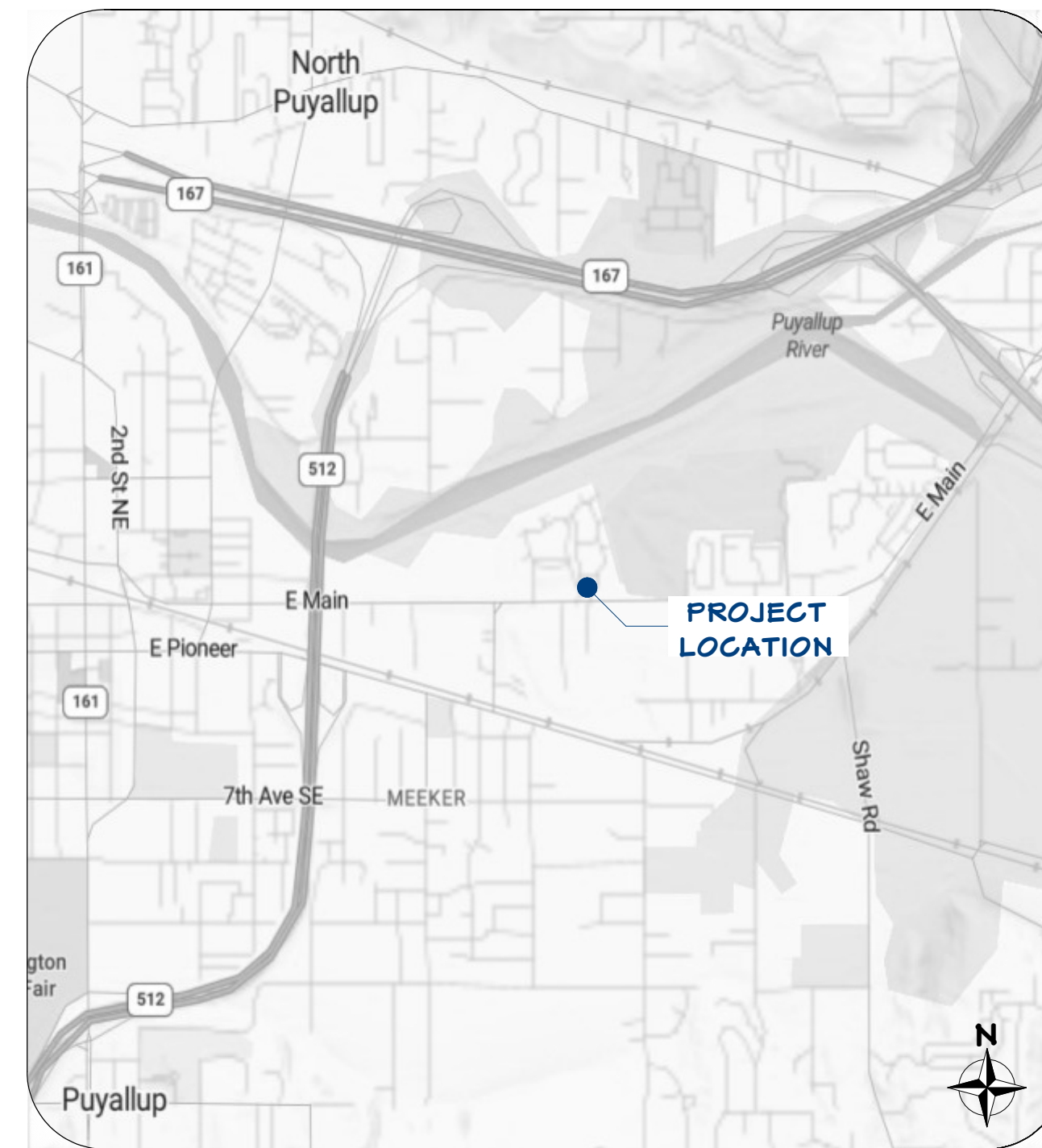
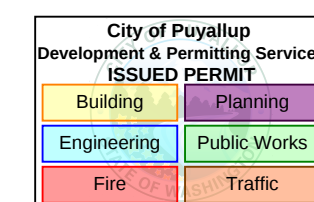
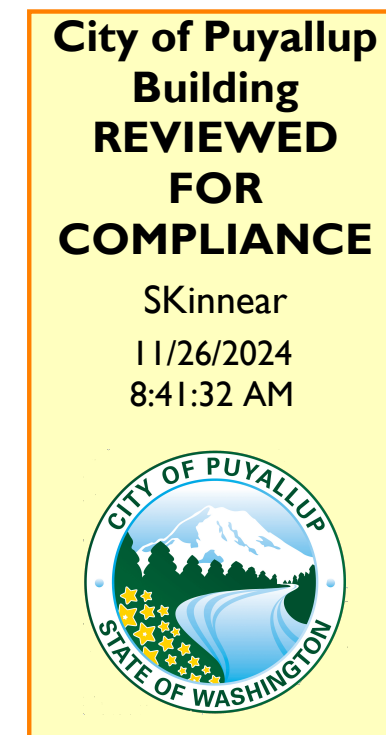


RIVER TRAIL APARTMENTS GARAGE REPAIR



Full sized legible color plans are required to be provided by the permittee on site for inspection.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
<https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections>
 or call for Licensing Information:
 1-800-647-0982



Vicinity Map

3D ISOMETRIC DRAWINGS ARE FOR ILLUSTRATION PURPOSES ONLY. PLANS, DETAILS, AND
ENGINEERING TAKE PRECEDENCE OVER ANY 3D DRAWINGS WITHIN THIS PLAN.

LEGAL DESCRIPTION:

[illegible]

Owner Name: BREIT ACG MF RIVER TRAIL LLC
Owner Number: XXXXXX
Owner Address: P.O. BOX A3878
CHICAGO, IL 60690

FARCEL NO.:	0420262058
PROPERTY TYPE:	COMMERCIAL
ACRES:	12.2 AC (531,4325F)
JURISDICTION:	CITY OF PUYALLUP
ADDRESS:	1715 E. MAIN ST. PUYALLUP, WA 98372
ZONING:	RM-20
MIN SETBACKS:	FRONT: N/A

MAX HEIGHT:
WATER:
SEWER/SEPTIC:
ROAD ACCESS:
STREET SURFACE:

0420262058
COMMERCIAL
12.2 AC (531,432SF)
CITY OF PUYALLUP
1715 E. MAIN ST.
PUYALLUP, WA 98372
RM-20
FRONT: N/A
SIDE: N/A
REAR: N/A
N/A
PUBLIC
PUBLIC
PUBLIC
PAVED

REPAIR OF EXISTING MULTI-UNIT GARAGE
DAMAGED DURING AN ACCIDENT.

PROJECT LEAD:
NW PERMIT SOLUTIONS, LLC
2646 RW JOHNSON BLVD SW, STE. 112
TUMWATER, WA 98512
303.834.7752
CHRIS@NWPERMITSOLUTIONS.COM
CONTACT: CHRIS ARNOLD

STRUCTURAL ENGINEER:
EGOLF STRUCTURAL ENGINEERING SOLUTIONS,
LLC
1427 33RD AVE NE
OLYMPIA, WA 98506
(360) 918-3860
RYAN@EGOLFSSES.COM
CONTACT: RYAN EGOLF, PE

BUILDER:
T.B.D.
XXX
XXX, WA 98XXX
(XXX)XXX-XXX
XXX@XXX.COM
CONTACT: XXX

CIVIL ENGINEER:
T.B.D.
XXX
XXX, WA 98XXX
(XXX)XXX-XXX
XXX@XXX.COM
CONTACT: XXX

GENERAL DISCLAIMER

THESE PLANS ARE DRAWN TO COMPLY WITH OWNER'S AND/ OR BUILDER'S SPECIFICATIONS AND ANY CHANGES MADE AFTER PRINTED DATE WILL BE DONE AT THE OWNER'S AND/ OR BUILDER'S EXPENSE. THE OWNER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BUILDING LAYOUT, MATERIALS AND ASSEMBLIES REPRESENTED IN THESE PLANS PRIOR TO CONSTRUCTION.

[illegible]

2021 INTERNATIONAL BUILDING CODE (IBC)
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
2021 WASHINGTON STATE ENERGY CODE
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL FIRE CODE
2021 UNIFORM PLUMBING CODE

SEE STRUCTURAL ENGINEERING SHEETS
& REPORT FOR STRUCTURAL
SPECIFICATIONS

	ELEVATION CALLOUT		ELEVATION DATUM		DOOR TAG SEE SCHEDULE		CENTERLINE
	SECTION CALLOUT		GRID LINE		WINDOW TAG SEE SCHEDULE		BREAK LINE
	DETAIL CALLOUT		INTERIOR ELEVATION CALLOUT		REVISED IN PLAN		ROOF SLOPE IN PLAN
					REVISION #		ROOF SLOPE IN ELEVATION & SECTION

PROJECT NAME:

PREPARED FOR:

DESIGNED BY:

NWPS

DRAFTED BY:

CJD

DATE: 11/15/2024

SHEET TITLE:

COVER
SHEET

PROJECT NUMBER

24-165

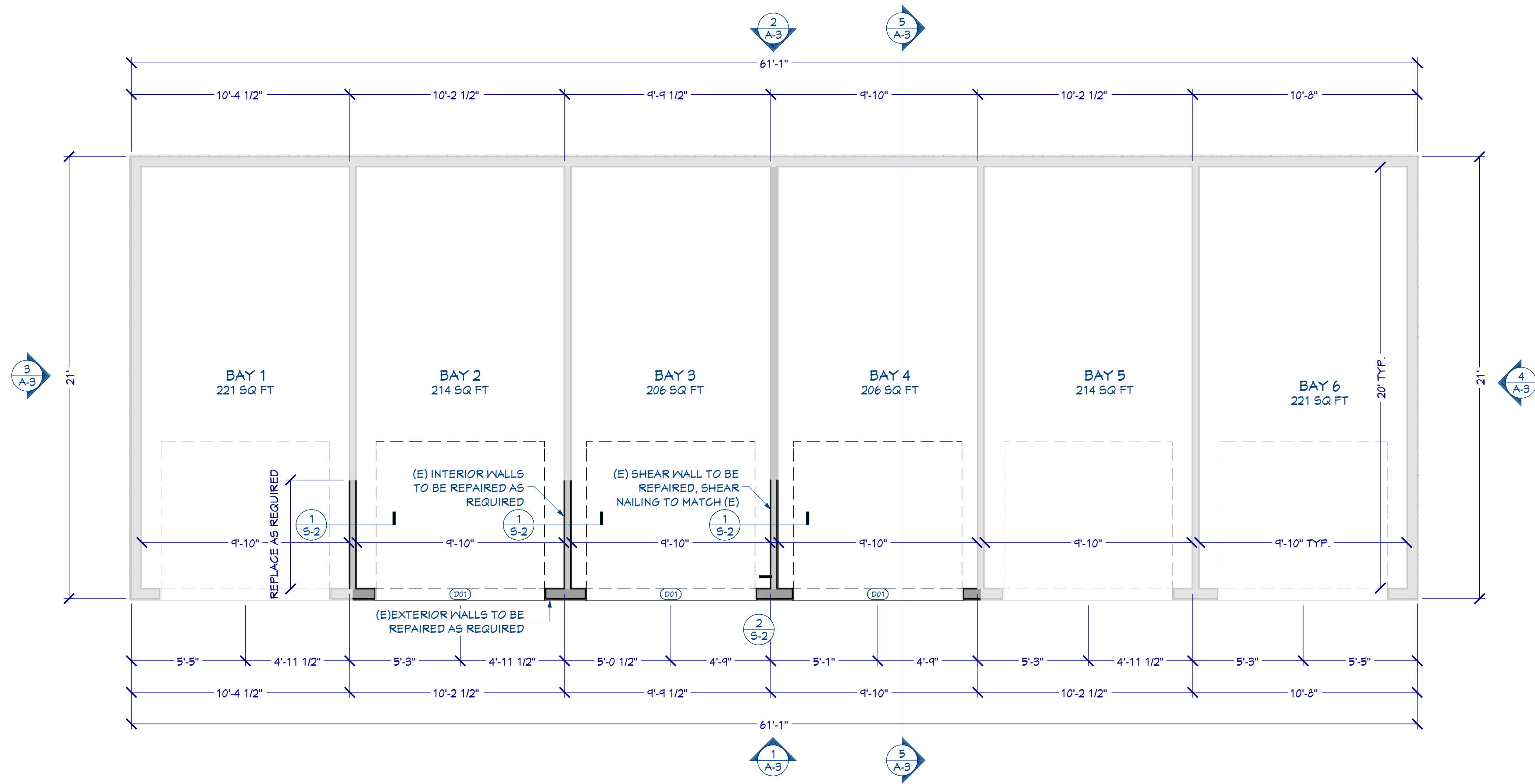
SHEET NUMBER

A-1



RIVER TRAIL APARTMENTS
1715 E. MAIN ST.
PUYALLUP, WA 98372
PARCEL NO.:0420262058

1 FLOOR PLAN



TYPICAL PLAN NOTES:

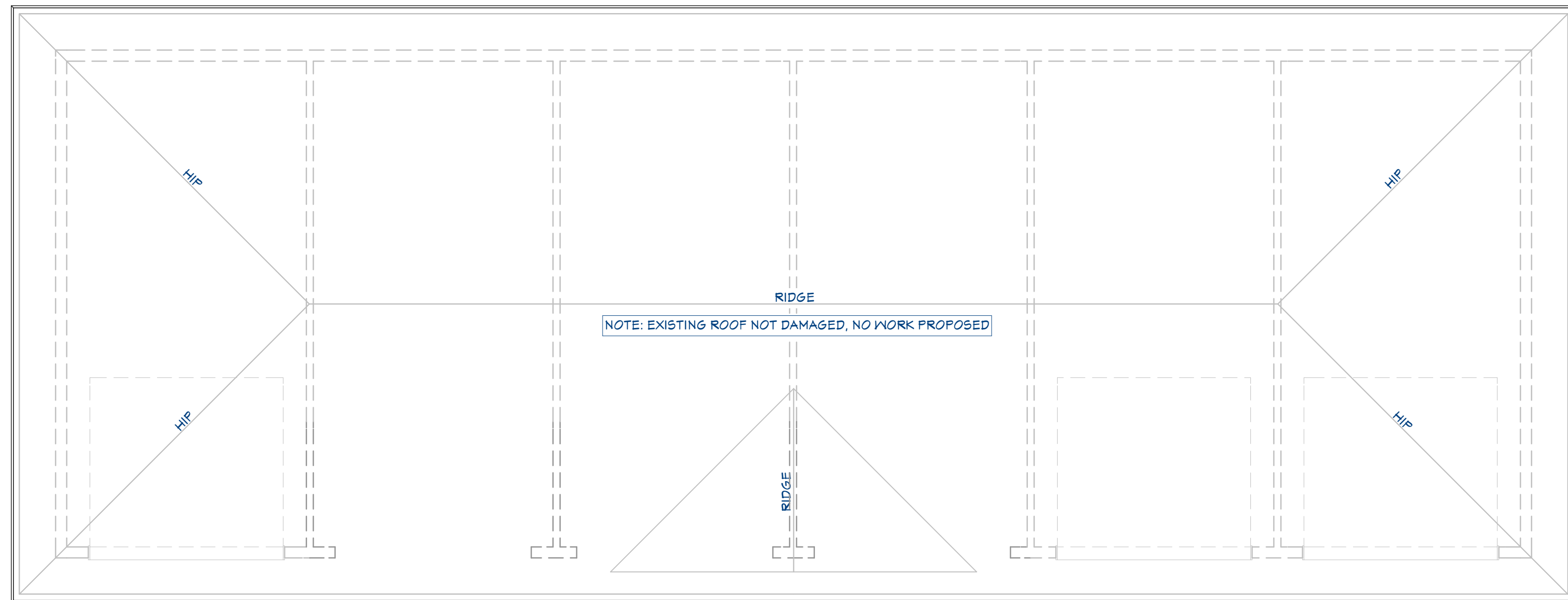
- 1) ALL INTERIOR WALLS TO BE 2x4 @ 16" O.C. (U.N.O.)
- 2) ALL EXTERIOR WALLS TO BE 2x6 @ 16" O.C. (U.N.O.)
- 3) MAIN FLOOR HEADERS PER STRUCTURAL @ 8'-0" A.F.F. (U.N.O.)
- 4) WINDOW SIZES ARE NOMINAL ROUGH OPENING, WIDTH AND HEIGHT.
- 5) DOOR SIZES NOTED ARE SLABS NOT ROUGH OPENINGS. EACH DOOR TO BE UNDERCUT A MINIMUM OF 1/2-INCH TO ASSURE FREE FLOW OF FRESH AIR THROUGHOUT HABITABLE ROOMS
- 6) PROVIDE SOLID BLOCKING OVER SUPPORTS.
- 7) ALL INTERIOR FINISHES TO MEET MINIMUM FLAME SPREAD INDEX AND SMOKE DEVELOPMENT INDEX AS REQUIRED BY 2021 IRC.
- 8) UNDER FLOOR CLEANOUT NOT MORE THAN 20' FROM ACCESS DOOR WITH AN UNOBSTRUCTED 30" WIDE X 18" HIGH PATH PATHWAY. CLEANOUTS ARE ACCESSIBLE. 12" CLEARANCE REQUIRED AT LINES LESS THAN OR EQUAL TO 2". 18" CLEARANCE AT LINES GREATER THAN 2". (UPC 701.9)
- 9) REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.
- 10) SEE SHEET A-2 FOR ADDITIONAL GENERAL NOTES

WALL LEGEND:

- (E) EXTERIOR 2x6 WALL TO REMAIN
- (E) INTERIOR 2x4 WALL TO REMAIN
- (E) INTERIOR 2x4 SHEAR WALL
- (N) EXTERIOR 2x6 WALL
- (N) INTERIOR 2x4 WALL

DOOR SCHEDULE			
TAG	QTY	FLOOR	SIZE
D01	3	1	8070

2 ROOF PLAN



TYPICAL ROOF PLAN NOTES:

- 1) ALL DIMENSIONAL FRAMING LUMBER SHALL BE D.F. #2 OR BETTER.
- 2) I-JOISTS AND ENGINEERED FRAMING PRODUCTS TO BE INSTALLED PER MANUFACTURER.
- 3) ALL TRUSSES SHALL BE ENGINEERED AND STAMPED AND MUST NOT BE MODIFIED WITHOUT THE WRITTEN CONSENT OF THE TRUSS MANUFACTURER.
- 4) ALL ROOF SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, UNLESS NOTED OTHERWISE. ROOF SHEATHING SHALL BE TONGUE & GROOVE, CLIPPED OR BLOCKED AT ALL PANEL EDGES.
- 5) ALL ROOF DOWNSPOUTS TO GROUND SURFACE SHALL DISCHARGE NO LESS THAN 5'-0" FROM FOUNDATION WALLS OR TO APPROVED STORM WATER SYSTEM IF REQUIRED.
- 6) ALL ROOF VENT PIPES SHALL TERMINATE NO LESS THAN 6" ABOVE THE ROOF SHEATHING OR ANTICIPATED SNOW ACCUMULATION, WHICHEVER IS GREATER, AND SHALL BE MADE WATERTIGHT WITH APPROVED FLASHING.
- 7) S.C. TO PROVIDE 1SF OF ATTIC VENTILATION FOR EVERY 300SF OF ATTIC FLOOR SPACE.



11/16/24

PROJECT NAME:

RIVER TRAIL APARTMENTS
1715 E. MAIN ST.
PUYALLUP, WA 98372
PARCEL NO.: 0420262058

PREPARED FOR:

DESIGNED BY:

NWPS

DRAFTED BY:

CJD

DATE:

11/15/2024

SHEET TITLE:

FLOOR & ROOF
PLAN

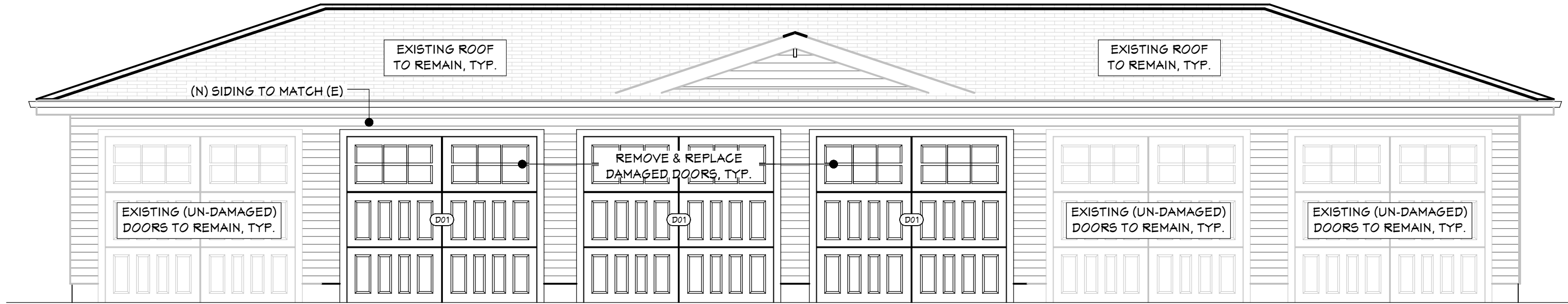
PROJECT NUMBER

24-165

SHEET NUMBER:

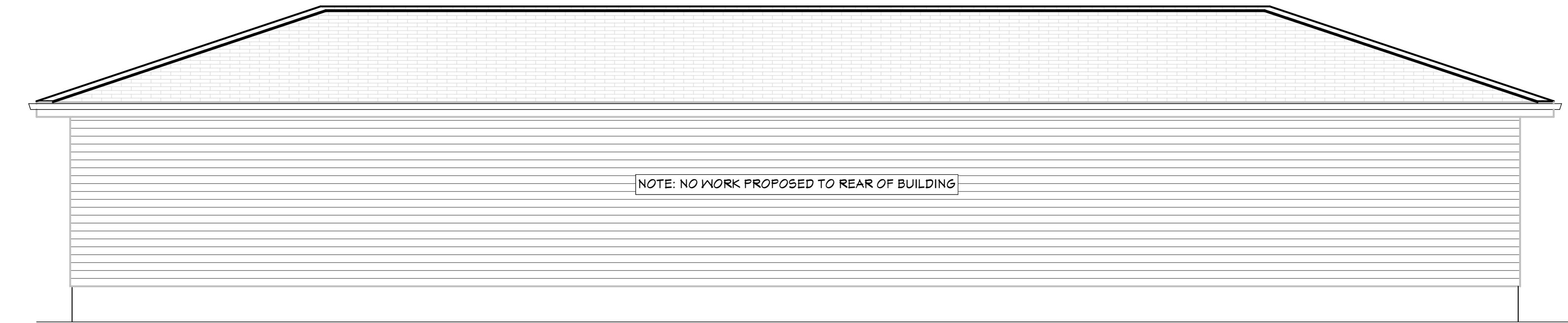
A-2





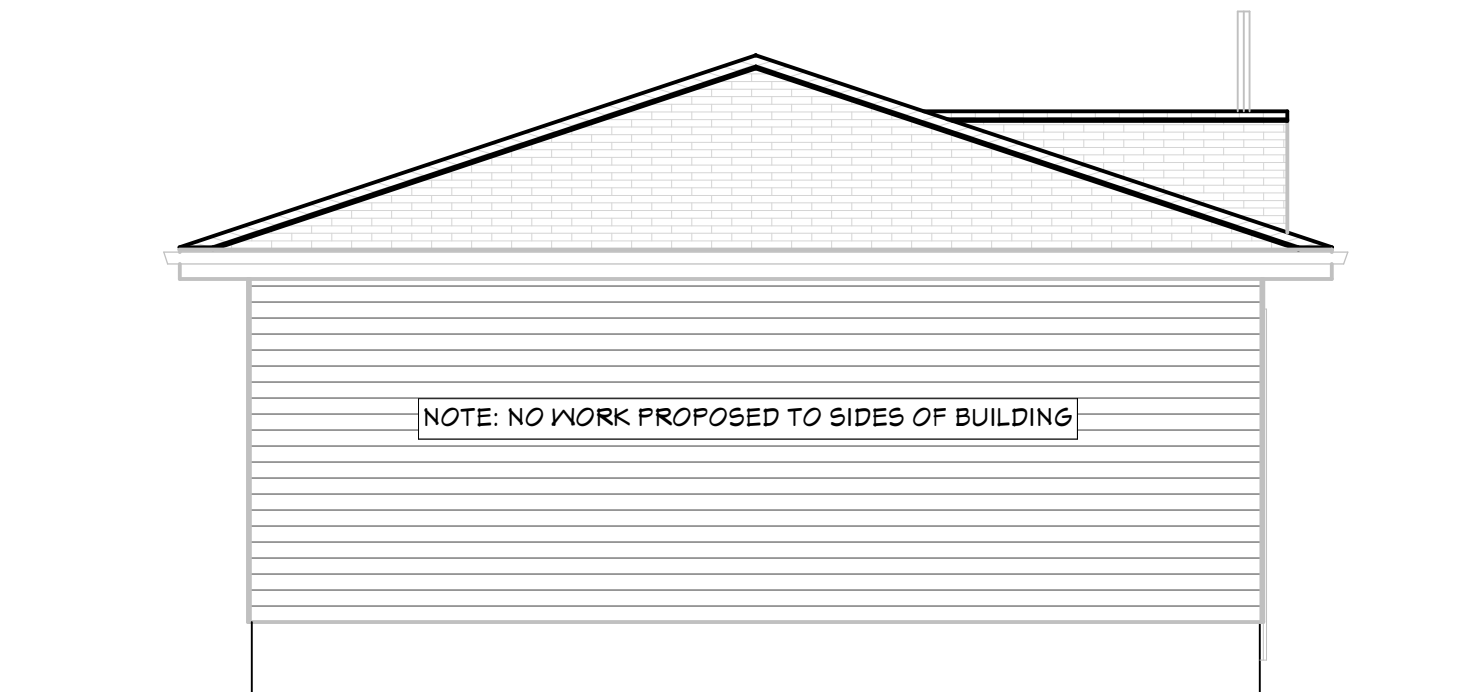
1 EAST ELEVATION

SCALE: 1/4 IN = 1 FT



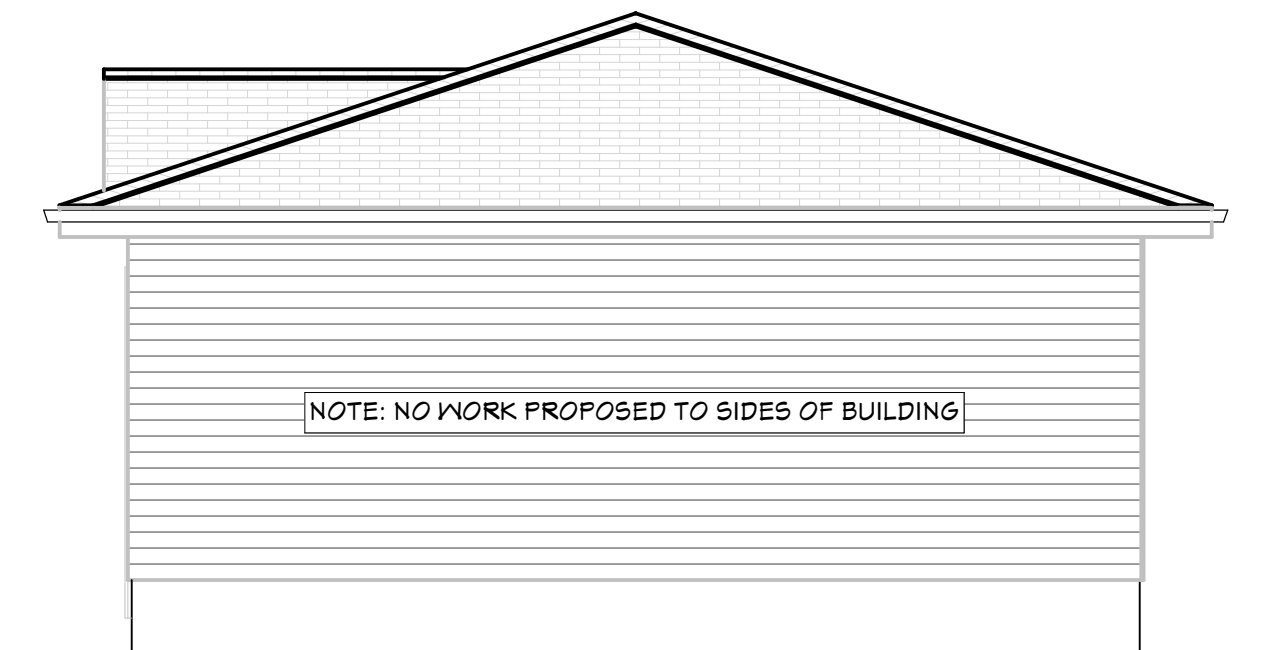
2 WEST ELEVATION

SCALE: 1/4 IN = 1 FT



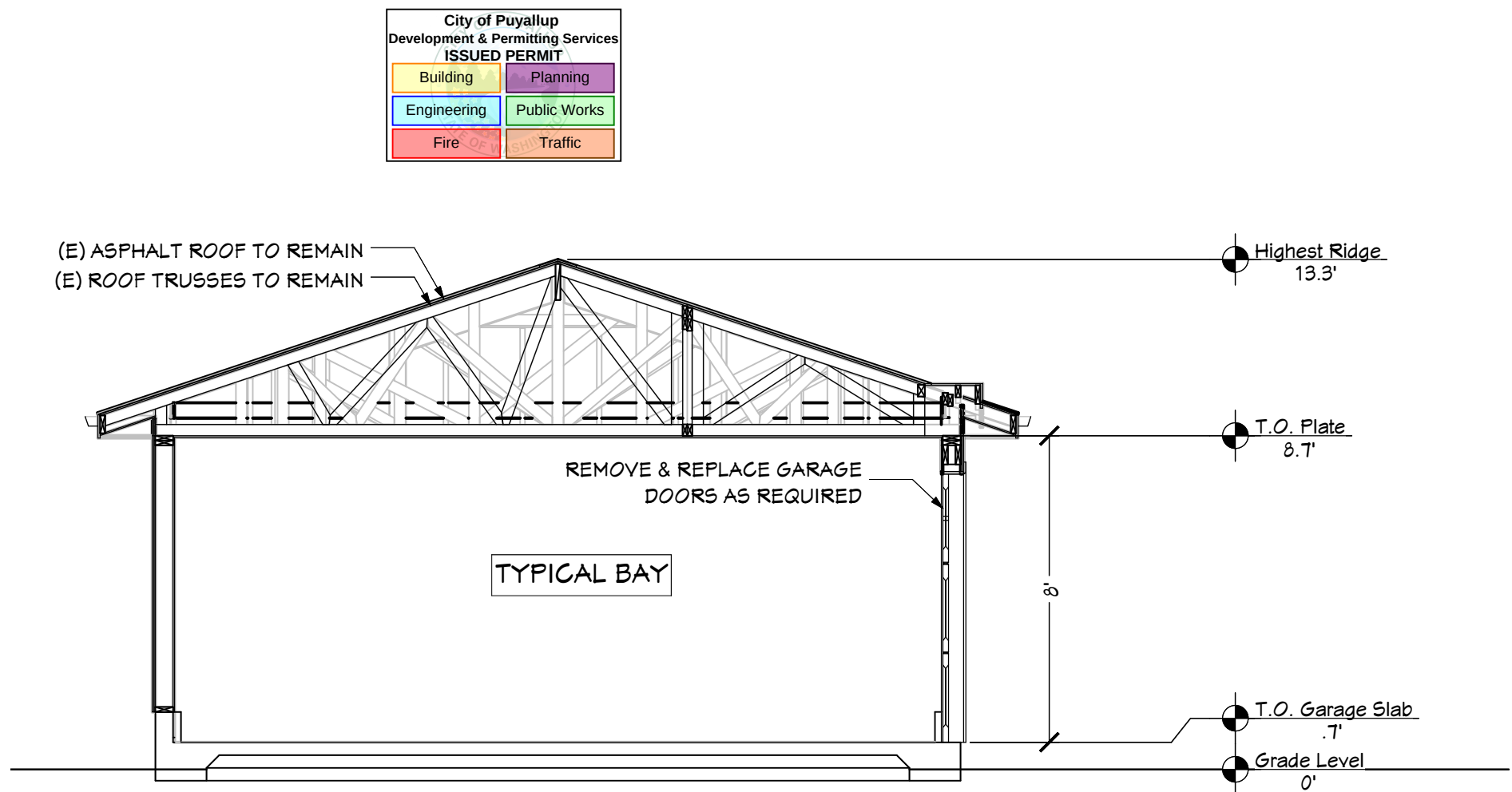
3 SOUTH ELEVATION

SCALE: 1/4 IN = 1 FT



4 NORTH ELEVATION

SCALE: 1/4 IN = 1 FT



5 BUILDING SECTION

1/4 IN = 1 FT

ELEVATION NOTES:

- 1) VERIFY SHEAR WALL NAILING & HOLDDOWNS PER ENGINEERING PLANS.
- 2) CAULK ALL EXTERIOR JOINTS & PENETRATIONS.
- 3) PROVIDE APPROVED CORROSION RESISTANT FLASHING AT EXTERIOR WALL ENVELOPE PER I.R.C. R103.8
- 4) PROVIDE FLASHING AT ROOF PENETRATIONS PER I.R.C. R405.2.8
- 5) PROVIDE WEATHER STRIPPING AT ALL EXTERIOR & GARAGE-INTERIORDOORS.
- 6) PROVIDE CONTINUOUS GUTTERS & DOWNSPOUTS @ ALL EAVES, TYP.
- 7) ADDRESS OR HOUSE NUMBER TO BE POSTED AND PLAINLY VISIBLE FROM THE STREET FRONTAGE. MIN. 4" HEIGHT, 1/2" STROKE WIDTH AND CONTRASTING BACKGROUND.
- 8) PROVIDE STAIRWAY ILLUMINATION PER I.R.C. R303.6
- 9) SEE SHEET A1 FOR ADDITIONAL NOTES.
- 10) PROVIDE SURFACE DRAINAGE 6" : 10' MIN. AWAY FROM HOUSE FOOTPRINT IRC R401.3

RIVER TRAIL APARTMENTS
1715 E. MAIN ST.
PUYALLUP, WA 98372
PARCEL NO.:0420262058

DERICK LINK
PRDB20241780

DESIGNED BY:
NWPS

DRAFTED BY:
CJD

DATE: 11/15/2024

SHEET TITLE:
ELEVATIONS & SECTION

PROJECT NUMBER
24-165

SHEET NUMBER:
A-3



HDU4 ATTACHES TO FOUNDATION WITH A 5/8" DIAMETER THREADED ROD IN
CLEANED 3/4" DIAMETER HOLE 4" DEEP AND EPOXY WITH SIMPSON SET-36 IF
INSTALLED AFTER CONCRETE HAS BEEN CAST. HDU4 ATTACHES TO DOUBLE
STUDS WITH (10) SIMPSON SD51/4X3 SCREWS. (CAP = 4565)

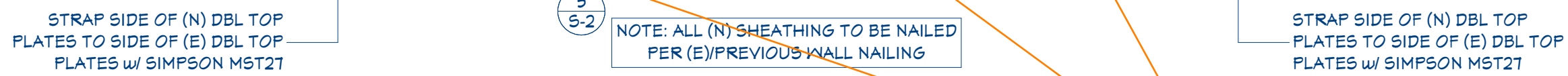
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STUDS WITH (10) SIMPSON SD51/4X3 SCREWS. (CAP = 4565)



For any anchor bolts that require replacement provide a Titan HD with embedment and plate washers per first note under Typical Shear Wall Notes.

[Washington State Residential Code]

$$\frac{1}{4} \text{ IN} = 1 \text{ FT}$$


If headers are require the a plate splice have engineer to provide detail and letter prior to inspection.

1

2

GENERAL NOTES:

GENERAL NOTES:

THESE STRUCTURAL NOTES SUPPLEMENT THE DRAWINGS. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, THESE NOTES, AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ENGINEER, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK. **THE CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.** THE CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PORTIONS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE EXCEPT WHERE NOTED.

1. LIVE LOAD	=	25 PSF (Snow)
2. DEAD LOAD	=	15 PSF (ROOF)
	=	12 PSF (WALL)
	=	150 PCF (CONCRETE)
3. SOIL	=	1500 PSF, ASSUMED BEARING CAPACITY

1. STRUCTURAL FRAMING SHALL BE #2 DOUGLAS FIR.

2. PLYWOOD SHALL BE NAILED 6" O.C. EDGES AND 12" O.C. FIELD WITH SD'S UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL CONNECTION HARDWARE SHALL BE SIMPSON "STRONG TIE", UNLESS NOTED OTHERWISE.

CONNECTION HARDWARE EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND OR PRESSURE TREATED WOOD SHALL BE GALVANIZED PER ASTM A-123 WITH 1.25 OZ. OF ZINC SPELTER PER SQUARE FOOT OF CONTACT AREA.

CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND ALL ELEVATIONS

USE 1/2" DIA. BY 10" ANCHOR BOLTS (AB'S) WITH SINGLE FLATES OR 1/2" DIA. BY 12" AB'S WITH 3X OR DOUBLE FLATES SPACED AS SHOWN ON THE DRAWINGS. AB'S SHALL HAVE A T OF EMBEDMENT INTO FOOTING, SHALL BE CENTERED IN THE STUD WALL, AND SHALL PROJECT THROUGH THE BOTTOM PLATE OF THE WALL. ALL ANCHOR BOLTS SHALL BE PLACED WITHIN 12" FROM CORNERS, AND 12" FROM THE ENDS OF BOTH PLATES AT SPLICES. ALL ANCHOR BOLTS SHALL HAVE A 3" SQUARE, 1/4" THICK PLATE WASHERS BETWEEN THE TOP OF THE BILL PLATE AND THE NUT. (IF USING SIMPSON TITEN HD AS SUBSTITUTES FOR ANCHOR BOLTS, EMBED A MINIMUM OF 3-1/2" INTO CONCRETE.)

ALL WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD, 5/8" T-11 SIDING, OR 7/16" OSB WITH EXTERIOR EXPOSURE GLUE AND SPAN RATED "SR 24/16" OR BETTER. ALL FREE SHEATHING EDGES SHALL BE BLOCKED WITH 2X4 OR 2X6 FLAT BLOCKING EXCEPT WHERE NOTED ON THE DRAWINGS OR BELOW.

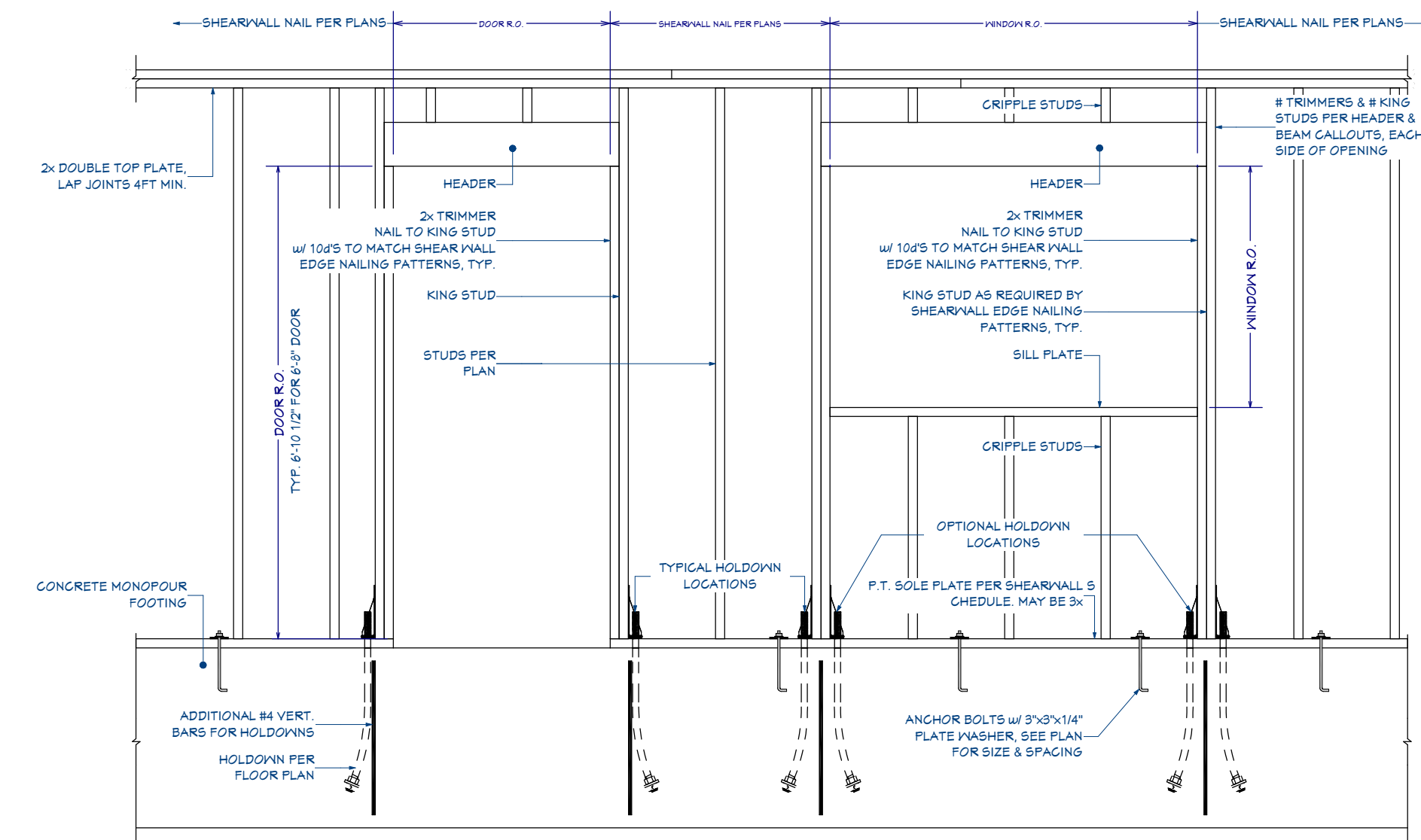
ALL NAILS SHALL BE 8D OR 10D COMMON (8D COMMON NAILS MUST BE .131 INCH DIAMETER, SENCQ K627 NAILS ARE EQUIVALENT. IF 10D COMMON NAILS ARE CALLED FOR THE DIAMETER MUST BE .148 INCHES, SENCQ MD23 NAILS ARE EQUIVALENT WHEN USED WITH 1/2" PLYWOOD). NAIL SIZE AND SPACING AT ALL SHEATHING EDGES SHALL BE AS REQUIRED BELOW OR AS IN THE DRAWINGS. NAIL SPACINGS SHALL BE 12" O.C. FOR ALL FIELD NAILING EXCEPT AS NOTED.

HOLD DOWNS ARE SIMPSON "STRONG TIE" AND SHALL BE INSTALLED PER THE MANUFACTURE'S RECOMMENDATION. EQUIVALENT HOLD DOWNS BY UNITED STEEL PRODUCTS COMPANY "KANT-SAG" THAT HAVE ICC APPROVAL CAN BE SUBSTITUTED IN PLACE OF SIMPSON HOLD DOWNS.

WALL FRAMING SHALL BE #2 DOUG-FIR OR BETTER. 3X, 4X, OR 6X STUDS CAN BE MADE FROM MULTIPLE 2X STUDS GLUED AND NAILED TOGETHER WITH (2) ROWS OF 10D'S AT 8" ON CENTER EACH ROW.

3X SILL PLATES CAN BE A COMBINATION OF (1) PRESSURE TREATED 2X SILL DIRECTLY IN CONTACT WITH CONCRETE AND ANOTHER NON-TREATED 2X SILL PLATE NAILED TO THE LOWER PLATE WITH (2) ROWS OF 10D COMMON NAILS AT 6" ON CENTER EACH ROW.

ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
ANCHOR BOLTS ARE REQUIRED TO BE GALVANIZED.



3

$$\frac{1}{2} \text{ IN} = 1 \text{ FT}$$


NWPS
NW PERMIT SOLUTIONS
2646 RW Johnson Blvd SW, Ste 112, Tumwater, WA
www.nwpermitsolutions.com
360-359-2967

RIVER TRAIL APARTMENTS
1715 E. MAIN ST.
PUYALLUP, WA 98372
PARCEL NO.:0420262058

PROJECT NAME:

PREPARED FOR:

DESIGNED BY:

NWPS

DRAFTED BY:

CJD

DATE: 11/15/2024

SHEET TITLE:

STRUCTURAL
NOTES &
SCHEDULES,
FNDN & ROOF
FRAMING PLAN

PROJECT NUMBER

24-165

SHEET NUMBER:

S-1

				City of Puyallup Development & Permitting Services ISSUED PERMIT BuildingPlanning EngineeringPublic Works FireTraffic	NW PERMIT SOLUTIONS 2646 RV JOHN ROAD, SUITE 100, PUYALLUP, WA 98512 www.nwpermitsolutions.com 360-359-2967
1	4	7	10		
2	5	8	11		
3	6	9	12		

PROJECT NAME:

RIVER TRAIL APARTMENTS
1715 E. MAIN ST.
PUYALLUP, WA 98372
PARCEL NO.:0420262058

PREPARED FOR:

DERICK LINK
PRDB20241780

DESIGNED BY:

NWPS

DRAFTED BY:

CJD

DATE: 11/15/2024

SHEET TITLE:

DETAILS

PROJECT NUMBER

24-165

SHEET NUMBER:

S-2

