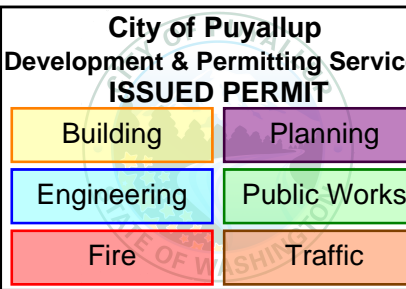


SOUTH HILL CENTER - SPACE 10A

COMMERCIAL TENANT IMPROVEMENT

PUYALLUP, WASHINGTON



City of Puyallup
Building
REVIEWED
FOR
COMPLIANCE

SKinnear
06/30/2025
1:53:14 PM



City of Puyallup
Planning
Division
APPROVED

See permit
conditions.

CBeale
07/07/2025
2:40:15 PM



Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

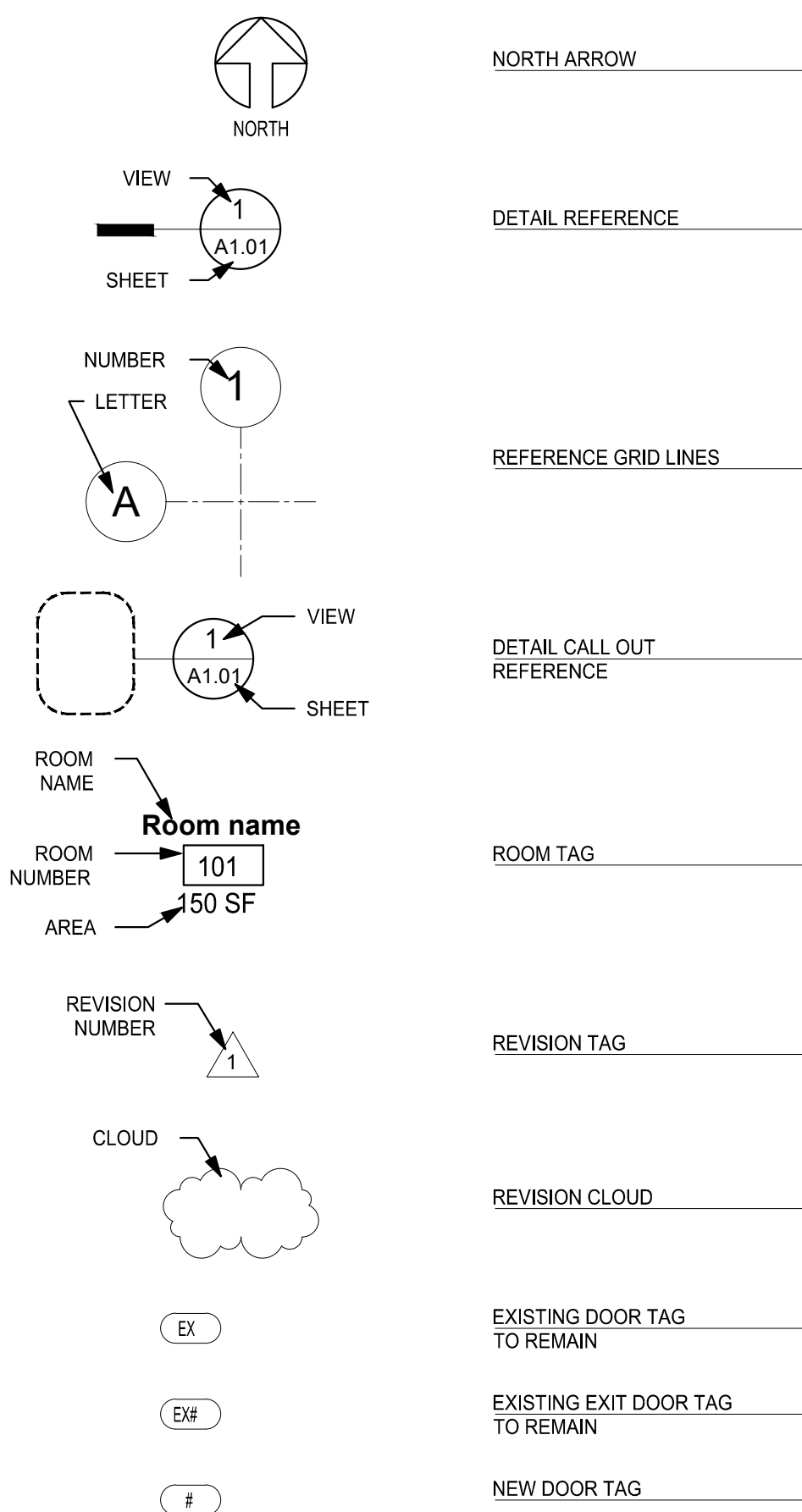
The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
<https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections>
or call for Licensing Information: 1-800-647-0982

Store front remodel not directly visible from adjacent ROW. Design review not required.

TYPICAL SYMBOLS



CODES

- GOVERNING BUILDING CODE
- INTERNATIONAL BUILDING CODE W/ WASHINGTON STATE AMENDMENTS
 - 2021 INTERNATIONAL BUILDING CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 FUEL GAS CODE
 - 2021 UNIFORM PLUMBING CODE
 - 2021 INTERNATIONAL FIRE CODE
 - 2023 NATIONAL ELECTRICAL CODE (NFPA 70 - 2023)
 - 2021 WASHINGTON STATE ENERGY CODES
 - 2019 NFPA STANDARD 72
 - 2019 NFPA STANDARD 13, 13-D, AND 13-R

ENERGY CODE NOTES

- GOVERNING ENERGY CODE:
- ALL WORK SHALL CONFORM TO THE CURRENT 2021 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11C AND IBC, CHAPTER 5 [CE] EXISTING BUILDINGS
 - REQUIRED INSULATION VALUES FOR CONDITION SPACES
 - CLIMATE ZONE 4C: BUILDING ROOF (NO ATTIC): EXISTING
 - BUILDING SPACE TYPE HEAT IS "OTHER" (ALL OTHERS INCLUDING HEAT PUMPS AND VARIABLE AIR VOLUMES). ELECTRIC RESISTANCE HEATING NOT ALLOWED.
 - OCCUPANCY SENSOR CONTROLS SHALL BE PROVIDED AND INSTALLED TO CONTROL LIGHTING IN ADDITION TO THE MANUAL CONTROLS.
 - OCCUPANCY SENSORS ARE TO BE SET TO TURN LIGHTS OFF AFTER 15 MINUTES.
 - DAYLIGHT RESPONSIVE CONTROLS ARE TO BE PROVIDED AND INSTALLED WHERE REQUIRED TO COMPLY WITH WSEC C405.2.4.1

OCCUPANCY CALCULATIONS **

FITNESS (ASSEMBLY)		304.1 / TABLE 1004.5	
SPACE	AREA	SF/OCC.	OCCUPANTS
SALES AREA	19,782 SF	60 SF/OCC.	330 OCC.
TOTAL OCCUPANTS:	330		

** SF AREAS & OCCUPACIES SHOWN FOR REFERENCE ONLY. NO ACTUAL INTERIOR SPACES TO BE INCLUDED IN THIS SUBMITTAL (REFER TENANT TI PERMIT)

PLUMBING CALCULATIONS

NOT IN SCOPE

SITE / BUILDING INFORMATION

TAXPAYER	WRIHRS SOUTH HILL LLC 500 N BROADWAY, STE 201 JERICHO, NJ 11753
TAX PARCEL NUMBER	0419095021
PROJECT ADDRESS	4102 S MERIDIAN PUYALLUP, WA 98373
SITE STATISTICS	"Space 10A" corresponds to 4102 S MERIDIAN, Suite D2.
ZONE	URBAN CENTER MIXED USE (UCX)
SITE AREA	EXISTING, NO CHANGE. (230,868 SF / 5.3 AC)
ALLOWABLE LOT COVERAGE	EXISTING, NO CHANGE
REQUIRED BUILDING SETBACKS	EXISTING, NO CHANGE
FRONT	EXISTING, NO CHANGE
SIDES	EXISTING, NO CHANGE
REAR	EXISTING, NO CHANGE
ALLOWABLE FAR	EXISTING, NO CHANGE
ACTUAL FAR	EXISTING, NO CHANGE
BUILDING STATISTICS (EXISTING)	
HEIGHT - ALLOWABLE/ ACTUAL	68'/EXISTING, NO CHANGE
MAX LOT COVERAGE	65%/EXISTING, NO CHANGE
BUILDING AREA - ALLOWABLE/ ACTUAL	EXISTING, NO CHANGE. (62,750 GSF)
PROJECT AREA/ TENANT SPACE	EXISTING, NO CHANGE. (19,782 GSF)
CONSTRUCTION TYPE	EXISTING, NO CHANGE.
OCCUPANCY TYPE/USE	TYPE III-B, FULLY-SPRINKLERED EXISTING: (M, MERCANTILE) PROPOSED: (A-3, ASSEMBLY)

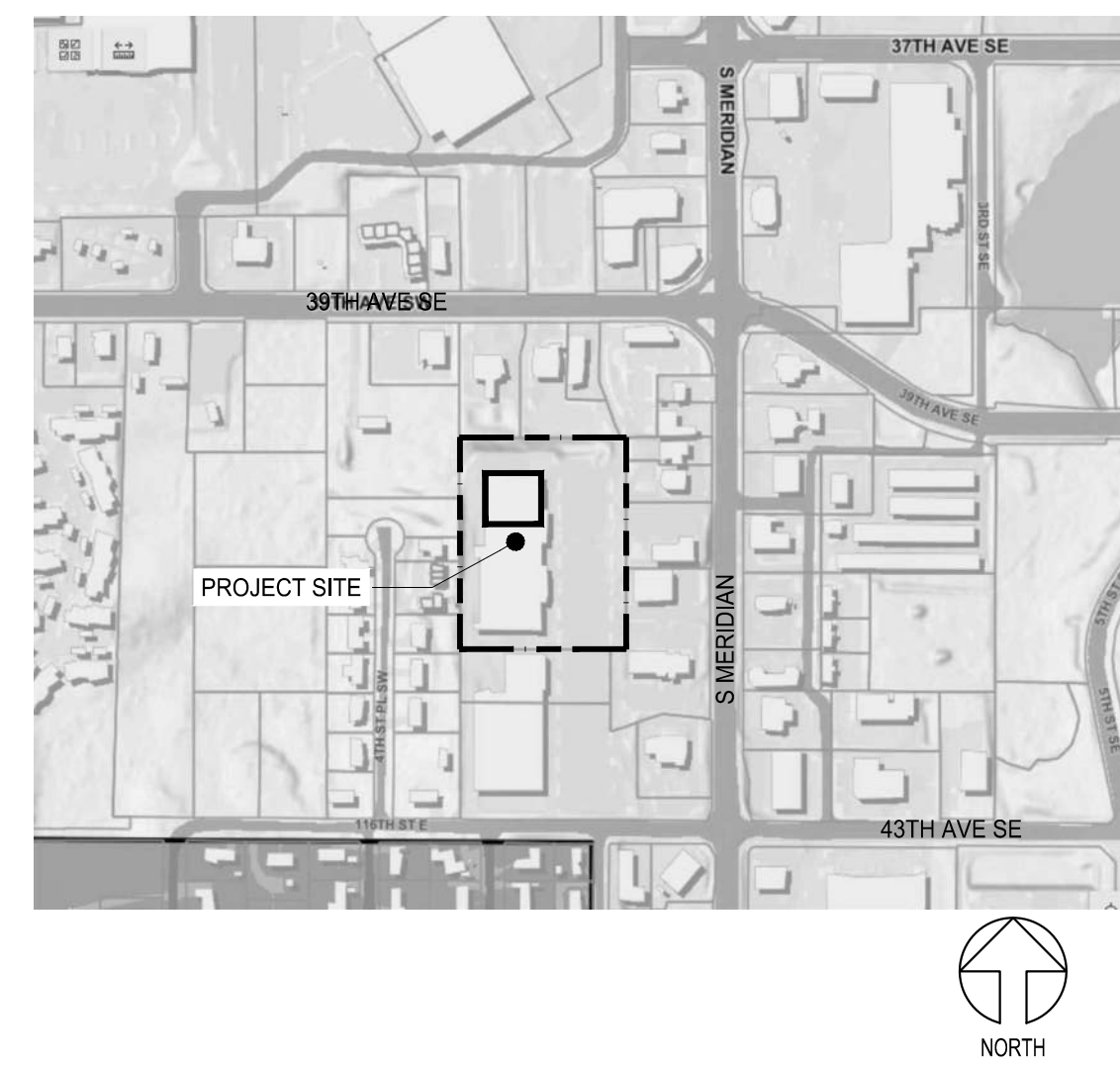
LEGAL DESCRIPTION

SECTION 09 TOWNSHIP 19 RANGE 04 QUARTER 11: PARCEL "A" OF DBLR 2000-11-29-5002 DESC AS THAT POR OF NE OF NE & L 4 OF S P AMEND 99-04-09-5014 DESC AS FOLL COM AT NE COR OF SEC TH S ALG E LI OF NE & C/L OF SR 161 671.18 FT TO NE COR OF SE OF NE OF NE TH W

BUILDING AREAS

OVERALL BUILDING AREAS: 2018 INTERNATIONAL BUILDING CODE	
EXTERIOR FOOTPRINT FULL BUILDING	62,750 SF NO CHANGE TO EXISTING SPACES
EXISTING SITE AREA	230,868 SF
AREA OF WORK	62,750 SF (OVERALL BUILDING)
AREA OF WORK (ACTUAL) *	19,782 SF (SPACE 10A, PROJECT SITE)

VICINITY MAP



LOCATION MAP



GENERAL NOTES

- THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOB SITE.
- CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- ALL WORK SHALL MEET LOCAL CODES AND ORDINANCES.
- ALL NAILING SHALL COMPLY WITH NAILING SCHEDULE OF THE IBC.
- COMPLIANCE CARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALL, CEILINGS, AND FLOORS (IF REQUIRED).
- ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (DECAY RESISTANT).
- IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR ARCHITECT IN WRITING OF SUCH OMISSIONS, ERRORS, OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK, OR ACCEPT FULL RESPONSIBILITY FOR COSTS TO RECTIFY SAME.
- TYPICAL DETAILS OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
- ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAMING.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
- ALL EXIT DOORS TO BE OPERABLE FROM INSIDE THE BUILDING WITHOUT KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- ALL EQUALS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- BIDDER DESIGN WORK TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- MANUALLY OPERATED FLUSH BOLTS ARE NOT PERMITTED AND NO MORE THAN ONE OPERATION FOR THE UNLATCHING IS ALLOWED.
- ALL NEW CONCRETE MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

PROJECT TEAM

ARCHITECT:

JACKSON | MAIN ARCHITECTURE
311 FIRST AVE S
SEATTLE, WA 98104
(206) 324-4800
CONTACT: DAVID HUANG, PROJECT MANAGER
EMAIL: DAVID.HUANG@JACKSONMAIN.COM

CLIENT:

KIMCO REALTY
4065 FACTORIA MALL SE
BELLEVUE, WA 98008
(425) 505-3745
CONTACT: PETER EMSKY, DIRECTOR OF CONSTRUCTION
EMAIL: PEMSKY@KIMCOREALTY.COM

GENERAL CONTRACTOR:

POWELL RYKA
2625 NORTHP WAY
BELLEVUE, WA 98004
(425) 528-4774
CONTACT: RYAN BREHM
EMAIL: RRBREHM@POWELLRYKA.COM

CIVIL:

APEX ENGINEERS
2601 S. 35TH ST. STE. 200
TACOMA, WA 98409
CONTACT: COLLEEN HARRIS
EMAIL: HARRIS@APEXENGINEERING.NET

STRUCTURAL:

SWENSON SAY FAGET
2124 THIRD AVE, SUITE 100
SEATTLE, WA 98121
CONTACT: BLAZE BRESKO
EMAIL: BBRESKO@SSFENGINEERS.COM

PROJECT SCOPE

PROJECT SCOPE INVOLVES THE CONSTRUCTION OF A NEW EXTERIOR ENTRY FEATURE FOR TENANT SPACE (10A) FOR FUTURE TENANT USE (T.I. UNDER SEPARATE PERMIT).

EXISTING FIRE SPRINKLERS AND ALARMS TO REMAIN INTACT AND OPERATIONAL DURING CONSTRUCTION WORK.

ASSOCIATED SUBMITTALS

DRAWING INDEX

ARCHITECTURAL:

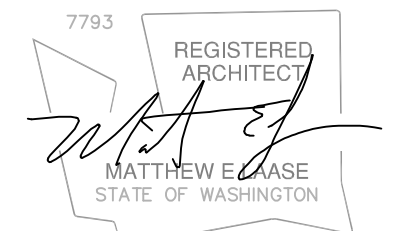
G0.00	GENERAL INFO & SITE PLAN
C1 OF 2	CIVIL: COVER SHEET
C2 OF 2	CIVIL: GRADING AND DETAILS SHEET
AD1.01	OVERALL DEMOLITION PLAN
AD3.01	ELEVATION & PLANS - DEMOLITION
A2.01	FLOOR PLAN (SPACE 10A)
AS.01	EXTERIOR ELEVATION & PLANS
A4.01	ENLARGED SECTIONS
A8.01	EXTERIOR DETAILS
S1.1	GENERAL STRUCTURAL NOTES
S2.1	PLAN, ELEVATION & DETAILS

PRCTI20250870

KIMCO REALTY

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

DATE	NO.	DESCRIPTION
06/27/2025		ISSUED FOR COMMERCIAL T.I.



PROJECT NO.: 25027.00
PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

GENERAL INFO
& SITE PLAN

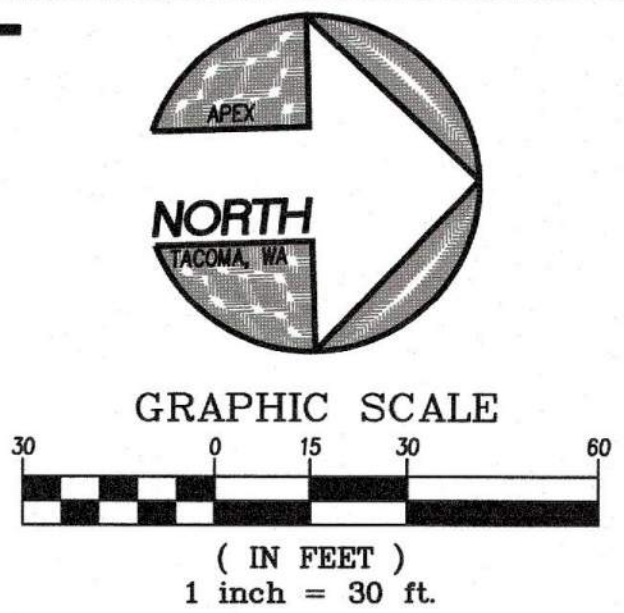
G0.00

SOUTH HILL CENTER - SPACE 10A COMMERCIAL TENANT IMPROVEMENT
COVER SHEET

A PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M.,
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

NOTE: THIS APPROVAL IS VOID
AFTER 180 DAYS FROM APPROVAL
DATE.
THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS
AND/OR OMISSIONS ON THESE
PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE
DEVELOPMENT ENGINEERING
MANAGER.

HORIZONTAL DATUM

WASHINGTON STATE PLANE COORDINATE SYSTEM,
SOUTH ZONE (NAD 83/2011)
BASED ON RTK GPS MEASUREMENTS CONSTRAINED
TO THE WASHINGTON STATE REFERENCE NETWORK.

VERTICAL DATUM

NAVD 88 BASED ON RTK GPS MEASUREMENTS
CONSTRAINED TO THE WASHINGTON STATE
REFERENCE NETWORK AND GEOID 2012A MODEL.

SITE DATA

SITE ADDRESS: 4102 S MERIDIAN
PARCEL AREA: 5.34 +/- ACRES
PARCEL NUMBER: 0419095021
ZONING: URBAN CENTER MIXED USE (UCX)

PROPERTY OWNER

WRI-URS SOUTH HILL LLC
C/O KIMCO REALTY CORPORATION PROPERTY TAX DEPT
500 N BROADWAY STE 201
JERICHO, NY 11753
DAN.RASMUSSEN@JACSONMAIN.COM

FLOOD PLAIN/CRITICAL AREAS

THE PROJECT AREA IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA AND HAS NO KNOWN
CRITICAL AREAS.

UTILITIES

WATER: FRUITLAND MUTUAL WATER
SEWER: CITY OF PUYALLUP
STORM: CITY OF PUYALLUP
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY

**BOUNDARY AND
TOPOGRAPHY NOTE**

TOPOGRAPHIC INFORMATION HAS BEEN
COMPILED FROM FIELD WORK PERFORMED BY
APEX ENGINEERING, LLC IN AUGUST 2024
UNDER THE DIRECTION AND SUPERVISION OF
TIMOTHY MCDANIEL, PLS 45792, AND
SUPPLEMENTED WITH GIS INFORMATION FOR
BOUNDARY.

**PROJECT
DESCRIPTION**

REPLACE EXISTING CONCRETE SIDEWALK WITH
NEW BUILDING ENTRANCE

LEGEND

- BOUNDARY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY LINE
- PROPOSED CURB
- EXISTING SANITARY SEWER LINE
- EXISTING RECORD STORM DRAIN LINE
- EXISTING RECORD WATER LINE
- EXISTING SIGN
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING FIRE HYDRANT
- EXISTING STORM CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CONCRETE SURFACE
- PROPOSED CONCRETE SURFACE



VICINITY MAP

SCALE: 1"=1000'
4102 S MERIDIAN

LEGAL DESCRIPTION

TPN 0419095021
SECTION 09 TOWNSHIP 19 RANGE 04 QUARTER 11 : PARCEL "A" OF DBL 2000-11-29-5002 DESC AS
THAT POR OF NE OF NE & L 4 OF S P AMEND 99-04-09-5014 DESC AS FOLL COM AT NE COR OF SEC
TH S ALG E LI OF NE & C/L OF SR 161 671.18 FT TO NE COR OF SE OF NE OF NE TH W ALG N LI OF
SD SUBD 259.97 FT TO POB TH S 208.18 FT TH W 425.02 FT TO W LI OF E 1/2 OF NE OF NE TH N
ALG SD W LI 543 FT TO NW COR OF S 1/2 OF NE OF NE OF NE TH E 425.30 FT TH S 335.24 FT TO
POB TOG/W & SUBJ TO EASE & RESTRICTIONS OF REC OUT OF 5-018, 1-070 & 1-071 SEG M-0352 JU
12/1/00JU

SHEET INDEX

- 1. COVER SHEET
- 2. GRADING AND DETAILS SHEET

REV NO	REVISION DESCRIPTION

Apex Engineering

2601 South 35th, Suite 200
Tacoma, Washington 98409-7479
(253) 473-4484 FAX: (253) 473-0599

**SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
COVER SHEET**

JACKSON MAIN ARCHITECTURE, P.S.
311 FIRST AVE S
SEATTLE, WA 98104
ATTN: DAN RASMUSSEN (206) 324-4800

TITLE CLIENT

811

Know what's below.
Call 811 before you dig.
DigsafeWA.com

DATE SEALED 6-26-25

PROJECT MANAGER
COLLEEN HARRIS

DESIGN CJ/MSA
DRAWN MSA
CHECKED CJ
SEC 09 T BN R 4E
DATE 06/24/2025

SHEET 1 OF 2
FILE NO 37636

© APEX ENGINEERING LLC 2025

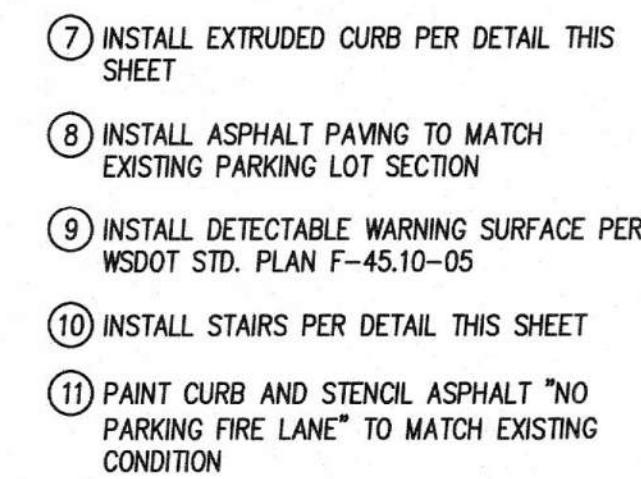
City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

NOTE: THIS APPROVAL IS VOID
AFTER 180 DAYS FROM APPROVAL
DATE.
THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS
AND/OR OMISSIONS ON THESE
PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE
DEVELOPMENT ENGINEERING
MANAGER.



SHALLOW 'V' GROOVE IF MONOLITHIC
3/8" x 4" JOINT IF SEPARATE CONSTRUCTION

SURFACE FINISH AND CONSTRUCTION JOINT
PATTERNS TO MATCH EXISTING WALK TO THE SOUTH

BUILDING

16'

CONCRETE SIDEWALK

1%

4"

6" CRUSHED SURFACING
BASE COURSE

18"

6"

1" R

VARIABLES

2"

AC PAVEMENT

THICKENED EDGE AS REQUIRED

FF = 452.0

N.T.S.

$$1'' = 2'$$
$$1^n = 1$$
$$1'' = 2'$$
$$1^n \equiv 2'$$

Apex
Engineering

2601 South 35th, Suite 200
Tacoma, Washington 98409-7479
(253) 473-4494 FAX: (253) 473-0599

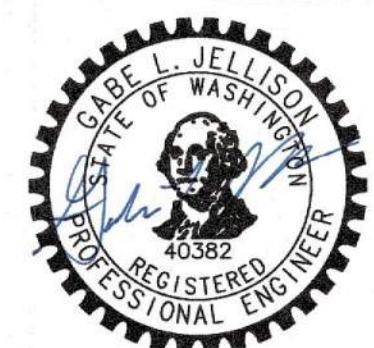
JACKSON MAIN ARCHITECTURE, P.S.
241 FIRST AVE S

SEATTLE, WA 98104
ATTN: DAN RASMUSSEN (206) 324-4800



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DigsafeWA.com

DATE SEALED 6-26-25



PROJECT MANAGER
COLLEEN HARRIS

DESIGN QJ/MSA

DRAWN MSA

CHECKED QJ

SEC 09 T 19N R 4E

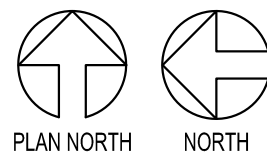
DATE 06/24/2025

SHEET 2 OF 2

FILE NO 37636

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- A. REFER TO G.O. FOR SYMBOLS AND GENERAL PROJECT NOTES.
- B. REFER TO 6.0 SERIES SHEETS FOR CODE & ACCESSIBILITY STANDARDS.
- C. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE; THIS DOCUMENT SET IS COMPLEMENTARY; NOTES ON OTHER SHEETS MAY HAVE A CHANGING APPLICATION TO WORK SHOWN ON THIS INFORMATION.
- D. REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- E. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
- F. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
- G. FOR FRAMES: LOCATE HINGE SIDE OF ALL DOORS 4'-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- H. FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.

- A. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH THE FOLLOWING EXCEPTIONS: NECESSARY EXISTING STRUCTURAL AND/OR EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH ALL CONSTRUCTIONS AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTENTS OF DRAWINGS, WHERE CONTRACTOR IS DESIGNATED TO MAKE ANY CHANGES. DISPOSITION OF EXISTING MATERIALS SHALL BE DETERMINED BY CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- B. ALL REMOVAL AND PATCH SHALL BE SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- C. REMOVAL OF NON-40D BEARING CONSTRUCTION AND PARTITIONS, INCLUDING BUT NOT LIMITED TO: WALLS, PARTITIONS, NON-STRUCTURAL COMPONENTS I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTRACTOR SHALL ARCHITECT PROVIDE A WRITTEN REQUEST FOR DISCUSSION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-COMPLIANCE WITH REQUEST PRIOR TO REMOVAL OF ANY WORKER INDICATES CONTRACTOR'S BETTER UNDERSTANDING THAT THE LOAD BEARING OF SUCH STRUCTURAL WORK IS BEING CARRIED UNDER THIS CONTRACT.
- D. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DESIGN LOADS AND TO RESIST THE DESIGN LOADS AND TO RESIST THE DESIGN LOADS.
- E. PATCH ALL FINISHES TO MATCH ADJACENT EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, CARPETING, PANELING, PAINT, ETC. CONTRACTOR SHALL MATCH ALL FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. PER THE FINISH SCHEDULE TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED TO BE APPLIED.
- F. PATCH EXISTING WALLS, GYPSUM DRYWALL, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UPRIGHT WALL. PATCH ALL EXPOSURE OF REINFORCING BARS TO MATCH EXISTING WITH THREE (3) COATS OF SPECKLING, SANDED AND LEAF IN A PAINT READY CONDITION.
- G. WHERE APPLICABLE, MATCH EXISTING FLOORS AS REQUIRED TO REPAIR OR PATCH FLOOR FINISHES. INSTALL REQUIRED TRANSITION PILES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER, MATCH EXISTING WHEREVER POSSIBLE.
- H. PROVIDE A MIN. 4" INSULATION, 4" MINIMUM THICKNESS, 4" MINIMUM MINIMUM TEMPERATURE OF 40°F (ADJUSTABLE), INSTALL THERMOSTAT WITH ONBOARD TEMPERATURE SENSOR ON NEAREST COLUMN AT 5' AFF.

1. EXISTING SIDEWALK AND CURBS TO BE REPAIRED AND UPGRADED.
2. EXISTING SIDEWALK RAMP AND CURB-OUT TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
3. EXISTING CONCRETE PANEL WALLS TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION. REFER STRUCTURAL FOR ADDITIONAL INFORMATION.
4. CUT AND REMOVE PORTION OF EXISTING CONCRETE PANEL WALL, AS REQUIRED FOR INSTALLATION OF NEW STOREFRONT SYSTEM.
5. EXISTING BUILDING COLUMNS; PROTECT DURING DEMOLITION AND CONSTRUCTION.
6. PROTECT PLUMBING UNITS AND MAIN FEEDER BRANCHES TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
7. EXISTING ACCESS DOORS TO REMAIN.
8. EDGE OF EXISTING CONCRETE PANEL WALLS.

GENERAL NOTES

PRC1120250870

KIMCO REALTY

4063 FACI TORIA MALL SE, SUITE F10
BELLEVUE, WASHINGTON. 98006

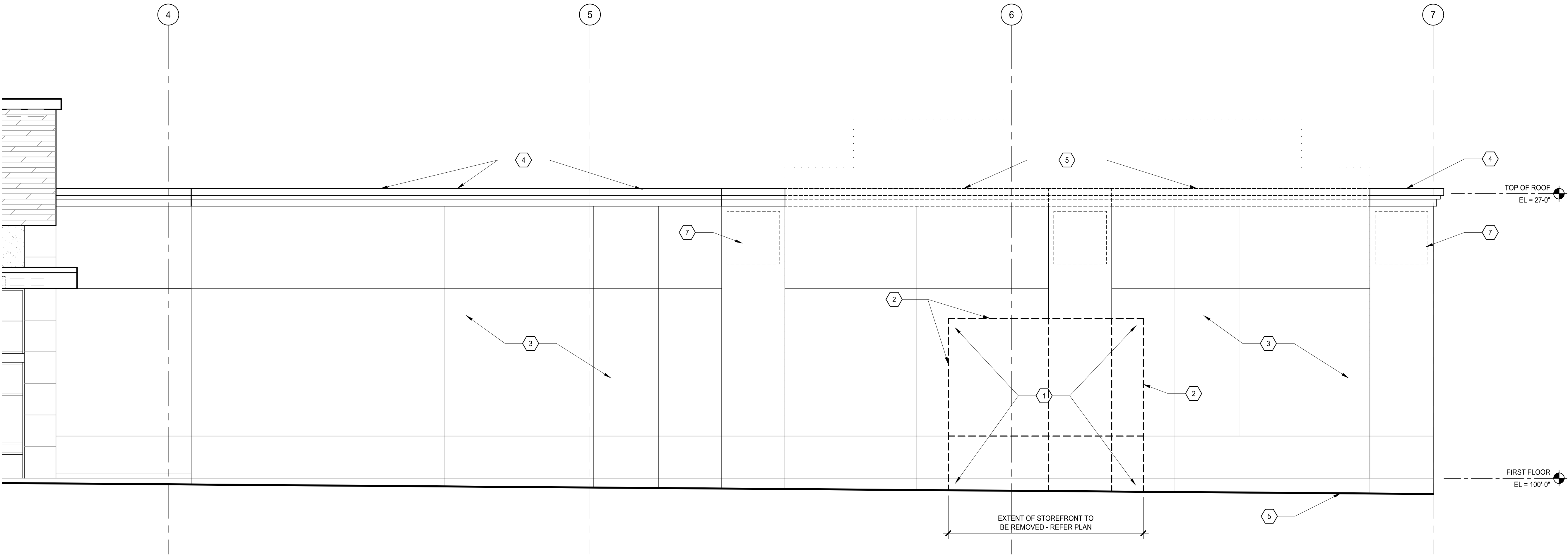
SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

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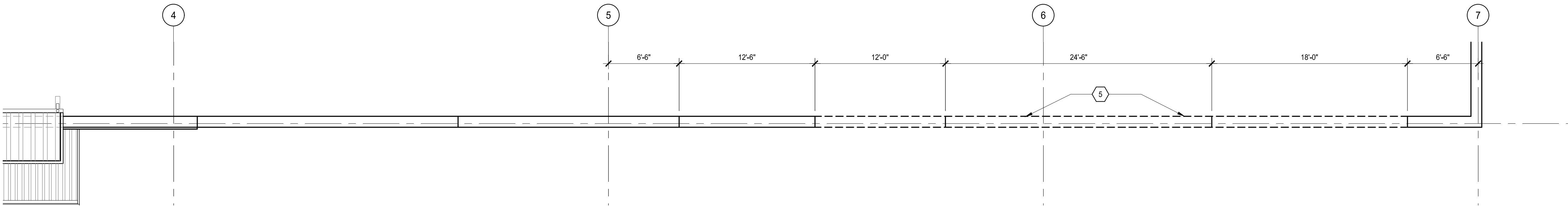
PROJECT NO.:	25027.00
PROJECT MGR.:	DR
DRAWN BY:	DH
CHECKED BY:	ML

OVERALL DEMOLITION PLAN

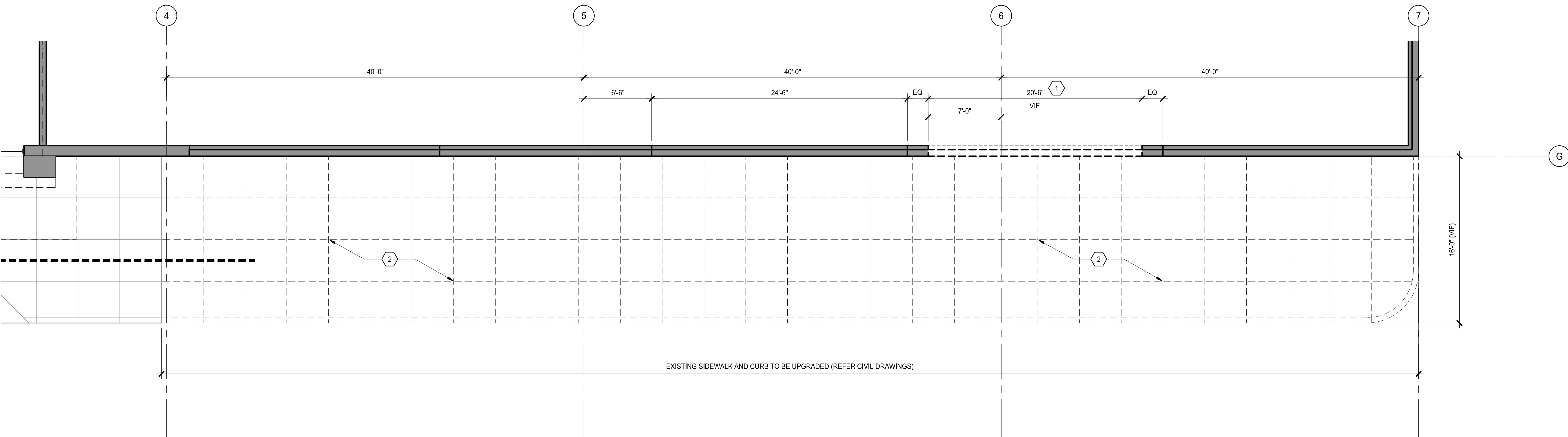
AD1.01



3 ENLARGED ELEVATION - DEMO
Scale: 3/16" = 1'-0"
NORTH



2 ENLARGED ROOF PLAN - DEMO
Scale: 3/16" = 1'-0"
NORTH



1 ENLARGED DEMO PLAN
Scale: 1/8" = 1'-0"
NORTH

GENERAL NOTES

1. REFER TO G0.0 FOR SYMBOLS AND GENERAL PROJECT NOTES.
2. REFER TO G SERIES SHEETS FOR CODE & ACCESSIBILITY STANDARDS.
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4. REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
5. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
6. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
7. FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
8. FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.
9. ALL CEILING FIXTURES AT EXISTING SPACES TO REMAIN AS IS.

DEMOLITION NOTES

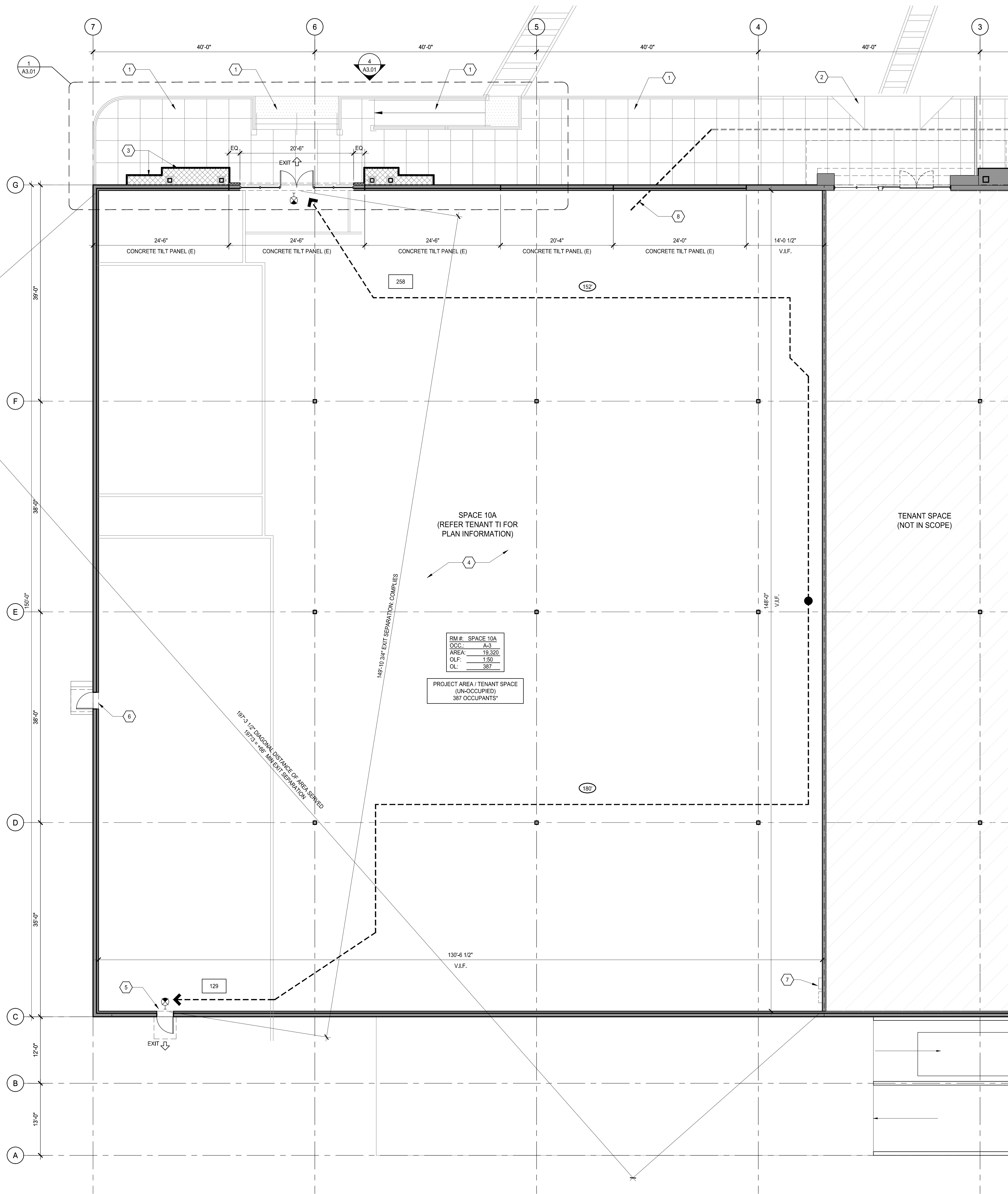
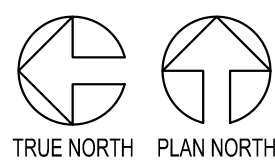
1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH ALL CONSTRUCTIONS AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
2. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
3. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIGHER COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
4. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
5. PATCH ALL FINISHES TO MATCH ADJACENT EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. PER THE FINISH SCHEDULE TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
6. PATCH EXISTING WALLS, GYPSUM DRYWALL, OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
7. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

DEMOLITION KEYNOTES

1. EXTENT OF EXISTING STOREFRONT SYSTEM TO BE DEMOLISHED AND REMOVED; PATCH AND REPAIR EXISTING CONCRETE SLAB AND FOOTING ALONG BUILDING PERIMETER.
2. PROVIDE SMOOTH EDGES AT CUT OPENINGS IN CONCRETE PANELS FOR NEW STOREFRONT; NO ROUGH EDGES TO REMAIN.
3. EXISTING CONCRETE PANEL WALLS TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
4. EXISTING PRECAST COPING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
5. REMOVE PORTION OF EXISTING COPING. PROTECT BASE PLATE AT TOP OF WALL. PREP AND CLEAN FOR NEW WORK.
6. PREP EXISTING SIDEWALK FOR NEW SIDEWALK. SEE CIVIL FOR ADDITIONAL INFORMATION.
7. REMOVE EXISTING GLAZED TILE WORK; PATCH & FILL AND PREP FOR NEW PAINT.

DESCRIPTION		NO.		DATE	
ISSUED FOR COMMERCIAL T.I.					

1 FLOOR PLAN (SPACE 10A)
Scale: 3/16" = 1'-0"



The contractor shall obtain an over-the-counter utility repair permit to install the new sanitary sewer stub as depicted.

GENERAL NOTES

- REFER TO G0.0 FOR SYMBOLS AND GENERAL PROJECT NOTES.
- REFER TO G SERIES SHEETS FOR CODE & ACCESSIBILITY STANDARDS.
- GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE; THIS DOCUMENT SET IS COMPLEMENTARY; NOTES ON OTHER SHEETS MAY HAVE BEARING/ APPLICATION TO WORK SHOWN ON THIS SHEET.
- THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOB SITE.
- CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- ALL WORK SHALL MEET LOCAL CODES AND ORDINANCES.
- ALL COMPLIANCE CARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALL, CEILINGS, AND FLOORS (IF REQUIRED).
- ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (DECAY RESISTANT).
- IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR ARCHITECT IN WRITING OF SUCH OMISSIONS, ERRORS, OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK, OR ACCEPT FULL RESPONSIBILITY FOR COSTS TO RECTIFY SAME.
- TYPICAL DETAILS OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
- ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAMING.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
- ALL EXIT DOORS TO BE OPERABLE FROM INSIDE THE BUILDING WITHOUT KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- ALL EQUALS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- BIDDER DESIGN WORK TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- MANUALLY OPERATED FLUSH BOLTS ARE NOT PERMITTED AND NO MORE THAN ONE OPERATION FOR THE UNLATCHING IS ALLOWED.
- ALL NEW CONCRETE MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
- REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
- FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- FOR MASONRY WALLS-LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.

KEYNOTES

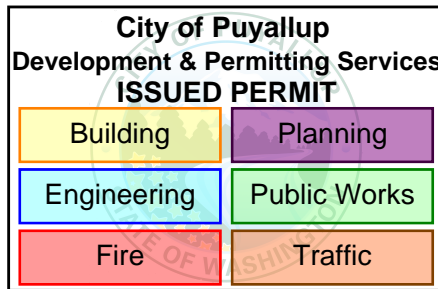
- NEW SITEWORK, REFER 1/A3.01 AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING CURB RAMP TO REMAIN.
- NEW EXTERIOR ENTRY FEATURE, REFER A3.01 FOR ADDITIONAL INFORMATION.
- NEW TENANT SPACE BUILD-OUT UNDER SEPARATE PERMIT.
- EXISTING EXIT DOOR.
- EXISTING ACCESS DOOR.
- EXISTING ELECTRICAL PANEL.
- SEWER LINE EXTENSION, STUB UP TO CLEAN OUT INSIDE TENANT SPACE. COORD WITH TENANT.

LIFE AND LIFE SAFETY NOTES

- CONFIGURE FIRE DETECTION, INTERNAL ALARM AND CENTRAL REPORTING SYSTEMS IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION AND IN COMPLIANCE WITH THE GOVERNING EDITIONS OF ADA, ANSI AND THE BLDG. CODE. THE EQP. FURNISHED SHALL BE COMPATIBLE AND BE UL LISTED, FM APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY IN ACCORDANCE WITH THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS.
- ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS OF THE MOST RESTRICTIVE PREVAILING BUILDING CODE GOVERNING EDITION) FOR SMOKE DENSITY AND FLAME SPREAD.
- PROVIDE EMERGENCY EXIT / EGRESS ILLUMINATION AND SIGNAGE WHERE REQUIRED BY PREVAILING LOCAL JURISDICTION, BUILDING CODE, NFPA, OR NFPA (CURRENT EDITION).
- REFER TO FLOOR PLANS FOR SPECIFIC DIMENSIONS AND CLEARANCES.
- BUILDING IS FULLY SPRINKLED PER SECTION 903.3 NFPA13.
- COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH ELECTRICAL ENGINEER.
- PROVIDE EGRESS ILLUMINATION PER WSC 1006. EGRESS ILLUMINATION TO BE ON BACKUP POWER AT ALL AREAS WHERE TWO EXITS ARE REQUIRED. GENERAL POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. THE LIGHTING LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL REQUIRED IN, BUT NOT LIMITED TO, LANDINGS AT EXTERIOR EXIT DOORS.
- PROVIDE TACTILE EXIT SIGNAGE AT EACH EXIT DOOR TO AN EXIT PASSAGEWAY, AND EXIT DISCHARGE AS REQUIRED BY CODE.
- COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH GENERAL CONTRACTOR.

LIFE SAFETY CALCULATIONS (SPACE 10A)

- * BASED OFF OF 387 OCCUPANTS
(OCCUPANCY CALCULATIONS SHOWN FOR REFERENCE ONLY. THIS PERMIT SUBMITTAL HAS NO OCCUPANTS OTHER THAN ON-SITE CONTRACTING STAFF)
- PER IBC 1005.3.2
EXIT WIDTH:
• REQUIRED DOOR EXIT WIDTH: 387 x 0.20' = 77.4"
• PROVIDED DOOR EXIT WIDTH: 60" x 32' = 92"
- PER IBC TABLE 1006.3.2
EXITS:
• 2 REQUIRED, 2 PROVIDED
- A. PER IBC 1007.1.1.2, WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FOR ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE THIRD OF THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED.
- OVERALL BUILDING DIAGONAL: 197'-3"
• MINIMUM REQUIRED EXIT SEPARATION: 66'-0"
• EXIT SEPARATION PROVIDED: 150'-0"
- B. PER IBC, SECTION 1017.2, TABLE 1017.2, EXIT ACCESS TRAVEL DISTANCE IN A OCCUPANCY BUILDINGS SHALL NOT EXCEED 250 FT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
- EXIT PATH A: 152'
• EXIT PATH B: 177'
- C. GENERAL CONTRACTOR SHALL VERIFY EXISTING FIRE EXTINGUISHER CONDITION AND LOCATIONS AND UPGRADE AS NEEDED TO MEET THE REQUIREMENTS OF THE 2021 INTERNATIONAL FIRE CODE AND NFPA 10:
- FIRE EXTINGUISHERS SHALL BE MOUNTED ALONG EGRESS PATHS WHEREVER POSSIBLE WITH TOPS AT NO MORE THAN 80" A.F.F. AND BOTTOMS AT NO LESS THAN 4" A.F.F.2. THE MINIMUM FIRE EXTINGUISHER RATING SHALL BE 2A-10B C FOR LIGHT HAZARD OCCUPANCIES (SUCH AS MERCANTILE).
 - THE MINIMUM FIRE EXTINGUISHER RATING SHALL BE 4A-10B C FOR HIGH HAZARD OCCUPANCIES (SUCH AS HIGH-PILE STORAGE).
 - THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER SHALL BE 75 FT.
 - EACH UNIT OF "A" MAY COVER UP TO 3,000 SQ. FT. OF FLOOR AREA IN ORDINARY HAZARD OCCUPANCIES, AND UP TO 1,000 SQ. FT. OF FLOOR AREA IN HIGH HAZARD OCCUPANCIES.
 - ADDITIONAL EXTINGUISHERS MAY BE REQUIRED DUE TO SPECIFIC HAZARDS AS OUTLINED IN SECTION 906 OF THE 2021 INTERNATIONAL FIRE CODE. VERIFY ON SITE WITH INSPECTOR AS NEEDED.



PRCTI20250870

KIMCO REALTY

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT

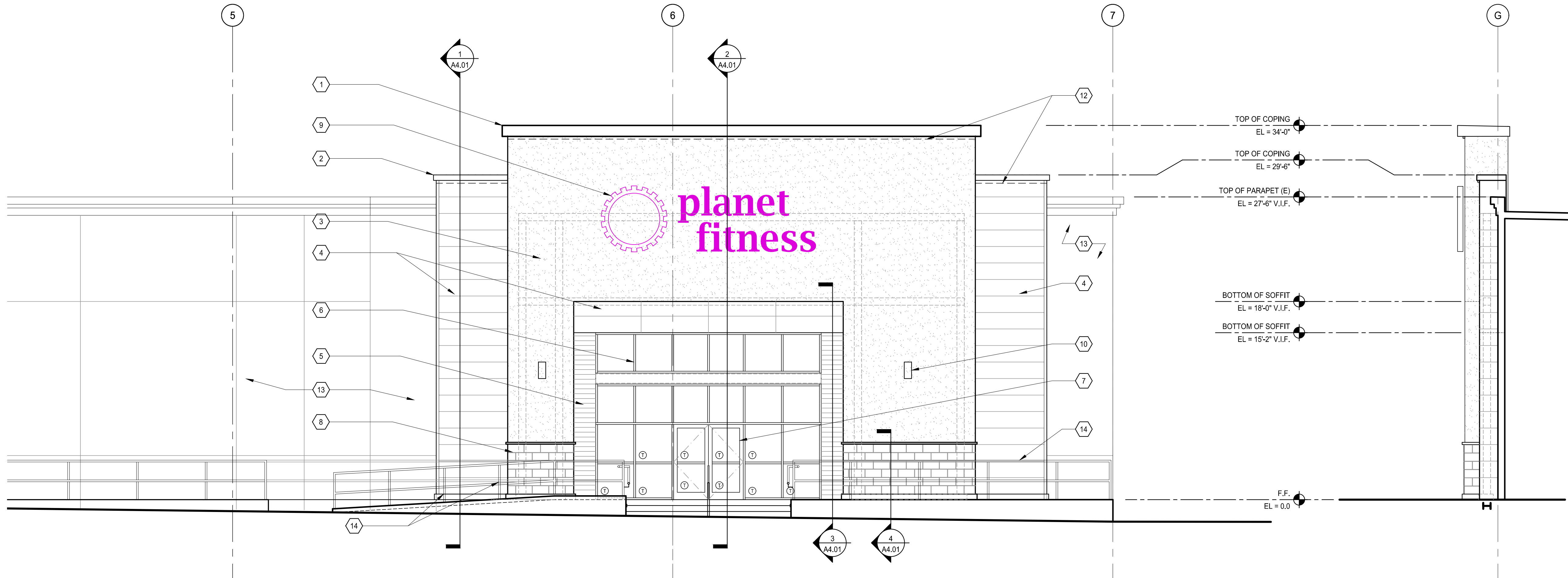
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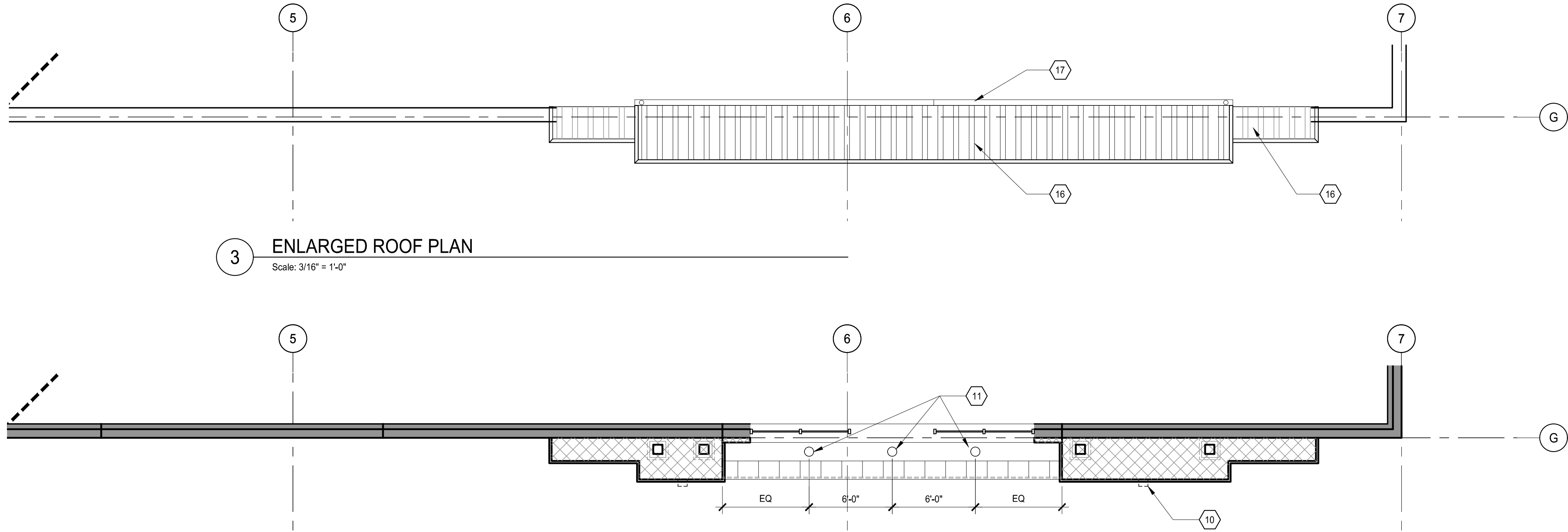
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FLOOR PLAN
(SPACE 10A)

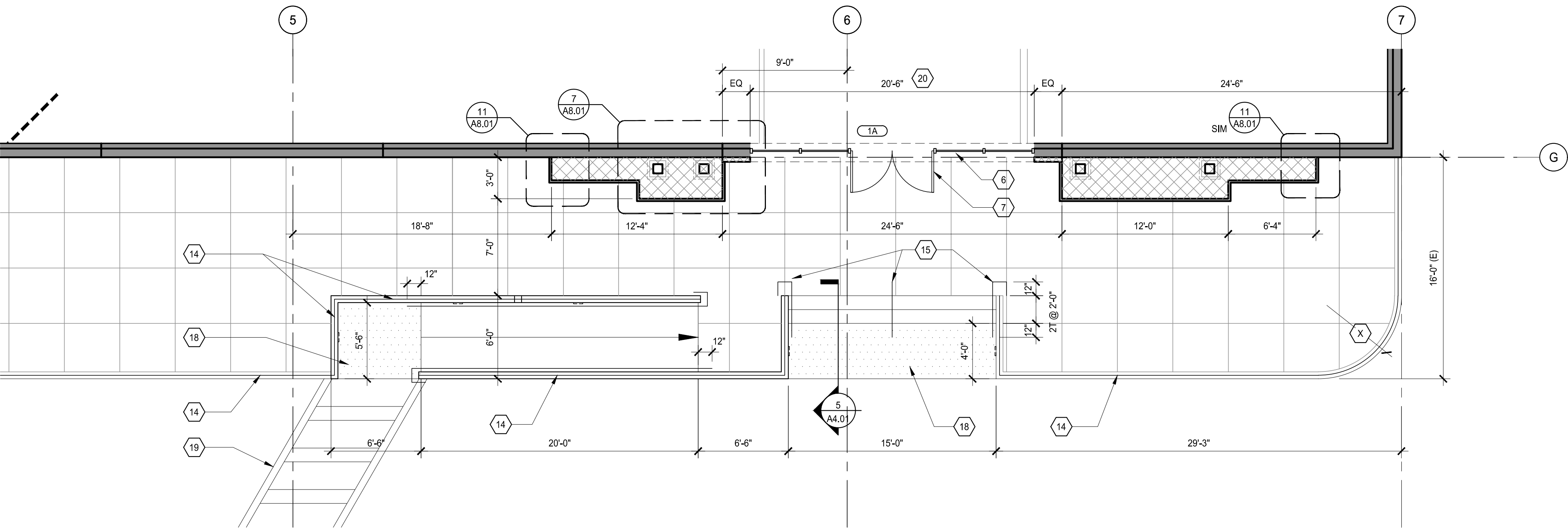
A2.01



5 ENLARGED ELEVATION - NORTH
Scale: 3/16" = 1'-0"



2 ENLARGED REFLECTED CEILING PLAN
Scale: 3/16" = 1'-0"



1 ENLARGED PLAN - EAST (ENTRY)
Scale: 3/16" = 1'-0"

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- ALL WORK SHALL MEET LOCAL CODES AND ORDINANCES.
- ALL MAILING SHALL COMPLY WITH MAILING SCHEDULE OF THE IBC REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- COMPLIANCE CARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALL, CEILING, AND FLOORS (IF REQUIRED).
- ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (DECAY RESISTANT).
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- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
- ALL EXIT DOORS TO BE OPERABLE FROM INSIDE THE BUILDING WITHOUT KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
- PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
- FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4'-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- FOR MASONRY WALLS: LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.
- ALL CEILING FIXTURES AT EXISTING SPACES TO REMAIN AS IS.

SAFETY GLAZING IN WINDOWS:

- SAFETY GLAZING IN WINDOWS IS REQUIRED IF THE INDIVIDUAL PANEL MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 - EXPOSED AREA OF THE INDIVIDUAL PANEL IS GREATER THAN 9 SQUARE FEET.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES FROM THE FLOOR.
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR.
 - THERE IS A WALKING SURFACE WITHIN 36 INCHES, MEASURED HORIZONTALLY, FROM THE GLAZING.
- EXCEPTIONS:
 - DECORATIVE GLAZING.
 - WHERE A HORIZONTAL RAIL, CAPABLE OF RESISTING 50 POUNDS PER LINEAL FOOT OF FORCE WITHOUT MAKING CONTACT WITH THE GLASS IS INSTALLED
 - ON THE ACCESSIBLE SIDE OF THE GLAZING 34-38 INCHES ABOVE THE WALKING SURFACE.
- GLAZING AND WET SURFACES: GLAZING IN WALLS, ENCLOSURES, OR FENCES AROUND SHOWERS, BATHTUBS, POOLS, HOT TUBS, SPAS, SALINAS, AND STEAM ROOMS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES FROM THE STANDING OR WALKING SURFACE IS REQUIRED TO BE SAFETY GLAZING.
- SAFETY GLAZING IS NOT REQUIRED WHERE THE GLAZING IS MORE THAN 60 INCHES, HORIZONTALLY, FROM THE EDGE OF THE WATER.
- WHERE SAFETY GLAZING IS REQUIRED EACH PANE MUST BE PROVIDED WITH A MANUFACTURER'S LABEL DEFINING THE TYPE OF GLASS AND SAFETY GLAZING STANDARD TO WHICH IT COMPLIES. THE LABEL MUST BE PERMANENTLY ETCHED, FIRED, OR EMBOSSED ON THE GLASS OR BE A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.
- GLAZING USED IN DOORS AND GLAZING LOCATED WITHIN A 24-INCH ARC OF THE NEAREST VERTICAL EDGE OF A DOOR AND UP TO 60 INCHES ABOVE FINISH FLOOR AND AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL HAVE APPROVED SAFETY GLAZING MATERIAL AS DEFINED BY THE PREVAILING BUILDING CODE.

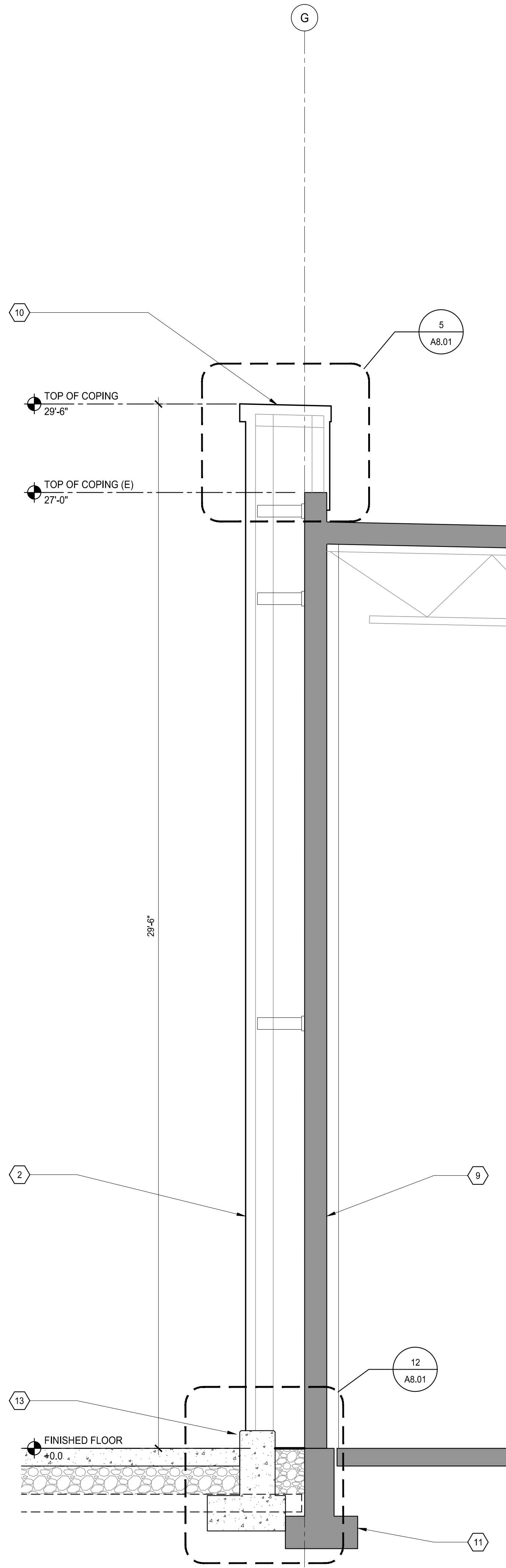
KEYNOTES

- METAL COPING (FEATURE); COLOR
- METAL COPING (SIDES); COLOR
- EIFS: (B.O.D.) STO THERM C) EPS; TEXTURED FINISH: PEARL (60 10622).
- FIBER CEMENT PANEL: (B.O.D.) NICHHA; TUFFBLOCK, STEEL.
- FIBER CEMENT PANEL: (B.O.D.) NICHHA; VINTAGEWOOD, CEDAR.
- STOREFRONT: (B.O.D.) KAWNEER; TRIFAB VERSAGLAZE 601T, CLEAR ANODIZED FINISH.
- DOORS: (B.O.D.) KAWNEER; TRIFAB VERSAGLAZE 601T, MATCH STOREFRONT (HARDWARE BELOW).
- MANUFACTURED STONE VENEER WITH STONE WALL CAP: (B.O.) ELDORADO STONE; RIDGETOP 18, GRANITE SPIRE.
- EXTERIOR SIGNAGE (BY OTHERS), PROVIDE 3/4" FRT PLYWD BACKING, ONE (1) 20 AMP CIRCUIT FOR SIGNAGE AND WALL/SOFFIT LIGHTS.
- WALL-MOUNTED DOWNLIGHTS; (B.O.D.) SONNEMAN; FLAT BOX LED SCONCE, TEXTURED GRAY.
- DOWNLIGHTS AT SOFFIT: (B.O.D.) LITELINE; GENESIS 8 LED, 4000K.
- WALL-MOUNTED LINEAR STRIP LIGHTING: (B.O.D.) QTL; VERS-ENCAPSULATED (06), SATIN.
- EXISTING CONCRETE PANEL WALL TO REMAIN, PAINT TO MATCH STO: CLOUD (35237).
- PIPE RAIL AT SIDEWALK CURB, STAIRS, RAMP; KYNAR FINISH, COLOR: T8D.
- HANDRAILS; MATCH PIPE RAIL SPEC.
- STANDING SEAM METAL ROOF.
- METAL GUTTER.
- DETECTABLE WARNING SURFACE AT LANDINGS.
- CROSSWALK STRIPING.
- OPENING IN EXISTING CONCRETE PANEL WALL.

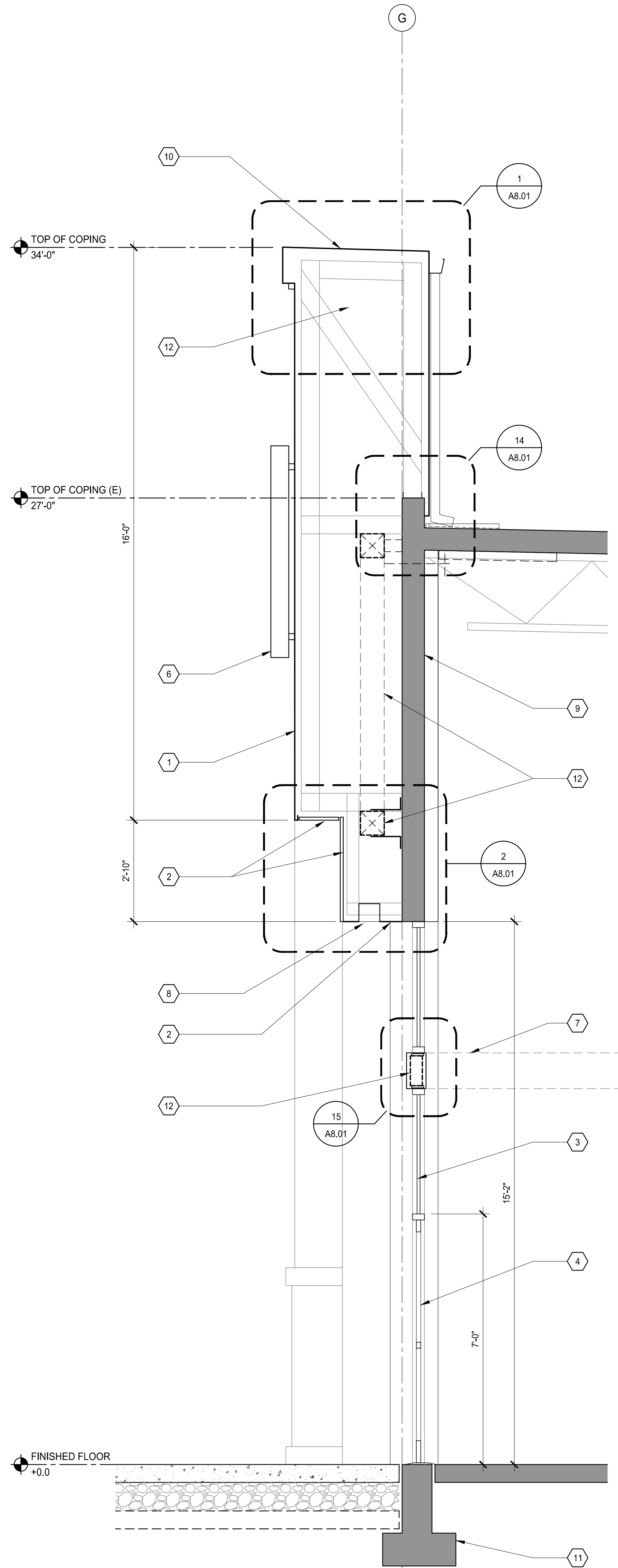
1A: SET E-S (NEW STOREFRONT - CONCEALED PANIC)

2 EA	INTERMEDIATE PIVOT	7226F INT	630	NES
2 EA	PIVOT SET	7226F SET	630	NES
1 EA	PANIC HARDWARE	CD-3347A-EO	626	VON DUPRIN
1 EA	PANIC HARDWARE	CD-3347A-NLOP	626	VON DUPRIN
1 EA	RM CYLINDER	AS REQUIRED	626	SCHLAGE
2 EA	MORTISE CYLINDER	AS REQUIRED	626	SCHLAGE
2 EA	OFFSET DOOR PULL	8190-0	630	NES
2 EA	OVERHEAD STOP	100S - HEAVY DUTY	630	GLY.
2 EA	SURFACE CLOSER	4050 EDA	689	LCN
1 SET	SEALS (PER DOOR SUPPLIER)	-	-	-
1 EA	DRIP CAP (PER DOOR SUPPLIER)	-	-	-
2 EA	DOOR SWEEP (PER DOOR SUPPLIER)	-	-	-
1 EA	THRESHOLD (PER DOOR SUPPLIER)	-	-	-

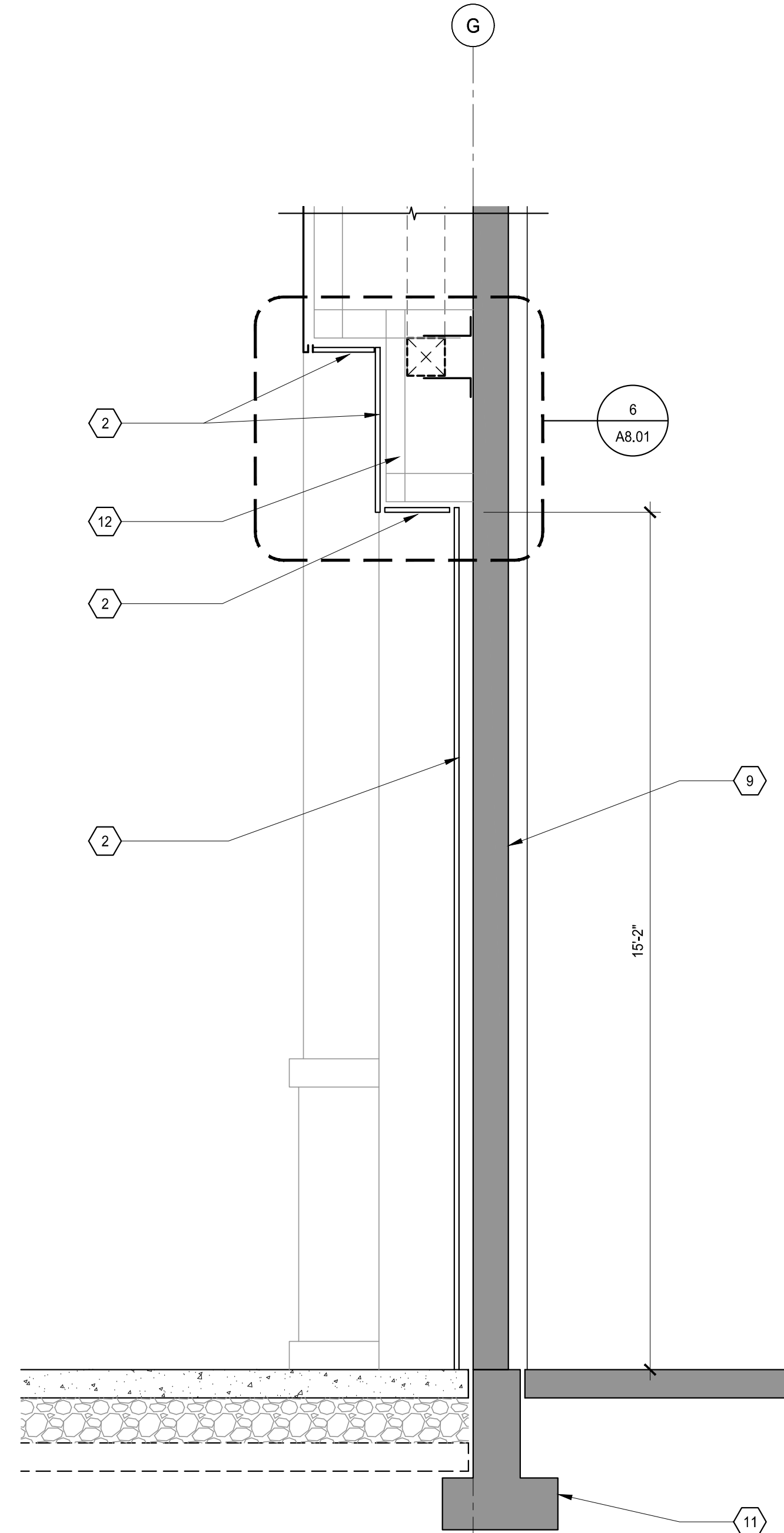
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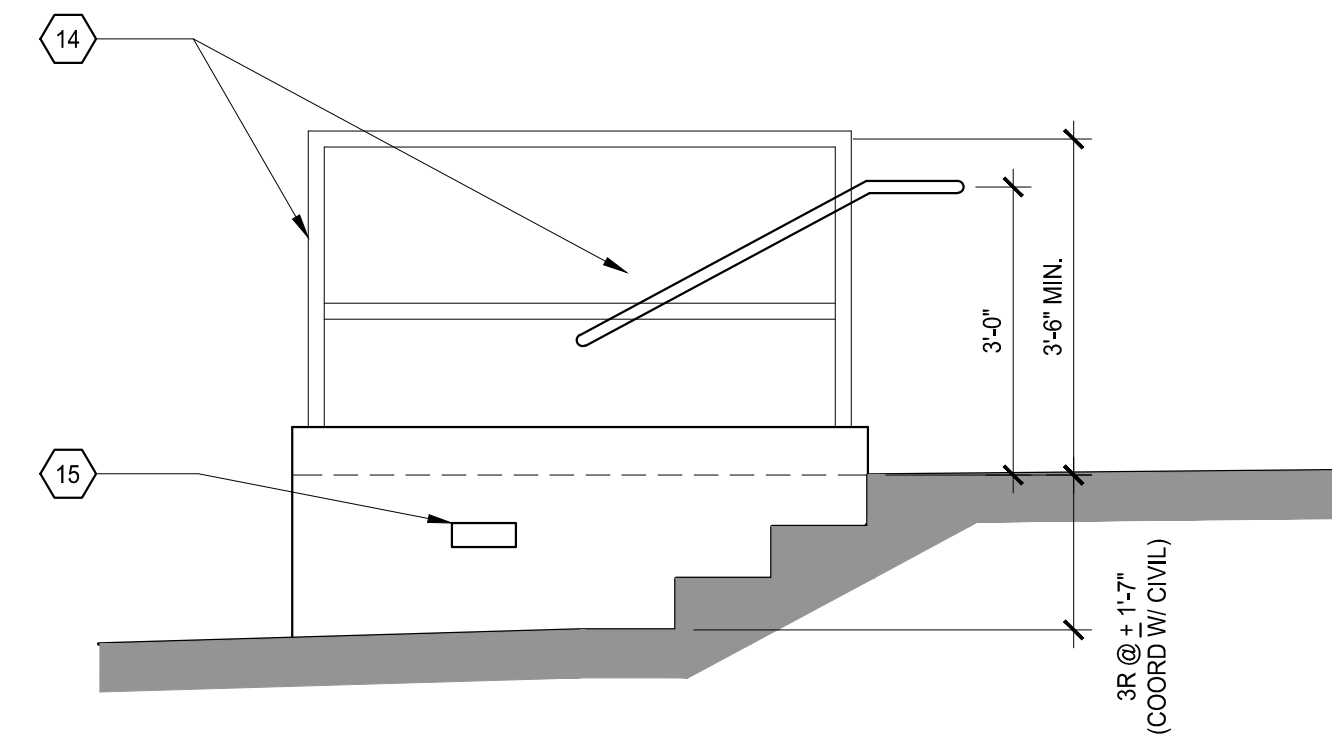
1 ENLARGED WALL SECTION
Scale: 1/2" = 1'-0"



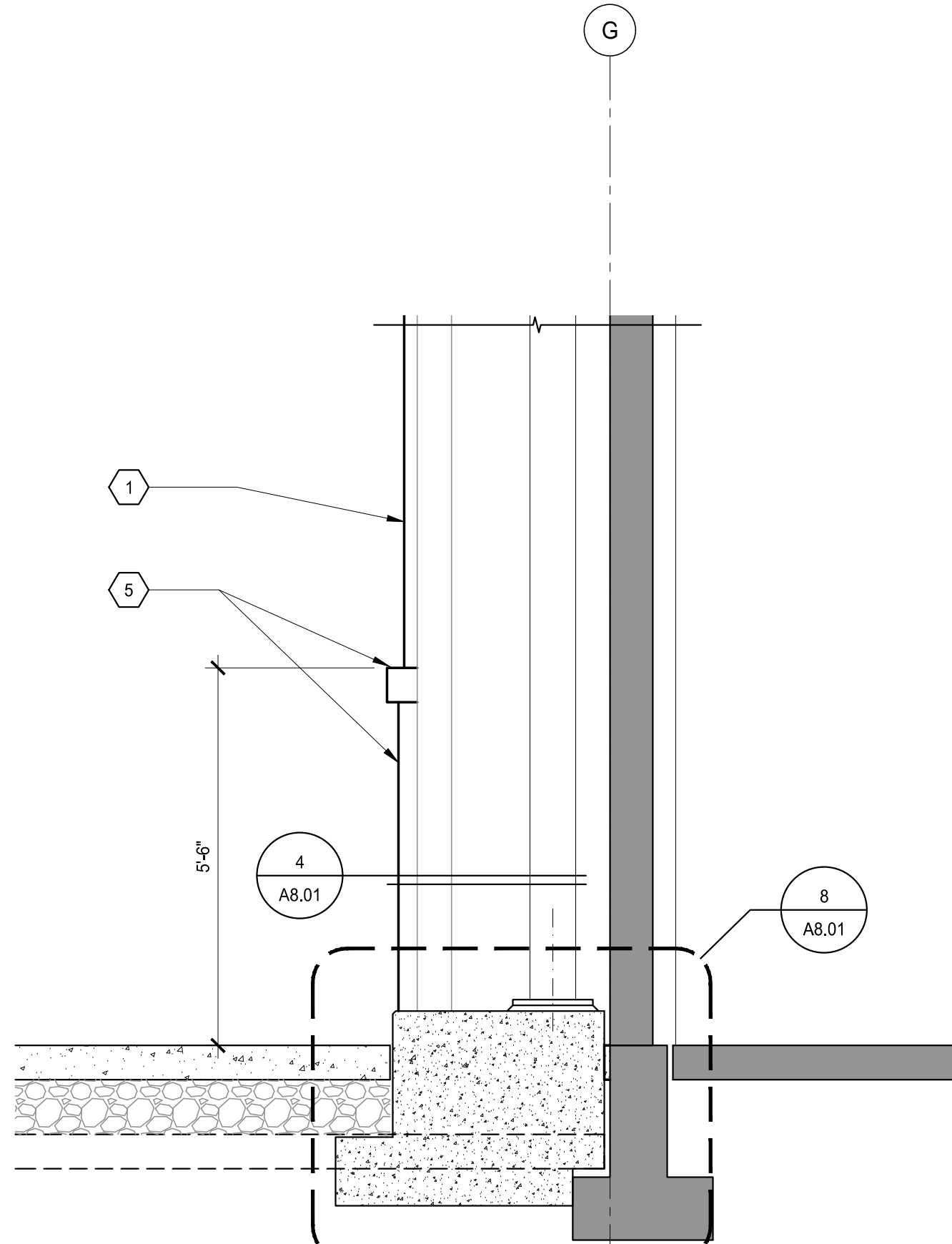
2 ENLARGED WALL SECTION
Scale: 1/2" = 1'-0"



3 ENLARGED WALL SECTION
Scale: 1/2" = 1'-0"



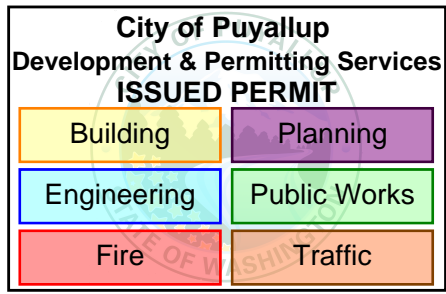
5 ENLARGED SECTION @ STAIRS
Scale: 1/2" = 1'-0"



4 ENLARGED WALL SECTION
Scale: 1/2" = 1'-0"

KEYNOTES

1. EXTERIOR INSULATION & FINISH SYSTEM.
2. FIBER CEMENT WALL PANEL.
3. CLEAR ANODIZED STOREFRONT.
4. CLEAR ANODIZED ENTRY DOORS.
5. MANUFACTURED STONE VENEER WITH STONE WALL CAP.
6. EXTERIOR SIGNAGE (BY OTHERS), PROVIDE 3/4" FRT PLYWD BACKING.
7. ENTRY VESTIBULE (BY TENANT).
8. RECESSED DOWNLIGHTS AT SOFFIT.
9. EXISTING CONCRETE PANEL WALL TO REMAIN.
10. STANDING SEAM METAL ROOF.
11. EXISTING FOOTING.
12. HSS STEEL FRAMED STRUCTURE, REFER STRUCTURAL SHEETS.
13. CONCRETE CURB AT BASE OF EIFS WALL ASSEMBLY (CART PROTECTION).
14. PIPE & HANDRAILS AT SIDEWALK CURB, STAIRS, RAMP; KYNAR FINISH, COLOR: TBD. (SEE CIVIL FOR ADDITIONAL INFO.)
15. RECESSED WALL LIGHTS; (B.O.D.) FOCUS INDUSTRIES, BRICK LIGHTS SL-06-BLT.



PRCTI20250870

KIMCO REALTY

4065 FACTORIA MALL SE, SUITE F10
BELLEVUE, WASHINGTON 98006

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

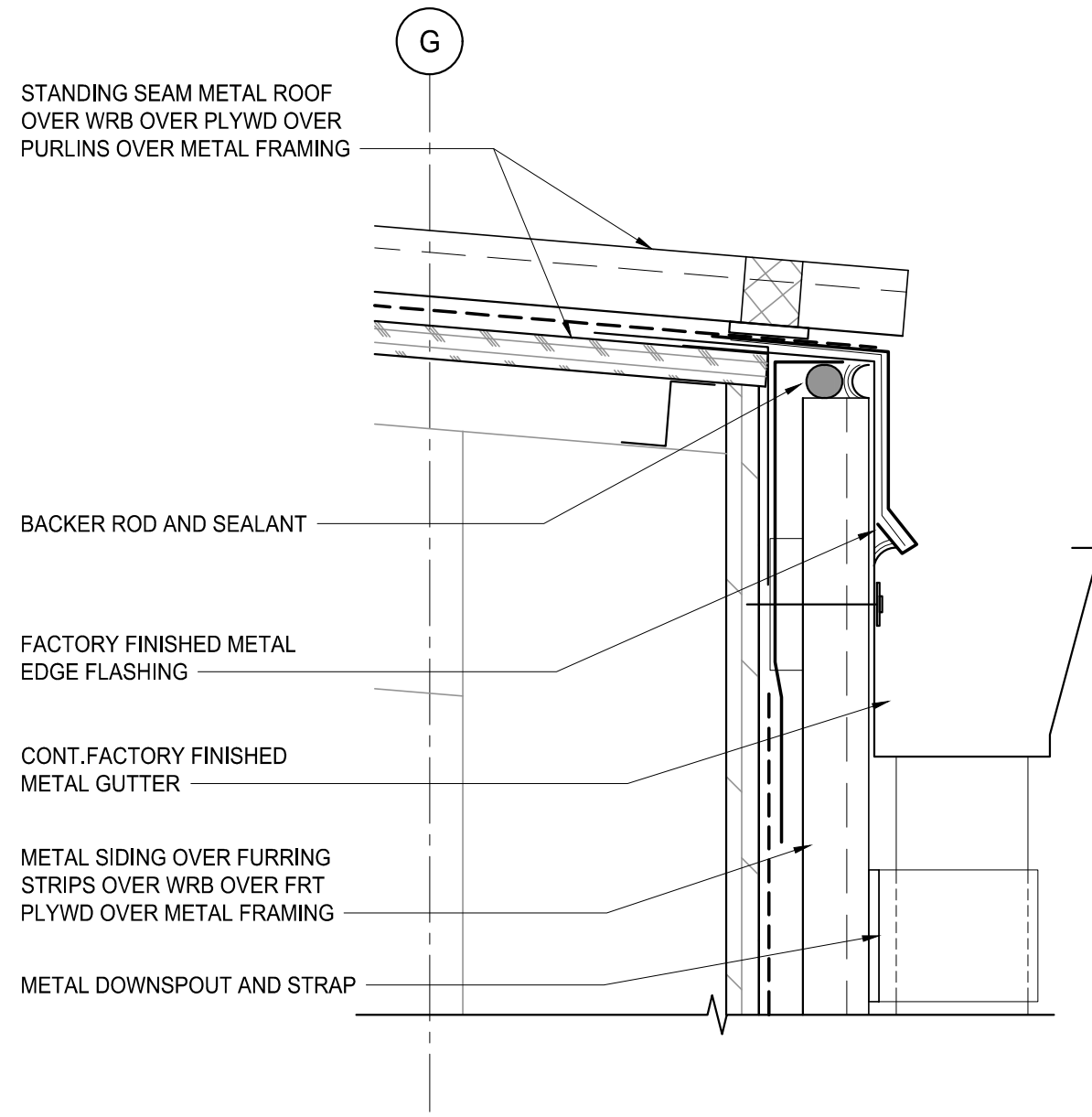
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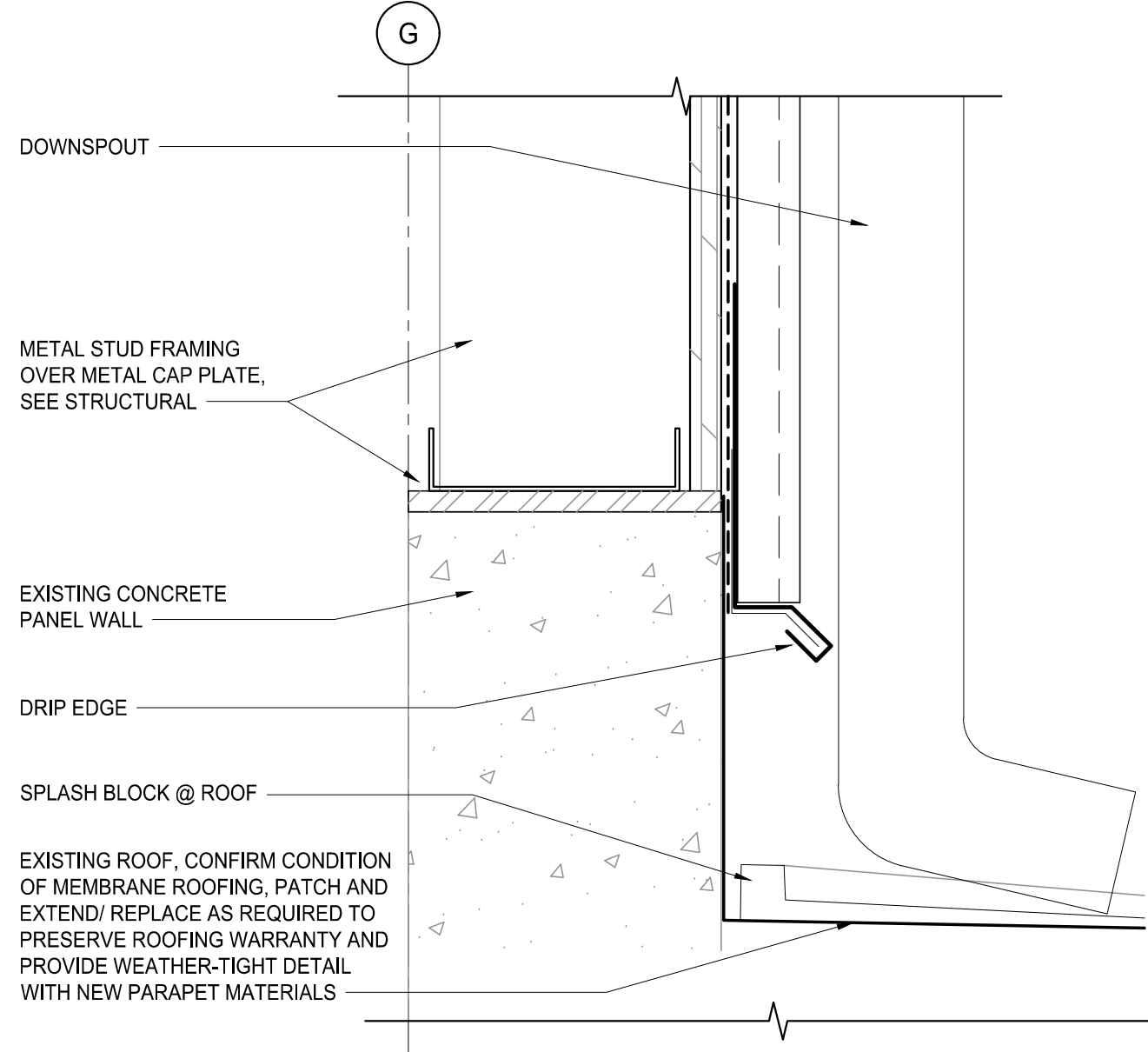
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PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

ENLARGED SECTIONS

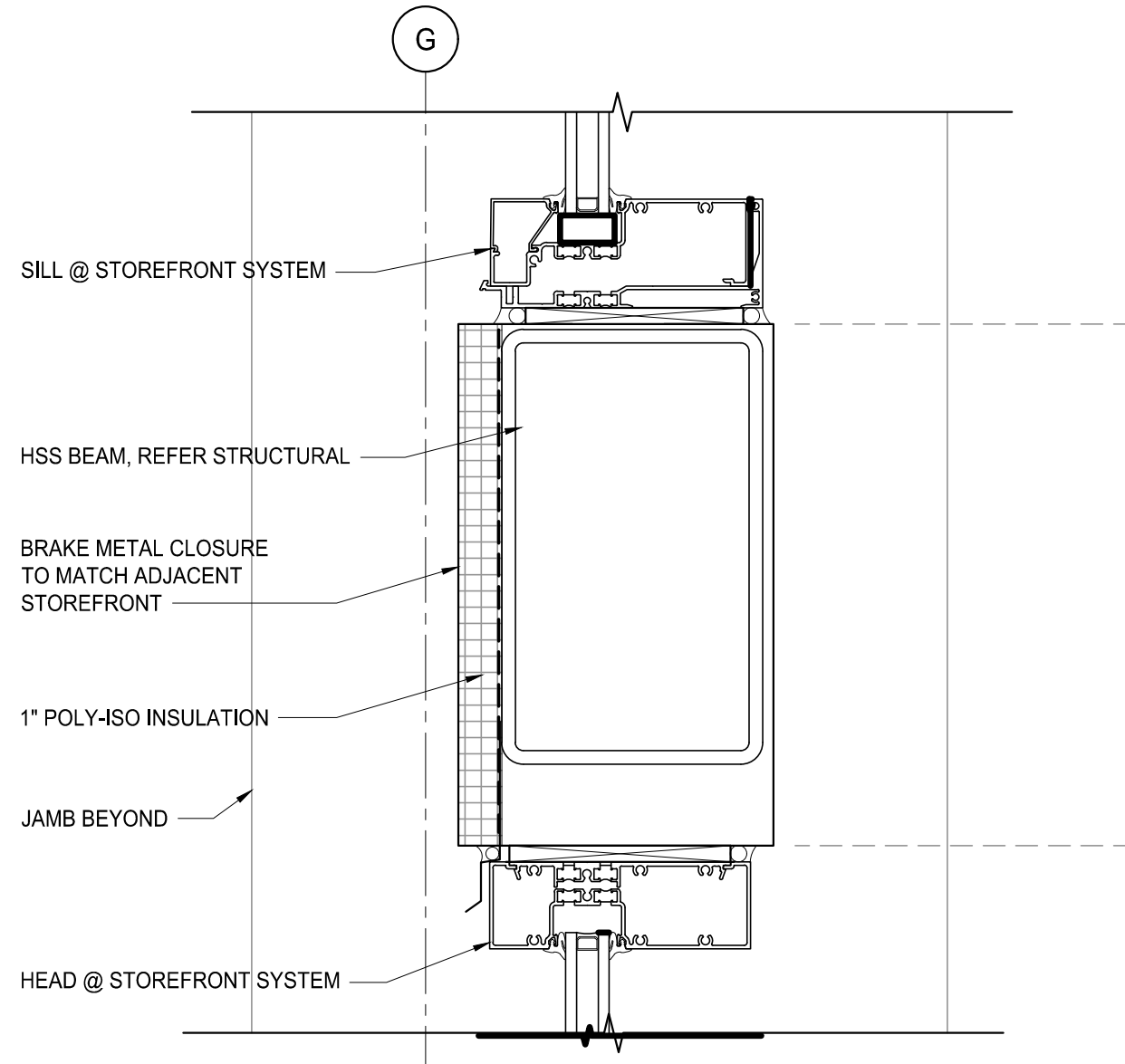
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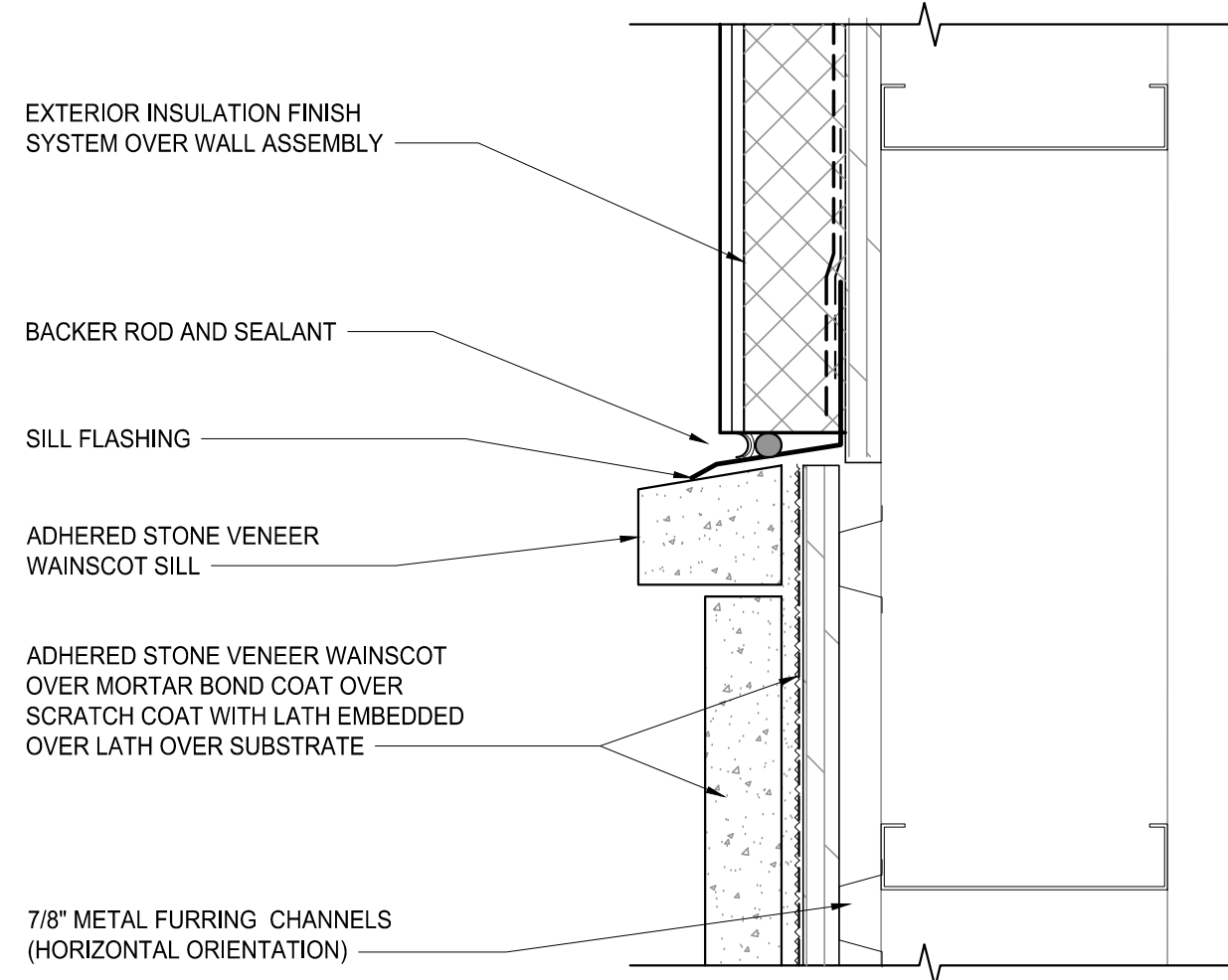
13 ROOF GUTTER DETAIL
3" = 1'-0"



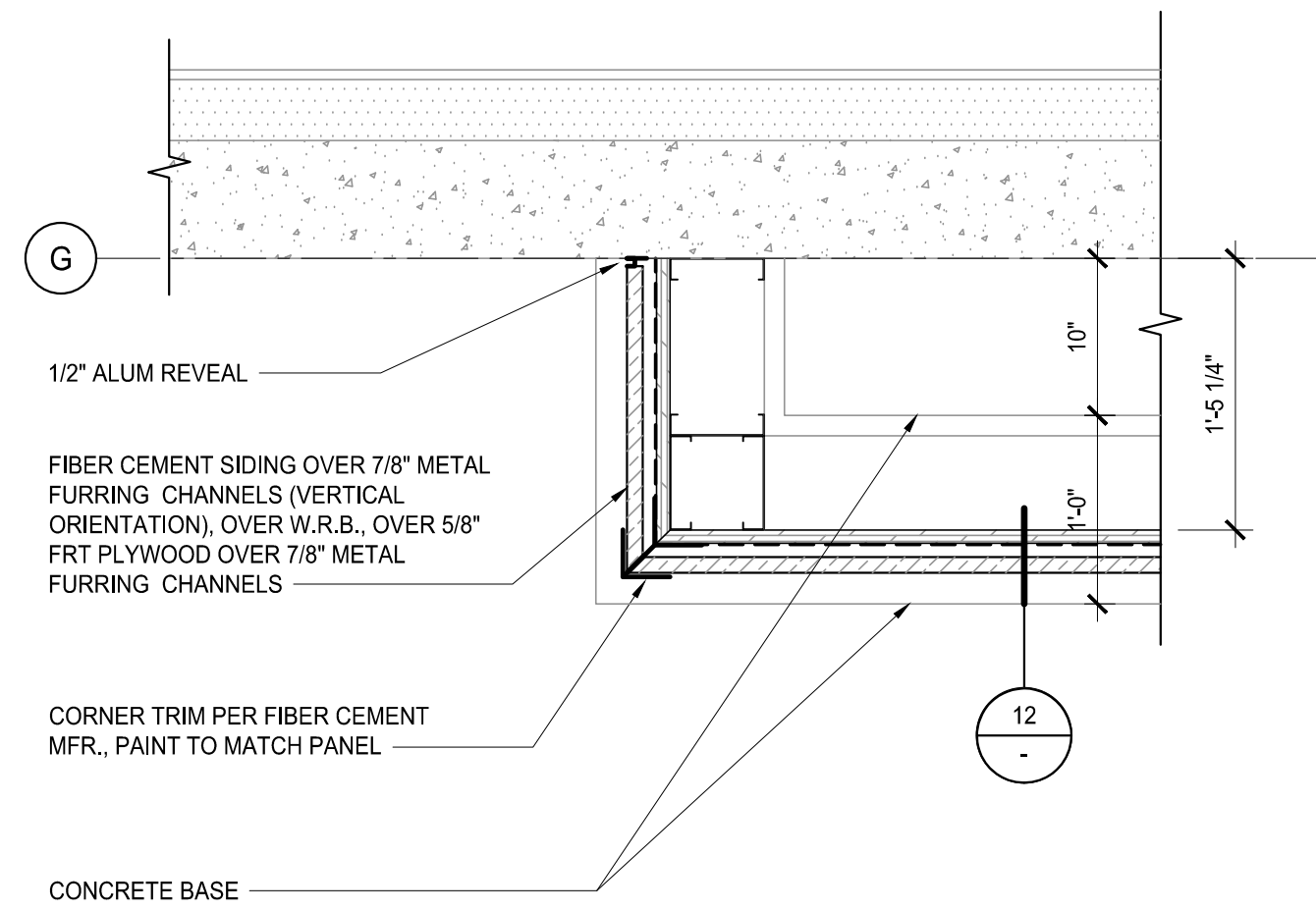
14 PARAPET CONNECTION
3" = 1'-0"



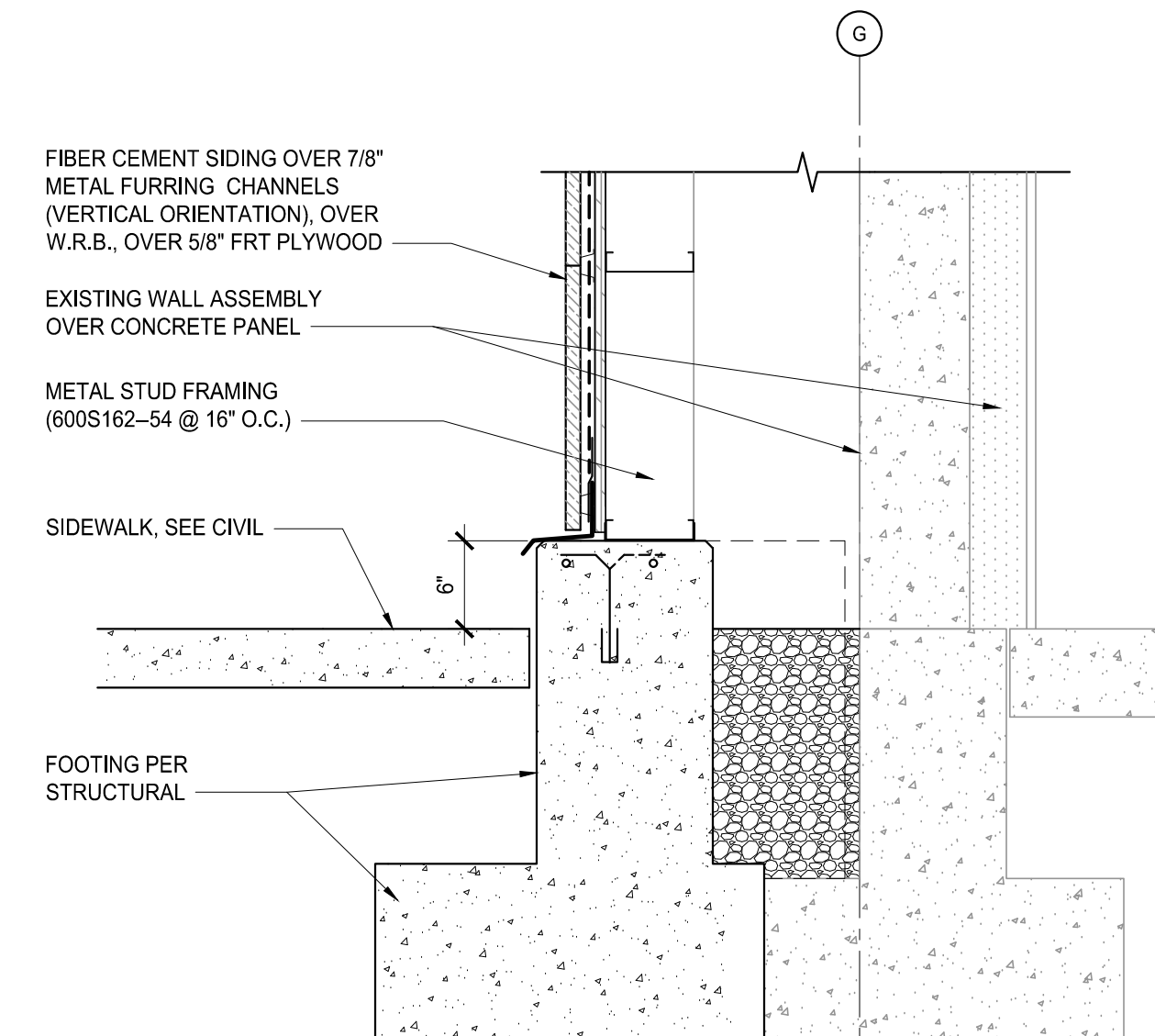
15 HSS SUPPORT AT STOREFRONT
3" = 1'-0"



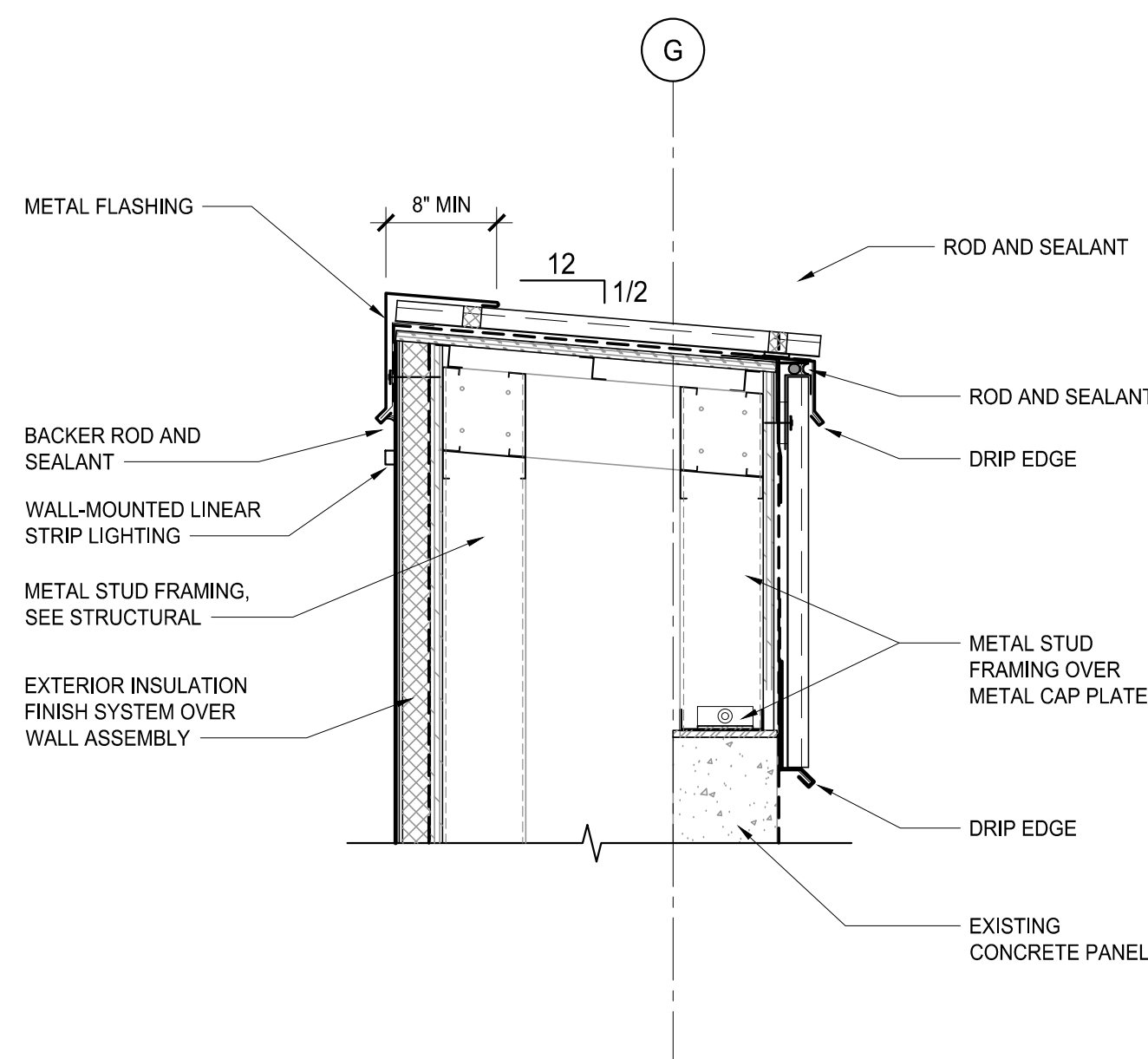
10 STONE VENEER SILL
3" = 1'-0"



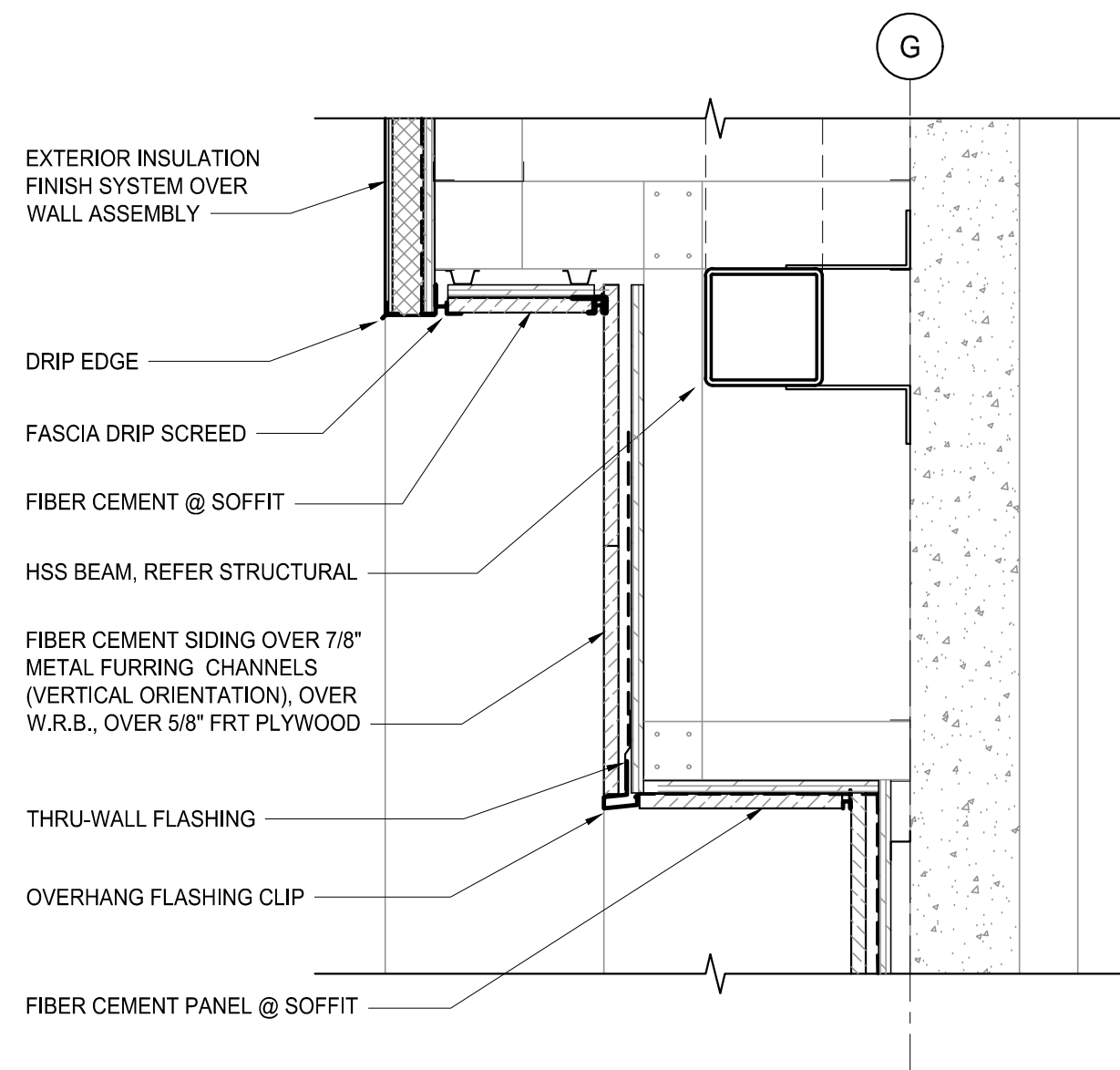
11 PLAN DETAIL @ BASE (FIBER CEMENT)
1" = 1'-0"



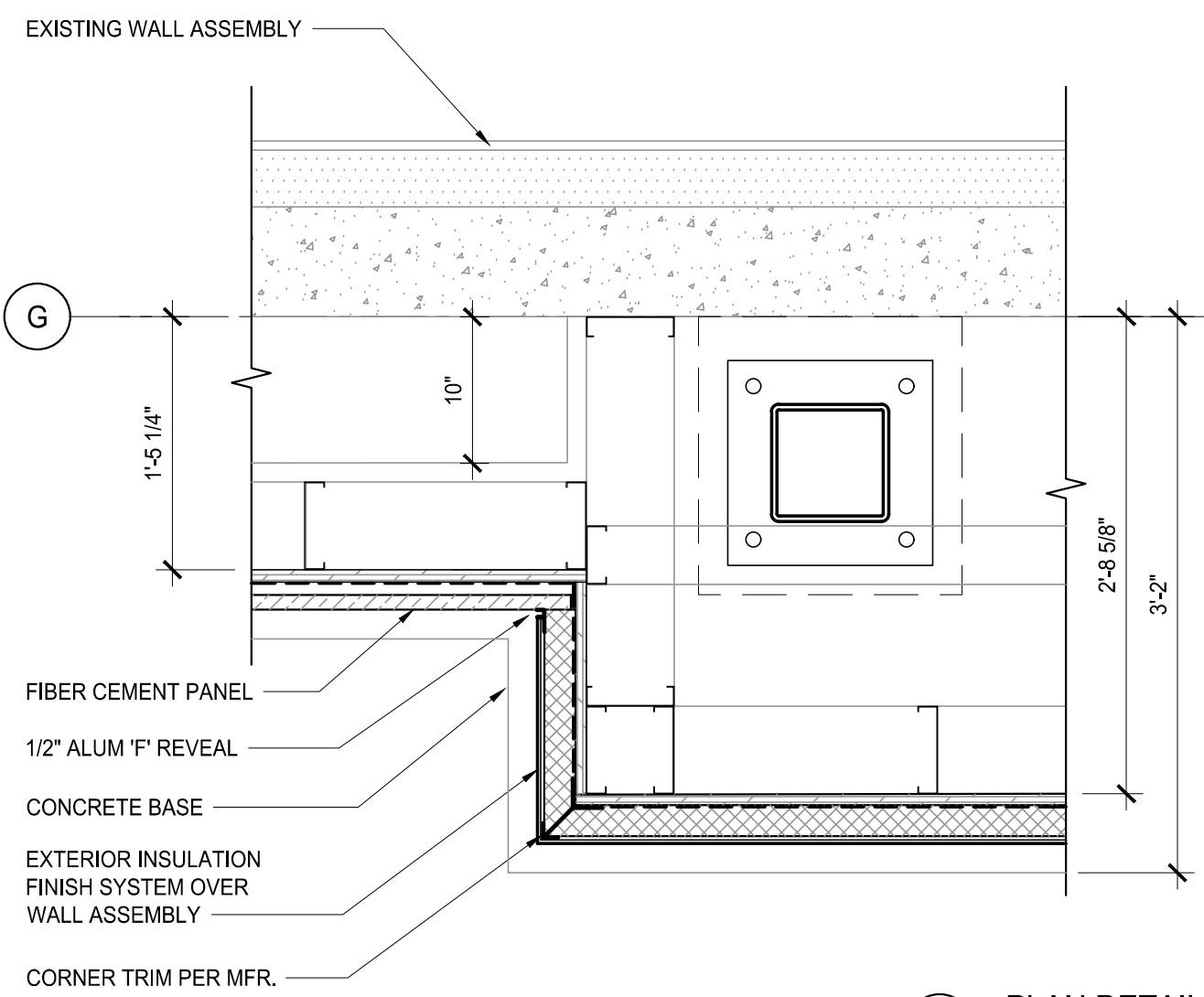
12 FIBER CEMENT PANEL BASE DETAIL
1" = 1'-0"



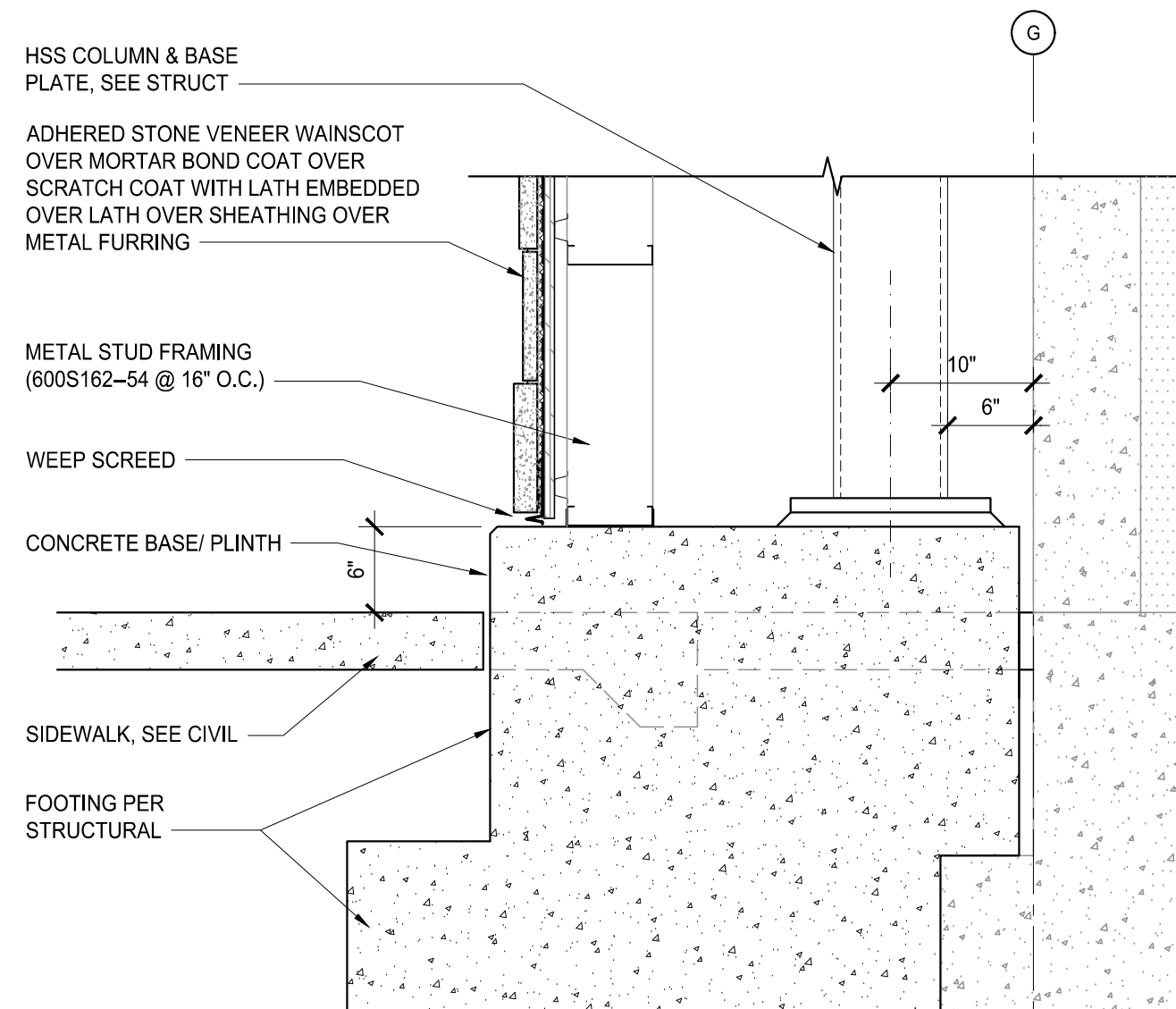
5 ROOF DETAIL (F.C.)
1" = 1'-0"



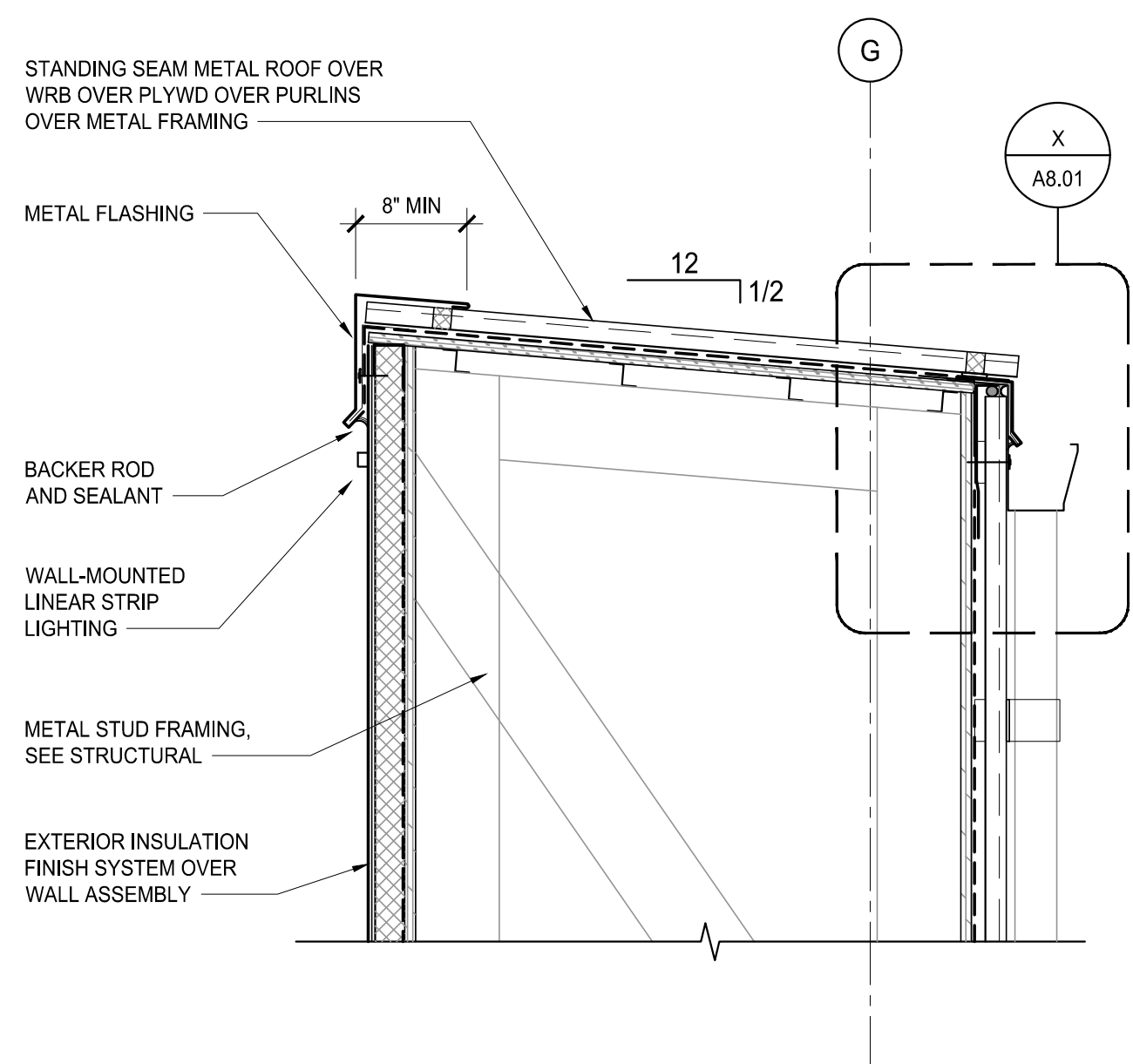
6 SOFFIT DETAIL
1" = 1'-0"



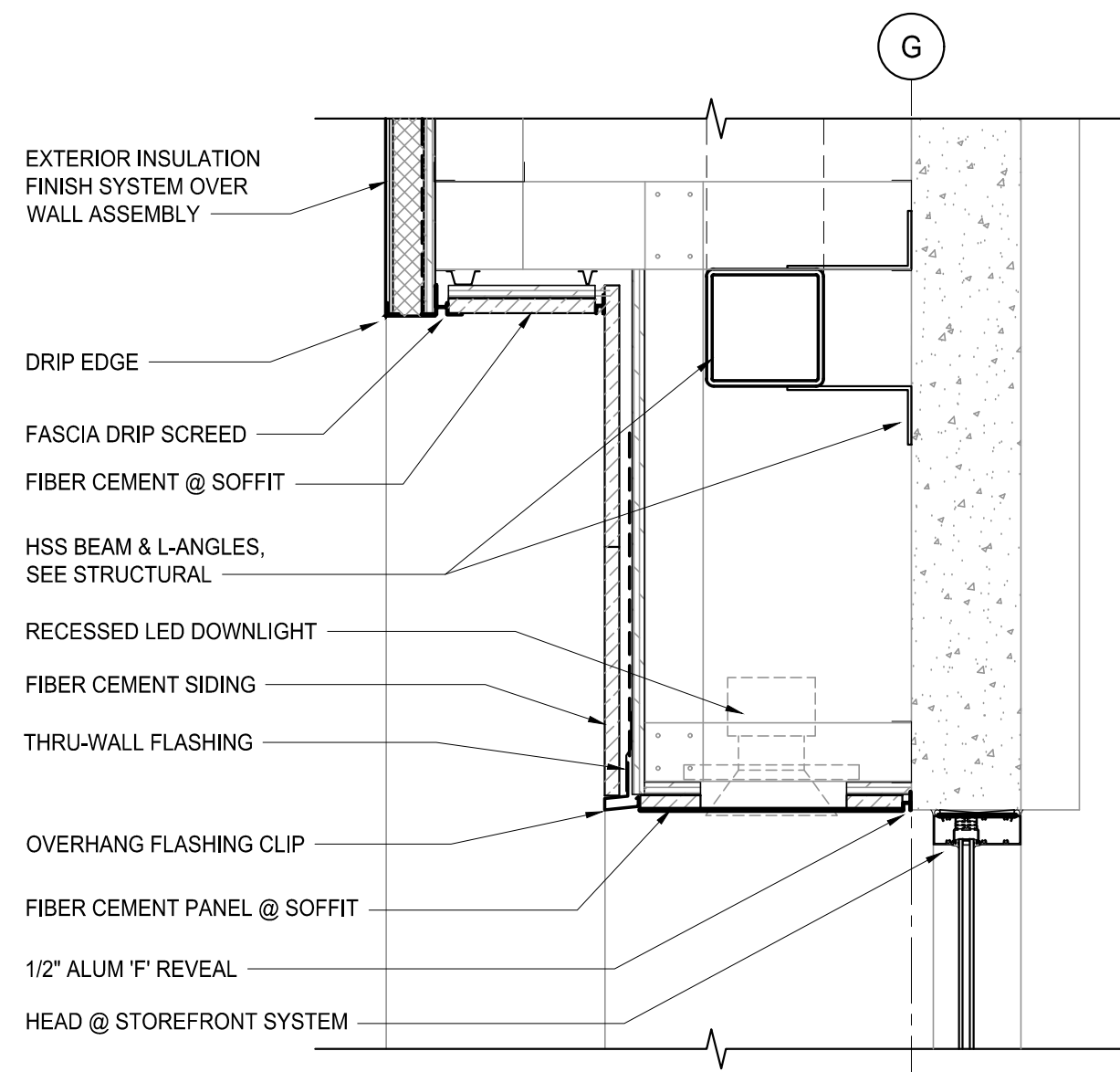
7 PLAN DETAIL @ BASE (EIFS/F.C.)
1" = 1'-0"



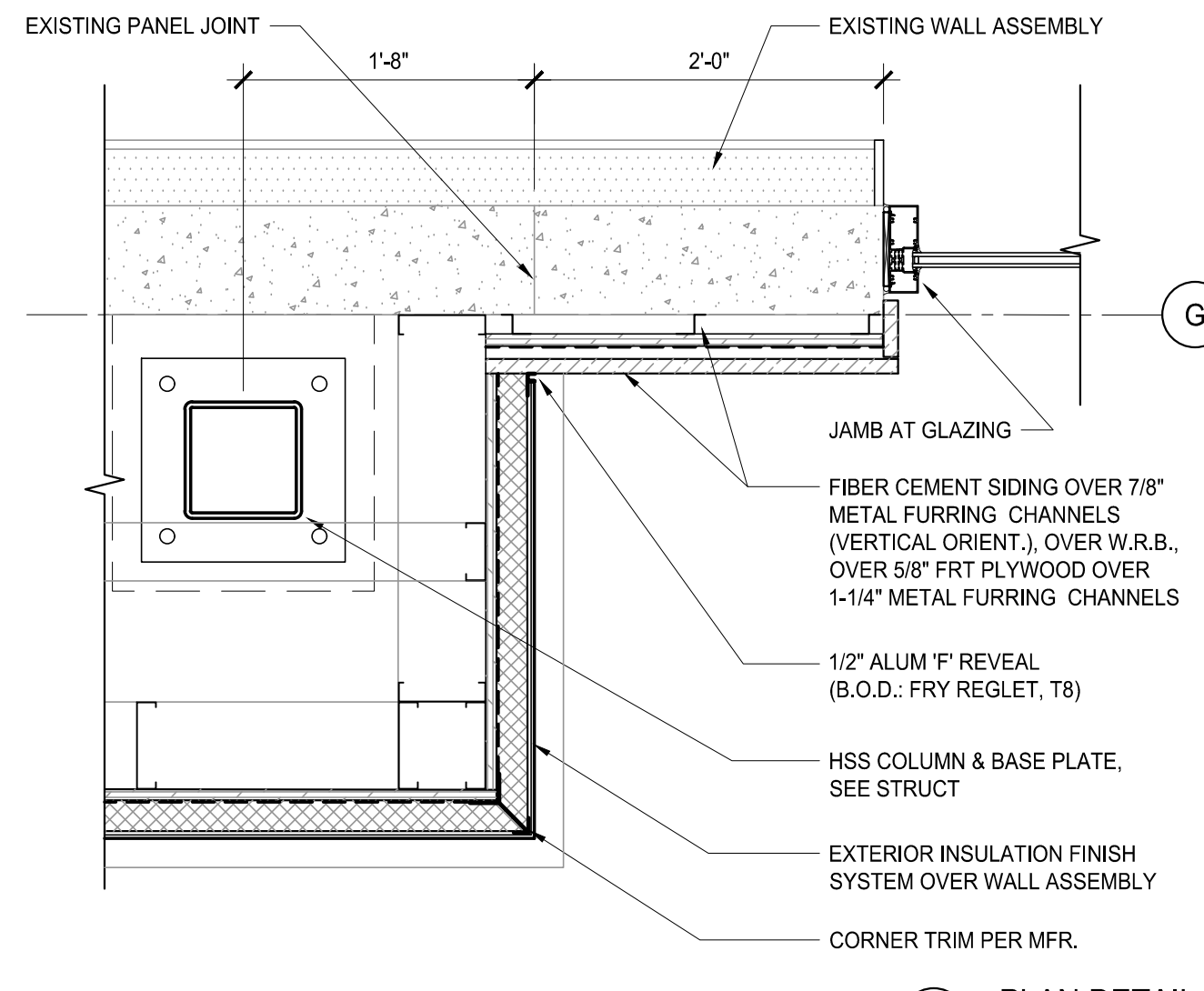
8 STONE VENEER BASE DETAIL
1" = 1'-0"



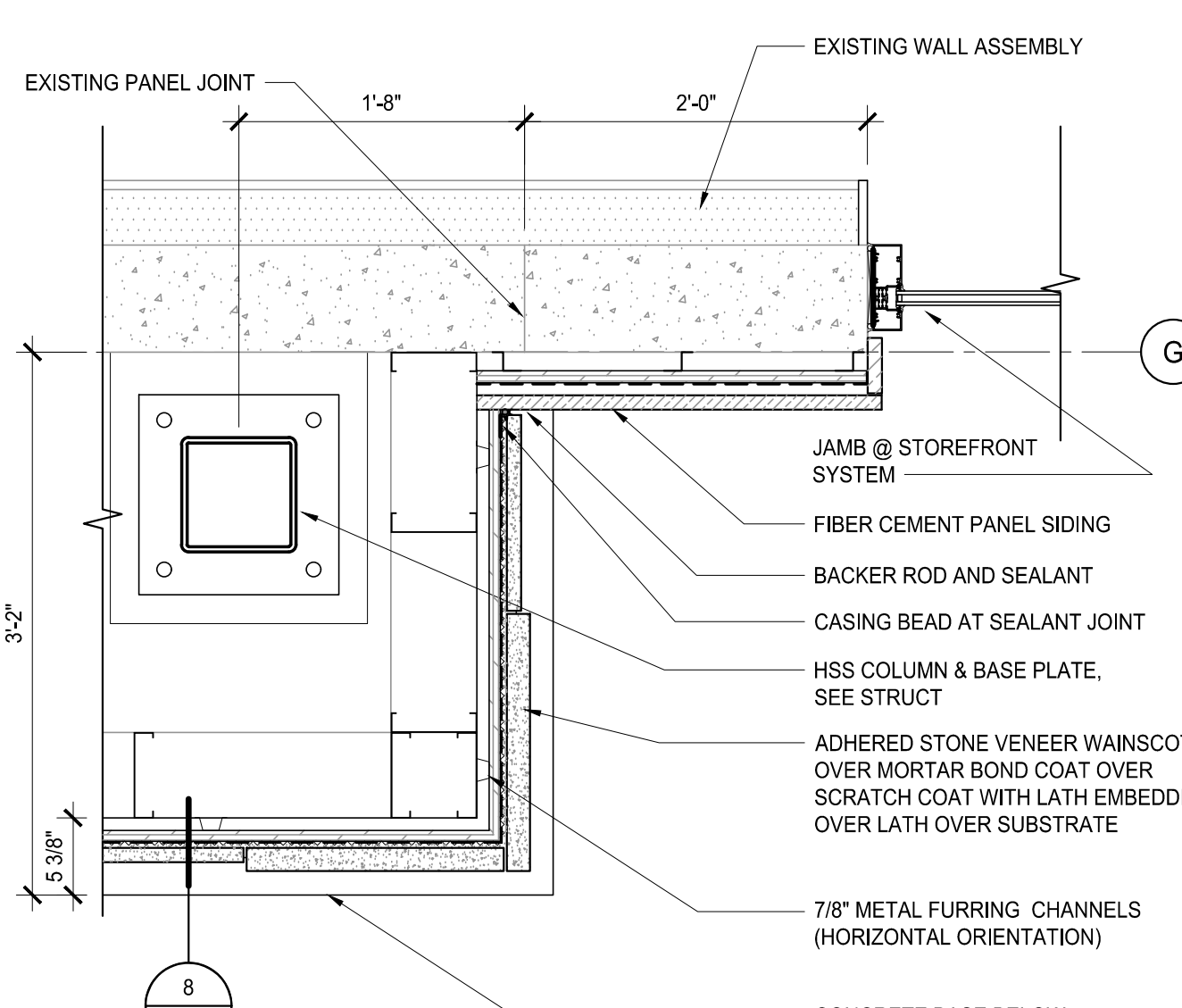
1 ROOF WITH GUTTER DETAIL (EIFS)
1" = 1'-0"



2 SOFFIT DETAIL (DOWNLIGHT)
1" = 1'-0"



PLAN DETAIL



4 STONE VENEER/F.C. BASE DETAIL
1" = 1'-0"

NO.	DESCRIPTION
06272025	ISSUED FOR COMMERCIAL T.I.



PER ARCH.

(3)#10 EA. CONN., TYP.

slope per arch.

400S162-43 @ 16"oc

600S162-54 @ 16"oc

(3)0.157" x 1/2" P.A.F. EA. JOIST, TYP.

600S162-54 @ 16"oc

PER ELEV. T.O. BEAM

HSS BEAM PER ELEV., TYP.

(2)#10 EA. JOIST

600S162-54 @ 16"oc

400S162-43 @ 16"oc

PER ARCH. TOP OF OPNG.

REMOVE (E) FLASHING & ATTACH BOT. TRAC. TO TOP OF CONC. W/ 0.157" x 1" P.A.F. @ 16"oc

(E) CONNECTION

(E) ROOFING SYSTEM OVER METAL DECK

HSS COL. BEYOND

(E) PRECAST PANEL

16ga TRACK W/ 3/8" x 4" TITEN HD @ 32"oc

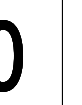
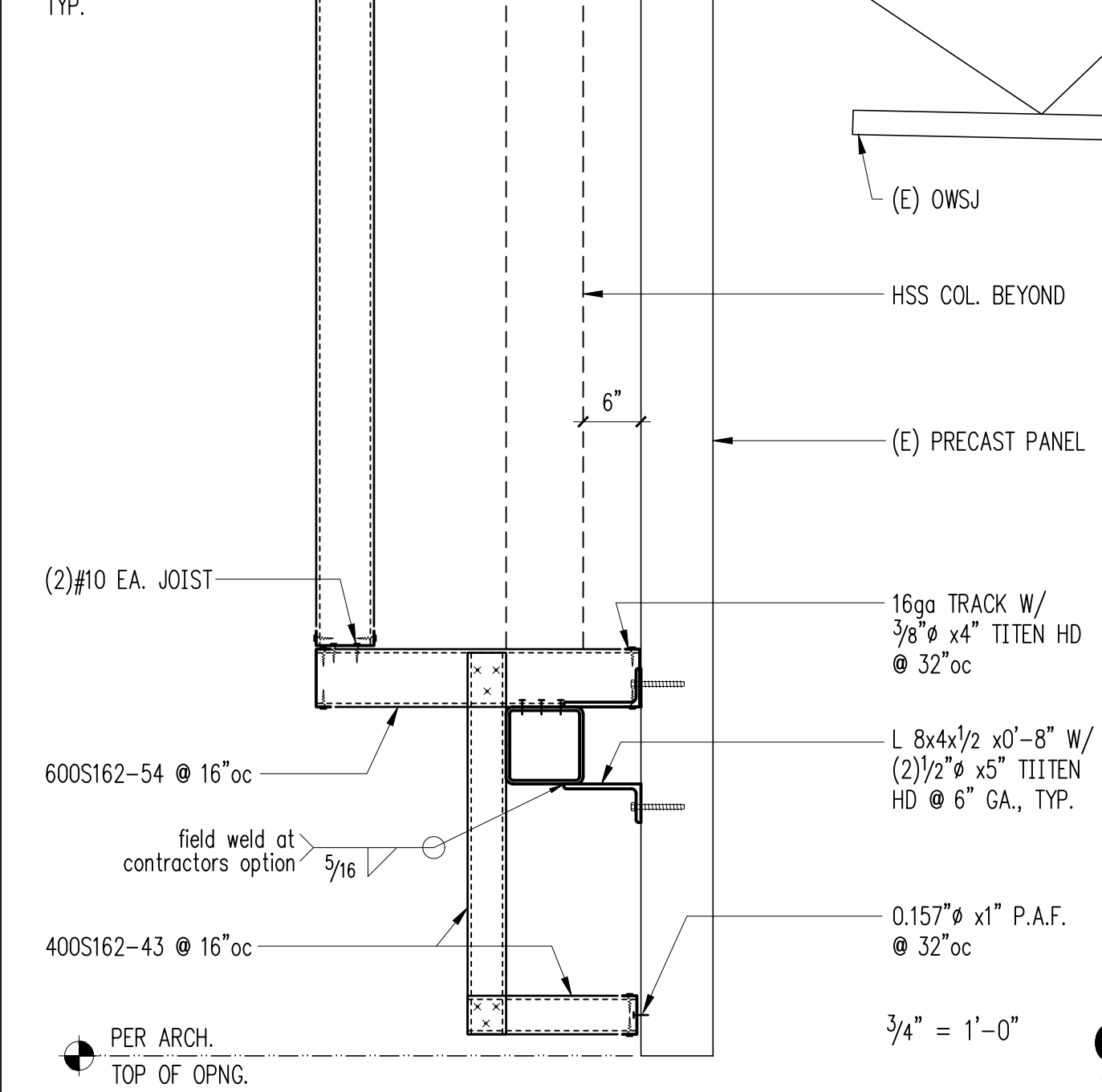
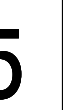
L 8x4 1/2 x 10'-8" W/ (2) 1/2" x 5" TITEN HD @ 6' GA., TYP.

0.157" x 1" P.A.F. @ 32"oc

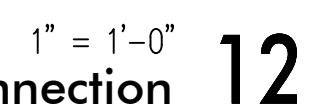
3/4" = 1'-0"

field weld at contractors option 5/16

6"

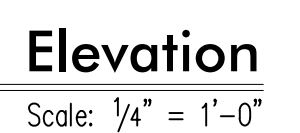
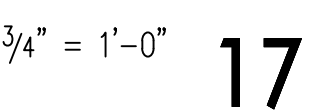


Studs



1. METAL FRAMING USED SHALL CONFORM TO THE SHAPE, GRADE, SIZE, AND GAUGE SPECIFIED. DESIGNATIONS REFER TO THE UNIVERSAL DESIGNATOR SYSTEM FOR LIGHT GAUGE STEEL FRAMING MEMBERS.

- Metal Framing Notes & Properties 16



Plan View