTAL	SECT	SECTION
CLR	CLEAR, CLEARANCE, CLEAR FINISH	ID	INNER DIAMETER	SF	SQUARE FEET, STORE FRONT
		INCL	INCLUDE, INCLUDED	SFTY	SAFETY
CMU	CONCRETE MASONRY UNITS	INSUL	INSULATE, INSULATION	SHT	SHEET
COL	COLUMN	INST	INSTALL, INSTALLED	SIM	SIMILAR
CONC	CONCRETE	INT	INTERIOR	SJ	SEISMIC JOINT
CONST	CONSTRUCTION			SLNT	SEALANT
CONT	CONTINUOUS	JST	JOIST	SND	SANITARY NAPKIN DISPENSER
CONTR	CONTRACTOR, CONTRACT	JT	JOINT	SNR	SANITARY NAPKIN RECEPTACLE
		KO	KNOCKOUT	SOG	SLAB ON GRADE
COORD	COORDINATE	KPL	KICKPLATE	SP	SOUND PROOF
CORR	CORRUGATED			SQ	SQUARE
CR	CORROSION RESISTANT	L	LEFT, LONG, LENGTH	SS	STAINLESS STEEL
CSMT	CASEMENT	LAM	LAMINATE, LAMINATED	SSS	STAINLESS STEEL SHELF
CT	CERAMIC TILE	LAV	LAVATORY	STD	STANDARD
		LBL	LABEL	STL	STEEL
CYD	CHANGING TABLE	LH	LEFT HAND	STOR	STORE, STORAGE
		LT	LIGHT	STRUCT	STRUCTURAL
		LW	LIGHTWEIGHT	SYM	SYMMETRIC
				SYN	SYNTHETIC
				SYS	SYSTEM
D	DEEP, DEPTH	MAS	MASONRY	T	TEMPERED
DBL	DOUBLE	MATL	MATERIAL	T&G	TONGUE & GROOVE
DD	DECK DRAIN	MAX	MAXIMUM	TB	TOWEL BAR
DF	DRINKING FOUNTAIN	MB	MARKER BOARD	TEL	TELEPHONE
DIA	DIAMETER	MBR	MEMBER	THK	THICKNESS
DIAG	DIAGONAL	MDF	MEDIUM DENSITY FIBERBOARD	T.O.	TOP OF
DIM	DIMENSION, DIMENSIONAL	MDO	MEDIUM DENSITY OVERLAY	TOL	TOLERANCE
DIV	DIVIDE, DIVISION	MECH	MECHANICAL	TOP	TOP OF PARAPET
DN	DOWN	MED	MEDIUM	TOW	TOP OF WALL
DR	DOOR	MFR	MANUFACTURER	TPD	TOILET PAPER DISPENSER
DS	DOWNSPOUT	MH	MOP HOOK	TTD	TOILET TISSUE DISPENSER
DT	DRAIN TILE	MIN	MINIMUM	TV	TELEVISION
DTL	DETAIL	MIR	MIRROR	TYP	TYPICAL
DW	DISHWASHER	MISC	MISCELLANEOUS	UC	UNDER COUNTER
DWG	DRAWING	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
DWR	DRAWER	MOD	MODIFY, MODIFIED	UL	UNDERWRITERS LABORATORY
		MR	MOISTURE-RESISTANT		
E	EAST	MST	METAL SPANDREL PANEL	VB	VAPOR BARRIER
(E)	EXISTING	MT	MOUNT	VCT	VINYL COMPOSITE TILE
EA	EACH	MTL	METAL	VERT	VERTICAL
EF	EXHAUST FAN	MWP	METAL WALL PANEL	VG	VERTICAL
EG	EXISTING GRADE			VIF	VERIFY IN FIELD
EJ	EXPANSION JOINT			VIN	VINYL
EL	ELEVATION			VJ	V-JOINT
ELEC	ELECTRICAL			VTO	VENT TO OUTSIDE
ELEV	ELEVATOR				
EMER	EMERGENCY	NMT	NON-METALLIC	W	WEST,WIDE, WIDTH
ENCL	ENCLOSURE, ENCLOSE	NO	NUMBER	WC	WATER CLOSET
EQ	EQUAL	NOM	NOMINAL	WD	WOOD
EQP	EQUIPMENT	NRC	NOISE REDUCTION COEFFICIENT	W/D	WASHER/DRYER
EST	ESTIMATE, ESTIMATED	NTS	NOT TO SCALE	WH	WALL HUNG
EXH	EXHAUST			WIC	WALK-IN CLOSET
EXP	EXPOSE, EXPOSED			WIN	WINDOW
EXST	EXISTING	OA	OVERALL	W/O	WITHOUT
EXT	EXTERIOR	OC	ON CENTER	WP	WATERPROOF
		OD	OUTER DIAMETER	WPC	WATERPROOFING CONSULTANT
FC	FIBER-CEMENT	OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED	WR	WATER RESISTANT
FCB	FIBER-CEMENT BOARD			WRB	WEATHER-RESISTIVE BARRIER
FCT	FIBER-CEMENT TRIM			WS	WAINSCOT
FD	FLOOR DRAIN			WTW	WALL TO WALL
FDC	FIRE DEPARTMENT CONNECTION	OH	OVERHEAD		
FE	FIRE EXTINGUISHER (WALL HUNG)	OPG	OPENING		
FEC	FIRE EXTINGUISHER CABINET	OPP	OPPOSITE		
FF	FINISH FLOOR, FROST FREE, FACTORY FINISH	OPQ	OPAQUE		
FG	FINISHED GRADE	PAV	PAVE, PAVERS, PAVEMENT		

SYMBOLS

DRAWING REFERENCE

DRAWING TITLE

REFERENCE

SCALE

NORTH ARROW

SECTION REFERENCE

BUILDING HEIGHT MARKER

SPOT ELEVATION

INTERIOR ELEVATIONS

ELEVATION REFERENCE

SHEET NUMBER

MATCH LINE

EXTERIOR ELEVATION

ELEVATION REFERENCE

SHEET NUMBER

WALL TYPE

WALL TYPE

MODIFIER, REFER TO SHEET G-200

ROOM AND FINISH TAG

ROOM NAME

FINISH TYPE

GRID LINE AND GRID NUMBER

DATUM POINT

DOOR NUMBER

RELITE NUMBER

WINDOW TAG

ACCESSORY TAG

REVISION NUMBER

REVISION TAG

REVISION CLOUD

ILLUMINATED EXIT SIGN

SECURITY CAMERA

FEC

FE

TOILET

LAVATORY

URINAL

CORNER GUARD

BASKETBALL BACKSTOP

METER

EXHAUST FAN AND DUCT

WATER HEATER

ELEC PANEL

WASHING MACHINE OUTLET BOX

SLAB STEP

SLAB RAMP

DOWNSPOUT

ROOFTOP FALL PROTECTION

CODE NOTES (SEE ADDITIONAL CODE INFORMATION ON G002)

1. THE PORTABLES IN THIS PROJECT SCOPE ARE NON-SPRINKLERED PORTABLES. THE TOTAL PORTABLE CLUSTER AREA IS 5,376 SF AND COMPLIANT WITH WA STATE AMENDMENT TO IBC 2018 903.2.3 GROUP E, EXCEPTION 1, REQUIRING THE AGGREGATE AREA OF PORTABLE CLUSTER DOES NOT EXCEED 6,000 SF.

2. THE PROPOSED PORTABLE CLUSTER AREA IS MORE THAN 20' FROM OTHER BUILDINGS OR OTHER AGGREGATE PORTABLE CLUSTERS.

3. INSTALL OFCI WALL MOUNTED ABC FIRE EXTINGUISHER IN EACH CLASSROOM.

LEGEND

OFFICE

ROOM NAME

1,341

ROOM AREA (SQUARE-FOOT)

100 G

OCCUPANT LOAD FACTOR (PER IBC TABLE 1004.5)

14

NUMBER OF OCCUPANTS

300

67.5'

EGRESS WIDTH PROVIDED

.15

45'

EGRESS WIDTH REQUIRED

EGRESS CAPACITY FACTOR (PER IBC SECTION 1005)

#

NUMBER OF OCCUPANT & DIRECTION OF TRAVEL

EXISTING RELOCATED PORTABLES ARE OF CONSTRUCTION TYP 5B, NON-SPRINKLERED

1

OCCUPANT LOAD AND EGRESS PLAN

SCALE: 1/8" = 1'

0

8'

16'

32'

CITY / HEALTH / AHJ NOTES:

FIRE MARSHAL REQUIREMENTS :

1. FIRE ALARM SYSTEM REQUIRED PER IFC 907 REQUIREMENTS, AND CITY OF PUYALLUP CODE REQUIREMENTS. PROVIDE ALL WEATHER VISIBLE HORN/STROBES INSTALLED ON THE EXTERIOR ADDRESS SIDE OF THE BUILDING.

2. EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WILL BE REQUIRED IF SIGNAL STRENGTH DOES NOT MEET MINIMUM REQUIREMENTS OF IFC 510.4.1.1 AND 510.4.1.2. A STUDY SHALL BE CONDUCTED TO VERIFY COMPLIANCE AND DOCUMENTATION SUBMITTED

3. ADDRESS NUMBERS ARE REQUIRED VISIBLE FROM THE ADDRESS SIDE OF THE STRUCTURE. USE MINIMUM 6" OR TALLER CONTRASTING NUMBERS OR LETTERS FOR 50-FOOT SETBACK OR LESS. USE MINIMUM 8"-12" TALL CONTRASTING NUMBERS OR LETTERS FOR SETBACK MORE THAN 50 FEET.

4. FIRE DEPARTMENT KEY ACCESS: A (KNOX) KEY BOX SHALL BE INSTALLED AT EACH OF THE VEHICLE GATES AT THE STREET CLOSURE. CONTACT THE FIRE MARSHAL TO REVIEW LOCATIONS PRIOR TO INSTALLATION. THE BUILDING OPERATOR SHALL DIRECTLY NOTIFY THE FIRE MARSHAL AND PROVIDE A NEW KEY WHEN THE LOCK IS CHANGED.

5. FIRE EXTINGUISHERS SHALL BE PROVIDED AT A MINIMUM OF EVERY CLASSROOM, NEAR THE ENTRY DOOR IN THE NEW PORTABLES. A 5 LB. ABC RATED EXTINGUISHER SHALL BE THE MINIMUM REQUIRED. THEY MUST BE MOUNTED IN A CONSPICUOUS LOCATION, WITH THE TOP OF THE EXTINGUISHER OR CABINET LESS THAN 5' ABOVE THE FLOOR/GRADE.

6. A SEPARATE LOT COMBINATION APPLICATION IS REQUIRED TO INSTALL THE PORTABLES ACROSS BOTH PARCELS:

OTHER REQUIREMENTS:

1. 3 parcels will need to be combined as part of the referenced lot combination application. (5870000190, 5870000200 (infiltration trench is proposed on 5870000200 therefore this will need to be included in the parcel combination), and 5870000231)

ARCHITECT

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2001 WESTERN AVE. STE 200 SEATTLE, WA 98101

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CONSULTANT

CLIENT/OWNER

PUYALLUP SCHOOL DISTRICT

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City of Puyallup

Development & Permitting Services

ISSUED PERMIT

Building

Planning

Engineering

Public Works

Fire

Traffic

PRPF20241043

TITLE

PUYALLUP HS NEW PORTABLES 2023

711 W MAIN PUYALLUP, WA 98371

STAMP

6181 REGISTERED ARCHITECT

Charles Strazzara

STATE OF WASHINGTON

ISSUED: DATE:

CONDITIONAL USE PERMIT OCT, 11 2023

CUP CC#1 RESPONSE APR 5, 2024

BUILDING PERMIT SET MAY 3, 2024

ROW PERMIT SET JUL 10, 2024

CIVIL PERMIT SET JUL 12, 2024

CONSTRUCTION SET JUL 17, 2024

ROW PERMIT SET CC#1 AUG 20, 2024

ROW PERMIT SET CC#2 OCT 2, 2024

CIVIL PERMIT SET CC#1 OCT 8, 2024

BUILDING PERMIT CC#1 OCT 8, 2024

ABBREVIATIONS, SYMBOLS, AND CODE/ AHJ NOTES

Building Permit #: -

CUP #: PLCUP20230109

Owner's Project #: -

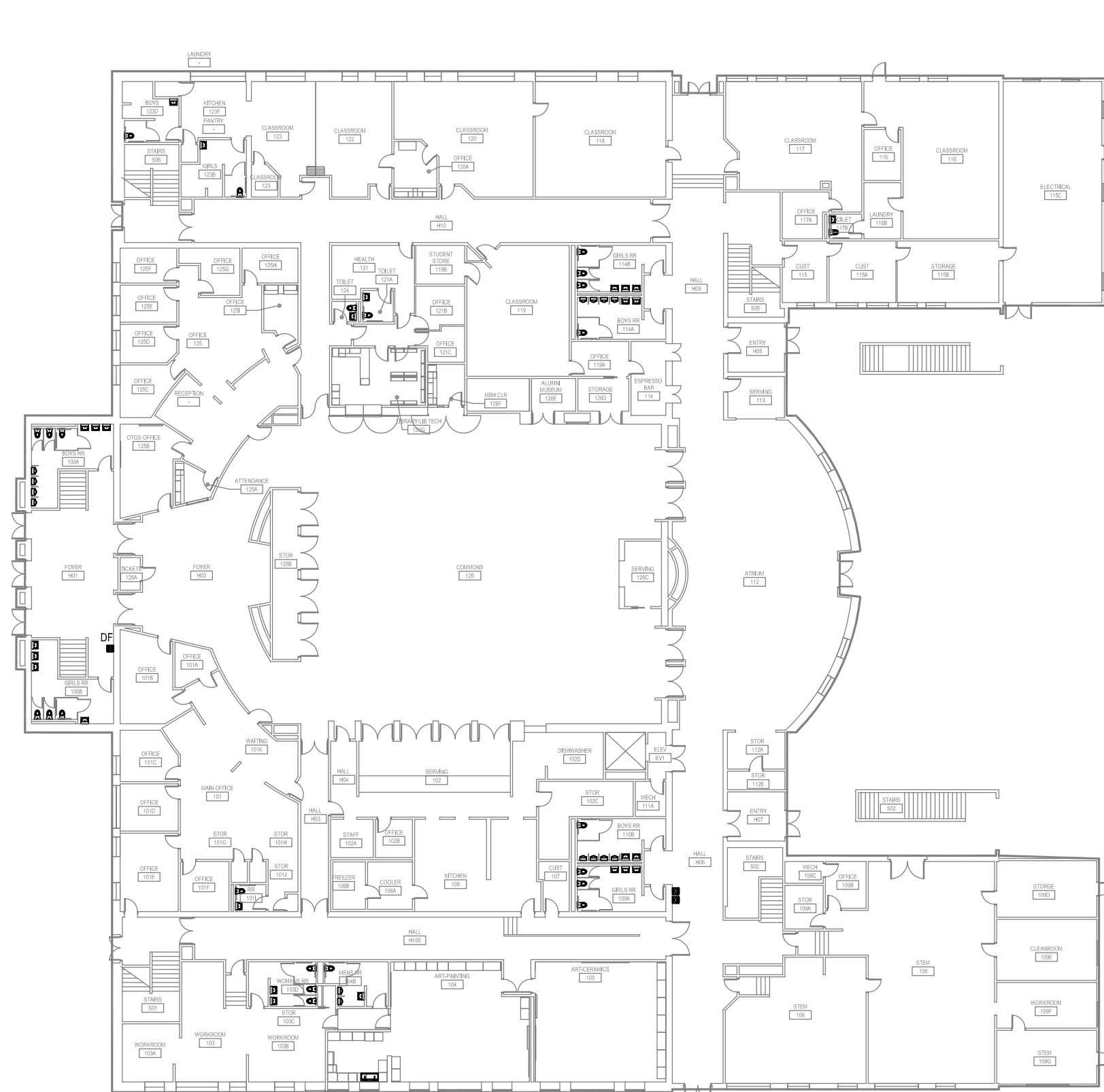
Architect's Project #: 2023106

Drawn By RL

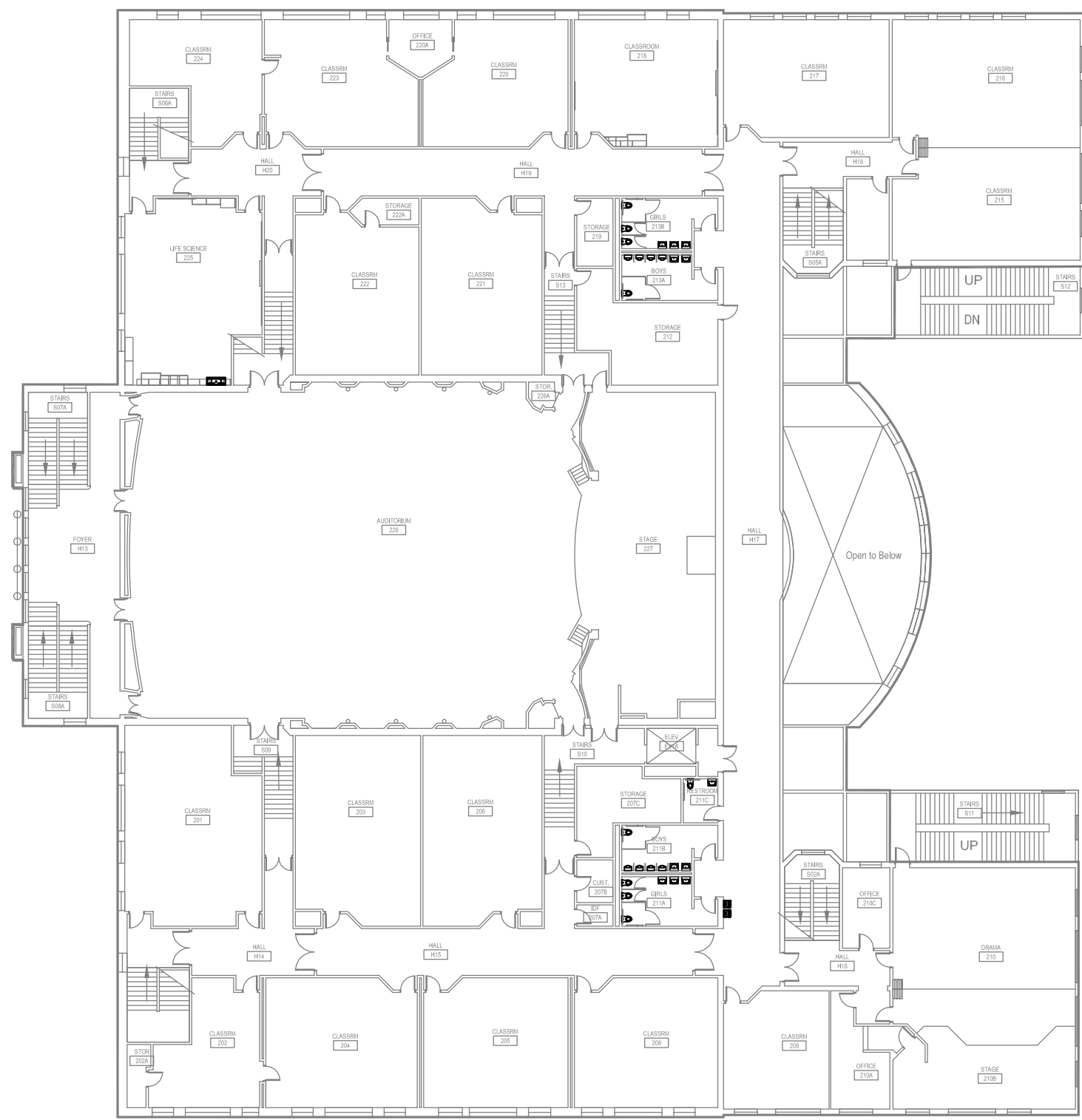
Checked By RL

G001

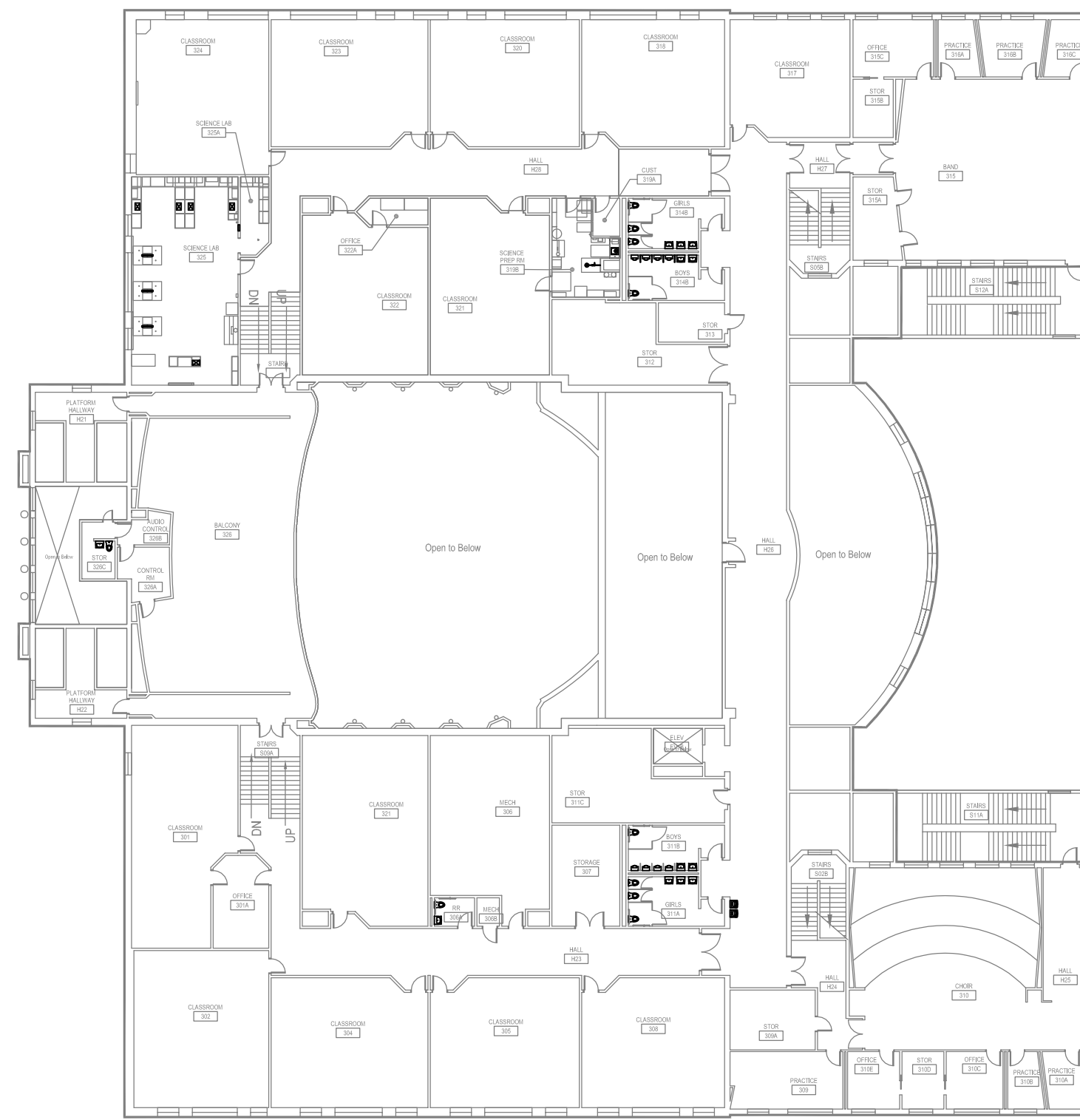
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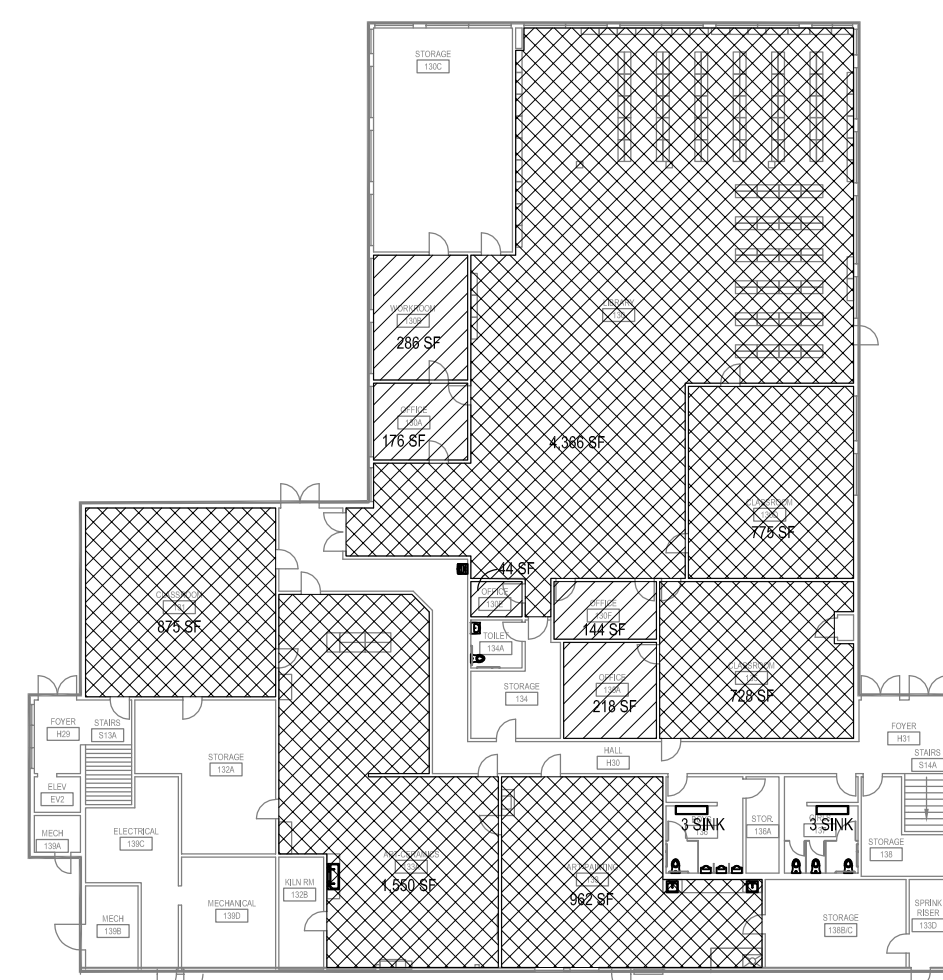
1 BLDG 50-01 1ST FLOOR
SCALE: 1" = 30'
BLDG 50-01 1ST FLOOR
FLOOR SF = 47,270 SF
FEMALE TOILETS COUNT = 16
MALE TOILETS COUNT = 9
URINALS COUNT = 14
FEMALE LAVATORY COUNT = 16
MALE LAVATORY COUNT = 11



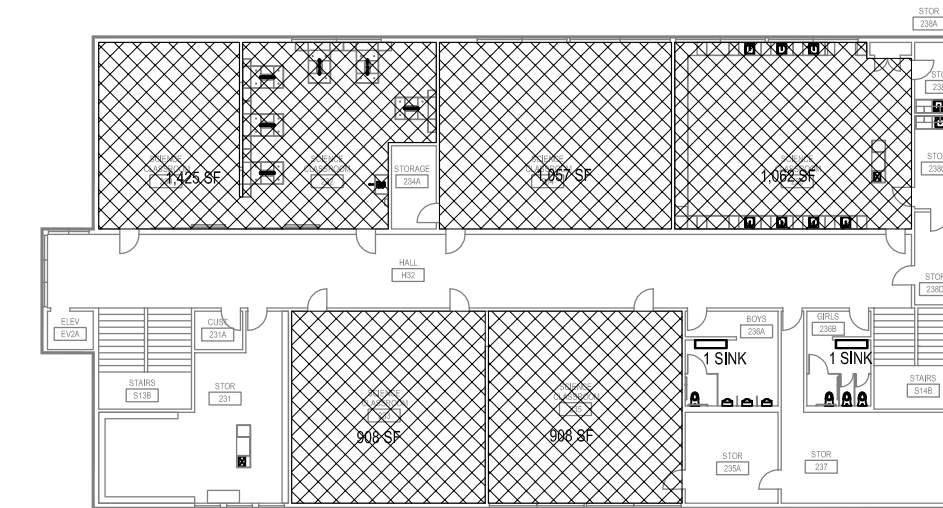
2 BLDG 50-01 2ND FLOOR
SCALE: 1" = 30'
BLDG 50-01 2ND FLOOR
FLOOR SF = 40,046 SF
FEMALE TOILETS COUNT = 7
MALE TOILETS COUNT = 2
URINALS COUNT = 8
FEMALE LAVATORY COUNT = 7
MALE LAVATORY COUNT = 4



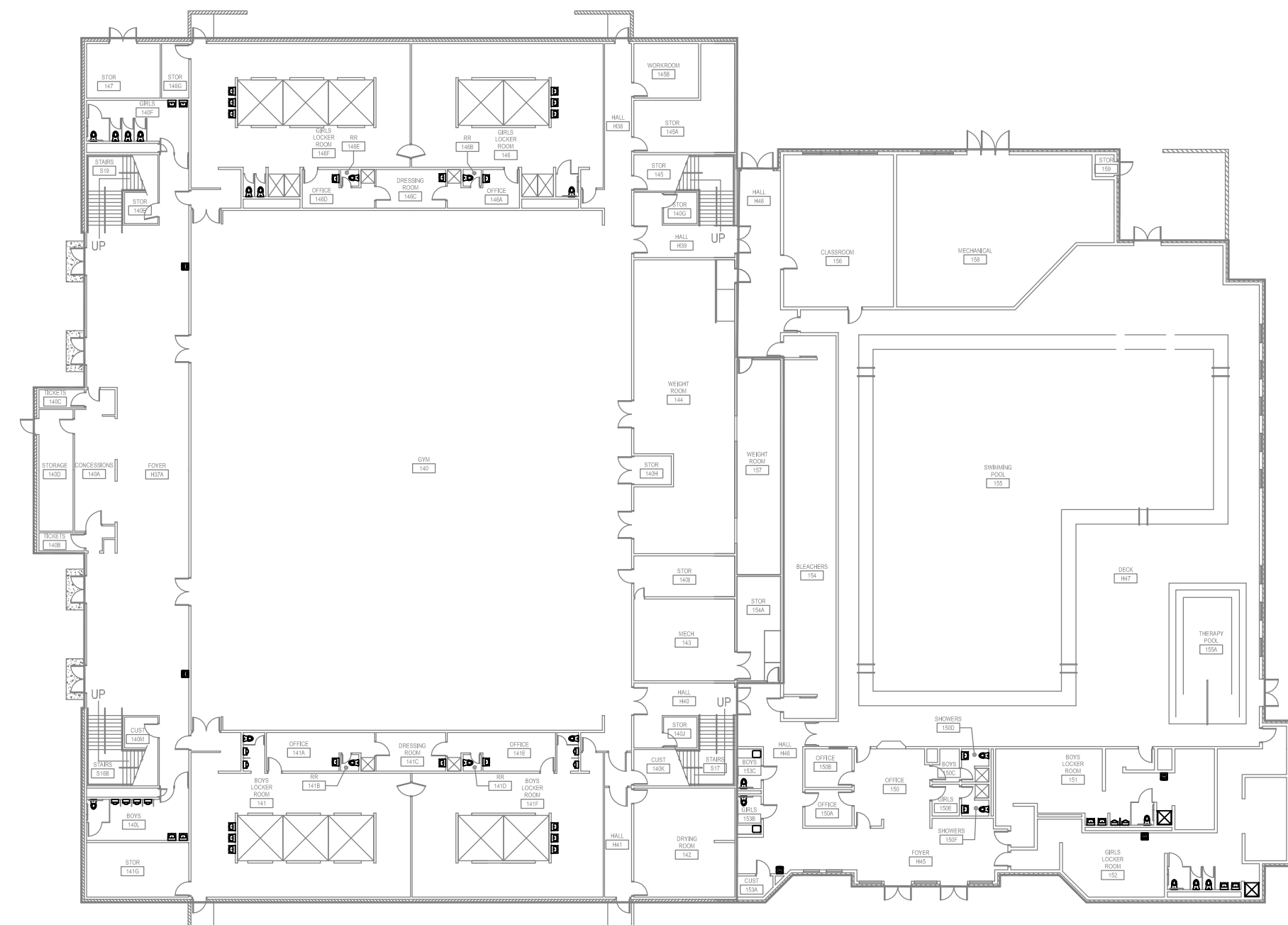
2 BLDG 50-01 3RD FLOOR
SCALE: 1" = 30'
BLDG 50-01 3RD FLOOR
FLOOR SF = 34,092 SF
FEMALE TOILETS COUNT = 7
MALE TOILETS COUNT = 3
URINALS COUNT = 8
FEMALE LAVATORY COUNT = 7
MALE LAVATORY COUNT = 5



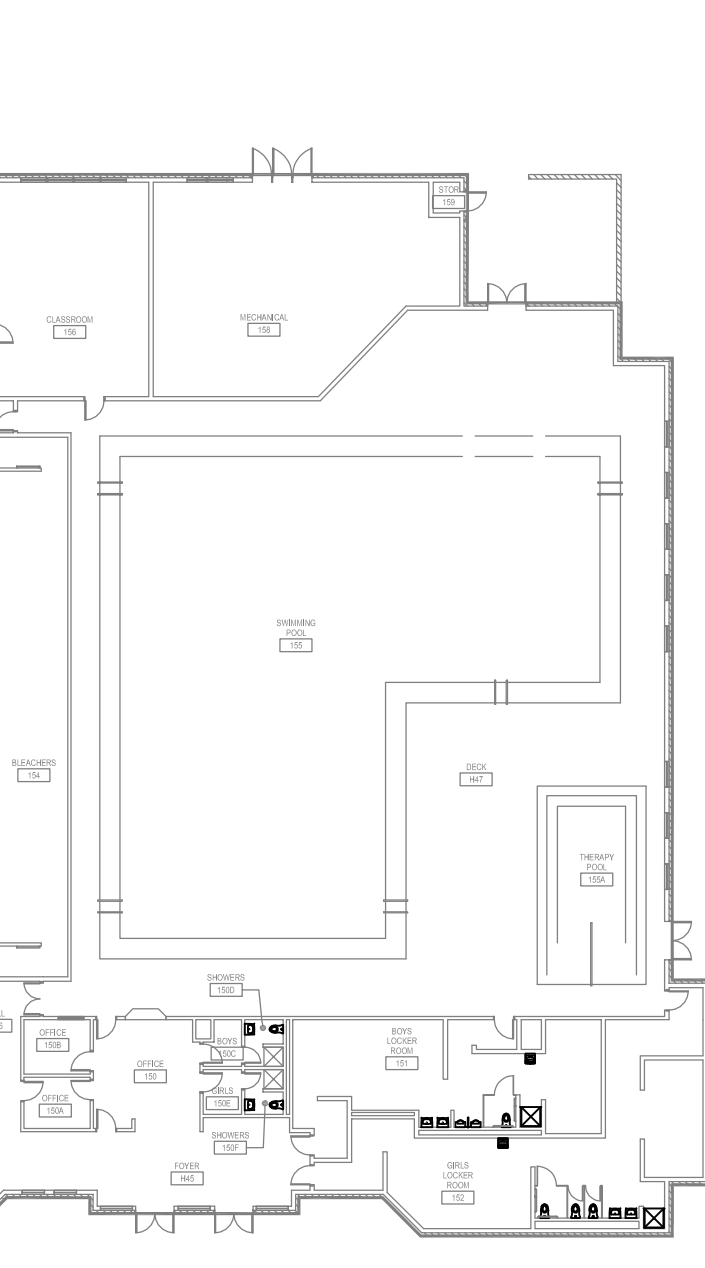
3 BLDG 50-02 1ST FLOOR
SCALE: 1" = 30'
NOTE: BUILDING 50-02 TO BE DEMOLISHED AS PART OF CUP



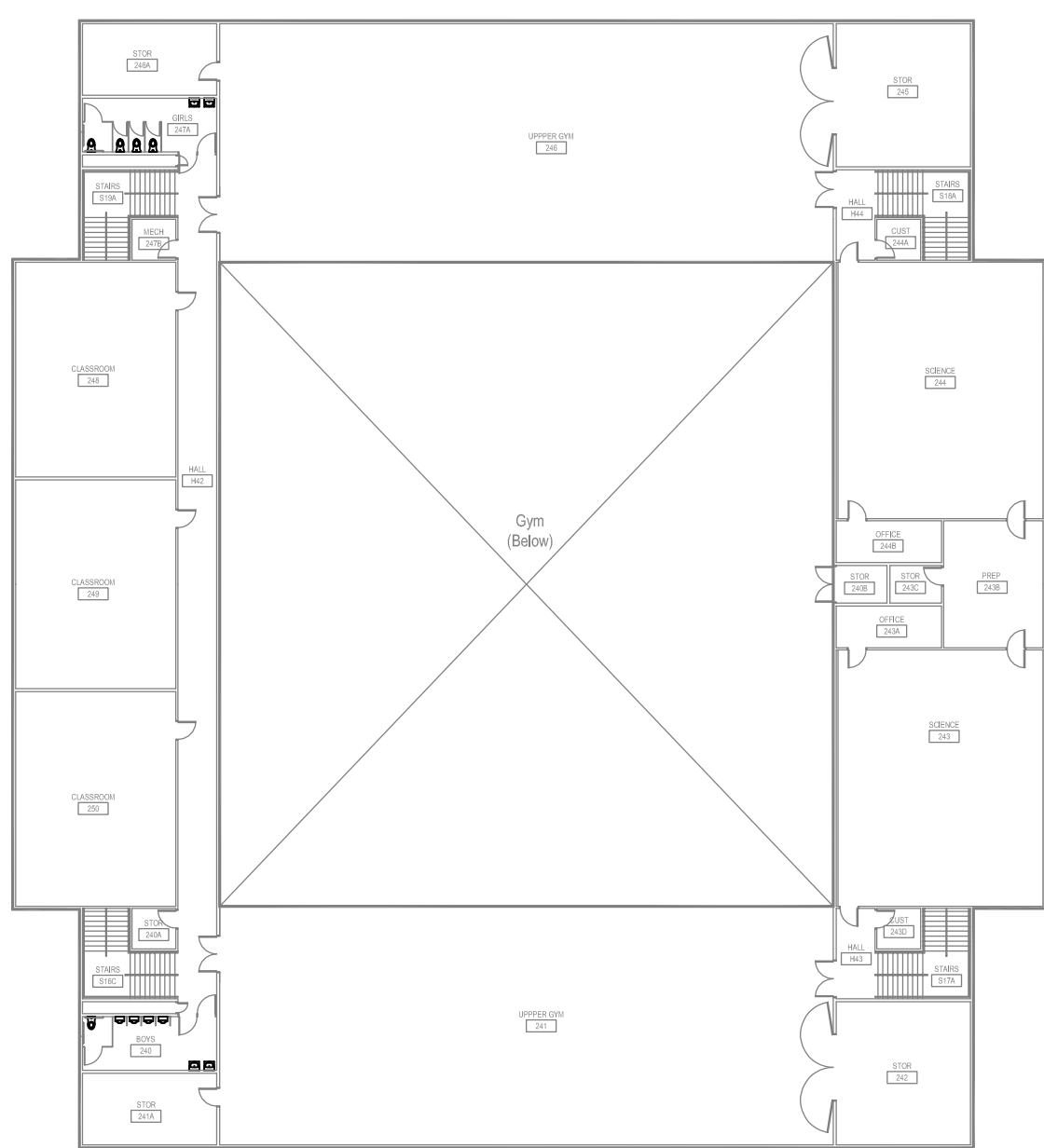
5 BLDG 50-02 2ND FLOOR
SCALE: 1" = 30'
NOTE: BUILDING 50-02 TO BE DEMOLISHED AS PART OF CUP



1 BLDG 50-05 & 62-01 1ST FLOOR
SCALE: 1" = 30'

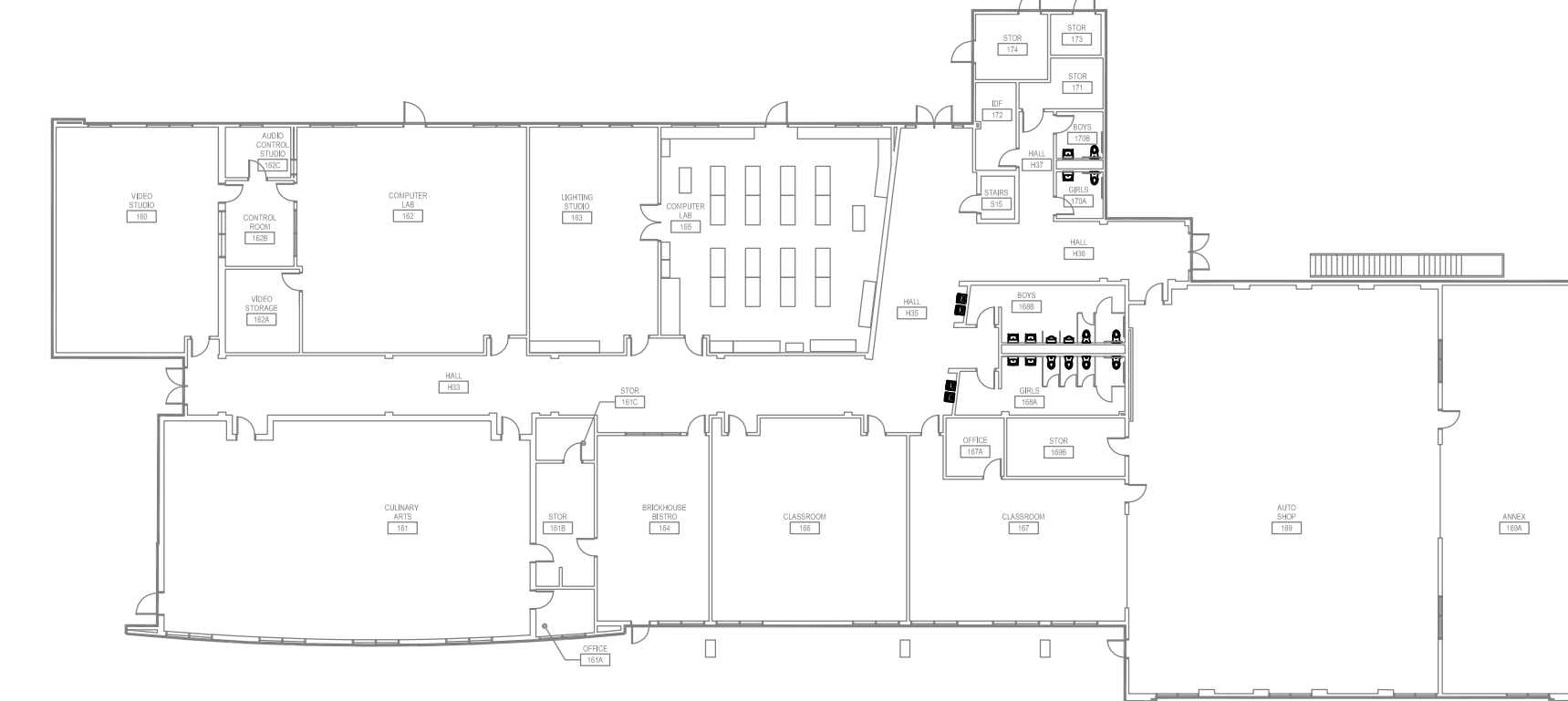


BLDG 50-05 1ST FLOOR (GYM) + 62-01 1ST FLOOR (POOL BLDG)
FLOOR SF = 28,969 SF + 17,272 SF = 46,241 SF
FEMALE TOILETS COUNT = 14
MALE TOILETS COUNT = 8
URINALS COUNT = 10
FEMALE LAVATORY COUNT = 15
MALE LAVATORY COUNT = 15



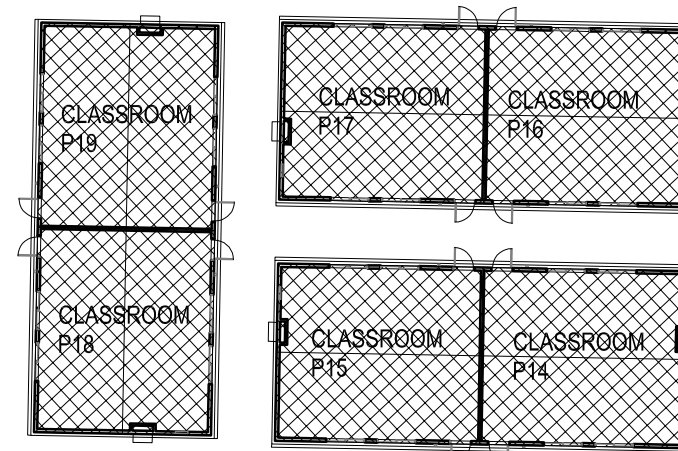
7 BLDG 50-05 1ST FLOOR
SCALE: 1" = 30'

BLDG 50-05 2ND FLOOR (GYM)
FLOOR SF = 21,264 SF
FEMALE TOILETS COUNT = 5
MALE TOILETS COUNT = 3
URINALS COUNT = 2
FEMALE LAVATORY COUNT = 3
MALE LAVATORY COUNT = 3



8 BLDG-04 1ST FLOOR
SCALE: 1" = 30'

BLDG 50-04 1ST FLOOR
FLOOR SF = 21,264 SF
FEMALE TOILETS COUNT = 5
MALE TOILETS COUNT = 3
URINALS COUNT = 2
FEMALE LAVATORY COUNT = 3
MALE LAVATORY COUNT = 3



9 NEW PORTABLES P14-P19
SCALE: 1" = 30'

▨ TOTAL OFFICE SF = 868 SF
▩ TOTAL CLASSROOM SF = 9,256 SF

BLDG 50-02 1ST FLOOR
FLOOR SF = 15,571 SF
FEMALE TOILETS COUNT = 4
MALE TOILETS COUNT = 1
URINALS COUNT = 3
FEMALE LAVATORY COUNT = 4
MALE LAVATORY COUNT = 3

▩ TOTAL CLASSROOM SF = 5,360 SF

BLDG 50-02 2ND FLOOR
FLOOR SF = 9,753 SF
FEMALE TOILETS COUNT = 3
MALE TOILETS COUNT = 1
URINALS COUNT = 3
FEMALE LAVATORY COUNT = 1
MALE LAVATORY COUNT = 1

▩ TOTAL CLASSROOM SF = 5,360 SF
NEW PORTABLES P14-19
FLOOR SF = 5,376 SF
FEMALE TOILETS COUNT = 0
MALE TOILETS COUNT = 0
URINALS COUNT = 0
FEMALE LAVATORY COUNT = 0
MALE LAVATORY COUNT = 0

DEVELOPMENT / PLANNING NOTES

- ZONING (PMC 20.44.005): PF (PUBLIC FACILITY)
- USE (PMC 20.44.010, (7)): PUBLIC HIGH SCHOOL IN PUBLIC FACILITY ZONE
- SCOPE (PMC 20.44.010, (7)): ADDITION TO EXISTING EXISTING HIGH SCHOOL
- CUP REQUIREMENT (PMC 20.44.017): HIGH SCHOOLS SHALL BE APPROVED BY EITHER (1) THE SUBMITTAL AND APPROVAL OF A CONDITIONAL USE PERMIT OR (2) THE SUBMITTAL AND APPROVAL OF A MASTER PLAN.
-CUP PROCESS SELECTED.
- REQUIRED SETBACKS (PMC 20.44.020):
 - (1) MINIMUM LOT SIZE: NONE - OK
 - (2) MINIMUM LOT WIDTH: NONE - OK
 - (3) MINIMUM LOT DEPTH: NONE - OK
 - (4) 20 FT AT FRONTAGE - OK
 - (5) 20 AT REAR SETBACKS - OK
 - (6) 20 AT SIDE SETBACKS - WEST SIDE SETBACK: PROPOSED TO BE REDUCED TO 14' SETBACK, EAST SIDE SETBACK IS COMPLIANT. DUE TO BUILDING WIDTHS AND REQUIRED BUILDING SEPARATIONS AND PATHWAYS, IT'S NOT POSSIBLE TO FIT LAYOUT IN PARCEL WITHOUT ENCRoACHING INTO THE SETBACK. ADJACENT PARCEL AT WEST SETBACK IS PF ZONED AND ALSO OWNED BY PUYALLUP SCHOOL DISTRICT, WHO HAS NO OBJECTION TO THIS ENCRoACHMENT.
 - (7) MINIMUM LANDSCAPED SETBACK ALONG COMMON BOUNDARY WITH ANY R ZONE:

- PARKING CALCULATION**
- BUILDING 50-02 LEVEL 1 CLASSROOM SF = -9,256 SF/65 = -142 STALLS
BUILDING 50-02 LEVEL 1 OFFICE SF = -868 SF/300 = -3 STALLS
BUILDING 50-02 LEVEL 2 CLASSROOM SF = -5,360 SF/65 = -82 STALLS
(3) ADDED DOUBLE PORTABLE SF = 1,792SFx3 = 5,376 SF/65 = 83 STALLS
TOTAL CHANGE IN PARKING 144 FEWER PARKING STALLS NEEDED
7. BICYCLE PARKING (PMC 20.55.016, (2)): ALL INSTITUTIONAL USES WHICH REQUIRE 25 OR MORE PARKING SPACES PURSUANT TO THIS TITLE SHALL PROVIDE A DESIGNATED BICYCLE PARKING AREA TO ACCOMMODATE A MINIMUM OF FIVE BICYCLE SPACES. PRIOR TO ISSUING PERMITS FOR FACILITIES REQUIRING 100 OR MORE PARKING SPACES PURSUANT TO THIS TITLE AND/OR USES WITH HIGH EXPECTED BICYCLE TRAFFIC (E.G., SCHOOLS) THE CITY MAY REQUIRE REASONABLE ADDITIONAL BICYCLE PARKING CAPACITY OVER AND ABOVE THE MINIMUM FIVE SPACES.
- BASED ON THE DECREASED PARKING CAPACITY CALCULATED FOR THE DEMOLITION OF BUILDING 50-02 AND PROPOSED ADDITION OF PORTABLE CLASSROOMS, NO VEHICLE PARKING IS REQUIRED, THEREFORE NO ADDITIONAL BICYCLE PARKING IS REQUIRED.
8. BUS / TRUCK LOADING / UNLOADING:
NO PROPOSED CHANGES TO EXISTING BUSING CAPACITY OR LOCATION.
9. OUTDOOR LIGHTING (PMC 20.44.045, (3)): BUILDING MOUNTED LIGHTING IS PROPOSED AT NEW PORTABLE CLASSROOMS. LIGHT SHIELDING WILL BE INCLUDED TO LIMIT TO WITHIN PROPERTY BOUNDARIES.
9. TRASH/RECYCLING FACILITIES (PMC 20.44.045, (5)): NO CHANGES PROPOSED TO EXISTING ONSITE TRASH/RECYCLING FACILITIES. EXISTING FACILITIES SUFFICIENT TO SERVE NEW PORTABLES.
10. TREE RETENTION & PROTECTION: TWO INSIGNIFICANT TREES WILL BE REMOVED AS PART OF THIS PROJECT THAT'RE IN CONFLICT WITH THE PROPOSED PORTABLES.
11. CRITICAL AREAS (PMC 21.06): PROJECT IS NOT LOCATED WITHIN CRITICAL AREA BASED ON PIERCE COUNTY GIS AND EVALUATION OF SURVEY INFORMATION.
12. SEPA: A SEPA IS IN PROCESS. PUYALLUP SCHOOL DISTRICT IS THE LEAD AGENCY.
13. ACCESS: NONE WILL BE AFFECTED
14. SURFACE WATER MANAGEMENT: REFER TO CIVIL PLANS FOR STORMWATER CONTROL.
15. PLUMBING FIXTURE COUNT: REFER TO PLUMBING FIXTURE CALCULATION AND FLOOR PLANS ON THIS SHEET. BASED ON THE CALCULATIONS, THE MINIMUM PLUMBING FIXTURES ARE ALREADY PRESENT ON SITE TO MEET CODE REQUIREMENTS.
16. BASED ON CUP COMMENTS, A LOT COMBINATION IS REQUIRED FOR TWO PREVIOUS PARCELS #5870000190 AND #2870000231 WHERE PORTABLE BUILDINGS WILL BE PLACED. THIS PROPOSED IS COMPLETE AND THE COMBINED PARCEL IS NOW DESIGNATED AS #5870000191.
17. IN LIEU OF COMBINING PARCEL #5870000200 TO PARCEL #5870000191 FOR THE STORM INFILTRATION SYSTEM PARTIALLY OCCURRING ON PARCEL #5870000200, A STORMWATER MAINTENANCE AGREEMENT WILL BE PROVIDED BY PUYALLUP SCHOOL DISTRICT AND RECORDED AT THE CITY.

CODE NOTES

- DRAWINGS AND STRUCTURAL CALCULATION FOR EXTERIOR STAIR RAMP AND LANDING HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WINDOW (110 MPH EXPOSURE) REQUIREMENTS
- PORTABLE BUILDING FOUNDATION DRAWINGS AND STRUCTURAL CALCULATIONS HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WIND (110 MPH EXPOSURE) REQUIREMENTS.
- ACCESSIBLE ROUTE OF TRAVEL FROM THE PORTABLE BUILDING TO THE PUBLIC WAY COMPLIES WITH IBC2016 AND ACCESSIBILITY STANDARDS.
- ILLUMINATION OF THE EXTERIOR MEANS OF EGRESS WILL BE ACHIEVED BY BATTERY BACK UP ON EXTERIOR LIGHTS OF THE PORTABLE.
- PER IBC CHAPTER 29 - DISTANCE TO RESTROOM FACILITIES & DRINKING FOUNTAIN MAY NOT EXCEED 500 LF. DISTANCE FROM BACK CORNER OF FURTHEST CLASSROOM TO RESTROOM IS LESS THAN 500 LF AND THEREFORE COMPLIES.
- RAMPS SHALL CONFORM WITH THE WASHINGTON STATE BARRIER FREE DESIGN REQUIREMENTS AND APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

RAMP & STAIR SYSTEM

- ALUMINUM MODULAR RAMP AND STAIR SYSTEM BY WELCOME RAMP SYSTEMS, INC. OR APPROVED EQUAL.
- TYPICAL COMPONENT SIZES:
 - LANDINGS - 5'X5' or 5'x8'; CAN BE BOLTED TOGETHER FOR LARGER PLATFORMS
 - RAMPS - 4', 8', OR 10' LONG SECTIONS X 4' WIDE; CAN BE BOLTED TOGETHER TO FORM A MAXIMUM 30' RAMP RUN. WITH MAX RISE = 1:12
 - STAIR - MAX 7" RISER X 12" TREAD X 48" WIDE
- ANSI A117.1 - 2009 COMPLIANT
- DESIGN LOADING:
 - DECK/RAMP: 100 PSF
 - STAIR TREAD: 300 LBS/TREAD
 - RAILING: 50 PLF/200 LBS CONC.
- DOOR CLEARANCE PER IBC
- STANDARD 3 LINE RAIL FOR COMPONENTS 30" OR LESS FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- 42" VERTICAL PICKET GUARDRAIL FOR COMPONENTS OVER 30" FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- GRASPABLE CONTINUOUS HANDRAIL AT 34" TO 38" OFF RAMP, PLATFORM, OR STAIR NOSING.
- HANDRAILS TO EXTEND 12" HORIZONTALLY OVER WALKING SURFACE AND RETURN TO WALL OR RAIL COLUMN.
- RAMP AND RAILING TO HAVE CURBS WHICH DO NOT ALLOW PASSAGE OF 4" SPHERE WHERE ORIGINAL POSITION OF SPHERE IS WITHIN 4" OF THE WALKING SURFACE.
- FOOTING INFORMATION:
2'X12'X12" P.T. WOOD PAD REQUIRED UNDER ALL ADJUSTABLE LEGS EXCEPT AT THE "U" IN THE SWITCHBACK CONFIGURATION WHERE A 4" X 16" X 16" CONCRETE PAD OR 16" X 16" POLYVOC. PVC PAD IS REQUIRED (SEE CONFIGURATION "F").

PLUMBING FIXTURE COUNT (PER IBC 2018 TABLE 2902.1 & WA STATE AMENDMENTS)

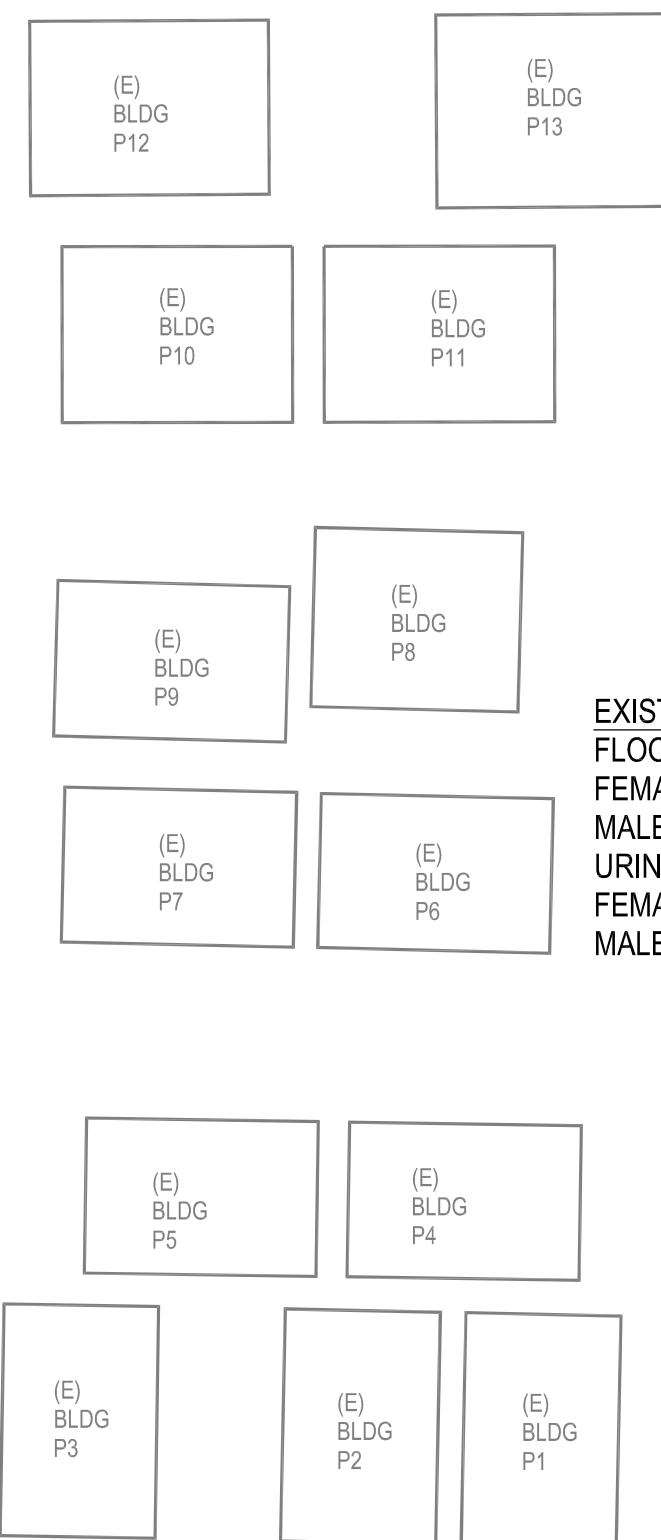
Code Notes:
-Per IBC 2018/WA AMENDMENT TABLE 2902.1, NOTE e. For Group E occupancies: The number of occupants shall be determined by using a calculation of 100 SF gross building area per student for the minimum number of plumbing fixtures.
-Per IBC 2018, 2902.1.1.2 Where urinals in men's facilities are provided, one water closet less than the number specified may be provided for each urinal installed, except in he number of water closets in such cases shall not be reduced to less than one quarter (25%) of the minimum specified. For men's facilities serving 26 or more persons, not less than one urinal shall be provided.
-Count gang lavatories based on faucet count.
-Each new or existing portable classroom calculated as a 28'x32' modular size.

GROSS EXISTING BUILDING AREA:		
GROSS EXIST. Bldg 50-01-Level 1	47,270 SF	
GROSS EXIST. Bldg 50-01-Level 2	40,046 SF	
GROSS EXIST. Bldg 50-01-Level 3	34,092 SF	
GROSS DEMO Bldg 50-02-Level 1	-15,571 SF	
GROSS DEMO Bldg 50-02-Level 2	-9,753 SF	
GROSS EXIST. Bldg 50-04-Level 1	21,264 SF	
GROSS EXIST. Bldg 50-05/62-01-Level 1	46,241 SF	
GROSS EXIST. Bldg 50-05-Level 2	18,973 SF	
GROSS EXIST. Portable:	11,648 SF	
GROSS NEW Portable:	5,376 SF	
TOTAL	139,586 SF	

# OF OCCUPANTS	
GROSS SF/100	1996

ASSUME 50% MALE/ 50% FEMALE	
MALE	FEMALE
999	999

	WATER CLOSETS		URINALS		LAVATORIES		MALE
	1 PER	25	1 PER	35	1 PER	50	1 PER
CODE MINIMUM	40	29			21	20	12
CODE MAXIMUM							
Bldg 50-01-Level 1	16	9	14	16	11		
Bldg 50-01-Level 2	7	2	8	7	4		
Bldg 50-01-Level 3	7	3	8	7	5		
-Bldg 50-02-Level 1	-4	-1	-3	-4	-3		
Bldg 50-02-Level 2	-3	-1	-3	-1	-1		
Bldg 50-04-Level 1	5	3	2	3	3		
Bldg 50-05/62-01-Level 1	14	8	10	15	15		
Bldg 50-05-Level 2	4	1	4	2	2		
Exist. Portables	0	0	0	0	0		
New Portables	0	0	0	0	0		
PROPOSED	46	24	+ 40	45	36		
CODE COMPLIANT:	TRUE		TRUE	TRUE	TRUE		



EXIST PORTABLES P1-13
FLOOR SF = 11,648 SF
FEMALE TOILETS COUNT = 0
MALE TOILETS COUNT = 0
URINALS COUNT = 0
FEMALE LAVATORY COUNT = 0
MALE LAVATORY COUNT = 0

10 EXISTING PORTABLES P1-P13
SCALE: 1" = 30'

ARCHITECT

studio **MENG**
STRAZZARA

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CONSULTANT

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SCHOOL DISTRICT
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City of Puyallup
Development & Permitting Services
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Building	Planning
Engineering	Public Works
Fire	Traffic

PRPF20241043

TITLE
**PUYALLUP HS NEW
PORTABLES 2023**

**711 W MAIN
PUYALLUP, WA
98371**

STAMP

6181 REGISTERED
ARCHITECT
Paul Strazzara
STATE OF WASHINGTON

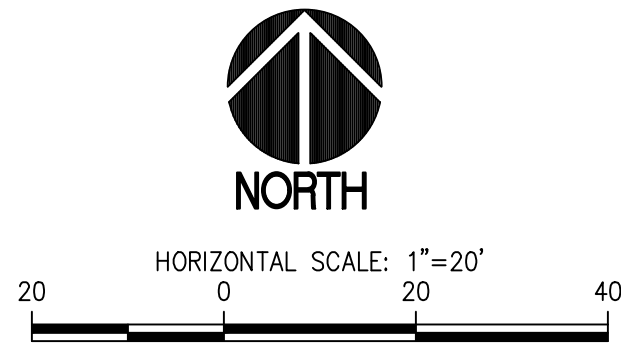
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ROW PERMIT SET CC#2 OCT 2, 2024	
CIVIL PERMIT SET CC#1 OCT 8, 2024	
BUILDING PERMIT CC#1 OCT 8, 2024	

ARCHITECTURAL CODE SHEET

Building Permit #: -
CUP #: **PLCUP20230109**
Owner's Project #: -
Architect's Project #: **2023106**
Drawn By **RL**
Checked By **RL**

G002



HORIZONTAL DATUM

WASHINGTON PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83/2011
BASED ON GPS OBSERVATION UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN)

MEASURED SOUTH 88°57'44" EAST BETWEEN TWO FOUND MONUMENTS ALONG WEST MAIN ST. AT THE INTERSECTIONS WITH 8TH ST NW AND 7TH ST NW

VERTICAL DATUM

NAVD 88
BASED ON GPS OBSERVATION UTILIZING THE WSRN WITH NGS GEOID18 LOADED

TEMPORARY BENCHMARK ELEVATION = 41.76
DESCRIPTION: REBAR & CONTROL CAP #12
LOCATED AT THE INTERSECTION OF WEST MAIN & 7TH ST. NW
S.E. OF THE RADIAL CURB LINE

LEGAL DESCRIPTION

LOTS 1 TO 12, BLOCK 7, A. J. MILLER'S ADDITION TO PUYALLUP, PIERCE COUNTY, W. T., ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 1 OF PLATS, PAGE 130, RECORDS OF PIERCE COUNTY, WASHINGTON.

NOTES

- EQUIPMENT USED: CARLSON CR2+ ROBOTIC TOTAL STATION AND TOPCON HIPER VR RTK/GPS
- THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH THE FINAL RESULTS MEETING OR EXCEEDING THE CURRENT TRAVERSE AND RELATIVE POSITIONAL ACCURACY STANDARDS CONTAINED IN W.A.C. 332-130-085 AND W.A.C. 332-130-090. THE RELATIVE POSITIONAL ACCURACY OF THE POSITIONS LOCATED HEREON MEETS OR EXCEEDS 2 CM (0.07 FT.) PLUS 50 PARTS PER MILLION BETWEEN ANY TWO TESTED POSITIONS. ALL MEASUREMENTS WERE MADE WITH A CARLSON CR2+ ROBOTIC TOTAL STATION IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S SPECIFICATIONS.
- IN ACCORDANCE WITH THE REVISED CODE OF WASHINGTON (R.C.W.) 58.09 AND THE WASHINGTON ADMINISTRATIVE CODE (W.A.C.) 332-130, THIS SURVEY MAY DEPICT OCCUPANCY INDICATORS THAT DIFFER FROM THE DEEDED LOT LINES. THESE INDICATORS, IF AT ALL PRESENT, MAY REPRESENT A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE. THIS SURVEY DOES NOT PURPORT TO RESOLVE SUCH ITEMS.
- FIELD WORK PERFORMED IN JUNE & JULY 2023, UNDER SITTS & HILL JOB NUMBER 20175.
- UTILITIES AS SHOWN HEREON ARE BASED ON FIELD SURVEY OBSERVATION OF UTILITY LOCATE SERVICES PERFORMED BY MT. VIEW LOCATING SERVICES, LLC IN JUNE 2023 FOR THIS SURVEY. THIS HAS BEEN SUPPLEMENTED BY RECORD INFORMATION PROVIDED BY CITY OF PUYALLUP AND PIERCE COUNTY GIS DATA. RECORD UTILITY LINES SHOWN HEREON ARE DEPICTED WITH A DASHED LINETYPE AS SHOWN IN THE LEGEND. UTILITIES OTHER THAN SHOWN MAY EXIST ON THE SITE. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES CERTIFY THAT THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND PAINTED UTILITY LOCATE LINES. COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA IS CONSISTENT WITH QUALITY LEVEL B OF THE ASCE STANDARD GUIDELINES 38-02.
- SITTS & HILL ENGINEERS, INC. HAS RELIED UPON TITLE INFORMATION NOTED IN COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY OF WASHINGTON, COMMITMENT NUMBER 232074-TC, DATED JUNE 15, 2023. IN PREPARATION OF THIS SURVEY, SITTS & HILL ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS SITTS & HILL ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND/OR DISCLOSED BY SAID TITLE COMPANY'S ORDER. SITTS & HILL ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPORT AND THEREFORE QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY COMPLIES WITH W.A.C. 332-130-145. THE CONTOURS DEPICTED HEREON ARE BASED ON DATA FROM DIRECT FIELD MEASUREMENTS. SPOT ELEVATIONS ARE BASED ON DIRECT FIELD MEASUREMENTS AND ARE DEPICTED FOR REFERENCE. THE PURPOSE OF THIS TOPOGRAPHIC MAP IS TO SERVE AS A BASE MAP FOR CONTEMPLATED SITE IMPROVEMENTS AND DESIGN.

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRPF20241043

REVISIONS

DESIGNED	MT/DMS	CHECKED	STT	DATE	07-27-2023	SCALE	AS NOTED
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sitts & hill
CIVIL | STRUCTURAL | ARCHITECTURAL | SURVEY
4815 CENTER STREET | TACOMA, WA 98409
PHONE: (253) 474-9449 | FAX: (253) 474-0153
HNP://WWW.SITSHILL.COM

PREPARED BY

PUYALLUP SCHOOL DISTRICT
323 - 12TH ST. NW
PUYALLUP, WA 98371
ATTN: LARRY VANDEBERG

PREPARED FOR

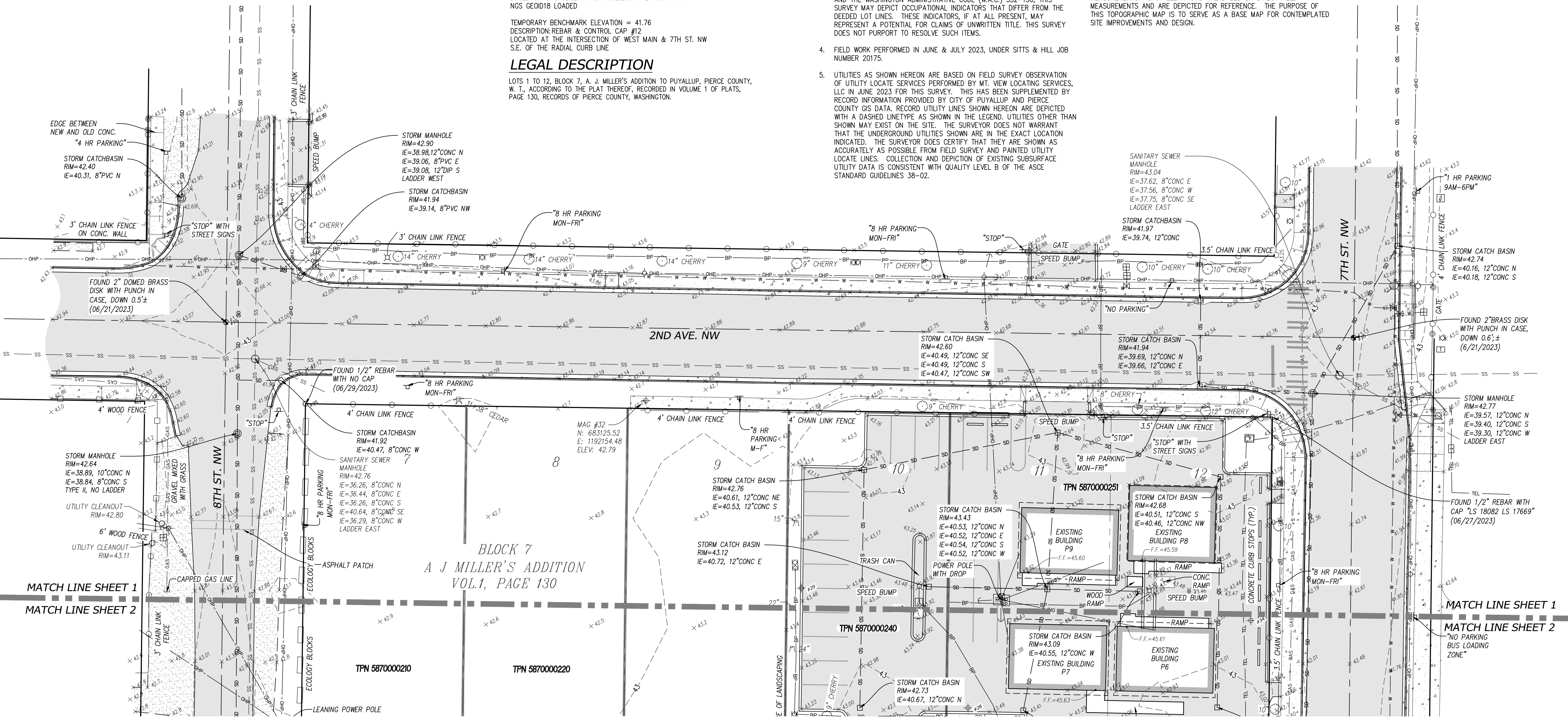
PUYALLUP HIGH SCHOOL LIBRARY SCIENCE BLDG.
SHEET TITLE
TOPOGRAPHIC SURVEY
N.W. PORTABLES BLOCK

SHEET NO.

1 OF 2

PROJECT NO.

20175



LEGEND

- | | | | |
|------------------------------------|------------------------------|-----------------|--------------------------|
| ● FOUND MONUMENT AS NOTED | ○ STORM CLEAN OUT | □ GAS VALVE | □ UTILITY VAULT |
| ⊕ CALCULATED MONUMENT POSITION | △ ROOF DRAIN | □ GAS METER | ⊠ ELECTRIC METER |
| ○ FOUND REBAR / IRON PIPE AS NOTED | ⊗ WATER VALVE | ○ UTILITY POLE | ⊠ POWER TRANSFORMER |
| ⊕ SURVEY CONTROL POINT, AS NOTED | ⊠ WATER METER | ○ GUY ANCHOR | ● COLUMN |
| ○ SANITARY SEWER MANHOLE | ⊠ FIRE HYDRANT | □ JUNCTION BOX | ⊙ BOLLARD |
| ○ SANITARY SEWER CLEAN OUT | ⊕ FIRE DEPARTMENT CONNECTION | □ POWER VAULT | ⊙ GATE POST |
| ⊠ STORM MANHOLE | ○ WATER BLOW OFF | □ POWER CABINET | ⊠ COMMUNICATIONS VAULT |
| □ STORM CATCH BASIN | ⊗ POST INDICATOR VALVE | ⊙ POWER MANHOLE | ⊠ COMMUNICATIONS MANHOLE |
| < STORM CULVERT | ⊗ IRRIGATION CONTROL VALVE | ⊙ LIGHT POLE | ⊠ TELEPHONE CABINET |

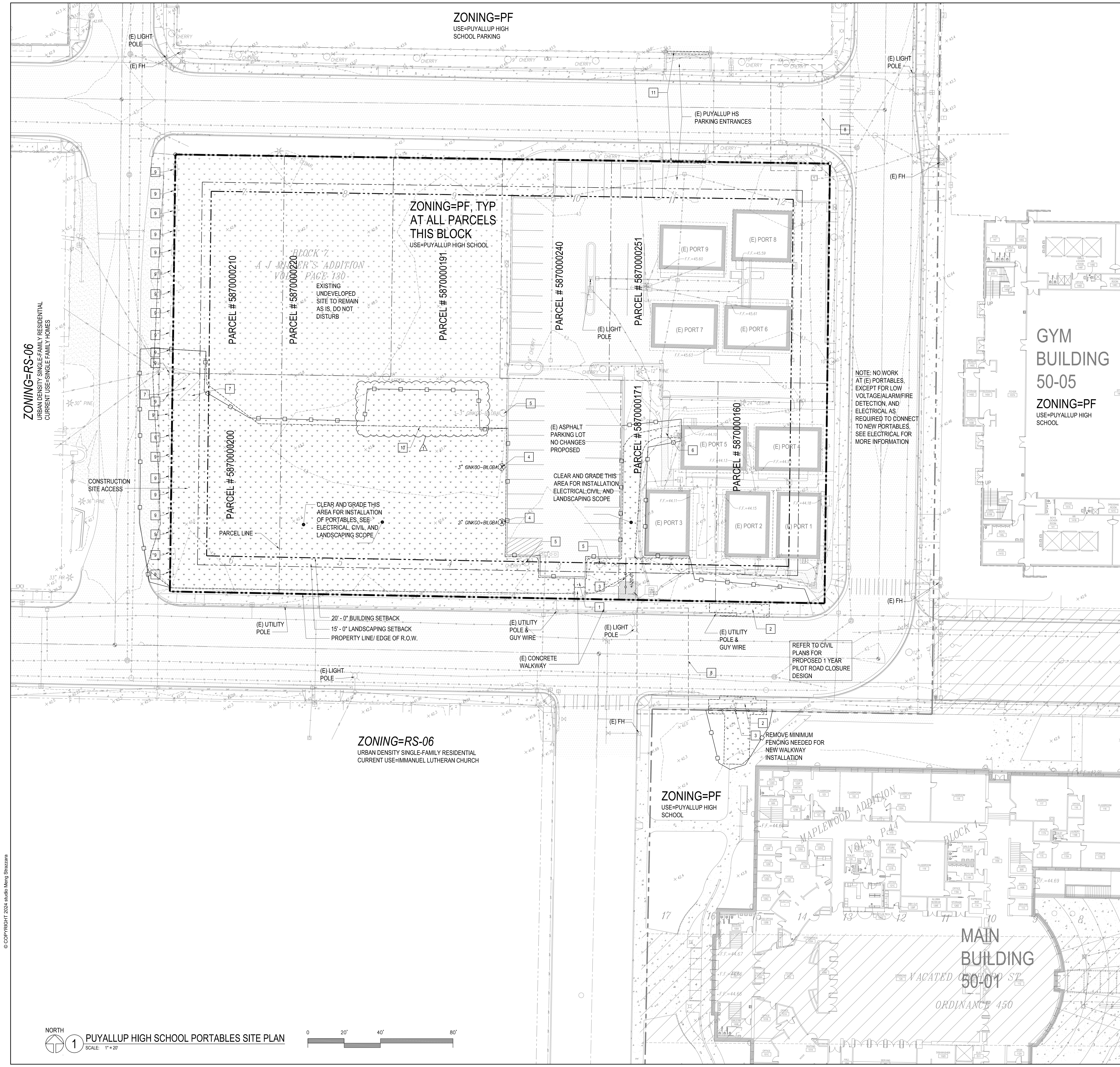
- | | | |
|---------------------------|------------------------|----------------------------------|
| ⊠ SIGN | — TEL — TEL — | — BURIED TELECOMMUNICATIONS LINE |
| □ MAILBOX | — OHP — | — OVERHEAD POWER LINE |
| ⊗ FLAG POLE | ○ CHAIN LINK FENCE | — CHAIN LINK FENCE |
| ⊗ DECIDUOUS TREE | □ WOOD FENCE | — WOOD FENCE |
| ⊗ EVERGREEN TREE | — RECORD STORM LINE | — RECORD STORM LINE |
| TPN TAX PARCEL NUMBER | — RECORD SANITARY LINE | — RECORD SANITARY LINE |
| FF FINISH FLOOR ELEVATION | — ASPHALT SURFACE | — ASPHALT SURFACE |
| — BOUNDARY LINE | — CONCRETE SURFACE | — CONCRETE SURFACE |
| — PLATTED LOT LINE | — GRAVEL SURFACE | — GRAVEL SURFACE |
| — PARCEL LINE | | |
| — ROAD CENTERLINE | | |
| — STORM DRAIN LINE | | |
| — SANITARY SEWER LINE | | |
| — BURIED WATER LINE | | |
| — BURIED GAS LINE | | |
| — BURIED POWER LINE | | |

SCHEDULE B EXCEPTIONS

(PER CHICAGO TITLE COMPANY COMMITMENT NUMBER 232074-TC, DATED JUNE 15, 2023)

- * NOT A SURVEY MATTER, DESCRIPTION PROVIDED AS A COURTESY
- ** CONTENT/DATA WITHIN INSTRUMENT IS INSUFFICIENT TO DETERMINE EXACT LOCATION
- *** INSTRUMENT IS BLANKET IN NATURE OR AFFECTS ENTIRE PROPERTY

EXCEPTION NUMBER	AFN	DESCRIPTION
1	9107220815	RECORD OF SURVEY; TITLE NOTE REGARDING FENCE LINE ENCROACHMENT IS NOW IRRELEVANT AND NO LONGER AN EXISTING CONDITION; THE PUYALLUP SCHOOL DISTRICT NOW OWNS THE ADJACENT PARCEL
2	9110220075	POWER EASEMENT LOCATED ON SOUTHERLY PORTION OF PROPERTY COINCIDENT WITH THE NORTH MARGIN OF MAIN STREET; DEPICTED HEREON; EASEMENT LIMITS DO NOT MATCH THE LOCATION THE TRANSFORMER AND OTHER ELECTRIC IMPROVEMENTS NEAR THE SOUTH LINE
3	200806035008	RECORD OF SURVEY; TITLE NOTE REGARDING FENCE LINE ENCROACHMENT IS NOW IRRELEVANT AND NO LONGER AN EXISTING CONDITION; THE PUYALLUP SCHOOL DISTRICT NOW OWNS THE ADJACENT PARCEL
4	201911040739	PARKING AGREEMENT; AGREEMENT LOCATION LIES OFF-SITE IN IMMANUEL EVANGELICAL LUTHERAN CHURCH PARKING AREA; NOT ILLUSTRATED HEREON



GENERAL INFORMATION

ADDRESS: 105 7TH ST SW, PUYALLUP, WA 98371
TAX ID ADDRESS: 711, 721, & 701 WEST MAIN
PARCEL#: 0419284027
SITE ACRES (SF): 40 ACRES (1,742,400 SF)
LEGAL DESCRIPTION:
PARCEL 5870000171 (TAX ID: 701 W MAIN)
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP E 52.9 FT OF L 2 & 7 EASE OF RECORD
PARCEL 5870000191 (TAX ID: 721 W MAIN)
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP L 5 B 7
PARCEL 5870000220 (TAX ID: 701 W MAIN)
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP L 5 B 7
PARCEL 5870000251 (TAX ID: 711 W MAIN)
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP L 1, 4 & 8 TOGOW W 7.1 FT OF L 2 & 7 EASE OF REC APPROVED COMB BY CV OF PUYALLUP PLAN DEPT 020710 COMB OF 587000-0174, 0184 & 0234 SEG 2019-0332, JP 030919 JP
ZONING: PF (PUBLIC FACILITY)
FLOOD ZONE: NO
LANDSLIDE HAZARD AREAS: NO
EROSION HAZARD AREAS: NO
WETLANDS: NO WETLANDS ARE PRESENT ON SITE
AQUIFER RECHARGE AREA: YES, MAXIMUM IMPERVIOUS AREA 35%
COMBINED LOTS SIZE (PARCELS 5870000171, 5870000190, 5870000200, 5870000231): 43,574 SF
IMPERVIOUS SURFACE: 18,050 SF (8,676 SF NEW + 9,372 SF EXISTING)
LOT COVERAGE: 42% SF
AQUIFER RECHARGE AREA: YES, MAXIMUM IMPERVIOUS AREA 35%
DISTURBED AREA: 16,420 SF

KEY NOTES

1. DEMOLISH CONCRETE WALKWAY FOR UTILITY WORK AND WALKWAY. COORDINATE WITH ELECTRICAL AND CIVIL DRAWINGS.

2. DEMOLISH CONCRETE WALKWAY, CURBING AND ASPHALT PAVEMENT FOR INSTALLATION OF NEW WHEELCHAIR ACCESSIBLE CURB RAMP. SEE CIVIL FOR MORE INFORMATION.

3. DEMOLISH METAL FENCING FOR NEW WALKWAY. SEE CIVIL FOR MORE INFORMATION.

4. DEMOLISH (E) TREE.

5. PROTECT (E) TREE DURING CONSTRUCTION.

6. DEMOLISH ASPHALT WALKWAY FOR UTILITY WORK AND WALKWAY. SEE ELECTRICAL AND CIVIL DRAWINGS.

7. NEW ELECTRICAL SERVICE WORK BY PSE. REFER TO ELECTRICAL DWGS, COORDINATE DEMOLITION REQUIREMENTS WITH NEW WORK BEING INSTALLED.

8. REFER TO CIVIL PLANS FOR TEMPORARY STREET CLOSURE VEHICLE GATE POST AND HOLD OPEN POST INSTALLATION AND PROVIDE REQUIRED DEMOLITION IN R.O.W. FOR INSTALLATION. NOTE: ADDITIONAL LOCATIONS OCCUR OUTSIDE OF ARCHITECTURAL DRAWING AT SOUTH SIDE OF 7TH ST SW AND 3RD AVE NW INTERSECTION.

9. (E) EXISTING ECOLOGY BLOCKS, RELOCATE FOR CONSTRUCTION AND REINSTALL AFTER CONSTRUCTION IS COMPLETE.

10. CONSTRUCTION FENCING, COORDINATE ACCESS REQUIREMENTS WITH CITY OF PUYALLUP, PIERCE COUNTY FIRE AND RESCUE, AND PUYALLUP SCHOOL DISTRICT.

11. DEMOLISH SPEED BUMPS AT PARKING LOT ENTRIES

GENERAL NOTES

1. SEE SURVEY, CIVIL & LANDSCAPE FOR ADDITIONAL FOR DEMOLITION WORK COORDINATING WITH NEW PROJECT SCOPE.

2. CALL BEFORE YOU DIG.

3. PROVIDE NEW KNOX BOXES AT THE (3) NEW VEHICLE GATES.

4. PORTABLES ARE WITHIN 250' OF EXISTING FIRE HYDRANTS.

5. TEMPORARILY RELOCATE ECOLOGY BLOCK AT WEST SIDE OF SITE FOR ELECTRICAL UTILITY INSTALLATION, CONSTRUCTION ACCESS, AND PORTABLE SETTING. RESET AT PREVIOUS LOCATIONS WHEN WORK IS COMPLETED.

6. PROVIDE CONSTRUCTION FENCING AROUND CONSTRUCTION AREAS.

7. REFER TO CIVIL FOR ADDITIONAL MUTCD ROAD SIGNAGE FOR PILOT STREET CLOSURE, NOT SHOWN ON ARCHITECTURAL AND PROVIDE REQUIRED DEMOLITION TO INSTALL SIGNAGE.

8. SEE CIVIL, LANDSCAPE, AND ELECTRICAL FOR REQUIRED GROUND DISTURBANCE AND PROVIDE DEMOLITION SERVICES FOR THIS SCOPE.

9. ON AN OFF SITE CONTRACTOR DISTURBANCE BEYOND THE AREAS SHOWN, SHALL BE RESTORED BY THE CONTRACTOR TO NEW CONDITION BASED ON PREVIOUS PAVING, PLANTING, OR IRRIGATION, INSTALLED BEFORE CONSTRUCTION

LEGEND

DEMOLISHED ASPHALT

(E) ASPHALT TO REMAIN

DEMOLISHED CONCRETE

(E) CONCRETE TO REMAIN

LAWN DEMOLITION AREA

(E) LAWN

LANDSCAPING BED DEMOLITION AREA

(E) LANDSCAPING BED

FENCING DEMOLITION

(E) FENCING TO REMAIN

PROVIDE TEMP CONSTRUCTION FENCING AROUND CONSTRUCTION SITE. MAINTAIN EMERGENCY VEHICLE ACCESS & PUYALLUP SCHOOL DISTRICT ACCESS AS NEEDED. PEDESTRIAN ROUTES TO REMAIN OPEN TO THE EXTENT POSSIBLE. TERMINATE CONSTRUCTION AT EXISTING FENCES. FOR ROW CONSTRUCTION, SEE CIVIL PLANS FOR TEMP CLOSURE MEASURES. SEE LANDSCAPE PLANS FOR REQUIRED TREE PROTECTION FENCING LOCATIONS.

REMOVE MINIMUM FENCING NEEDED FOR NEW WALKWAY INSTALLATION

ARCHITECT

studio MENG STRAZZARA

CONSULTANT

CLIENT/OWNER

City of Puyallup
Development & Permitting Services
ISSUED PERMIT
Building Planning
Engineering Public Works
Fire Traffic
PRPF20241043

TITLE
PUYALLUP HS NEW PORTABLES 2023
711 W MAIN
PUYALLUP, WA
98371

STAMP
6181 REGISTERED ARCHITECT
MENG STRAZZARA
STATE OF WASHINGTON

ISSUED: DATE:
CONDITIONAL USE PERMIT OCT, 11 2023
CUP CC#1 RESPONSE APR 5, 2024
BUILDING PERMIT SET MAY 3, 2024
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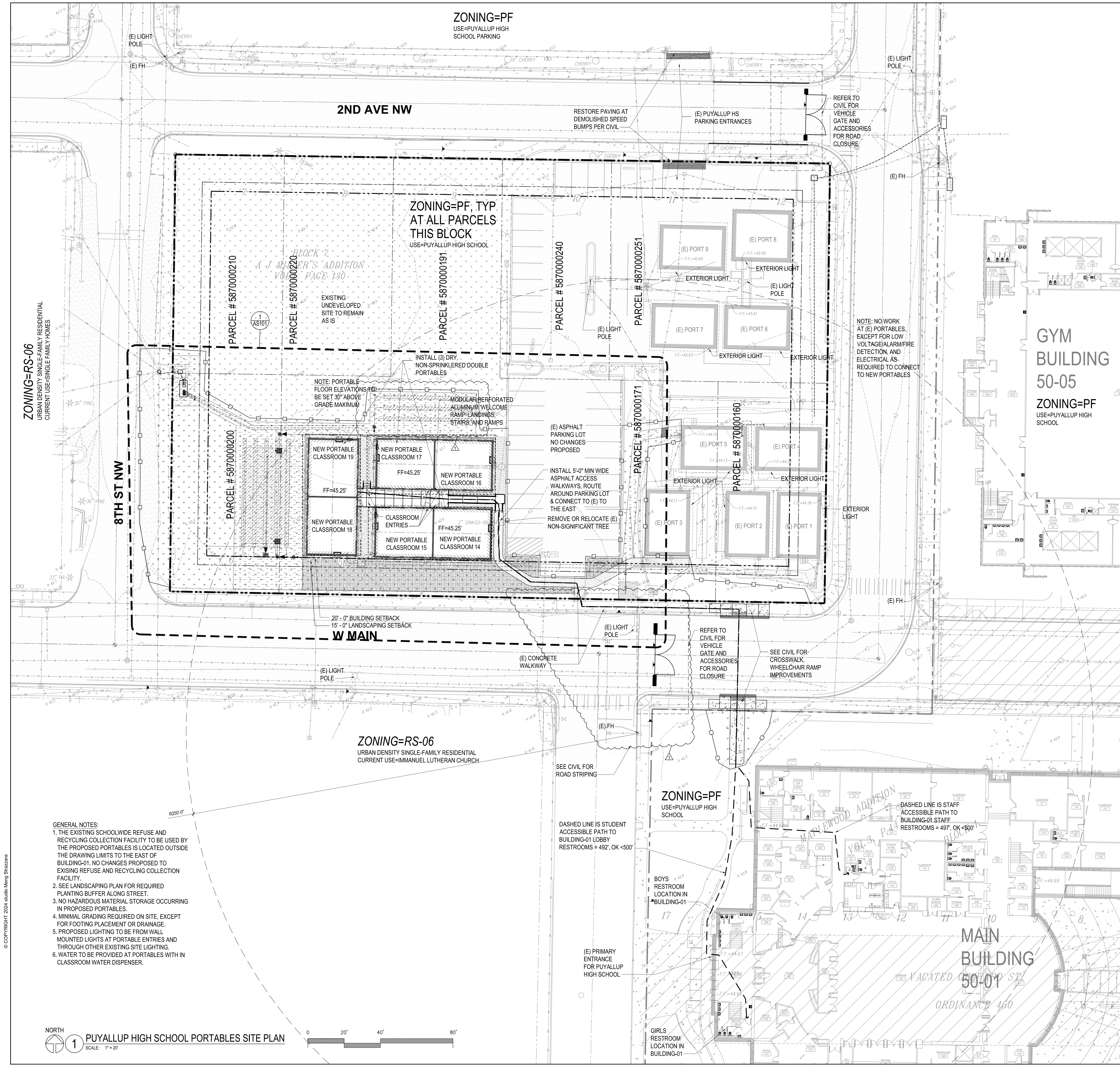
OVERALL ARCHITECTURAL SITE DEMOLITION PLAN

Building Permit #: -
CUP #: PLCUP20230109
Owner's Project #: -
Architect's Project #: 2023106
Drawn By RL
Checked By RL

PERMIT REVIEWER STAMP

ASD100

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GENERAL INFORMATION

ADDRESS: 105 7TH ST SW, PUYALLUP, WA 98371 (PUYALLUP HIGH SCHOOL ADDRESS)
TAX ID ADDRESS: 701, 711, 721, & 725 WEST MAIN (PARCEL ADDRESSES AFFECTED BY PORTABLES SITE)
PARCELS: 5870000171, 5870000190, 5870000200, AND 5870000251

SITE ACRES (SF): 40 ACRES (1,742,400 SF)

LEGAL DESCRIPTION:
PARCEL 5870000171 (TAX ID: 701 W MAIN):
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP E 52.9 FT OF L 2 B 7 EASE OF RECORD
PARCEL 5870000190 (TAX ID: 721 W MAIN):
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP L 5 B 7
PARCEL 5870000200 (TAX ID: 725 W MAIN):
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; MILLERS A J TO PUYALLUP L 5 B 7
PARCEL 5870000251 (TAX ID: 711 W MAIN):
Section 28 Township 20 Range 04 Quarter 13 MILLERS A J TO PUYALLUP; L 3, 4 & 9 TOGOW W 7.1 FT OF L 2 B 7 EASE OF REC APPROVED COMB BY CY OF PUYALLUP PLAN DEPT 02/07/19 COMB OF 587000017-0, 018-0 & 023-0 SEG 2019-0332, JP 0305919 JP

ZONING: PF (PUBLIC FACILITY)

FLOOD ZONE: NO

LANDSLIDE HAZARD AREAS: NO

EROSION HAZARD AREAS: NO

WETLANDS: NO WETLANDS ARE PRESENT ON SITE

AQUIFER RECHARGE AREA: YES, MAXIMUM IMPERVIOUS AREA: 35%

COMBINED LOTS SIZE (PARCELS 5870000171, 5870000190, 5870000200, 5870000251): 43,574 SF

IMPERVIOUS SURFACE: 18,050 SF (8,676 SF NEW + 9,372 SF EXISTING)

NEW PORTABLE BUILDING SF: 1,792 EACH X 3 = 5,376 SF

LOT COVERAGE: 42% SF

AQUIFER RECHARGE AREA: YES, MAXIMUM IMPERVIOUS AREA: 35%

DISTURBED AREA: 16,420 SF

CODE INFORMATION

- REQUIRED SETBACKS (PMC 20.44.020):
(1) MINIMUM LOT SIZE: NONE - OK
(2) MINIMUM LOT WIDTH: NONE - OK
(3) MINIMUM LOT DEPTH: NONE - OK
(4) 20 FT AT FRONTAGE - OK
(5) 20 FT AT REAR SETBACKS - OK
(6) 20 FT AT SIDE SETBACKS - WEST SIDE SETBACK, PROPOSED TO BE REDUCED TO 14' SETBACK, EAST SIDE SETBACK IS COMPLIANT. DUE TO BUILDING WIDTHS AND REQUIRED BUILDING SEPARATIONS AND PATHWAYS, ITS NOT POSSIBLE TO FIT LAYOUT IN PARCEL WITHOUT ENCRANCHING INTO THE SETBACK. ADJACENT PARCEL AT WEST SETBACK IS PF ZONED AND ALSO OWNED BY PUYALLUP SCHOOL DISTRICT, WHO HAS NO OBJECTION TO THIS ENCRANCHMENT.
(7) MINIMUM LANDSCAPED SETBACK ALONG COMMON BOUNDARY WITH ANY R ZONE:
MAXIMUM BUILDING HEIGHT: 30'; NEW PORTABLES HEIGHT IS 16'-2 1/2'
- PARKING CALCULATION:
BUILDING 50-02 LEVEL 1 CLASSROOM SF = 9,256 SF/65 = ~142 STALLS
BUILDING 50-02 LEVEL 1 OFFICE SF = ~888 SF/300 = ~3 STALLS
BUILDING 50-02 LEVEL 2 CLASSROOM SF = ~5,360 SF/65 = ~82 STALLS
(3) ADDED DOUBLE PORTABLE SF = 1,792SF X 3 = 5,376 SF/65 = 83 STALLS
TOTAL CHANGE IN PARKING: 144 FEWER PARKING STALLS NEEDED
- BIKE PARKING CALCULATION:
BASED ON THE DECREASED PARKING CAPACITY CALCULATED FOR THE DEMOLITION OF BUILDING 50-02 AND PROPOSED ADDITION OF PORTABLE CLASSROOMS, NO VEHICLE PARKING IS REQUIRED, THEREFORE NO ADDITIONAL BICYCLE PARKING IS REQUIRED.
- BASED ON CUP COMMENTS, A LOT COMBINATION IS REQUIRED FOR TWO PARCELS WHERE PORTABLE BUILDINGS WILL BE PLACED. PUYALLUP SCHOOL DISTRICT WILL COMPLETE LOT COMBINATION PROCESS.
- PROVIDE A KNOX BOX AT EACH VEHICLE GATE FOR TEMPORARY ROAD CLOSURE WHETHER TEMPORARY OR PERMANENT INSTALLATION.
- SEE SHEET 0302 FOR ADDITIONAL CODE INFORMATION AND CODE REFERENCES.

GENERAL NOTES

- REFER TO DRAWINGS AS-112A, AS-112B, AS-112C, AND AS-122C FOR CONSTRUCTION PHASING PLANS.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION FOR STORM, SEWER, GRADING, AND UTILITIES.

LEGEND

	ASPHALT
	(E) ASPHALT
	CONCRETE
	(E) CONCRETE PAVING
	LAWN RESTORATION
	(E) LAWN
	LANDSCAPING BED, REFER TO LANDSCAPE DRAWINGS FOR PLANTING
	(E) LANDSCAPING BED
	GRAVEL BASE
	FENCING DEMOLITION
	(E) FENCING TO REMAIN
	PROVIDE TEMP CONSTRUCTION FENCING AROUND CONSTRUCTION SITE, MAINTAIN EMERGENCY VEHICLE ACCESS & PUYALLUP SCHOOL DISTRICT ACCESS AS NEEDED. PEDESTRIAN ROUTES TO REMAIN OPEN TO THE EXTENT POSSIBLE. TERMINATE CONSTRUCTION AT EXISTING FENCES. FOR ROW CONSTRUCTION, SEE CIVIL PLANS FOR TEMP CLOSURE MEASURES. SEE LANDSCAPE PLANS FOR REQUIRED TREE PROTECTION FENCING LOCATIONS.

ARCHITECT

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CONSULTANT

CLIENT/OWNER

PUYALLUP SCHOOL DISTRICT
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City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRPF20241043

TITLE

PUYALLUP HS NEW PORTABLES 2023

711 W MAIN
PUYALLUP, WA
98371

STAMP

6181 REGISTERED ARCHITECT
Charles Strazzara
STATE OF WASHINGTON

ISSUED: DATE:

CONDITIONAL USE PERMIT OCT, 11 2023	
CUP CC#1 RESPONSE APR 5, 2024	
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OVERALL ARCHITECTURAL SITE PLAN

Building Permit #: -

CUP #: PLCUP20230109

Owner's Project #: -

Architect's Project #: 2023106

Drawn By: RL

Checked By: RL

PERMIT REVIEWER STAMP

AS100

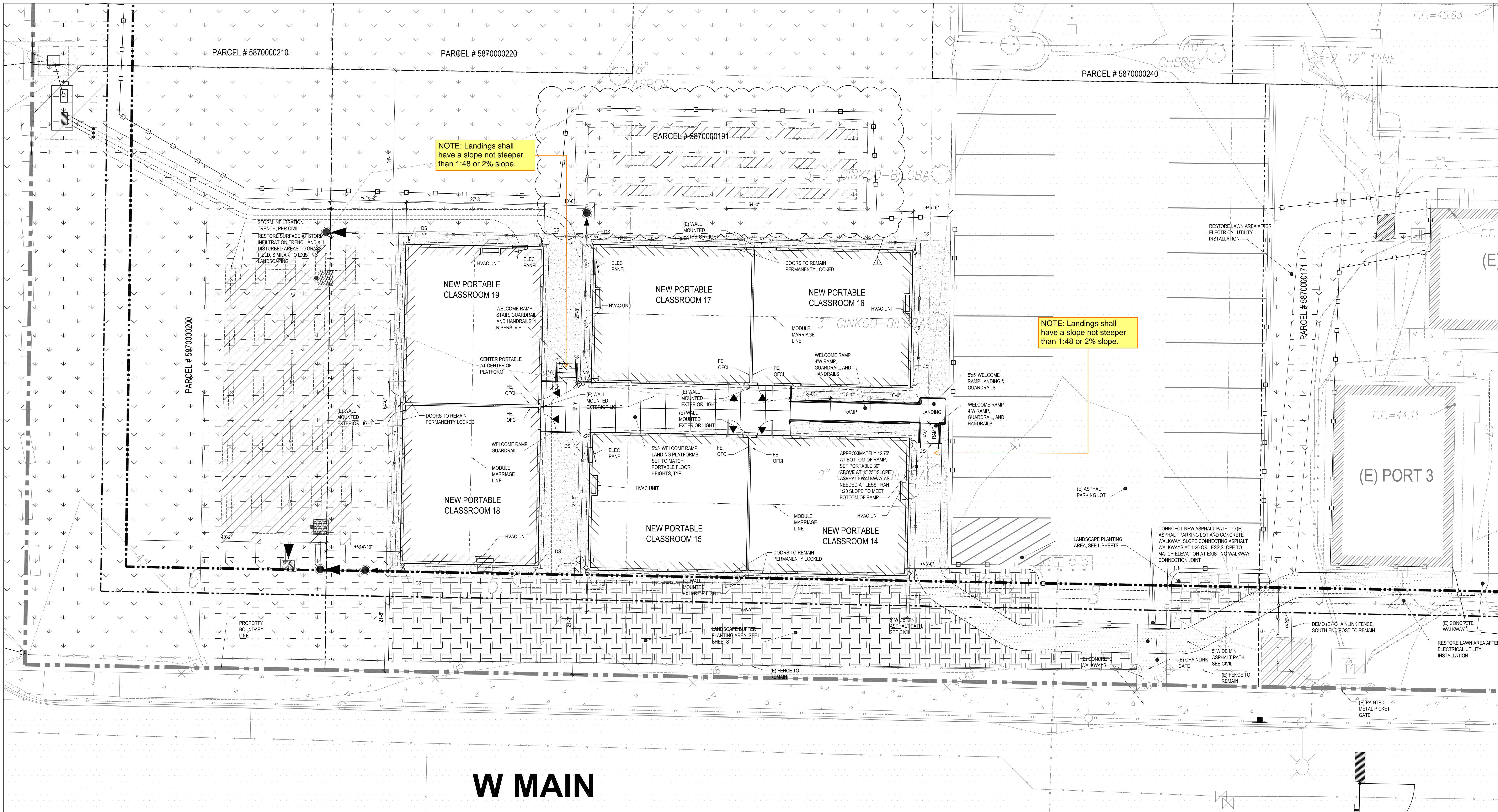
GENERAL NOTES:

- THE EXISTING SCHOOLWIDE REFUSE AND RECYCLING COLLECTION FACILITY TO BE USED BY THE PROPOSED PORTABLES IS LOCATED OUTSIDE THE DRAWING LIMITS TO THE EAST OF BUILDING-01. NO CHANGES PROPOSED TO EXISTING REFUSE AND RECYCLING COLLECTION FACILITY.
- SEE LANDSCAPING PLAN FOR REQUIRED PLANTING BUFFER ALONG STREET.
- NO HAZARDOUS MATERIAL STORAGE OCCURRING IN PROPOSED PORTABLES.
- MINIMAL GRADING REQUIRED ON SITE, EXCEPT FOR FOOTING PLACEMENT OR DRAINAGE.
- PROPOSED LIGHTING TO BE FROM WALL MOUNTED LIGHTS AT PORTABLE ENTRIES AND THROUGH OTHER EXISTING SITE LIGHTING.
- WATER TO BE PROVIDED AT PORTABLES WITH IN CLASSROOM WATER DISPENSER.

NORTH

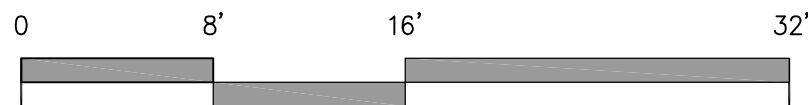
1 PUYALLUP HIGH SCHOOL PORTABLES SITE PLAN

SCALE: 1" = 20'



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1 PUYALLUP HIGH SCHOOL PORTABLES ENLARGED SITE PLAN
SCALE: 1/8" = 1'



LEGEND

[Symbol]	ASPHALT
[Symbol]	(E) ASPHALT
[Symbol]	CONCRETE
[Symbol]	(E) CONCRETE PAVING
[Symbol]	LAWN RESTORATION
[Symbol]	(E) LAWN
[Symbol]	LANDSCAPING BED, REFER TO LANDSCAPE DRAWINGS FOR PLANTING
[Symbol]	(E) LANDSCAPING BED
[Symbol]	GRAVEL BASE
[Symbol]	FENCING DEMOLITION
[Symbol]	(E) FENCING TO REMAIN
[Symbol]	PROVIDE TEMP CONSTRUCTION FENCING AROUND CONSTRUCTION SITE, MAINTAIN EMERGENCY VEHICLE ACCESS & PUYALLUP SCHOOL DISTRICT ACCESS AS NEEDED. PEDESTRIAN ROUTES TO REMAIN OPEN TO THE EXTENT POSSIBLE. TERMINATE CONSTRUCTION AT EXISTING FENCES. FOR ROW CONSTRUCTION, SEE CIVIL PLANS FOR TEMP CLOSURE MEASURES. SEE LANDSCAPE PLANS FOR REQUIRED TREE PROTECTION FENCING LOCATIONS.

PERMIT REVIEWER STAMP

ARCHITECT

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PRPF20241043

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CIVIL PERMIT SET CC#1 OCT 8, 2024	BUILDING PERMIT CC#1 OCT 8, 2024

**ENLARGED
ARCHITECTURAL
SITE PLAN**

Building Permit #: -
CUP #: **PLCUP20230109**
Owner's Project #: -
Architect's Project #: **2023106**
Drawn By **RL**
Checked By **RL**

AS101

FOUNDATION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND OR EARTHQUAKE FORCES AND TEMPORARY FORCES DURING SETTING AND ERECTION UNTIL ALL UNITS HAVE BEEN PERMANENTLY ATTACHED THERETO. REMOVE ORGANIC / SOD UNDER ALL BEARING PADS.

2. DESIGN LOADS:

ROOF DEAD LOAD	12 PSF
ROOF SNOW LOAD	25 PSF
FLOOR DEAD LOAD	10 PSF
FLOOR LIVE LOAD	50 PSF
WIND LOAD	Lambda = 1.0 Vult = 120 MPH (Vasd = 93 MPH) 3 SECOND GUST - EXP. B
SEISMIC	BEARING WALL SYSTEM: S _S = 1.500, F _a = 1.200 S _{DS} = 1.000, RISK CATEGORY II I _e = 1.0, SEISMIC DESIGN CATEGORY D, SITE CLASS D
ALLOWABLE BEARING CAPACITY	1,800 PSF AT GRAVEL

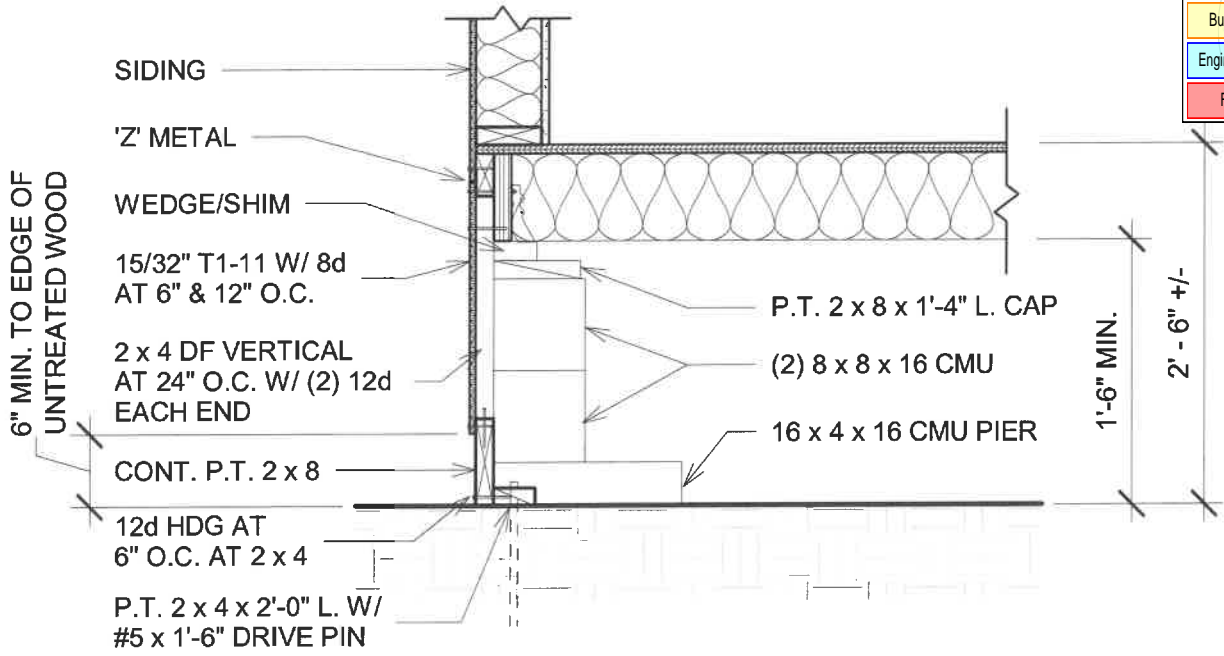
3. EXCEPT AS NOTED, DIMENSION LUMBER FOR FOUNDATION SHALL BE HEM-FIR, NO. 2 AND BETTER. TREATED LUMBER SHALL BE ACQ PRESSURE TREATED IN ACCORDANCE WITH AWWPA STANDARD U1, USE CATEGORY UC4A, TO A MINIMUM RETENTION OF 0.40 PCF. AT PIECES IN CONTACT WITH GROUND, SAWN END GRAIN SHALL BE FIELD TREATED WITH 2% MIN. CONCENTRATION COPPER NAPHTHENATE. TREATED PLATE STOCK SHALL BE GOOD QUALITY AND SHALL NOT CONTAIN EXCESSIVE SPLITS, CHECKS OR WANE. 2 x 4 FRAMING SHALL BE HEM-FIR, STANDARD OR BETTER, TREATED 2 x 4 FRAMING SHALL MEET THE REQUIREMENTS SPECIFIED ABOVE.

4. ALL FASTENERS TO BE HOT DIPPED GALVANIZED OR EQUAL AT P.T. MEMBERS.

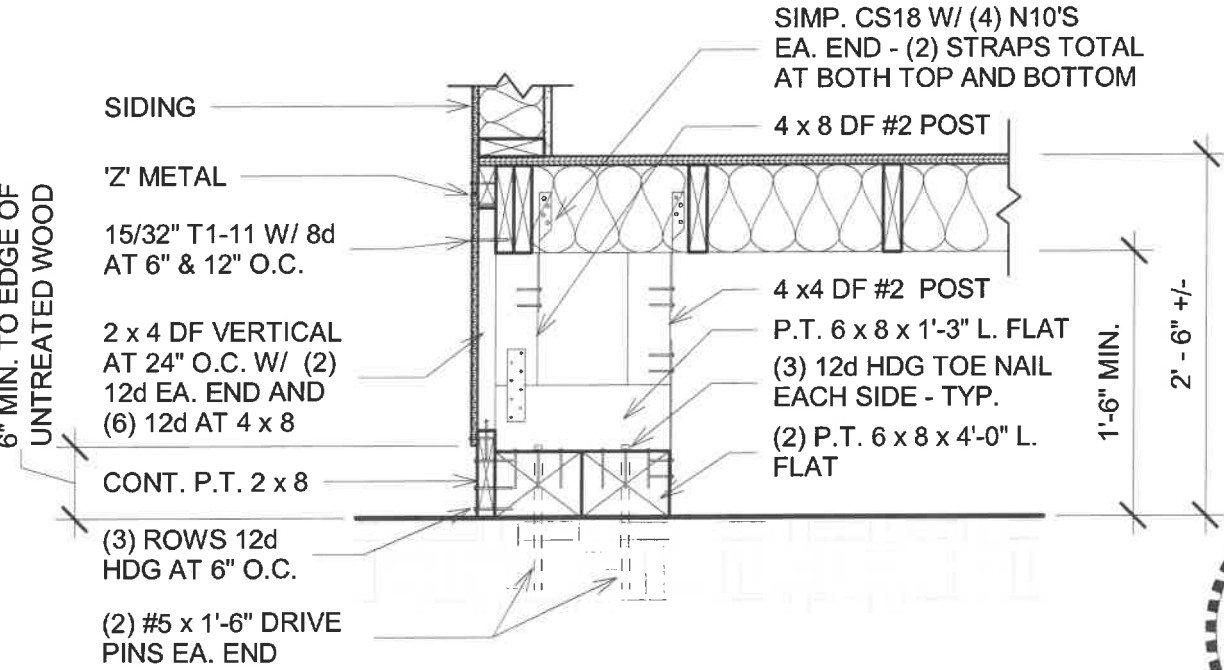
5. VENT CRAWL SPACE w/ (6) 15" SQ. METAL VENTS (MODERN STANDARD). INSTALL 6 MIL. VAPOR BARRIER ON GROUND IN ENTIRE CRAWL SPACE. LAP VAPOR BARRIER JOINTS MIN 12". (VAPOR BARRIER NOT REQUIRED AT ASPHALT OR CONCRETE IF OCCURS)

6. CONNECT STORM WATER FROM ROOF GUTTERS AND DOWNSPOUTS AND DIRECT AWAY FROM BUILDING PAD TO AN APPROVED DRAINAGE SYSTEM.

7. FOUNDATION PLANS AND DETAILS ARE NOT REVIEWED BY BCD OR L&I, EXCEPT FOR THE SUITABILITY OF THE DESIGN TO SUPPORT THE MODULAR BUILDING. APPROVAL AND INSPECTION OF THE FOUNDATION SYSTEM IS THE JURISDICTION OF THE LOCAL BUILDING OFFICIAL.

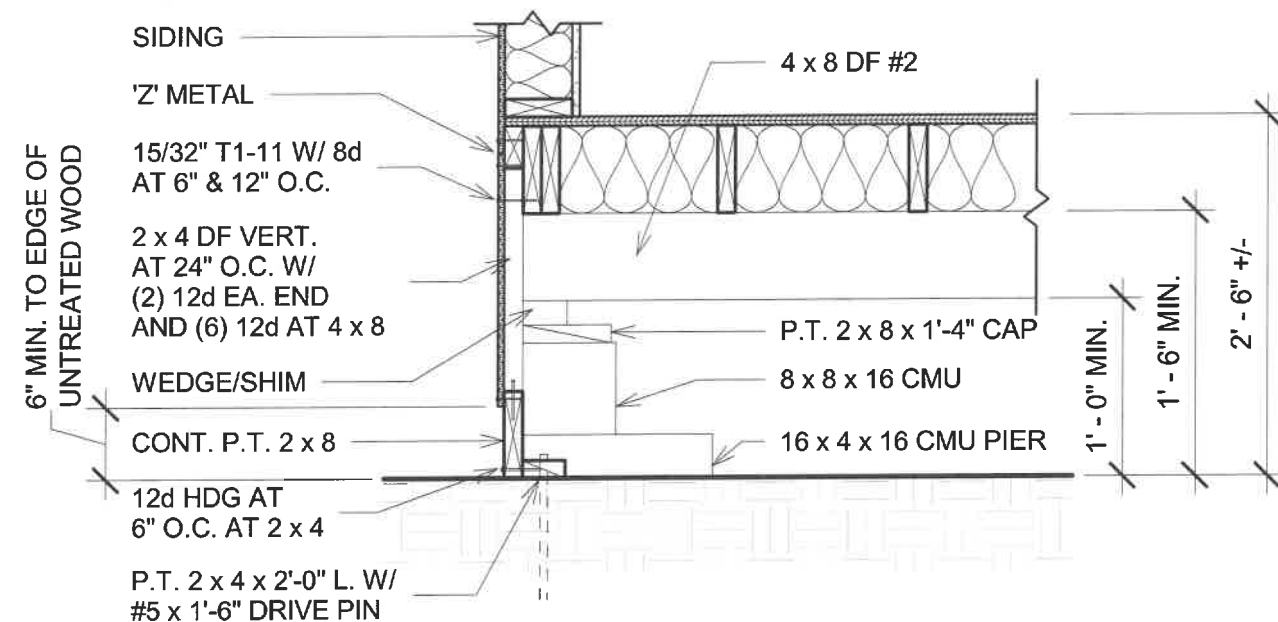


1 FOOTING - SIDEWALL
3/4" = 1'-0"

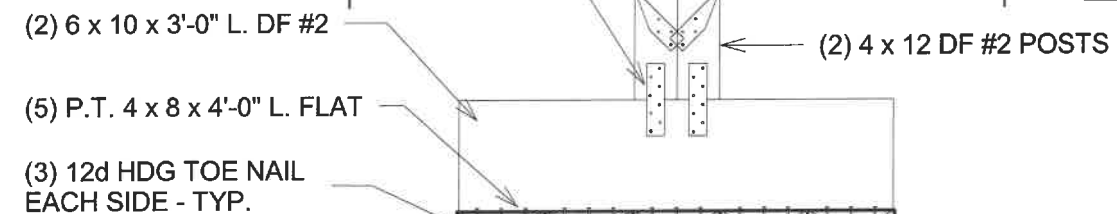
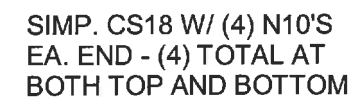


2 FOOTING - ENDWALL COLUMN
3/4" = 1'-0"

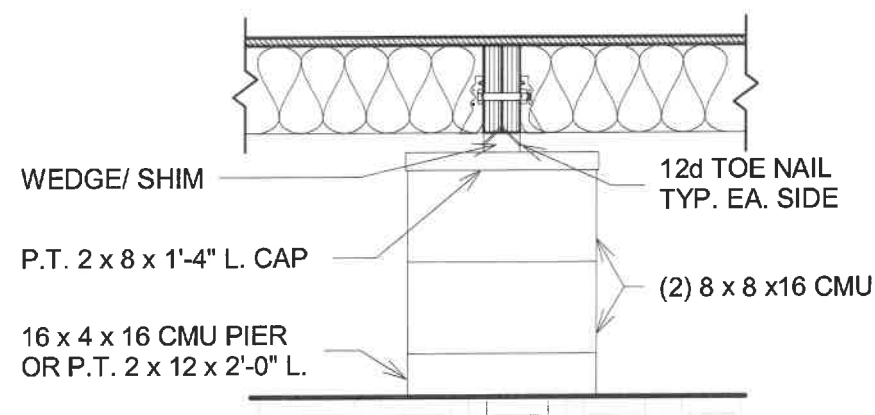
REV.	DESCRIPTION	DATE	BY	REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER USE OR PROJECT WITHOUT WRITTEN AUTHORIZATION.	MODERN BUILDING SYSTEMS, INC. TELEPHONE: (503) 749-4949 FAX: (503) 749-4950 P.O. BOX 110, 9493 PORTER ROAD, AUMSVILLE, OR 97325 CHECK OUT OUR WEB PAGE: www.modernbuildingsystems.com © MODERN BUILDING SYSTEMS, INC. 2023	SHEET FOUNDATION NOTES & DETAILS	JOB# LU 2514-2515 2018-23-6
						PROJ. 28' x 64' MODULAR CLASSROOM PUYALLUP SD	SHEET # S 4.0
						ADDRESS 105 7TH ST SW PUYALLUP, WA 98371	DATE 5/31/2023



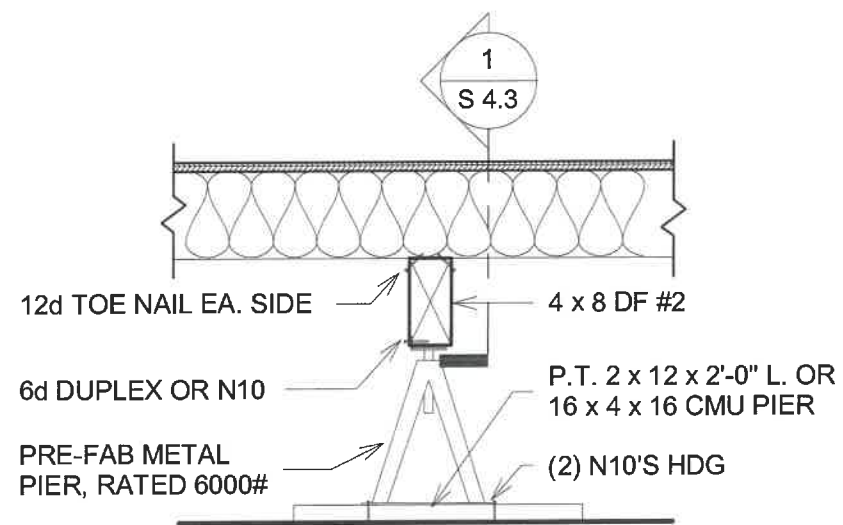
1 FOOTING - ENDWALL AT MIDSPAN BEAM
3/4" = 1'-0"



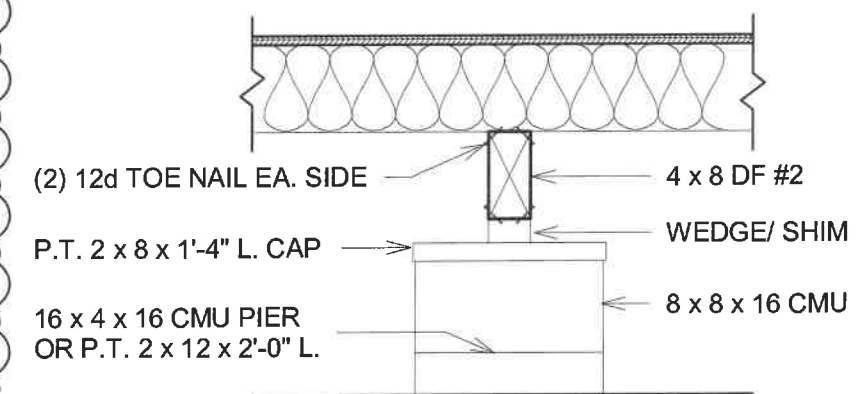
2 FOOTING - COLUMN
3/4" = 1'-0"



3 FOOTING - MARRIAGE LINE
3/4" = 1'-0"



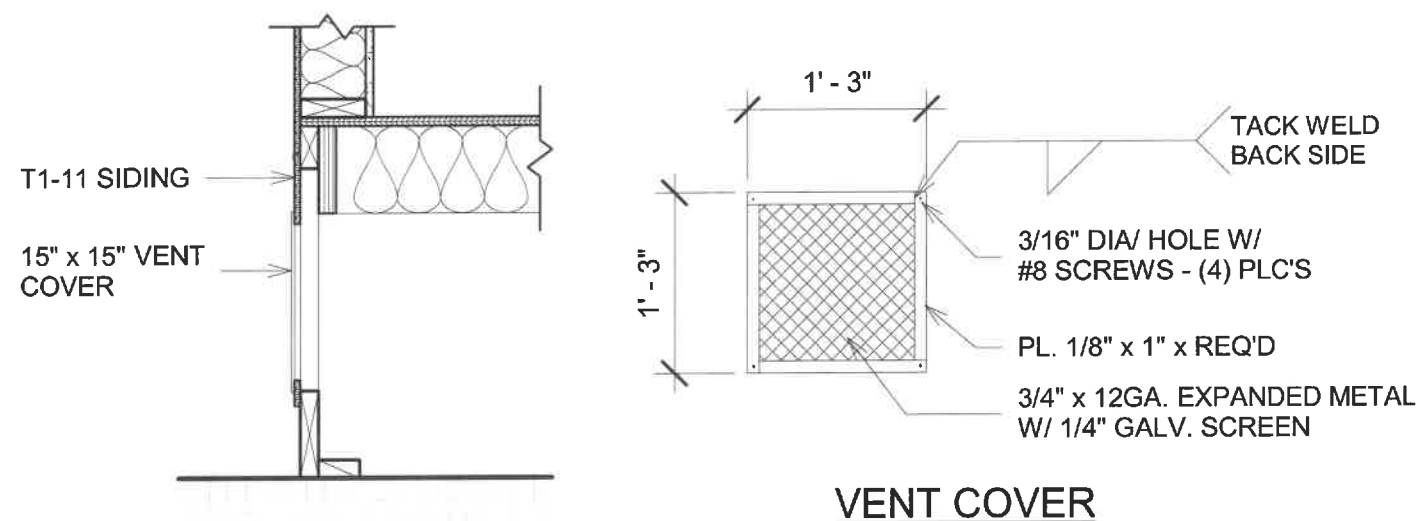
4 FOOTING - MID-SPAN
3/4" = 1'-0"



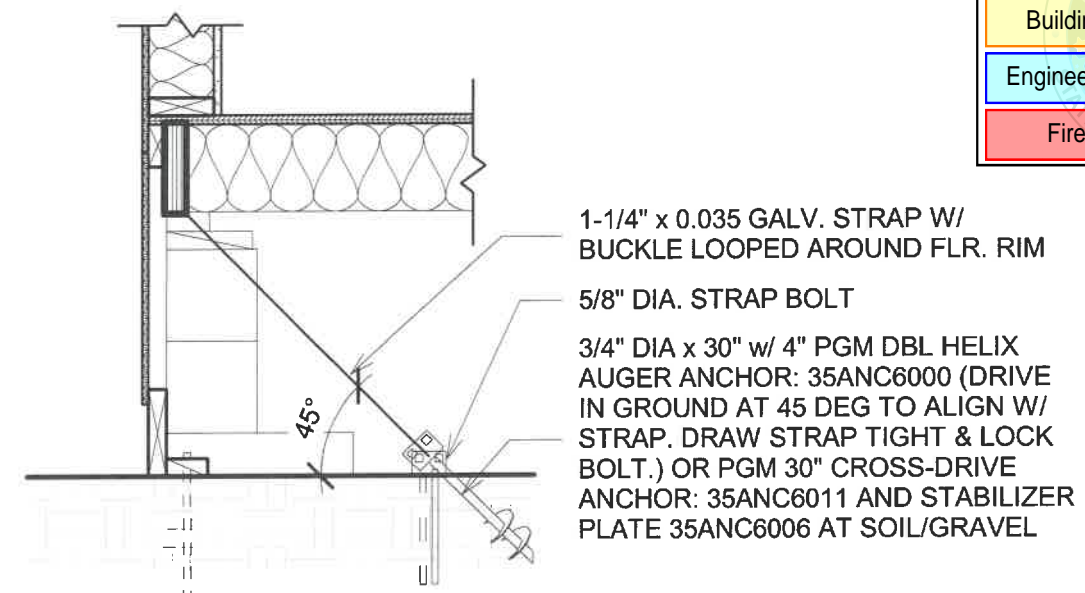
5 FOOTING - MID-SPAN (ALTERNATE)
3/4" = 1'-0"



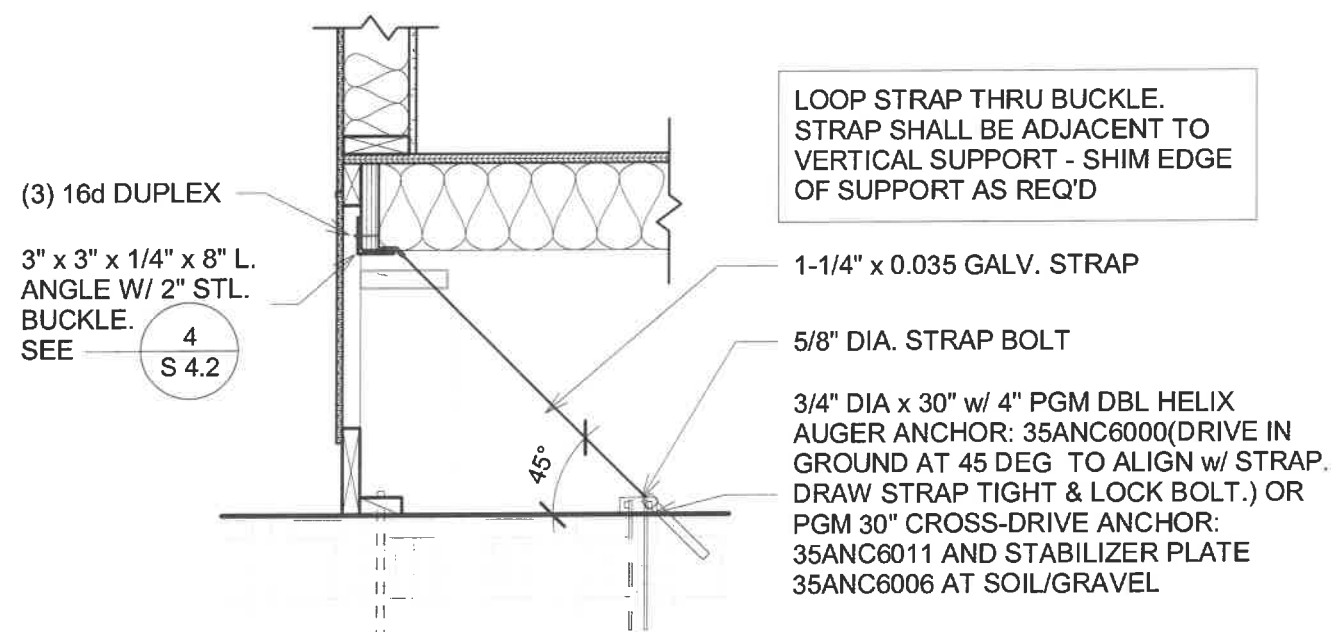
REV.	DESCRIPTION	DATE	BY	<div>REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER USE OR PROJECT WITHOUT WRITTEN AUTHORIZATION.</div> <div><div><div>MODERN[®]</div><div>BUILDING SYSTEMS</div></div><div>MODERN BUILDING SYSTEMS, INC. TELEPHONE: (503) 749-4949 FAX: (503) 749-4950 P.O. BOX 110, 9493 PORTER ROAD, AUMSVILLE, OR 97325 CHECK OUT OUR WEB PAGE: www.modernbuildingsystems.com © MODERN BUILDING SYSTEMS, INC. 2023</div></div>	SHEET	FOUNDATION DETAILS		JOB# LU 2514-2515 2018-23-6
1	PLAN REVIEW	8/12/2024	TS		PROJ.	28' x 64' MODULAR CLASSROOM PUYALLUP SD		SHEET # S 4.1
					ADDRESS 105 7TH ST SW PUYALLUP, WA 98371		DRW BJ	DATE 5/31/2023



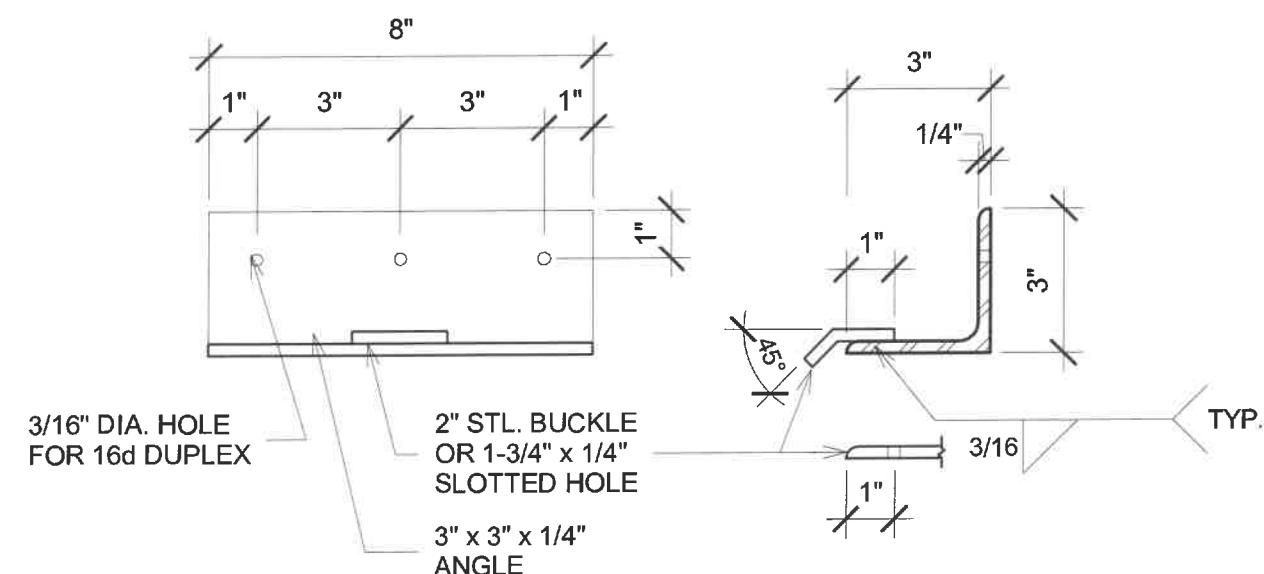
1 FDN - FOUNDATION VENT
3/4" = 1'-0"



2 FDN - TIE-DOWN STRAP
3/4" = 1'-0"



3 RETRO-FIT TIE-DOWN STRAP
3/4" = 1'-0"



4 STEEL ANGLE & BUCKLE
3" = 1'-0"



REV.	DESCRIPTION	DATE	BY	<p>REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER USE OR PROJECT WITHOUT WRITTEN AUTHORIZATION.</p> <p>MODERN BUILDING SYSTEMS</p> <p>MODERN BUILDING SYSTEMS, INC. TELEPHONE: (503) 749-4949 FAX: (503) 749-4950 P.O. BOX 110, 9493 PORTER ROAD, AUMSVILLE, OR 97325 CHECK OUT OUR WEB PAGE: www.modernbuildingsystems.com © MODERN BUILDING SYSTEMS, INC. 2023</p>	SHEET	FOUNDATION DETAILS		JOB# LU 2514-2515 2018-23-6
					PROJ.	28' x 64' MODULAR CLASSROOM PUYALLUP SD		SHEET # S 4.2
					ADDRESS	105 7TH ST SW PUYALLUP, WA 98371		DATE 5/31/2023
					DRW	BJ		

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Planning

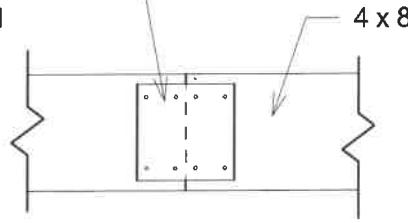
Engineering

Public Works

Fire

Traffic

6" x 6" x 15/32" PLYWD
GUSSET W/ (4) N10'S
EA. SIDE AT BOTH
SIDES OF BEAM



1

1 FDN - MID-SPAN BEAM SPLICE
1" = 1'-0"



REV.	DESCRIPTION	DATE	BY	<div>REUSE OF DOCUMENTS THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF MODERN BUILDING SYSTEMS INC. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER USE OR PROJECT WITHOUT WRITTEN AUTHORIZATION.</div> <div><div>MODERN[®]</div><div>BUILDING SYSTEMS</div><div>MODERN BUILDING SYSTEMS, INC. TELEPHONE: (503) 749-4949 FAX: (503) 749-4950 P.O. BOX 110, 9483 PORTER ROAD, AUMSVILLE, OR 97325 CHECK OUT OUR WEB PAGE: www.modernbuildingsystems.com © MODERN BUILDING SYSTEMS, INC. 2023</div></div>	SHEET	FOUNDATION DETAILS		JOB#LU 2514-2515
1	PLAN REVIEW	8/12/2024	TS		PROJ.	28' x 64' MODULAR CLASSROOM PUYALLUP SD		2018-23-6
					ADDRESS	105 7TH ST SW PUYALLUP, WA 98371	DRW TS	SHEET #
								S 4.3
								DATE 5/31/2023

ALUMINUM MODULAR RAMP & STAIR SYSTEM CONFIGURATION OPTIONS

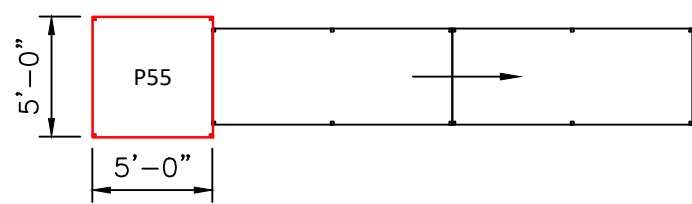
TYPICAL COMPONENT SIZES

- LANDINGS: PLATFORM UNITS CAN BE BOLTED TOGETHER FOR LARGER PLATFORMS.
- RAMPS: 48" WIDE UNITS CAN BE BOLTED TOGETHER TO FORM A MAXIMUM 30' RAMP RUN
- STAIRS: MAX. 6"-7" RISE x 12" TREAD x 48" WIDE

NOTE: WHERE DOOR CLEARANCE ALLOWS, STAIRS CAN BE ADDED TO ANY/ALL OF THE CONFIGURATIONS SHOWN BELOW.

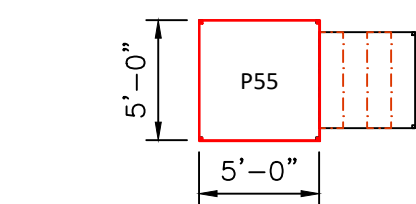
A TYPICAL SINGLE DOOR CONFIGURATION

RAMP LENGTH VARIES; MAX. 30' RUN



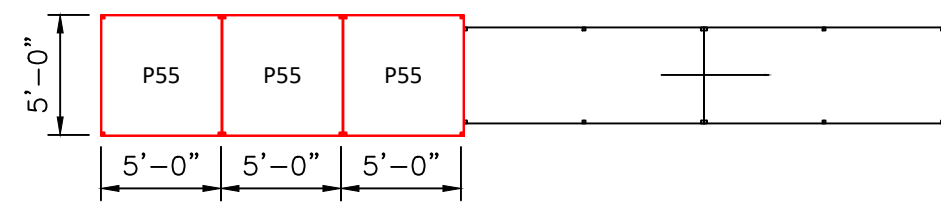
B TYPICAL SINGLE DOOR CONFIGURATION

NUMBER OF RISERS/TREADS VARIES



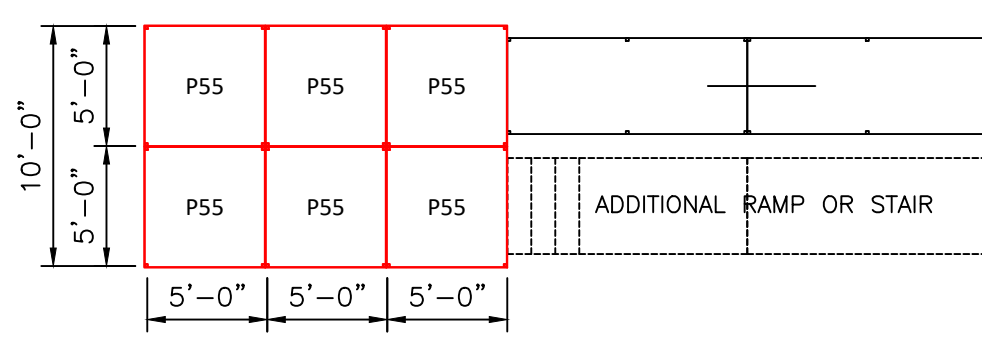
C TYPICAL DOUBLE DOOR CONFIGURATION

RAMP LENGTH VARIES; MAX. 30' RUN



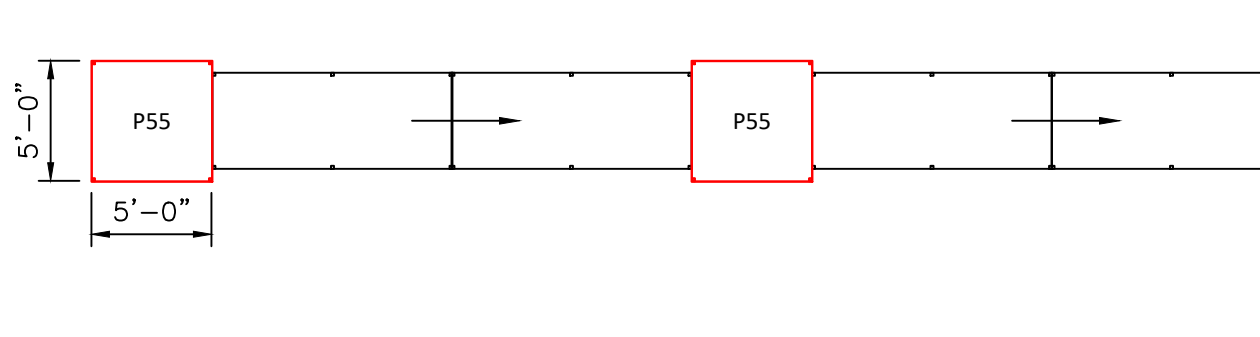
D TYPICAL TWO-BUILDING COMMON LANDING CONFIGURATION

RAMP LENGTH VARIES; MAX. 30' RUN



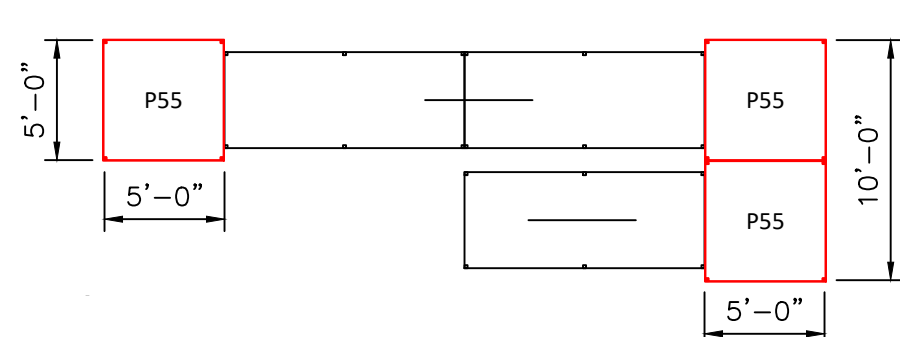
E TYPICAL INTERMEDIATE LANDING CONFIGURATION

RAMP LENGTH VARIES; MAX. 30' RUN

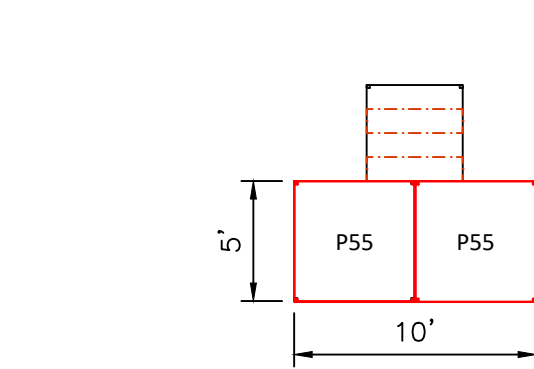


F TYPICAL SWITCHBACK CONFIGURATION

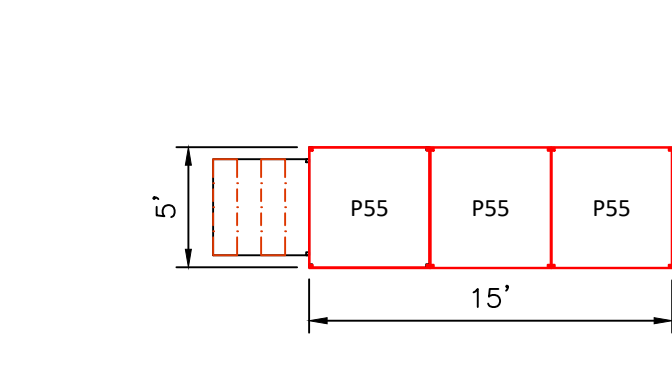
RAMP LENGTH VARIES; MAX. 30' RUN



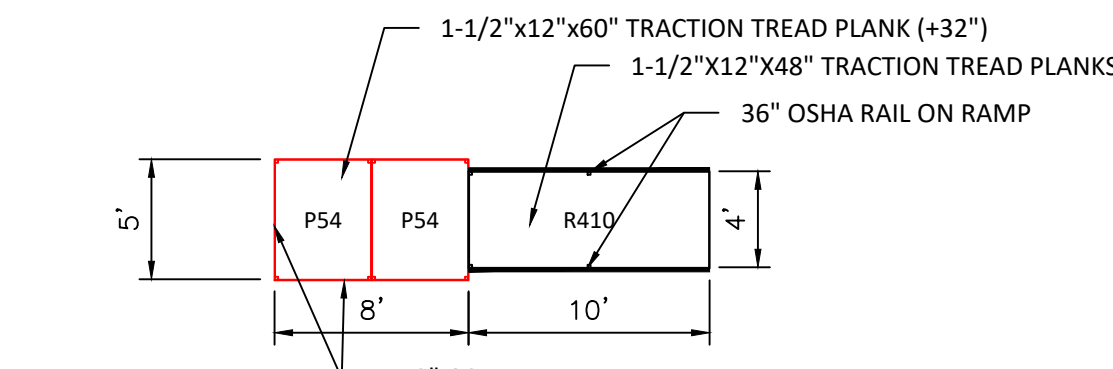
G DOUBLE DOOR EXIT 1/8" = 1'-0"



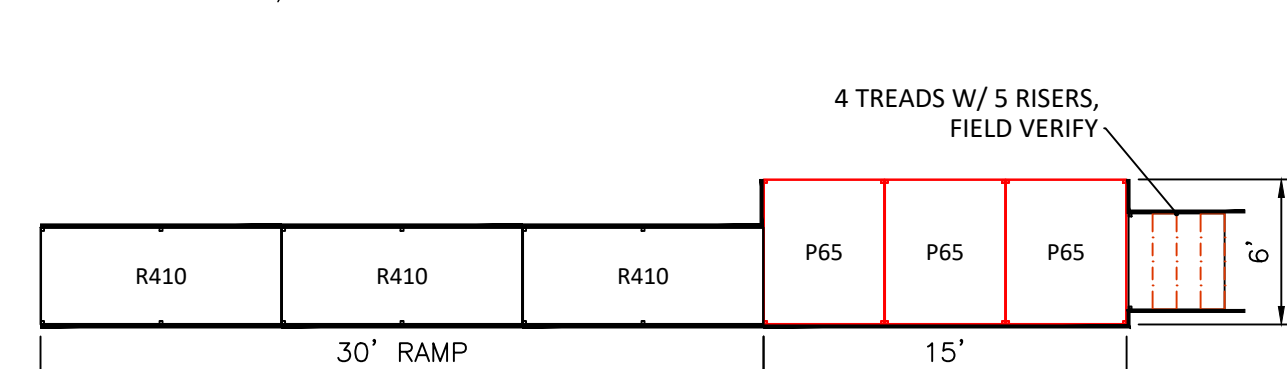
H ALTERNATE DOUBLE DOOR EXIT 1/8" = 1'-0"



I DUMPSTER RAMP 1/8" = 1'-0"



J 6'x15' W/STAIRS & RAMP 1/8" = 1'-0"



J CUSTOM CONFIGURATION

1/8" = 1'-0"

CODE COMPLIANCE

1. IBC 2018, CHAPTER 10 COMPLIANT
2. RAMP SLOPE, MAX. RISE = 1:12 (VERT/HORZ)
3. CROSS SLOPE, MAX. = 2%
4. STAIR RISE = 7" MAX., 4" MIN.
5. DESIGN LOADING:
 - 5.1. DECK/RAMP 100 PSF
 - 5.2. STAIR TREAD 300 LBS./TREAD
 - 5.3. RAILING 50 PLF/200 LBS. CONC.
 - 5.4. LATERAL LOAD 600# PEDESTRIAN DYNAMIC LOADING PER 30'-FT RAMP
 - 5.5. WIND LOAD 135 MPH, EXP. C, Kzt=2.0
 - 5.6. SEISMIC LOAD Sds=1.2, SEISMIC CAT. 'D'
6. DOOR CLEARANCE AS REQUIRED BY IBC.
7. STANDARD 3 LINE RAIL FOR COMPONENTS 30" OR LESS FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
8. 42" VERTICAL PICKET GUARDRAIL FOR COMPONENTS OVER 30" FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
9. GRASPABLE CONTINUOUS HANDRAIL AT 36" OFF RAMP, PLATFORM, OR STAIR NOSING. INSTALL BOTH SIDES OF STAIRS AND RAMP.
10. HANDRAILS TO EXTEND 12" HORIZONTALLY OVER WALKING SURFACE AND RETURN TO WALL OR RAIL COLUMN.
11. RAMP AND RAILINGS TO HAVE CURBS WHICH DO NOT ALLOW PASSAGE OF 4" SPHERE WHERE ORIGINAL POSITION OF SPHERE IS WITHIN 4" OF THE WALKING SURFACE.
12. FOOTING INFORMATION:
 - 12"x12" PRE-MANUFACTURED ABS PAD REQUIRED UNDER ALL ADJUSTABLE LEGS.

GENERAL NOTES:

1. THESE PLANS AND SPECIFICATIONS ARE NOT VALID FOR ANY OTHER ASSEMBLY THAN PRODUCTS PRODUCED BY WELCOME RAMP SYSTEMS, INC. PRODUCTS PRODUCED THE STANDARDS SET FORTH IN THESE DRAWINGS AND ACCOMPANYING DESIGN.
2. THE RAMP SYSTEM, STAIRS AND PLATFORM HAVE BEEN DESIGNED TO MEET IBC REQUIREMENTS. THE VERTICAL DESIGN LOADING CRITERIA IS 100 PSF UNIFORM LIVE LOAD AND 300# LIVE OR DEAD CONCENTRATED LOAD. USES FOR LOADS IN EXCESS OF THOSE STATED ABOVE REQUIRE REDESIGN BY WELCOME RAMP SYSTEMS, INC.
3. RAMP DESIGN LIMITS: THE SLOPE SHALL BE 1:12; THE MAXIMUM CROSS SLOPE SHALL BE LESS THAN 2%. THE MAXIMUM RUN SHALL BE 30'. THE MAXIMUM HEIGHT WITHOUT ADDITIONAL ENGINEERING JUSTIFICATION SHALL BE 48" FROM THE PLATFORM TO FINISHED GRADE.
4. WELCOME RAMPS, PLATFORMS, AND STAIRS ARE DESIGNED TO BE FREE STANDING.
5. DETAILS SHOW MOST USED HEIGHTS, OTHER HEIGHTS ARE SIMILAR.

MATERIAL SPECIFICATIONS

PLANKING:

- THIS DESIGN IS LIMITED TO GALVANIZED METAL PLANKING MATERIALS.
- RAMP: ALL PLANKING SHALL BE 13 GA. 12"W x 1 1/2" DEEP.
- PLATFORM: ALL PLANKING SHALL BE 13 GA. 12" W x 1-1/2" D. SEE PLAN FOR LENGTH.
- STAIRS: ALL PLANKING SHALL BE 11 GA. 12"W x 2" DEEP.
- LEVELING FEET ASSUMED TO BE PLACED ON SUITABLE FIRM BEARING GROUND.
- LEG MATERIAL SHALL BE 1-1/2" SQ. X .120" AL TUBING.
- LEG POCKETS SHALL BE 1.781" SQ. X .125" AL TUBING.
- ADJUSTING BOLT - 3/8" x 2-1/4" GRADE 5 CAP SCREW W/ NYLON LOCK NUT, ZINC PLATED

ALUMINUM:

- THE 1-1/2" AL HANDRAIL SHALL BE 6063-T5 WITH A YIELD STRESS OF 16 KSI.
- ALL OTHER ALUMINUM PARTS SHALL BE 6061-T6 ALUMINUM WITH A YIELD STRESS OF 35 KSI.

HAND RAILS:

- STAIRS AND RAMPS: USE 1-1/2" SQ. X 5/32" THICK WALLED TUBING FOR POSTS AND HORIZONTAL RAILS EXCEPT THE TOP 1-1/2" ROUND HAND RAIL.
- STANDARD HANDRAIL (W/O PICKETS) IS ALLOWED ON FINISHED PLATFORM HEIGHTS OF 30" AND LESS. ALL PLATFORM HEIGHTS ABOVE 30" SHALL USE PICKET STYLE HANDRAILS.
- PLATFORM: USE 1-1/2" SQ. X 5/32" THICK WALLED TUBING FOR POSTS AND ALL HORIZONTAL RAILS.
- HEIGHT: TOP OF GRIPPING SURFACES OF HANDRAILS SHALL BE 36 INCHES VERTICALLY ABOVE WALKING SURFACES.

WELDING:

- ALL REFERENCES TO WELDING ON PLAN SET REFER TO IN-PLANT FABRICATION. NO ON-SITE WELDING IS REQUIRED.
- FABRICATION PLANT WELDING BY WELDERS CERTIFIED BY A THIRD PARTY INSPECTOR AND IN ACCORDANCE WITH ANSI/AWS D1.2 CODE.
- WELD SIZES ARE EQUAL OR LARGER THAN THE ELEMENT BEING WELDED.
- WELDING IS ALL AROUND UNLESS OTHERWISE NOTED. CARE IS TAKEN TO AVOID EXCESS WARPING OF WELDED ELEMENTS.
- FABRICATOR TO CERTIFY ASSEMBLED PART ARE PER THE DRAWINGS PER IBC 1704.2.2.

BOLTS:

- ALL BOLTS SHALL BE GRADE 5 ZINC PLATED, UNLESS OTHERWISE SPECIFIED. PROVIDE LOCKING WASHERS UNDER ALL NUTS AND ANCHOR BOLTS UNLESS OTHERWISE SPECIFIED.
- HIGH STRENGTH BOLTS ARE DESIGNED AT LESS THAN 50% CAPACITY FOR ADDITIONAL FACTOR OF SAFETY AND DO NOT REQUIRE SPECIAL INSPECTION.

TECH. SCREWS:

- ZINC PLATED #10x1 1/2", SELF TAPPING.

S

