

SOUTH HILL CENTER - SPACE 10A

COMMERCIAL TENANT IMPROVEMENT

PUYALLUP, WASHINGTON



City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building Planning
Engineering Public Works
Fire Traffic

PRCTI20250870

KIMCO REALTY

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

DATE	NO.	DESCRIPTION
06/27/2025	1	ISSUED FOR COMMERCIAL T.I.



PROJECT NO.: 25027.00
PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

GENERAL INFO & SITE PLAN
G0.00

GENERAL NOTES

- THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOB SITE.
- CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- ALL WORK SHALL MEET LOCAL CODES AND ORDINANCES.
- ALL NAILING SHALL COMPLY WITH NAILING SCHEDULE OF THE IBC.
- COMPLIANCE CARDS TO BE POSTED VERIFYING INSULATION INSTALLED IN WALL, CEILINGS, AND FLOORS (IF REQUIRED).
- ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (DECAY RESISTANT).
- IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS, OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR ARCHITECT IN WRITING OF SUCH OMISSIONS, ERRORS, OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK, OR ACCEPT FULL RESPONSIBILITY FOR COSTS TO RECTIFY SAME.
- TYPICAL DETAILS OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
- ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAMING.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
- ALL EXIT DOORS TO BE OPERABLE FROM INSIDE THE BUILDING WITHOUT KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- ALL EQUALS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- BIDDER DESIGN WORK TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- MANUALLY OPERATED FLUSH BOLTS ARE NOT PERMITTED AND NO MORE THAN ONE OPERATION FOR THE UNLATCHING IS ALLOWED.
- ALL NEW CONCRETE MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

PROJECT TEAM

ARCHITECT:
JACKSON | MAIN ARCHITECTURE
311 FIRST AVE S
SEATTLE, WA 98104
(206) 324-4800
CONTACT: DAVID HUANG, PROJECT MANAGER
EMAIL: DAVID.HUANG@JACKSONMAIN.COM

CLIENT:
KIMCO REALTY
4065 FACTORIA MALL SE
BELLEVUE, WA 98008
(425) 905-3745
CONTACT: PETER EMSKY, DIRECTOR OF CONSTRUCTION
EMAIL: PEMSKY@KIMCOCREALTY.COM

GENERAL CONTRACTOR:
POWELL RYKA
2625 NORTHPUR WAY
BELLEVUE, WA 98004
(425) 528-4774
CONTACT: RYAN BREHM
EMAIL: RBREHM@POWELLRYKA.COM

CIVIL:
APEX ENGINEERS
2601 S. 35TH ST. STE. 200
TACOMA, WA 98409
CONTACT: COLLEEN HARRIS
EMAIL: HARRIS@APEXENGINEERING.NET

STRUCTURAL:
SWENSON SAY FAGET
2124 THIRD AVE, SUITE 100
SEATTLE, WA 98121
CONTACT: BLAZE BRESKO
EMAIL: BBRESKO@SSFENGINEERS.COM

PROJECT SCOPE

PROJECT SCOPE INVOLVES THE CONSTRUCTION OF A NEW EXTERIOR ENTRY FEATURE FOR TENANT SPACE (10A) FOR FUTURE TENANT USE (T.I. UNDER SEPARATE PERMIT).
EXISTING FIRE SPRINKLERS AND ALARMS TO REMAIN INTACT AND OPERATIONAL DURING CONSTRUCTION WORK.

ASSOCIATED SUBMITTALS

DRAWING INDEX

ARCHITECTURAL:

G0.00	GENERAL INFO & SITE PLAN
C1 OF 2	CIVIL - COVER SHEET
C2 OF 2	CIVIL - GRADING AND DETAILS SHEET
AD1.01	OVERALL DEMOLITION PLAN
AD3.01	ELEVATION & PLANS - DEMOLITION
A2.01	FLOOR PLAN (SPACE 10A)
AS.01	EXTERIOR ELEVATION & PLANS
A4.01	ENLARGED SECTIONS
A8.01	EXTERIOR DETAILS
S1.1	GENERAL STRUCTURAL NOTES
S2.1	PLAN, ELEVATION & DETAILS

SITE / BUILDING INFORMATION

TAXPAYER	WRHURS SOUTH HILL LLC 500 N BROADWAY, STE 201 JERICHO, NJ 11753
TAX PARCEL NUMBER	0419095021
PROJECT ADDRESS	4102 S MERIDIAN PUYALLUP, WA 98373
SITE STATISTICS	*Space 10A* corresponds to 4102 S MERIDIAN, Suite D2.
ZONE	URBAN CENTER MIXED USE (UCX)
SITE AREA	EXISTING, NO CHANGE (230,868 SF/ 5.3 AC)
ALLOWABLE LOT COVERAGE	EXISTING, NO CHANGE
REQUIRED BUILDING SETBACKS	EXISTING, NO CHANGE
FRONT	EXISTING, NO CHANGE
REAR	EXISTING, NO CHANGE
SIDES	EXISTING, NO CHANGE
ALLOWABLE FAR	EXISTING, NO CHANGE
ACTUAL FAR	EXISTING, NO CHANGE
BUILDING STATISTICS (EXISTING)	
HEIGHT - ALLOWABLE/ ACTUAL	68'/EXISTING, NO CHANGE
MAX LOT COVERAGE	65%/EXISTING, NO CHANGE
BUILDING AREA - ALLOWABLE/ ACTUAL	EXISTING, NO CHANGE (62,750 GSF)
PROJECT AREA/ TENANT SPACE*	EXISTING, NO CHANGE (19,782 GSF)
CONSTRUCTION TYPE	EXISTING, NO CHANGE: TYPE III-B, FULLY-SPRINKLERED EXISTING: (M, MERCANTILE) PROPOSED: (A-3, ASSEMBLY)
OCCUPANCY TYPE/USE	

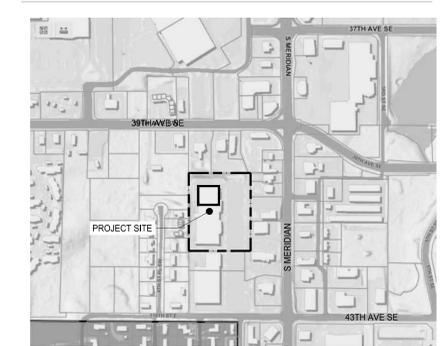
LEGAL DESCRIPTION

SECTION 09 TOWNSHIP 19 RANGE 04 QUARTER 11 - PARCEL 'A' OF DBLR 2000-11-29-5002 DESC AS THAT POR OF NE OF NE & L 4 OF S P AMEND 99-04-09-5014 DESC AS FOLL COM AT NE COR OF SEC TH S ALG E LI OF NE & CL OF SR 161 671.18 FT TO NE COR OF SE OF NE OF NE TH W

BUILDING AREAS

OVERALL BUILDING AREAS: 2018 INTERNATIONAL BUILDING CODE	
EXTERIOR FOOTPRINT FULL BUILDING	62,750 SF NO CHANGE TO EXISTING SPACES
EXISTING SITE AREA	230,868 SF
AREA OF WORK	62,750 SF (OVERALL BUILDING)
AREA OF WORK (ACTUAL)*	19,782 SF (SPACE 10A, PROJECT SITE)

VICINITY MAP



LOCATION MAP



CODES

- GOVERNING BUILDING CODE
- INTERNATIONAL BUILDING CODE W/ WASHINGTON STATE AMENDMENTS
 - 2021 INTERNATIONAL BUILDING CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 FUEL GAS CODE
 - 2021 UNIFORM PLUMBING CODE
 - 2021 INTERNATIONAL FIRE CODE
 - 2023 NATIONAL ELECTRICAL CODE (NFPA 70 - 2023)
 - 2021 WASHINGTON STATE ENERGY CODES
 - 2019 NFPA STANDARD 72
 - 2019 NFPA STANDARD 13, 13-D, AND 13-R

ENERGY CODE NOTES

- GOVERNING ENERGY CODE:
- ALL WORK SHALL CONFORM TO THE CURRENT 2021 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11C AND IBC, CHAPTER 5 [CE] EXISTING BUILDINGS
 - REQUIRED INSULATION VALUES FOR CONDITION SPACES
 - CLIMATE ZONE 4C - BUILDING ROOF (NO ATTIC) - EXISTING
 - BUILDING SPACE TYPE HEAT IS 'OTHER' (ALL OTHERS INCLUDING HEAT PUMPS AND VARIABLE AIR VOLUMES). ELECTRIC RESISTANCE HEATING NOT ALLOWED.
 - OCCUPANCY SENSOR CONTROLS SHALL BE PROVIDED AND INSTALLED TO CONTROL LIGHTING IN ADDITION TO THE MANUAL CONTROLS.
 - OCCUPANCY SENSORS ARE TO BE SET TO TURN LIGHTS OFF AFTER 15 MINUTES.
 - DAYLIGHT RESPONSIVE CONTROLS ARE TO BE PROVIDED AND INSTALLED WHERE REQUIRED TO COMPLY WITH WSEC C405.2.4.1

OCCUPANCY CALCULATIONS **

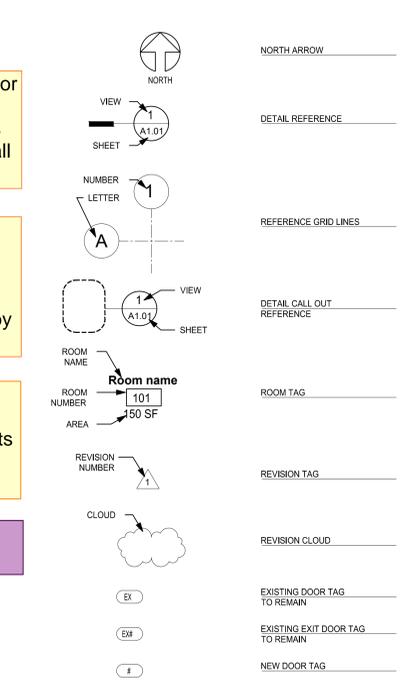
FITNESS (ASSEMBLY)	304.1 / TABLE 1004.5		
SPACE	AREA	SF/OCC.	OCCUPANTS
SALES AREA	19,782 SF	60 SF/OCC.	330 OCC.
TOTAL OCCUPANTS:	330		

** SF AREAS & OCCUPANCIES SHOWN FOR REFERENCE ONLY. NO ACTUAL INTERIOR SPACES TO BE INCLUDED IN THIS SUBMITTAL (REFER TENANT TI PERMIT)

PLUMBING CALCULATIONS

NOT IN SCOPE

TYPICAL SYMBOLS



Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
<https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections>
or call for Licensing Information: 1-800-647-0982

Store front remodel not directly visible from adjacent ROW. Design review not required.

City of Puyallup
Building
Reviewed
FOR
COMPLIANCE

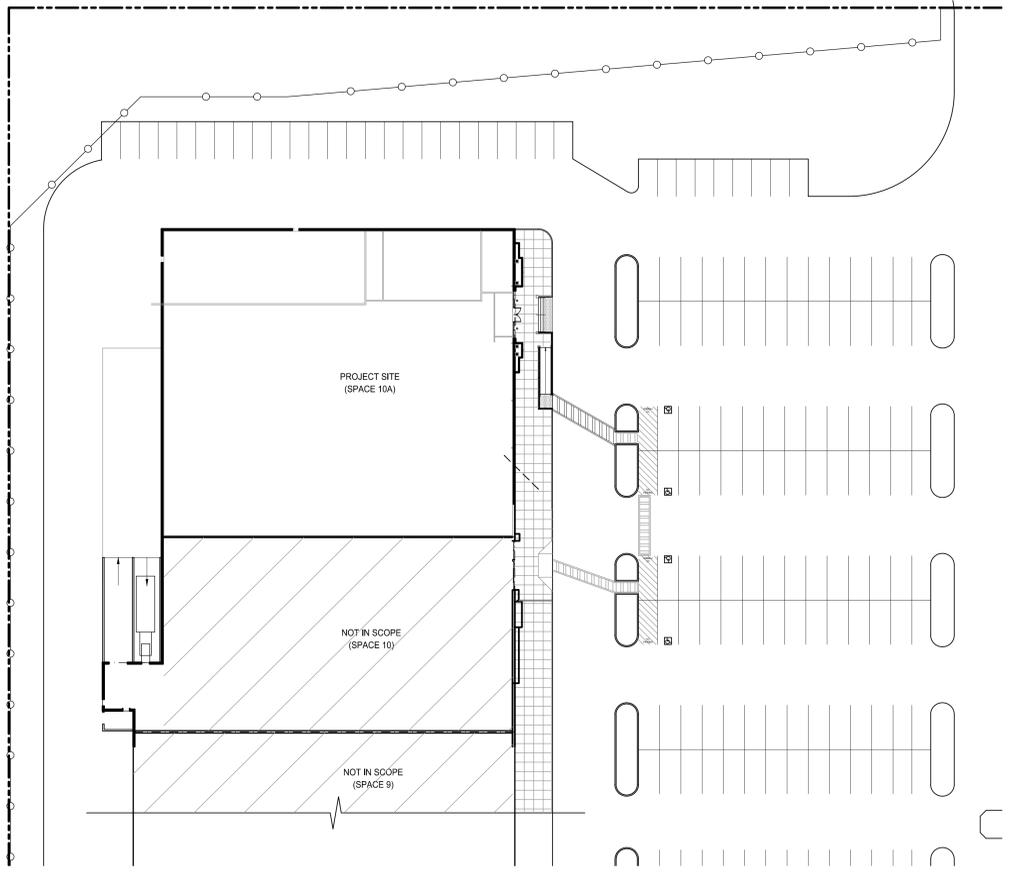
SKinnear
06/30/2025
1:53:14 PM



City of Puyallup
Planning
Division
Approved

See permit conditions.

CBeale
07/07/2025
2:40:15 PM

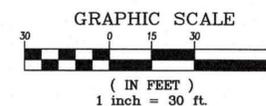


1 SITE PLAN
SCALE: 1" = 30'-0"

SOUTH HILL CENTER - SPACE 10A COMMERCIAL TENANT IMPROVEMENT COVER SHEET

A PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M., CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic



APPROVED

BY: CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE:

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

REV NO	REVISION DESCRIPTION	DATE



PRCT120250870

**SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
COVER SHEET**

JACKSON MAIN ARCHITECTURE, P.S.
311 FIRST AVE S
SEATTLE, WA 98104
ATTN: DAN RASMUSSEN (206) 324-4800

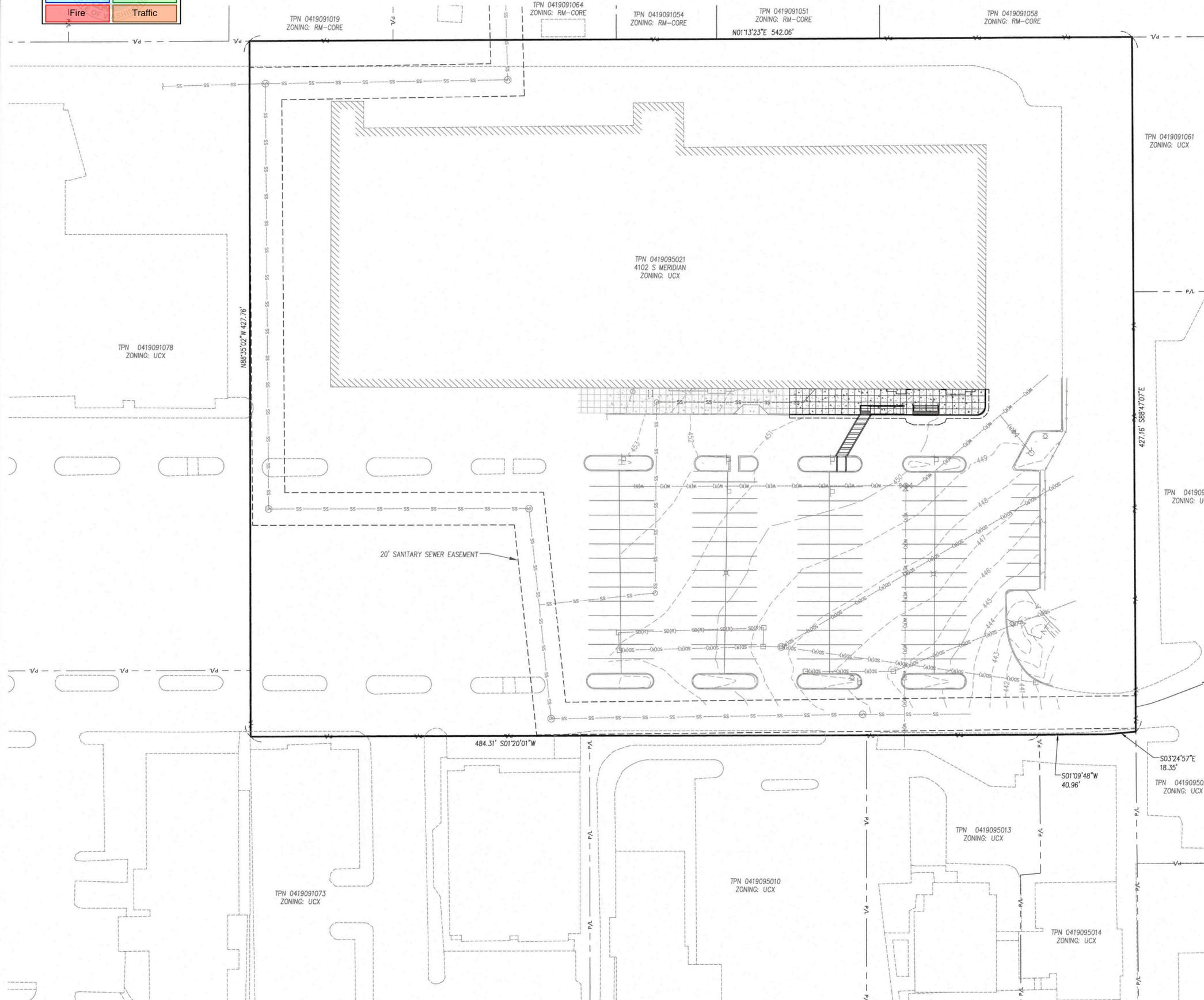
TITLE CLIENT

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PROJECT MANAGER	COLLEEN HARRIS
DESIGN	CJ/MSA
DRAWN	MSA
CHECKED	CJ
SEC	08 T 08N R 4E
DATE	06/24/2025
SHEET	1 OF 2
FILE NO	37636

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HORIZONTAL DATUM
WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD 83/2011)
BASED ON RTK GPS MEASUREMENTS CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK.

VERTICAL DATUM
NAVD 88 BASED ON RTK GPS MEASUREMENTS CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK AND GEOID 2012A MODEL.

SITE DATA
SITE ADDRESS: 4102 S MERIDIAN
PARCEL AREA: 5.34 +/- ACRES
PARCEL NUMBER: 0419095021
ZONING: URBAN CENTER MIXED USE (UCX)

PROPERTY OWNER
WRI-URS SOUTH HILL LLC
C/O KIMCO REALTY CORPORATION PROPERTY TAX DEPT
500 N BROADWAY STE 201
JERICHO, NY 11753
DAN.RASMUSSEN@JACSONMAIN.COM

FLOOD PLAIN/CRITICAL AREAS
THE PROJECT AREA IS NOT WITHIN A 100 YEAR FLOOD PLAIN PER FEMA AND HAS NO KNOWN CRITICAL AREAS.

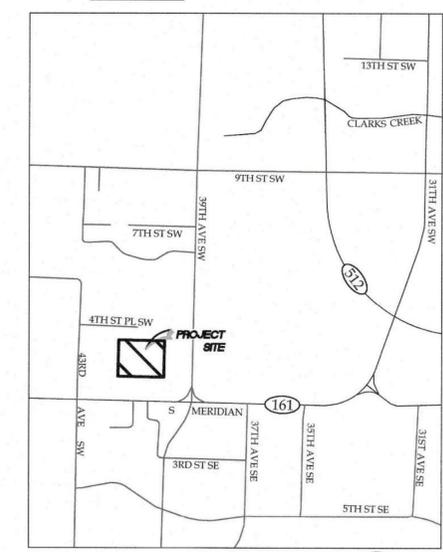
UTILITIES
WATER: FRUITLAND MUTUAL WATER
SEWER: CITY OF PUYALLUP
STORM: CITY OF PUYALLUP
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY

BOUNDARY AND TOPOGRAPHY NOTE
TOPOGRAPHIC INFORMATION HAS BEEN COMPILED FROM FIELD WORK PERFORMED BY APEX ENGINEERING, LLC IN AUGUST 2024 UNDER THE DIRECTION AND SUPERVISION OF TIMOTHY MCDANIEL, PLS 45792, AND SUPPLEMENTED WITH GIS INFORMATION FOR BOUNDARY.

PROJECT DESCRIPTION
REPLACE EXISTING CONCRETE SIDEWALK WITH NEW BUILDING ENTRANCE

LEGEND

	BOUNDARY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY LINE
	PROPOSED CURB
	EXISTING SANITARY SEWER LINE
	EXISTING RECORD STORM DRAIN LINE
	EXISTING RECORD WATER LINE
	EXISTING SIGN
	EXISTING IRRIGATION CONTROL VALVE
	EXISTING FIRE HYDRANT
	EXISTING STORM CATCH BASIN
	EXISTING STORM MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING CONCRETE SURFACE
	PROPOSED CONCRETE SURFACE



SOUTH HILL CENTER - SPACE 10A COMMERCIAL TENANT IMPROVEMENT GRADING AND DETAILS SHEET

A PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M.,
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

TPN 0419095021
4102 S MERIDIAN

APEX
NORTH
TACOMA, WA

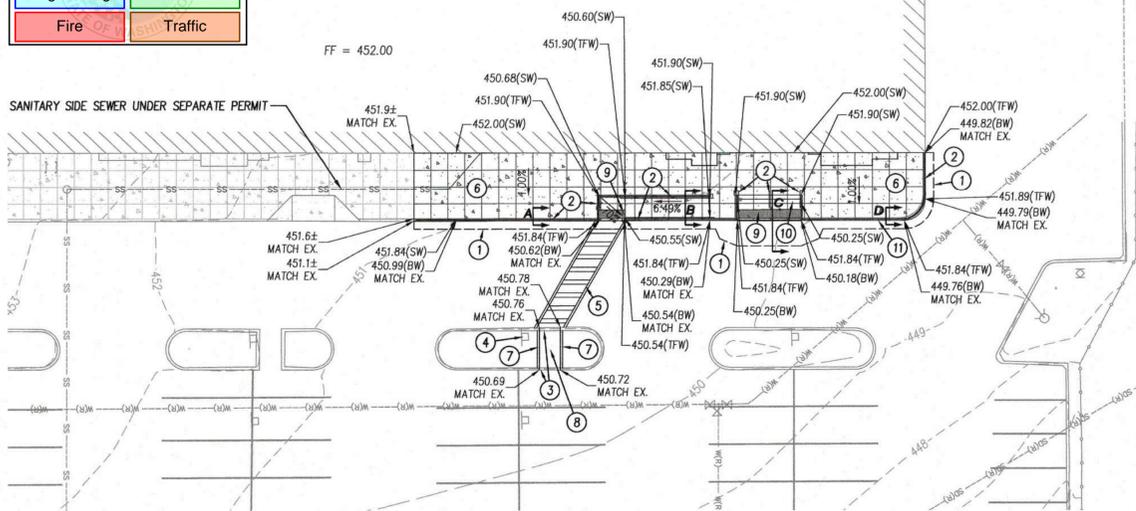
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

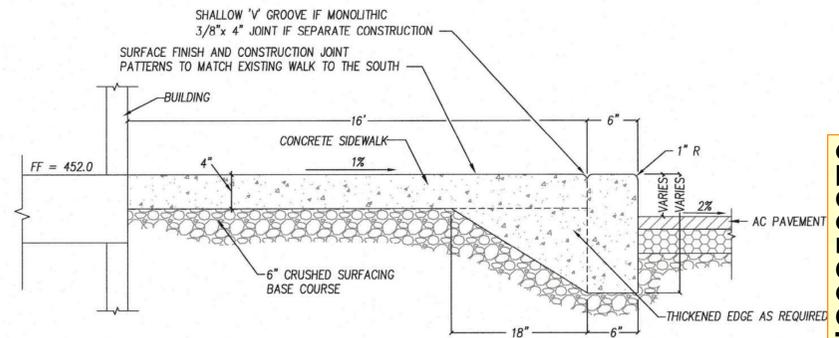
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.



- ### PLAN NOTES
1. SAW CUT AND SEAL EDGE
 2. INSTALL HANDRAIL SEE ARCHITECTURAL PLANS FOR DETAIL
 3. REMOVE EXISTING CURB AT PEDESTRIAN CROSSING
 4. EXISTING SIGN TO REMAIN, PROTECT DURING CONSTRUCTION
 5. INSTALL CROSS WALK STRIPING TO MATCH EXISTING PARKING LOT STRIPING
 6. INSTALL MONOLITHIC CEMENT CONCRETE CURB/WALK PER DETAIL THIS SHEET. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS ON CURBING GREATER THAN 6-INCHES IN HEIGHT.
 7. INSTALL EXTRUDED CURB PER DETAIL THIS SHEET
 8. INSTALL ASPHALT PAVING TO MATCH EXISTING PARKING LOT SECTION
 9. INSTALL DETECTABLE WARNING SURFACE PER WSDOT STD. PLAN F-45.10-05
 10. INSTALL STAIRS PER DETAIL THIS SHEET
 11. PAINT CURB AND STENCIL ASPHALT "NO PARKING FIRE LANE" TO MATCH EXISTING CONDITION

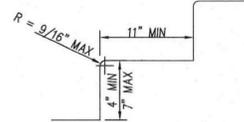
LEGEND

TFW = TOP FRONT OF WALL/FACE OF CURB
BW = BOTTOM OF WALL/CURB AT ASPHALT
SW = SIDEWALK

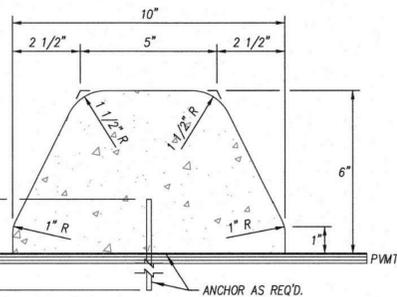
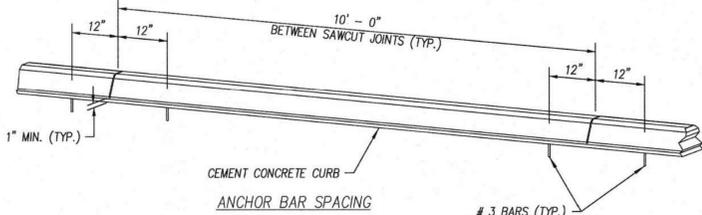


NOTES:

1. STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE TO WITHIN 3/8".
2. WALKING SURFACE OF TREADS AND LANDINGS SHALL NOT BE SLOPED STEEPER THAN 2% IN ANY DIRECTION.
3. BEVELING OF NOSINGS SHALL NOT EXCEED 9/16". RISERS SHALL BE SOLID AND VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. THE LEADING EDGE (NOSINGS) OF TREADS SHALL PROJECT NOT MORE THAN 1-1/4" BEYOND THE TREAD BELOW AND ALL PROJECTIONS OF THE LEADING EDGES SHALL BE OF UNIFORM SIZE, INCLUDING THE LEADING EDGE OF THE FLOOR AT THE TOP OF A FLIGHT.



STAIR DETAIL
N.T.S.



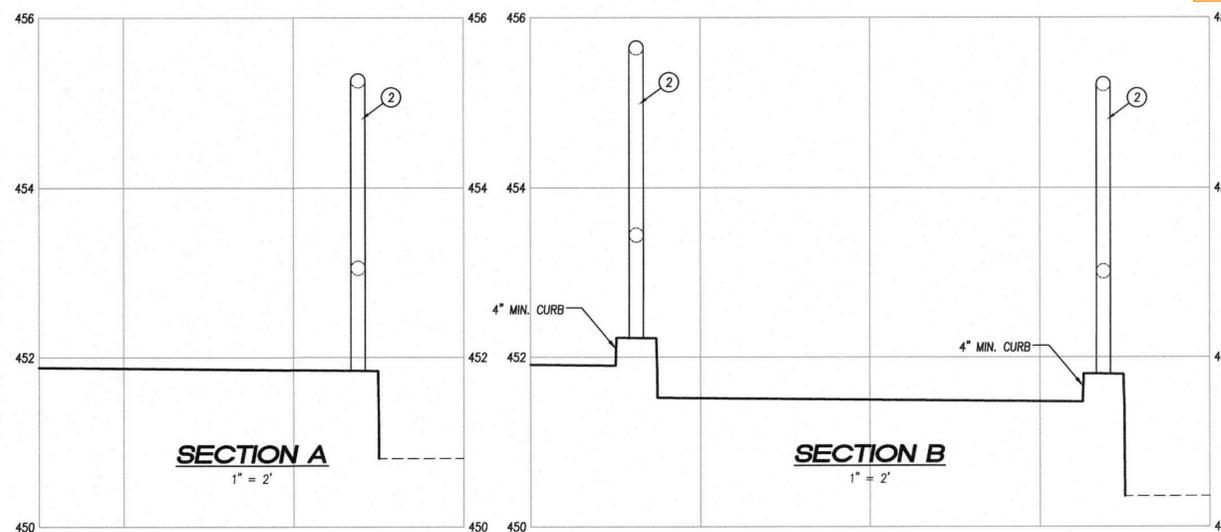
EXTRUDED CURB
N.T.S.

GENERAL NOTES:

- CURBING TO BE PER TYPE 6 CURB PER WSDOT STD PLAN F-2b
- BE PER WSDOT STD SPEC. 8-04.3(1) AND 8-04.3(1A)

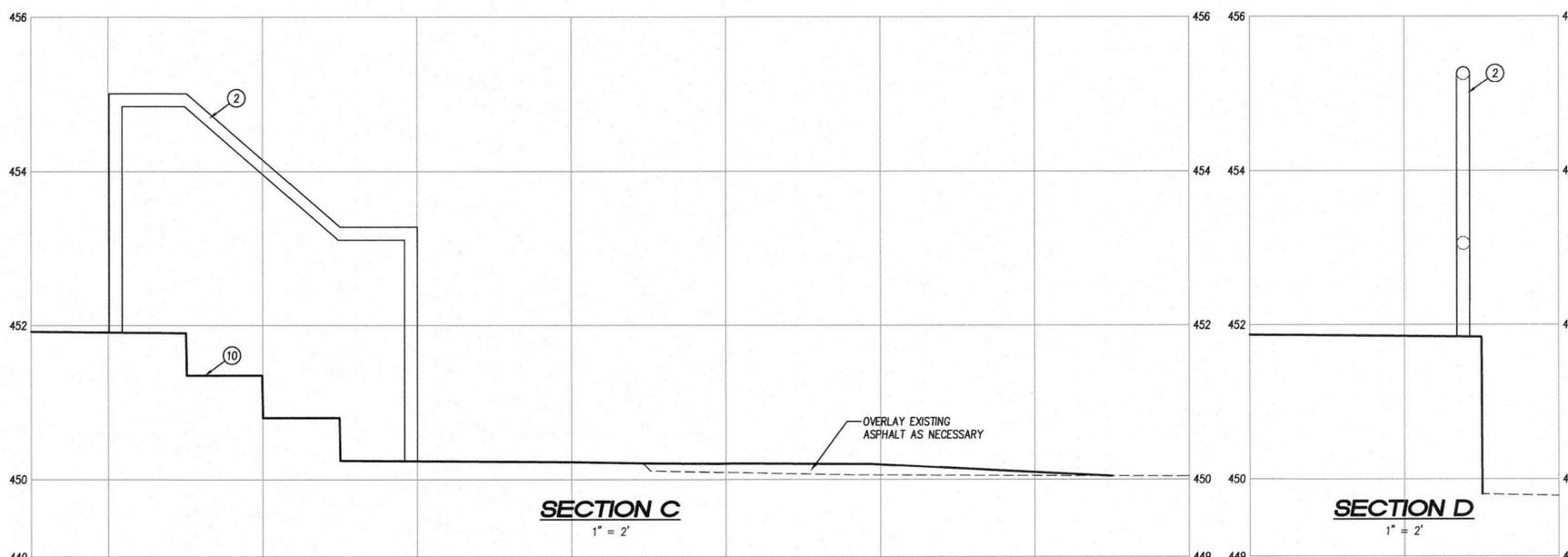
GENERAL NOTES

1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.
2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
4. A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
5. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
6. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
7. ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
8. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY.
9. THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.
10. POWER, STREET LIGHT, CABLE, AND TELEPHONE LINES SHALL BE IN A TRENCH LOCATED WITHIN A 10-FOOT UTILITY EASEMENT ADJACENT TO PUBLIC RIGHT-OF-WAY. RIGHT-OF-WAY CROSSINGS SHALL HAVE A MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES (SEWER, WATER, AND STORM) OF 5 FEET.
11. ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
12. DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
13. CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
14. A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF ECOLOGY, SOUTHWEST REGION OFFICE AT (360)407-6300.
15. ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.



SECTION A
1" = 2'

SECTION B
1" = 2'



SECTION C
1" = 2'

SECTION D
1" = 2'

PRCT120250870

REV NO	REVISION DESCRIPTION	DATE

Apex Engineering

2601 South 35th, Suite 200
Tacoma, Washington 98409-4479
(253) 473-4484 FAX: (253) 473-0599

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
GRADING AND DETAILS SHEET

JACKSON MAIN ARCHITECTURE, P.S.
301 FIRST AVE S
SEATTLE, WA 98104
ATTN: DAN RASMUSSEN (206) 324-4800

TITLE CLIENT

811

Know what's below.
Call 811 before you dig.
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DATE SEALED 6-26-25

PROJECT MANAGER
COLLEEN HARRIS

DESIGN C/J/MBA
DRAWN MSA
CHECKED C/J
SEC 08 T 18W R AE
DATE 06/24/2025

SHEET 2 OF 2
FILE NO 37636

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DATE	NO.	DESCRIPTION
06/27/2025	1	ISSUED FOR COMMERCIAL T.I.



PROJECT NO.: 25027.00
 PROJECT MGR.: DR
 DRAWN BY: DH
 CHECKED BY: ML

OVERALL
 DEMOLITION PLAN

AD1.01

GENERAL NOTES

GENERAL NOTES

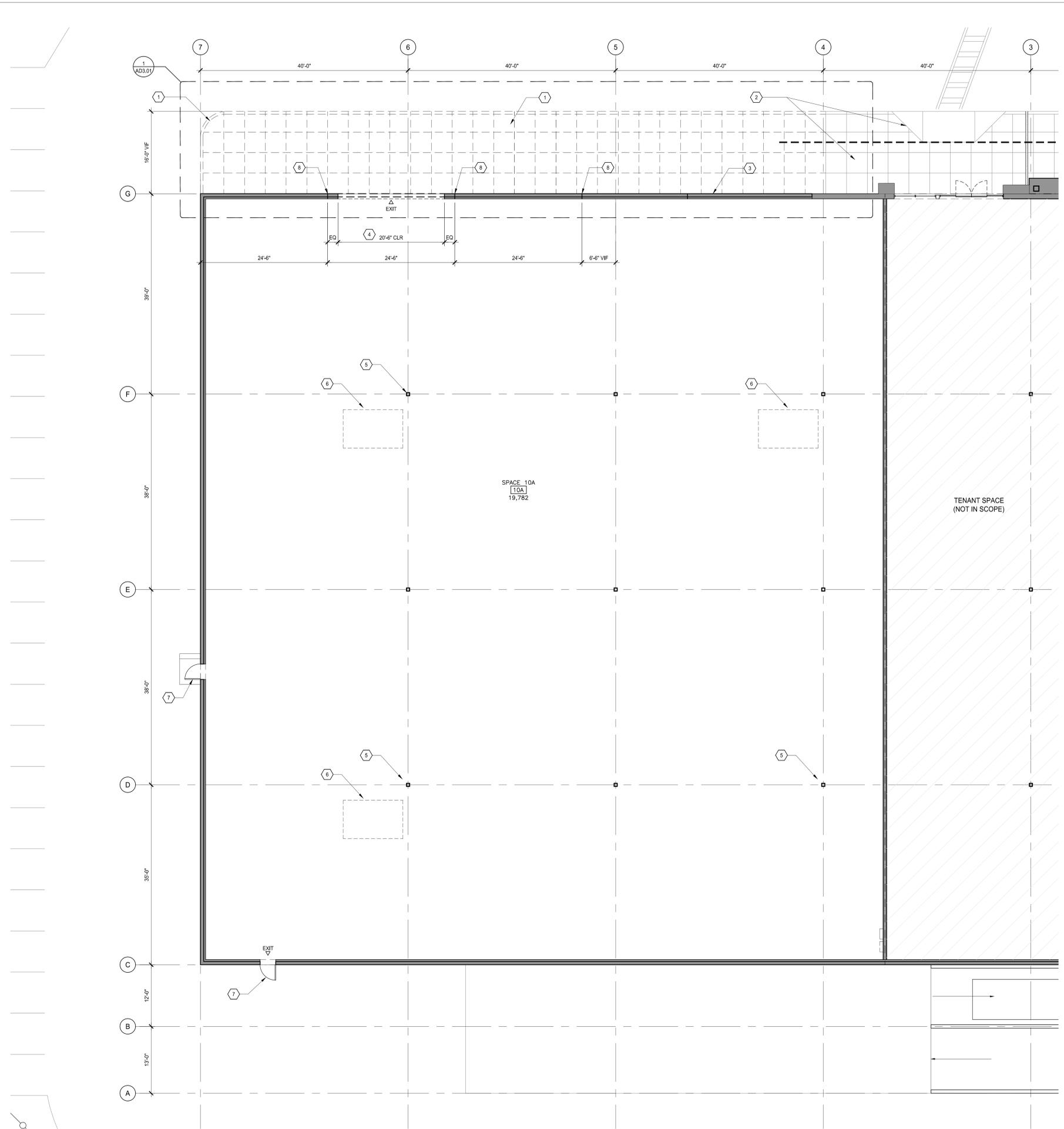
- A. REFER TO G.O.D FOR SYMBOLS AND GENERAL PROJECT NOTES.
- B. REFER TO G SERIES SHEETS FOR CODE & ACCESSIBILITY STANDARDS.
- C. GENERAL NOTES ON THIS PAGE DO NOT EXCLUDE NOTES ELSEWHERE. THIS DOCUMENT SET IS COMPLEMENTARY. NOTES ON OTHER SHEETS MAY HAVE BEARING APPLICATION TO WORK SHOWN ON THIS SHEET.
- D. REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- E. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
- F. PROVIDE WALL GUARDS AT ALL EXPOSED GYPSUM BOARD OUTSIDE CORNERS IN PUBLIC AREAS.
- G. FOR FRAMED WALLS LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- H. FOR MASONRY WALLS-LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.N.O.

DEMOLITION NOTES

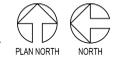
- A. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH ALL CONSTRUCTIONS AS REQUIRED TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- B. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- C. REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF, OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS/HER COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- D. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- E. PATCH ALL FINISHES TO MATCH ADJACENT EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. PER THE FINISH SCHEDULE TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
- F. PATCH EXISTING WALLS, GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
- G. WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- H. PROVIDE LOCAL 247 PROGRAMMABLE THERMOSTAT SET TO MAINTAIN A MINIMUM TEMPERATURE OF 40F (ADJUSTABLE). INSTALL THERMOSTAT WITH ONBOARD TEMPERATURE SENSOR ON NEAREST COLUMN AT 54" A.F.F.

DEMOLITION KEYNOTES

- 1. EXISTING SIDEWALK AND CURBS TO BE REPAIRED AND UPGRADED.
- 2. EXISTING SIDEWALK RAMP AND CURB-CUT TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- 3. EXISTING CONCRETE PANEL WALLS TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION. REFER STRUCTURAL FOR ADDITIONAL INFORMATION.
- 4. CUT AND REMOVE PORTION OF EXISTING CONCRETE PANEL WALL AS REQUIRED FOR INSTALLATION OF NEW STOREFRONT SYSTEM.
- 5. EXISTING BUILDING COLUMNS, PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 6. ROOFTOP HVAC UNITS AND MAIN FEEDER BRANCHES TO REMAIN AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- 7. EXISTING ACCESS DOORS TO REMAIN.
- 8. EDGE OF EXISTING CONCRETE PANEL WALLS.



1 OVERALL DEMOLITION PLAN (SPACE 10A)
 Scale: 1/8" = 1'-0"



NO.	DESCRIPTION
1	ISSUED FOR COMMERCIAL T.I.



PROJECT NO.: 25027.00
 PROJECT MGR.: DR
 DRAWN BY: DH
 CHECKED BY: ML

ENLARGED ELEVATION & PLANS - DEMOLITION

AD3.01

GENERAL NOTES

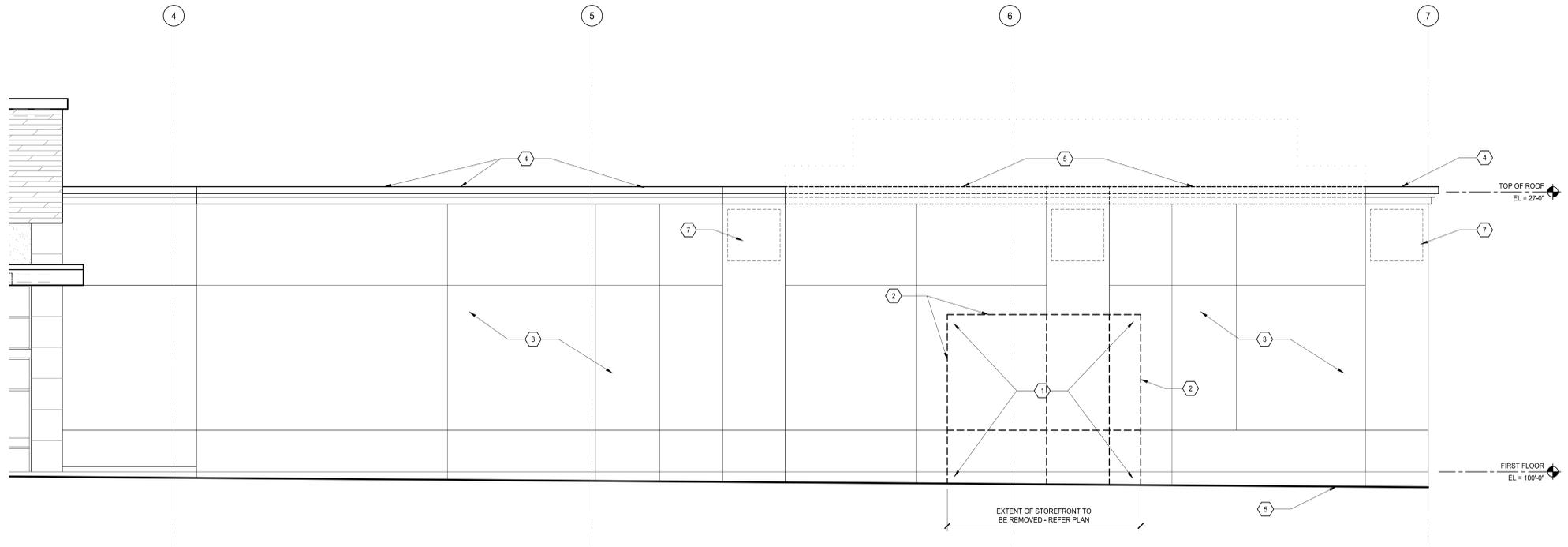
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- FOR MASONRY WALLS- LOCATE HINGE SIDE OF DOOR 8" FROM PERPENDICULAR WALL U.L.O.
- ALL CEILING FIXTURES AT EXISTING SPACES TO REMAIN AS IS.

DEMOLITION NOTES

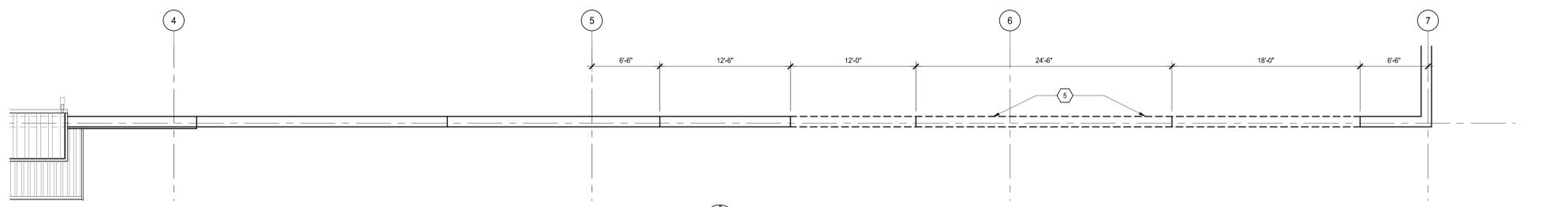
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- WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

DEMOLITION KEYNOTES

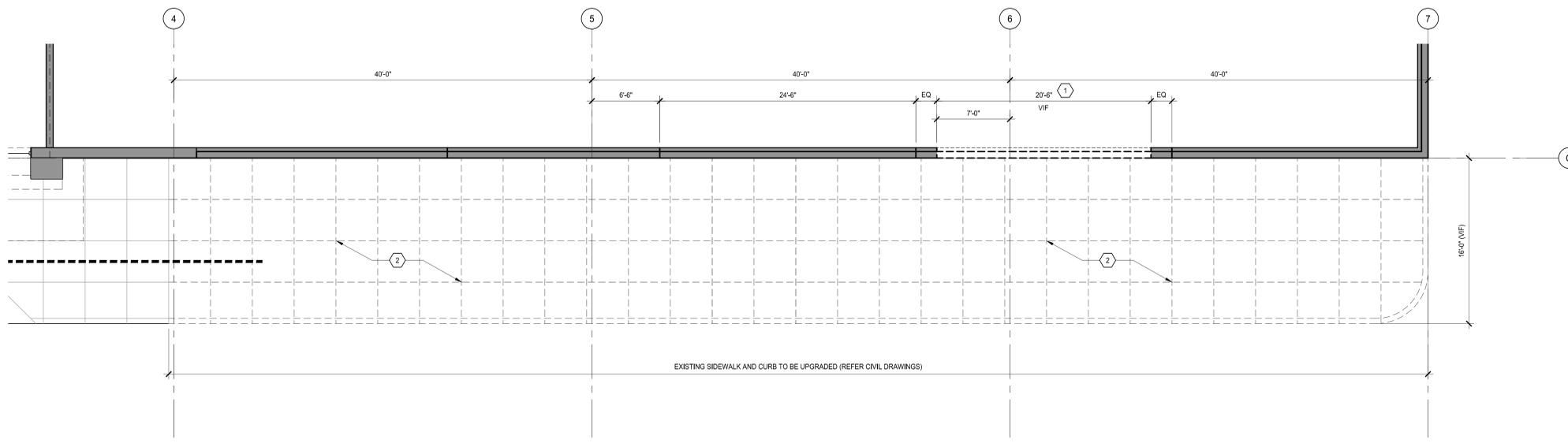
- EXTENT OF EXISTING STOREFRONT SYSTEM TO BE DEMOLISHED AND REMOVED; PATCH AND REPAIR EXISTING CONCRETE SLAB AND FOOTING ALONG BUILDING PERIMETER.
- PROVIDE SMOOTH EDGES AT CUT OPENINGS IN CONCRETE PANELS FOR NEW STOREFRONT; NO ROUGH EDGES TO REMAIN.
- EXISTING CONCRETE PANEL WALLS TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- EXISTING PRECAST COPING TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION.
- REMOVE PORTION OF EXISTING COPING. PROTECT BASE PLATE AT TOP OF WALL. PREP AND CLEAN FOR NEW WORK.
- PREP EXISTING SIDEWALK FOR NEW SIDEWALK. SEE CIVIL FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING GLAZED TILE WORK; PATCH & FILL AND PREP FOR NEW PAINT.



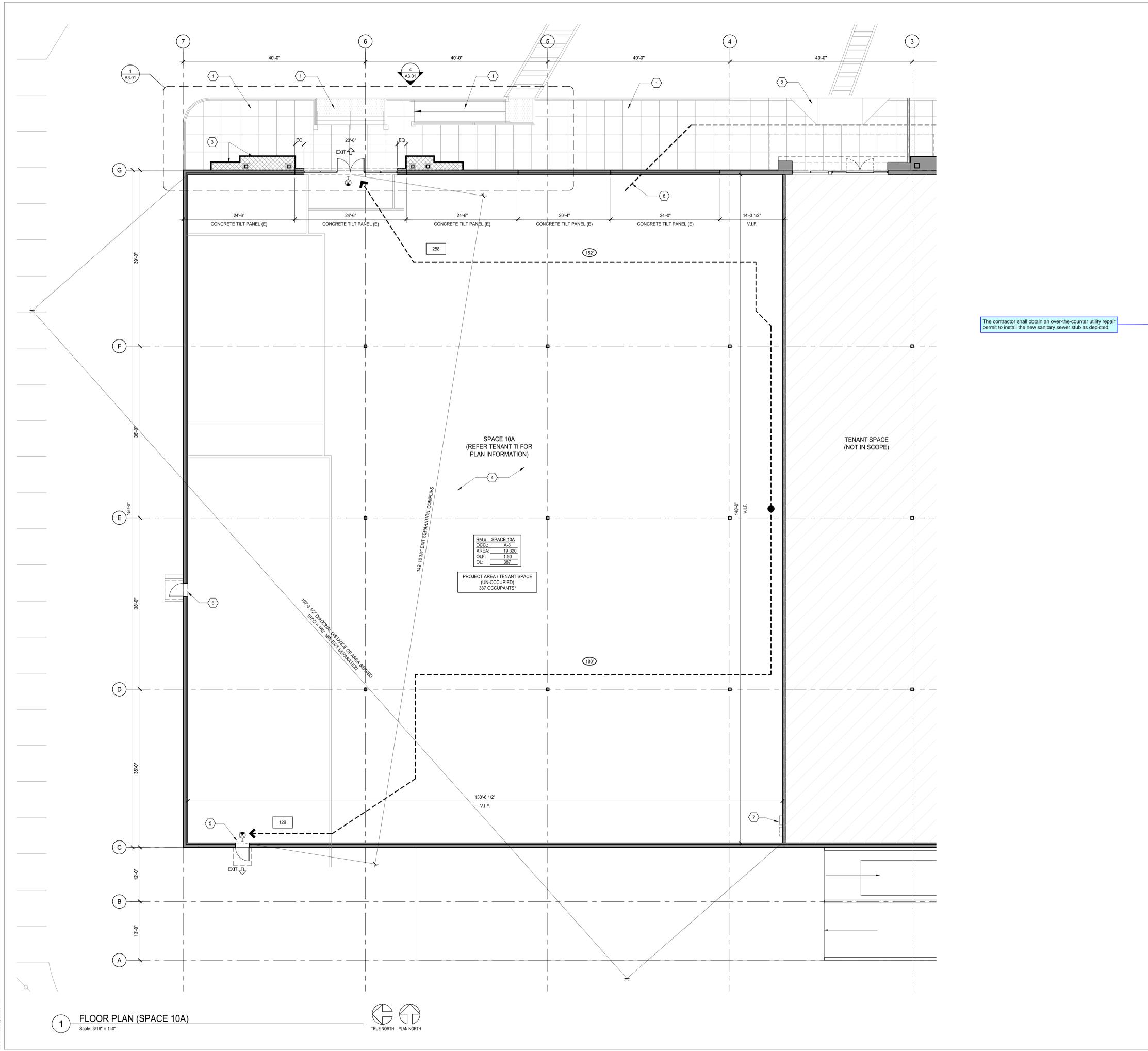
3 ENLARGED ELEVATION - DEMO
 Scale: 3/16" = 1'-0"
 NORTH



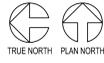
2 ENLARGED ROOF PLAN - DEMO
 Scale: 3/16" = 1'-0"
 NORTH



1 ENLARGED DEMO PLAN
 Scale: 1/8" = 1'-0"
 NORTH



1 FLOOR PLAN (SPACE 10A)
Scale: 3/16" = 1'-0"



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- E. CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- F. ALL WORK SHALL MEET LOCAL CODES AND ORDINANCES.
- G. ALL MAILING SHALL COMPLY WITH MAILING SCHEDULE OF THE IBC.
- H. COMPLIANCE CARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALL, CEILINGS, AND FLOORS (IF REQUIRED).
- I. ALL WOOD COMING IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (DECAY RESISTANT).
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- K. TYPICAL DETAILS & OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
- L. ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAMING.
- M. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS, AND DETAILS.
- N. ALL EXIT DOORS TO BE OPERABLE FROM INSIDE THE BUILDING WITHOUT KEYS OR SPECIAL KNOWLEDGE OR EFFORT.
- O. FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- P. ALL EQUALS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- Q. BIDDER DESIGN WORK TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO CONSTRUCTION.
- R. MANUALLY OPERATED FLUSH BOLTS ARE NOT PERMITTED AND NO MORE THAN ONE OPERATION FOR THE UNLATCHING IS ALLOWED.
- S. ALL NEW CONCRETE MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
- T. REFER TO DETAIL SHEETS FOR SPECIFIC WALL ASSEMBLY INFORMATION.
- U. REFER TO DOOR AND WINDOW MANUFACTURER SPECIFICATIONS FOR ACTUAL ROUGH OPENING SIZES.
- V. FOR FRAMED WALLS: LOCATE HINGE SIDE OF ALL DOORS 4-1/2" FROM PERPENDICULAR FRAMING U.N.O.
- W. FOR MASONRY WALLS- LOCATE HINGE SIDE OF DOOR 6" FROM PERPENDICULAR WALL U.N.O.

KEYNOTES

- 1. NEW SITEWORK, REFER 1A3.01 AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 2. EXISTING CURB RAMP TO REMAIN.
- 3. NEW EXTERIOR ENTRY FEATURE, REFER A3.01 FOR ADDITIONAL INFORMATION.
- 4. NEW TENANT SPACE BUILD-OUT UNDER SEPARATE PERMIT.
- 5. EXISTING EXIT DOOR.
- 6. EXISTING ACCESS DOOR.
- 7. EXISTING ELECTRICAL PANEL.
- 8. SEWER LINE EXTENSION, STUB UP TO CLEAN OUT INSIDE TENANT SPACE. COORD WITH TENANT.

LIFE AND LIFE SAFETY NOTES

- A. CONFIGURE FIRE DETECTION, INTERNAL ALARM AND CENTRAL REPORTING SYSTEMS IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION AND IN COMPLIANCE WITH THE GOVERNING EDITIONS OF ADA, ANSI AND THE BLDG. CODE. THE EGP, FURNISHED SHALL BE COMPATIBLE AND BE UL LISTED, FM APPROVED OR LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY IN ACCORDANCE WITH THE APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS.
- B. ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS OF THE MOST RESTRICTIVE PREVAILING BUILDING CODE GOVERNING EDITION) FOR SMOKE DENSITY AND FLAME SPREAD.
- C. PROVIDE EMERGENCY EXIT / EGRESS ILLUMINATION AND SIGNAGE WHERE REQUIRED BY PREVAILING LOCAL JURISDICTION, BUILDING CODE, NFPA, OR NFPA (CURRENT EDITION).
- D. REFER TO FLOOR PLANS FOR SPECIFIC DIMENSIONS AND CLEARANCES.
- E. BUILDING IS FULLY SPRINKLED PER SECTION 903.3 NFPA13.
- F. COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH ELECTRICAL ENGINEER.
- G. PROVIDE EGRESS ILLUMINATION PER WSC 1006. EGRESS ILLUMINATION TO BE ON BACKUP POWER AT ALL AREAS WHERE TWO EXITS ARE REQUIRED. GENERAL POWER SUPPLY FOR THE MEANS OF EGRESS ILLUMINATION SHALL BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. THE LIGHTING LEVEL SHALL NOT BE LESS THAN 1 FOOT CANDLE AT THE WALKING SURFACE LEVEL REQUIRED IN, BUT NOT LIMITED TO, LANDINGS AT EXTERIOR EXIT DOORS.
- H. PROVIDE TACTILE EXIT SIGNAGE AT EACH EXIT DOOR TO AN EXIT PASSAGEWAY, AND EXIT DISCHARGE AS REQUIRED BY CODE.
- I. COORDINATE ALL ELECTRICAL WORK, INCLUDING EXIT SIGNS AND EMERGENCY LIGHTING WITH GENERAL CONTRACTOR.

LIFE SAFETY CALCULATIONS (SPACE 10A)

- * BASED OFF OF 387 OCCUPANTS (OCCUPANCY CALCULATIONS SHOWN FOR REFERENCE ONLY. THIS PERMIT SUBMITTAL HAS NO OCCUPANTS OTHER THAN ON-SITE CONTRACTING STAFF)
- PER IBC 1005.3.2
EXIT WIDTH:
• REQUIRED DOOR EXIT WIDTH: 387 x 0.20" = 77.4"
• PROVIDED DOOR EXIT WIDTH: 60" x 32" = 92"
- PER IBC TABLE 1006.3.2
EXITS:
• 2 REQUIRED, 2 PROVIDED
- A. PER IBC 1007.1.1.2, WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY COMBINATION THEREOF, ARE REQUIRED FOR ANY PORTION OF THE EXIT ACCESS, THEY SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN ONE THIRD OF THE LENGTH OF THE OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED.
• OVERALL BUILDING DIAGONAL: 197'-3"
• MINIMUM REQUIRED EXIT SEPARATION: 66'-0"
• EXIT SEPARATION PROVIDED: 150'-0"
- B. PER IBC, SECTION 1017.2, TABLE 1017.2, EXIT ACCESS TRAVEL DISTANCE IN AN OCCUPANCY BUILDINGS SHALL NOT EXCEED 250 FT IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
• EXIT PATH A: 152'
• EXIT PATH B: 177'
- C. GENERAL CONTRACTOR SHALL VERIFY EXISTING FIRE EXTINGUISHER CONDITION AND LOCATIONS AND UPGRADE AS NEEDED TO MEET THE REQUIREMENTS OF THE 2021 INTERNATIONAL FIRE CODE AND NFPA 10:
1. FIRE EXTINGUISHERS SHALL BE MOUNTED ALONG EGRESS PATHS WHEREVER POSSIBLE WITH TOPS AT NO MORE THAN 80" A.F.F. AND BOTTOMS AT NO LESS THAN 4" A.F.F.2. THE MINIMUM FIRE EXTINGUISHER RATING SHALL BE 2A-10B:C FOR LIGHT HAZARD OCCUPANCIES (SUCH AS MERCANTILE).
2. THE MINIMUM FIRE EXTINGUISHER RATING SHALL BE 4A-10B:C FOR HIGH HAZARD OCCUPANCIES (SUCH AS HIGH-PILE STORAGE).
3. THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER SHALL BE 75 FT.
4. EACH UNIT OF "A" MAY COVER UP TO 3,000 SQ. FT. OF FLOOR AREA IN ORDINARY HAZARD OCCUPANCIES, AND UP TO 1,000 SQ. FT. OF FLOOR AREA IN HIGH HAZARD OCCUPANCIES.
5. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED DUE TO SPECIFIC HAZARDS AS OUTLINED IN SECTION 906 OF THE 2021 INTERNATIONAL FIRE CODE. VERIFY ON SITE WITH INSPECTOR AS NEEDED.



PRCTI20250870

KIMCO REALTY

SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
4102 SOUTH MERIDIAN
PUYALLUP, WA 98373

DATE	NO.	DESCRIPTION
06/27/2025		ISSUED FOR COMMERCIAL T.I.



PROJECT NO.: 25027.00
PROJECT MGR.: DR
DRAWN BY: DH
CHECKED BY: ML

FLOOR PLAN (SPACE 10A)
A2.01

DATE	NO.	DESCRIPTION
06/27/2025		ISSUED FOR COMMERCIAL T.I.

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SAFETY GLAZING IN WINDOWS:

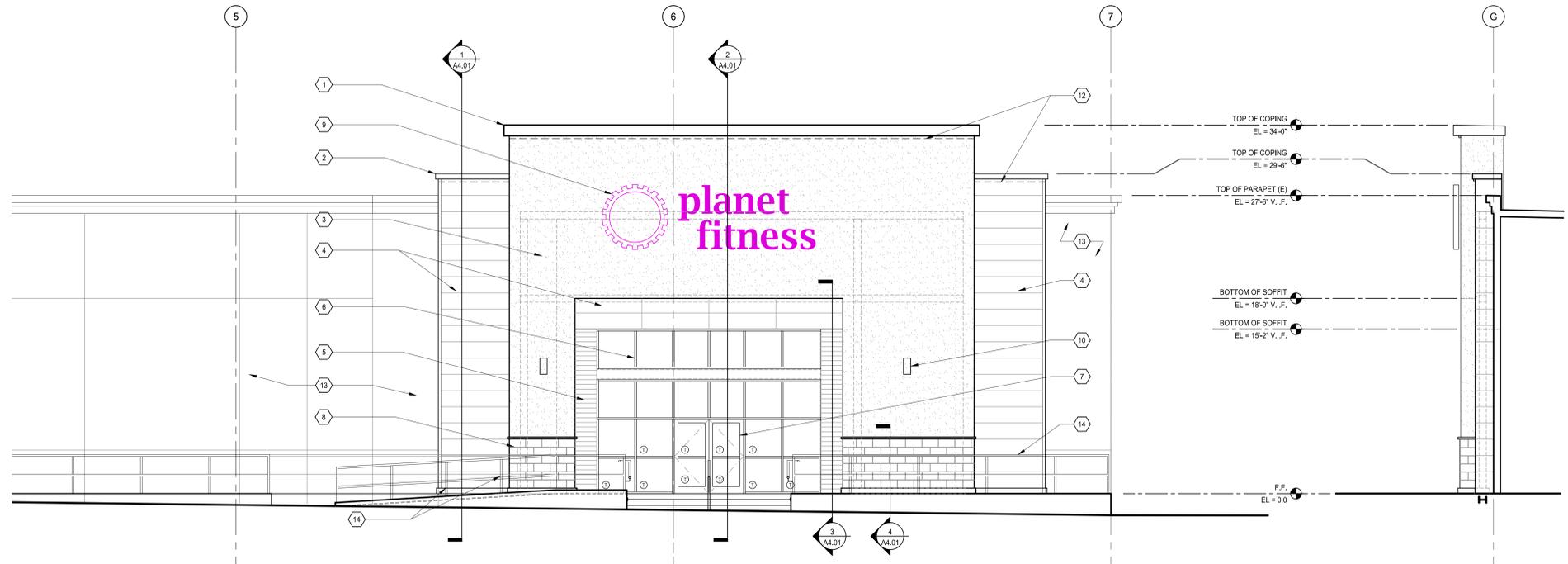
- A. SAFETY GLAZING IN WINDOWS IS REQUIRED IF THE INDIVIDUAL PANEL MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 1. EXPOSED AREA OF THE INDIVIDUAL PANEL IS GREATER THAN 9 SQUARE FEET.
 2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES FROM THE FLOOR.
 3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR.
 4. THERE IS A WALKING SURFACE WITHIN 36 INCHES, MEASURED HORIZONTALLY, FROM THE GLAZING.
- B. EXCEPTIONS:
 - DECORATIVE GLAZING.
 - WHERE A HORIZONTAL RAIL, CAPABLE OF RESISTING 50 POUNDS PER LINEAL FOOT OF FORCE WITHOUT MAKING CONTACT WITH THE GLASS IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34-38 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING AND WET SURFACES: GLAZING IN WALLS, ENCLOSURES, OR FENCES AROUND SHOWERS, BATHTUBS, POOLS, HOT TUBS, SPAS, SALINAS, AND STEAM ROOMS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES FROM THE STANDING OR WALKING SURFACE IS REQUIRED TO BE SAFETY GLAZING.
 - SAFETY GLAZING IS NOT REQUIRED WHERE THE GLAZING IS MORE THAN 60 INCHES HORIZONTALLY FROM THE EDGE OF THE WATER.
- C. WHERE SAFETY GLAZING IS REQUIRED EACH PANE MUST BE PROVIDED WITH A MANUFACTURER'S LABEL DEFINING THE TYPE OF GLASS AND SAFETY GLAZING STANDARD TO WHICH IT COMPLIES. THE LABEL MUST BE PERMANENTLY ETCHED, FIRED, OR EMBOSSED ON THE GLASS OR BE A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.
- D. GLAZING USED IN DOORS AND GLAZING LOCATED WITHIN A 24-INCH ARC OF THE NEAREST VERTICAL EDGE OF A DOOR AND UP TO 60 INCHES ABOVE FINISH FLOOR AND AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL HAVE APPROVED SAFETY GLAZING MATERIAL AS DEFINED BY THE PREVAILING BUILDING CODE.

KEYNOTES

1. METAL COPING (FEATURE); COLOR
2. METAL COPING (SIDES); COLOR
3. EPS: (BO) STO THEM (C) EPS; TEXTURED FINISH, PEARL, (60 10622).
4. FIBER CEMENT PANEL: (B.O.D.) NICHHA, TUFFBLOCK, STEEL.
5. FIBER CEMENT PANEL: (B.O.D.) NICHHA, VINTAGEWOOD, CEDAR.
6. STOREFRONT: (B.O.D.) KAWNEER, TRIFAB VERSAGLAZE 601T, CLEAR ANODIZED FINISH.
7. DOORS: (B.O.D.) KAWNEER, TRIFAB VERSAGLAZE 601T, MATCH STOREFRONT (HARDWARE BELOW).
8. MANUFACTURED STONE VENEER WITH STONE WALL CAP: (BO) ELDORADO STONE, RIDGETOP 18, GRANITE SPINE.
9. EXTERIOR SIGNAGE (BY OTHERS), PROVIDE 3/4" FRT PLYWD BACKING, ONE (1) 20 AMP CIRCUIT FOR SIGNAGE AND WALL/SOFFIT LIGHTS.
10. WALL-MOUNTED DOWNLIGHTS; (B.O.D.) SONNEMAN, FLAT BOX LED SCONCE, TEXTURED GRAY.
11. DOWNLIGHTS AT SOFFIT: (B.O.D.) LITELINE, GENESIS 8 LED, 4000K.
12. WALL-MOUNTED LINEAR STRIP LIGHTING: (B.O.D.) QTL, VERS-ENCAPSULATED (06), SATIN.
13. EXISTING CONCRETE PANEL WALL TO REMAIN, PAINT TO MATCH STO: CLOUD (35237).
14. PIPE RAIL AT SIDEWALK CURB, STAIRS, RAMP: KYNAR FINISH, COLOR: T8D.
15. HANDRAILS: MATCH PIPE RAIL SPEC.
16. STANDING SEAM METAL ROOF.
17. METAL GUTTER.
18. DETECTABLE WARNING SURFACE AT LANDINGS.
19. CROSSWALK STRIPING.
20. OPENING IN EXISTING CONCRETE PANEL WALL.

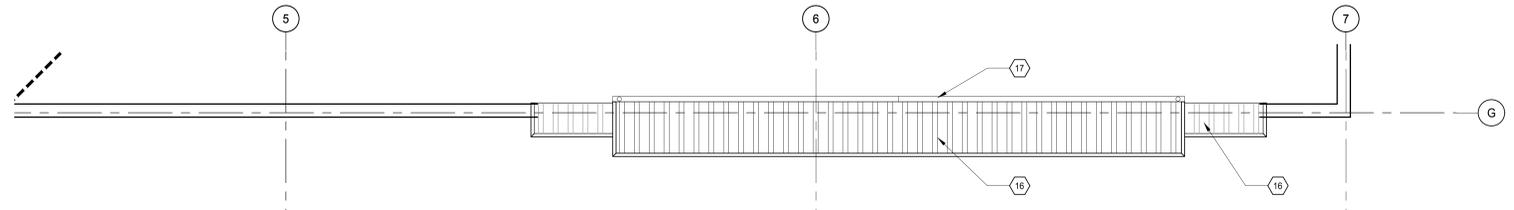
1-A: SET E-S (NEW STOREFRONT - CONCEALED PANIC)

QTY	DESCRIPTION	UNIT	QTY	UNIT
2 EA	INTERMEDIATE PIVOT	7226F INT	630	NES
2 EA	PIVOT SET	7226F SET	630	NES
1 EA	PANIC HARDWARE	CD-3347A-EO	626	VON DUPRIN
1 EA	PANIC HARDWARE	CD-3347A-NLOP	626	VON DUPRIN
1 EA	RIM CYLINDER	AS REQUIRED	626	SCHLAGE
2 EA	MORTISE CYLINDER	AS REQUIRED	626	SCHLAGE
2 EA	OFFSET DOOR PULL	8190.0	630	NES
2 EA	OVERHEAD STOP	100S - HEAVY DUTY	630	GLY.
2 EA	SURFACE CLOSER	4050 EDA	689	LCN
1 SET	SEALS (PER DOOR SUPPLIER)	-	-	-
1 EA	DRIP CAP (PER DOOR SUPPLIER)	-	-	-
2 EA	DOOR SWEEP (PER DOOR SUPPLIER)	-	-	-
1 EA	THRESHOLD (PER DOOR SUPPLIER)	-	-	-

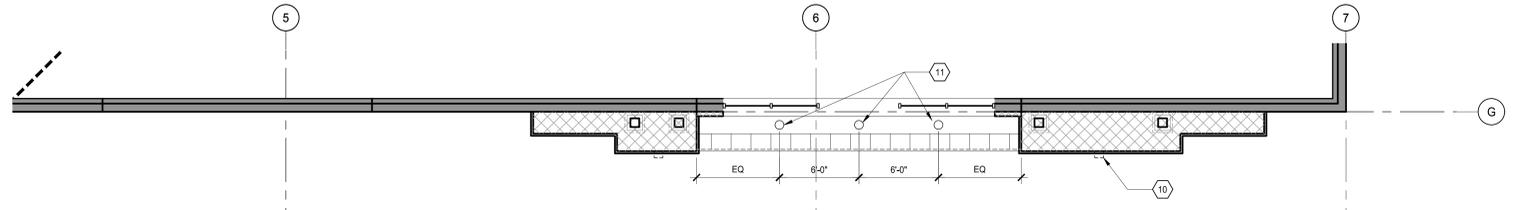


4 ENLARGED ELEVATION - EAST (ENTRY)
 Scale: 3/16" = 1'-0"

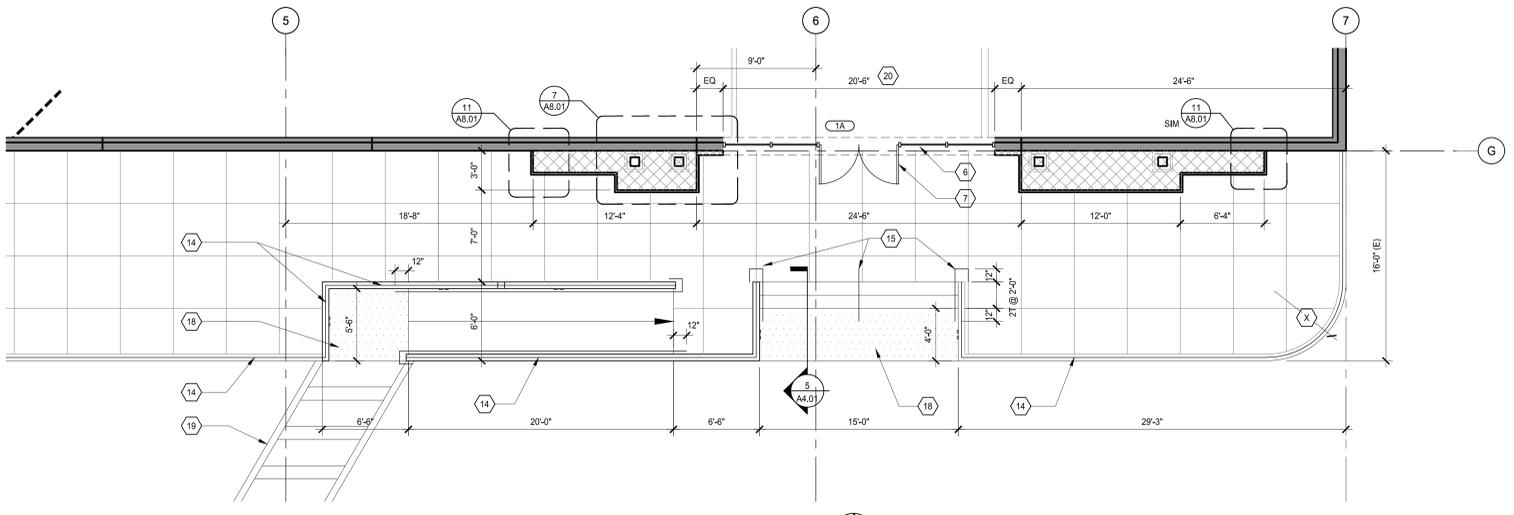
5 ENLARGED ELEVATION - NORTH
 Scale: 3/16" = 1'-0"



3 ENLARGED ROOF PLAN
 Scale: 3/16" = 1'-0"



2 ENLARGED REFLECTED CEILING PLAN
 Scale: 3/16" = 1'-0"



1 ENLARGED PLAN - EAST (ENTRY)
 Scale: 3/16" = 1'-0"

- KEYNOTES**
1. EXTERIOR INSULATION & FINISH SYSTEM.
 2. FIBER CEMENT WALL PANEL.
 3. CLEAR ANODIZED STOREFRONT.
 4. CLEAR ANODIZED ENTRY DOORS.
 5. MANUFACTURED STONE VENEER WITH STONE WALL CAP.
 6. EXTERIOR SIGNAGE (BY OTHERS), PROVIDE 3/4" FRT PLYWD BACKING.
 7. ENTRY VESTIBULE (BY TENANT)
 8. RECESSED DOWNLIGHTS AT SOFFIT.
 9. EXISTING CONCRETE PANEL WALL TO REMAIN.
 10. STANDING SEAM METAL ROOF.
 11. EXISTING FOOTING.
 12. HSS STEEL FRAMED STRUCTURE, REFER STRUCTURAL SHEETS.
 13. CONCRETE CURB AT BASE OF EIFS WALL ASSEMBLY (CART PROTECTION).
 14. PIPE & HANDRAILS AT SIDEWALK CURB, STAIRS, RAMP; KYNAR FINISH, COLOR: TBD. (SEE CIVIL FOR ADDITIONAL INFO.)
 15. RECESSED WALL LIGHTS; (B.O.D.) FOCUS INDUSTRIES, BRICK LIGHTS SL-06-BLT.

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

PRCTI20250870
 KIMCO REALTY
 4065 FACTORIA MALL SE, SUITE F10
 BELLEVUE, WASHINGTON 98006

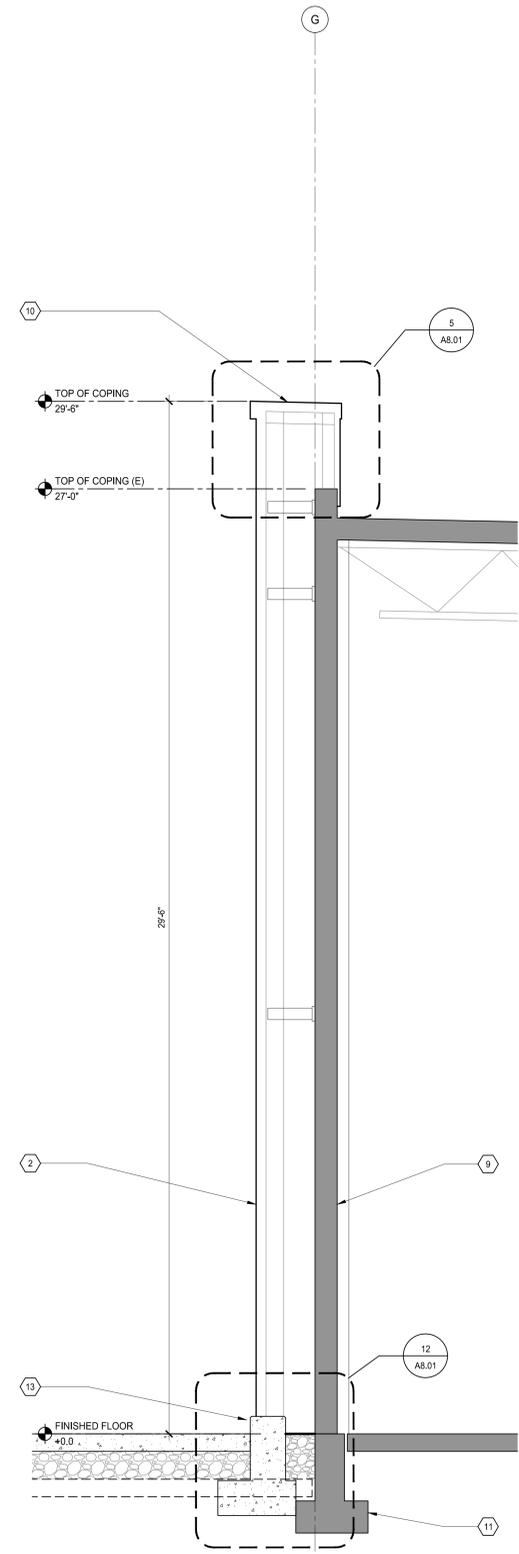
SOUTH HILL CENTER - SPACE 10A
COMMERCIAL TENANT IMPROVEMENT
 4102 SOUTH MERIDIAN
 PUYALLUP, WA 98373

NO.	DESCRIPTION
1	ISSUED FOR COMMERCIAL T.I.

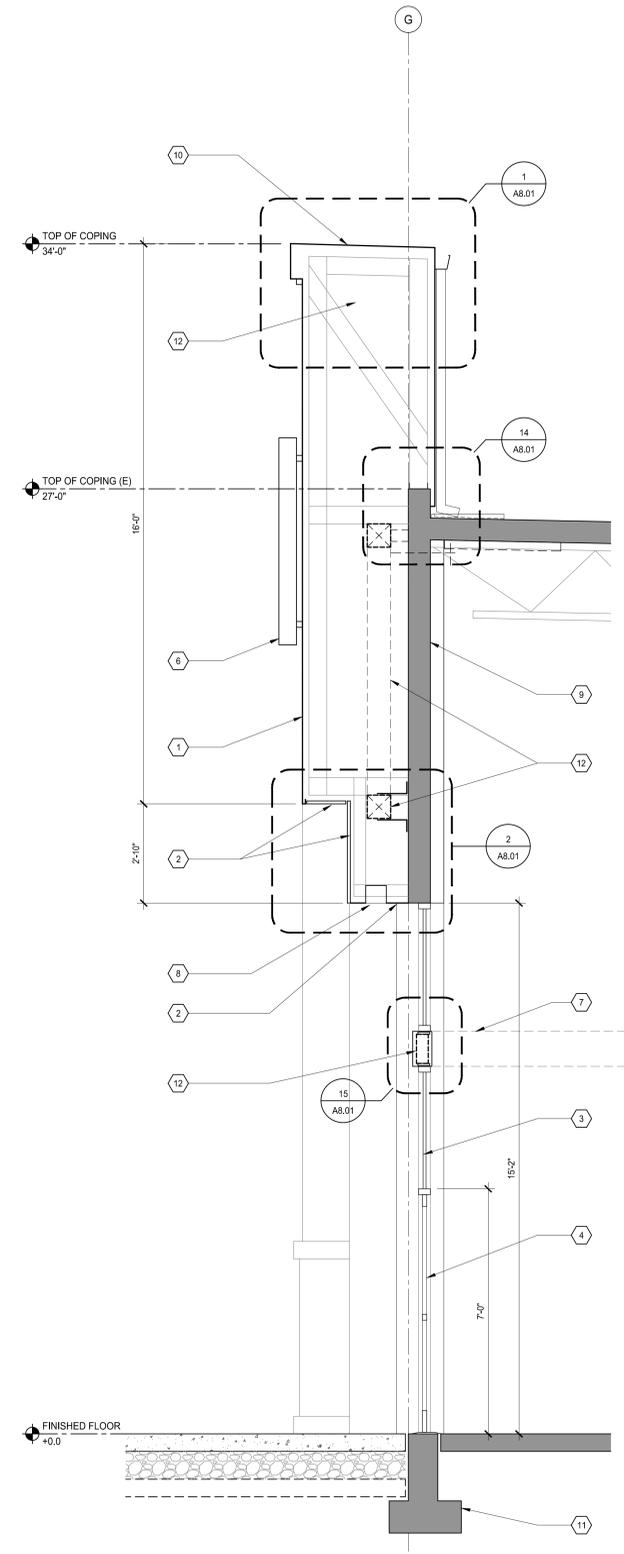
7793 REGISTERED ARCHITECT
 MATTHEW HASE
 STATE OF WASHINGTON

PROJECT NO.: 25027.00
 PROJECT MGR.: DR
 DRAWN BY: DH
 CHECKED BY: ML

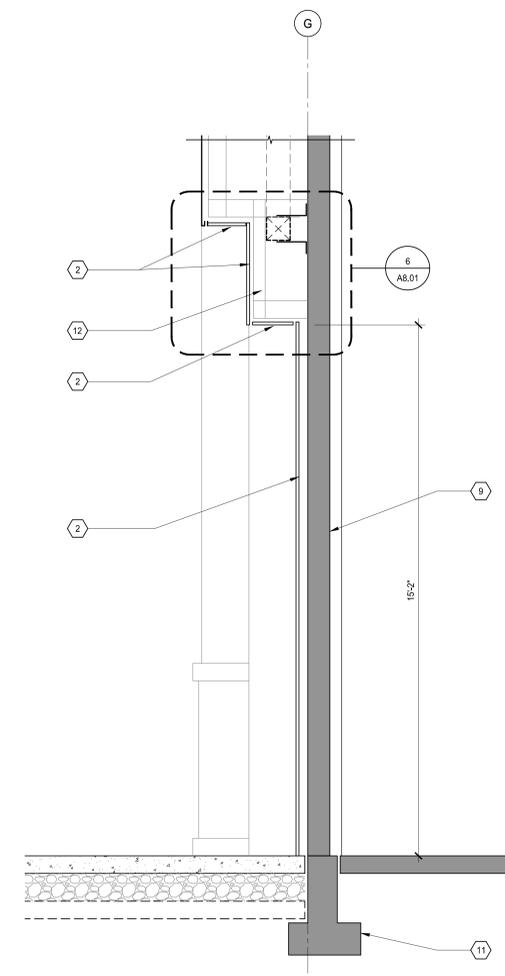
ENLARGED SECTIONS
A4.01



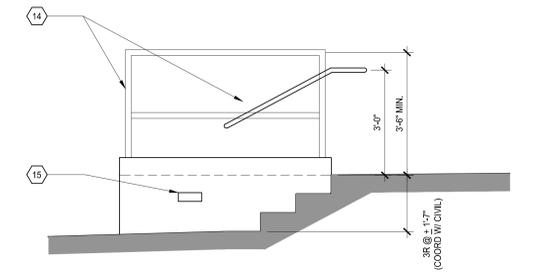
1 ENLARGED WALL SECTION
 Scale: 1/2" = 1'-0"



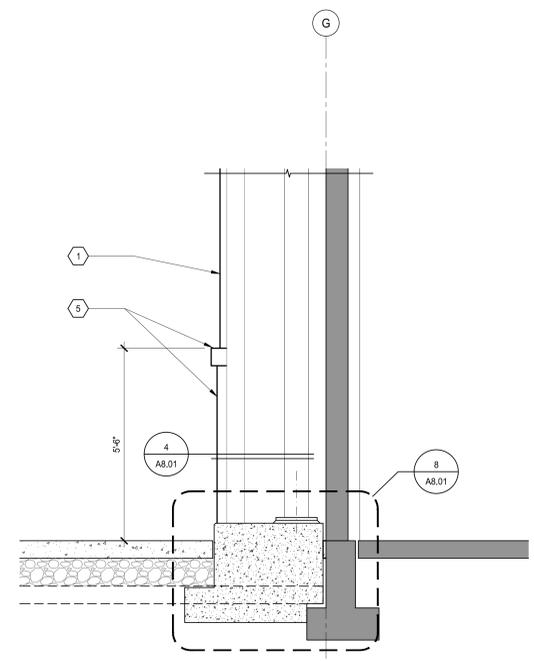
2 ENLARGED WALL SECTION
 Scale: 1/2" = 1'-0"



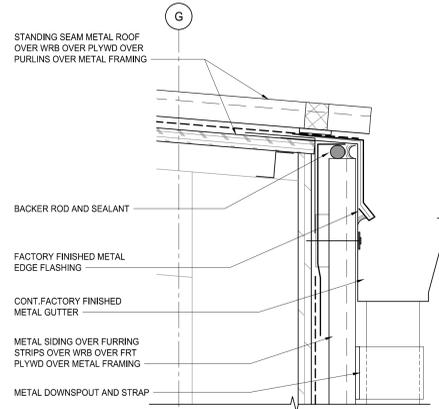
3 ENLARGED WALL SECTION
 Scale: 1/2" = 1'-0"



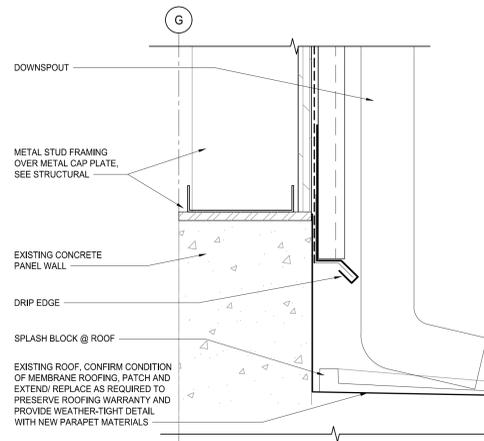
5 ENLARGED SECTION @ STAIRS
 Scale: 1/2" = 1'-0"



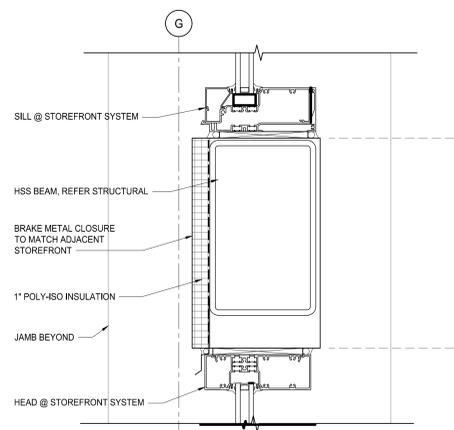
4 ENLARGED WALL SECTION
 Scale: 1/2" = 1'-0"



13 ROOF GUTTER DETAIL
3" = 1'-0"



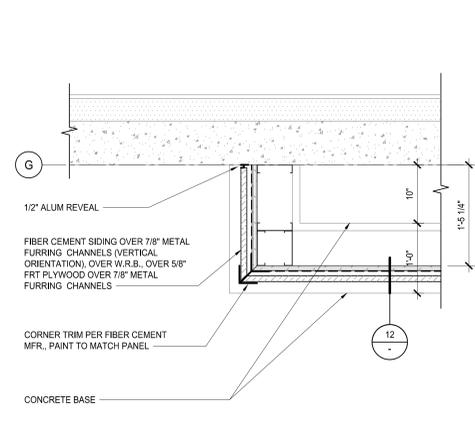
14 PARAPET CONNECTION
3" = 1'-0"



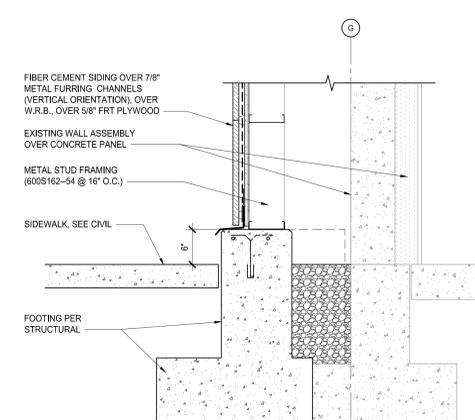
15 HSS SUPPORT AT STOREFRONT
3" = 1'-0"



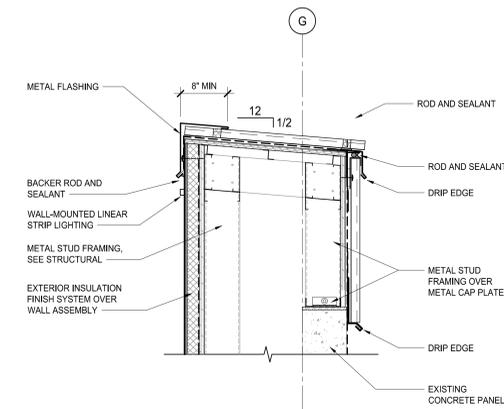
10 STONE VENEER SILL
3" = 1'-0"



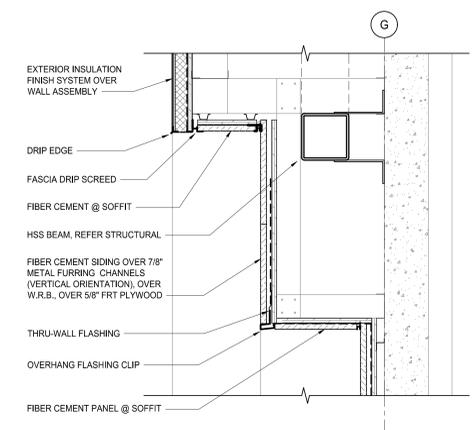
11 PLAN DETAIL @ BASE (FIBER CEMENT)
1" = 1'-0"



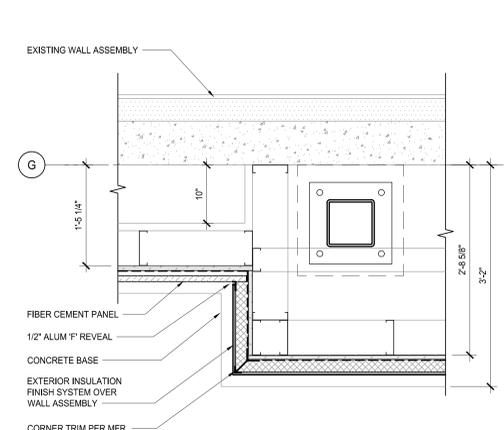
12 FIBER CEMENT PANEL BASE DETAIL
1" = 1'-0"



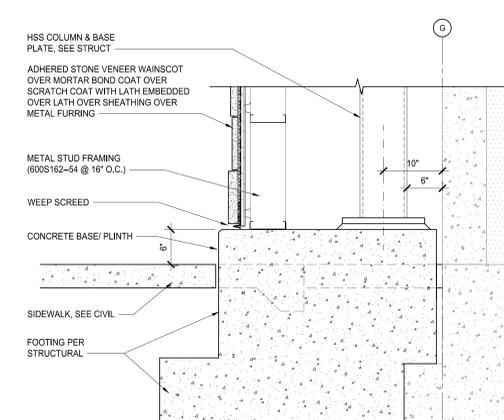
5 ROOF DETAIL (F.C.)
1" = 1'-0"



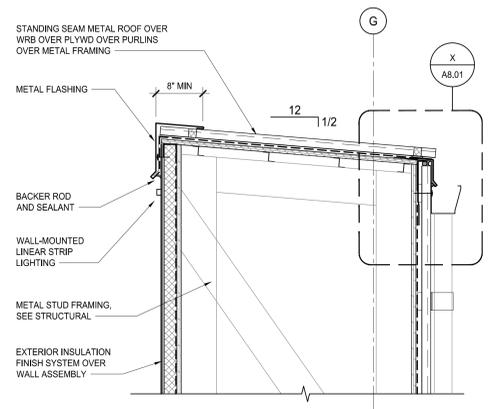
6 SOFFIT DETAIL
1" = 1'-0"



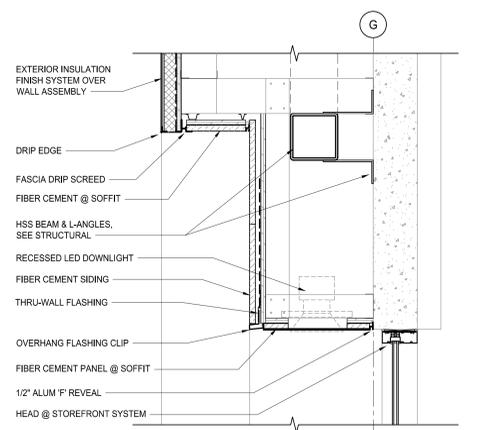
7 PLAN DETAIL @ BASE (EIFS/F.C.)
1" = 1'-0"



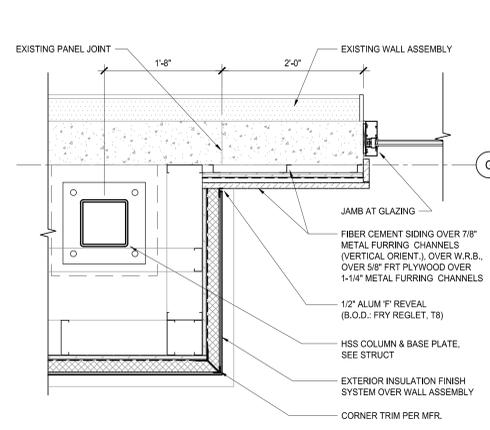
8 STONE VENEER BASE DETAIL
1" = 1'-0"



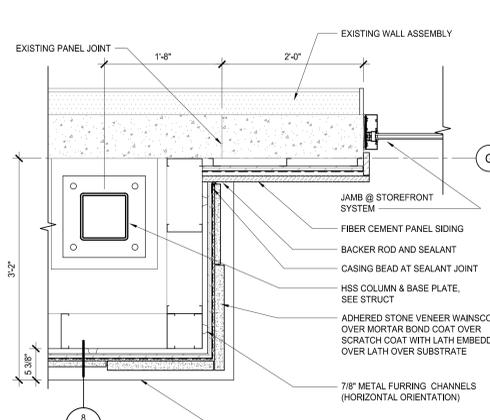
1 ROOF WITH GUTTER DETAIL (EIFS)
1" = 1'-0"



2 SOFFIT DETAIL (DOWNLIGHT)
1" = 1'-0"

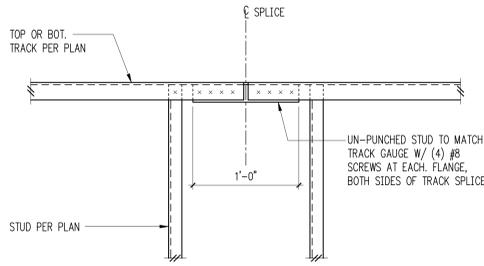


3 PLAN DETAIL @ BASE (EIFS/F.C.)
1" = 1'-0"

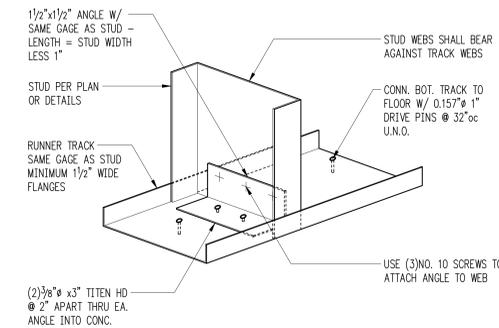


4 STONE VENEER/F.C. BASE DETAIL
1" = 1'-0"

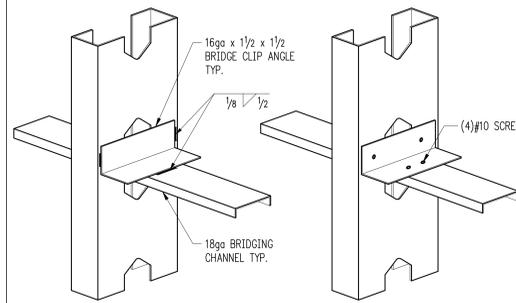
NO.	DESCRIPTION
06/27/2025	ISSUED FOR COMMERCIAL T.I.



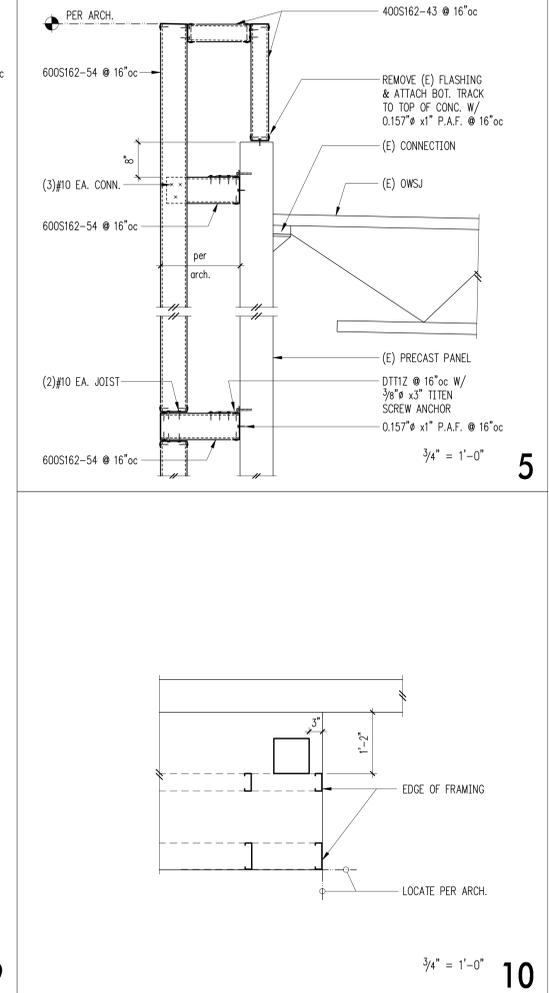
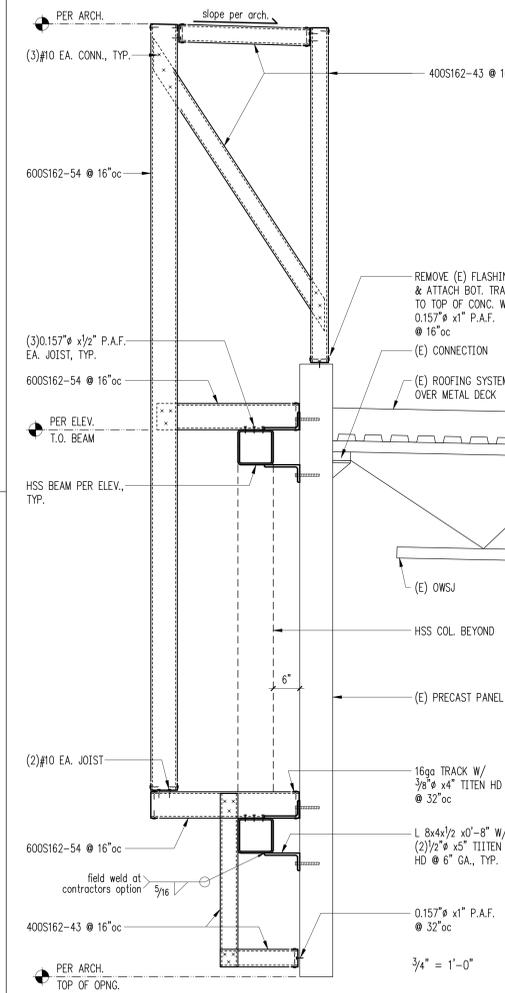
1/2" = 1'-0"
Top & Bottom Track Splice 1



Bottom Track at Exterior Walls 2



NOTES:
• BRIDGING IS REQUIRED FOR LOADINGS APPLIED BEFORE SHEATHING IS ATTACHED TO BOTH FLANGES. BRIDGING PROVIDES RESISTANCE TO ROTATION CAUSED BY WIND LOADING. THE NUMBER OF BRIDGING ROWS SHOULD NOT BE LESS THAN SPECIFIED IN THE FOLLOWING.
• WALLS SUBJECT TO WIND LOAD ONLY (EXTERIOR)
1. UP TO 10'-0" HEIGHT: ONE ROW OF BRIDGING AT MID-HEIGHT.
2. OVER 10'-0" HEIGHT: BRIDGING ROWS SPACE 5'-0"oc MAX.
• BRIDGING SHALL BE EITHER WELDED OR SCREWED AS SHOWN AT RIGHT:
Stud Bridging 3



JM JACKSON | MAIN ARCHITECTURE
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1 206.324.4800
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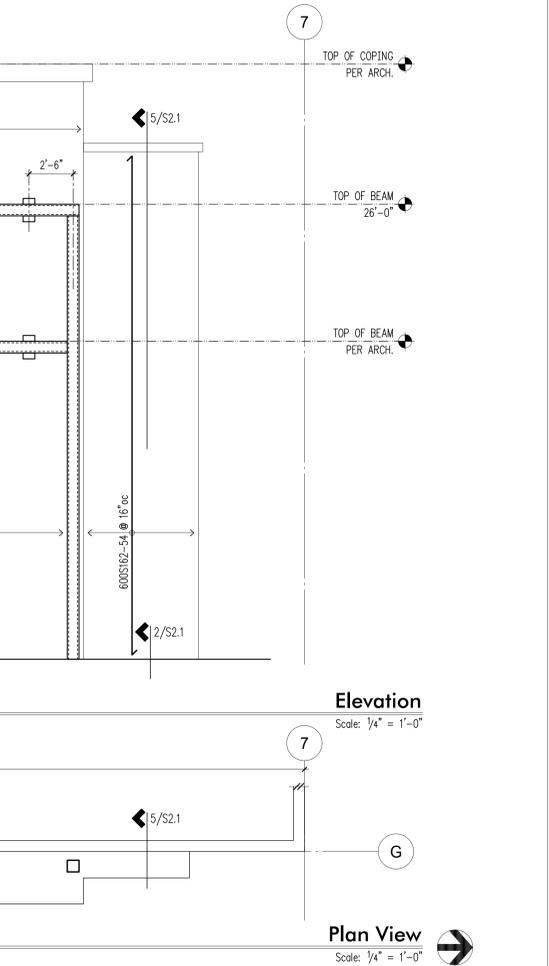
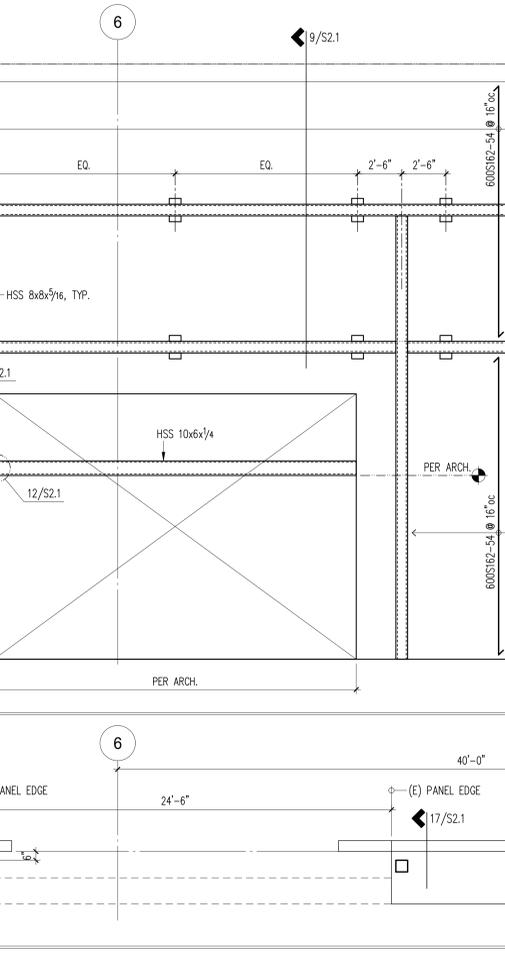
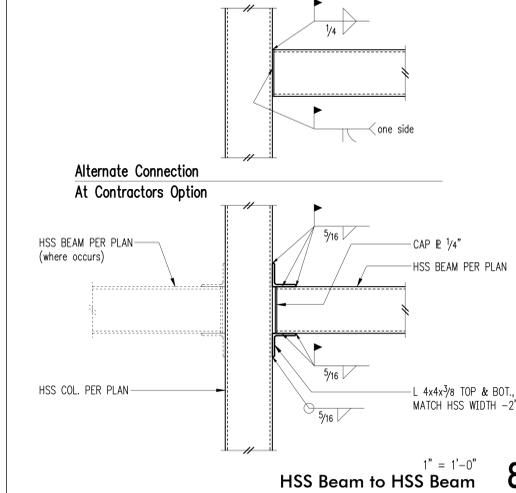
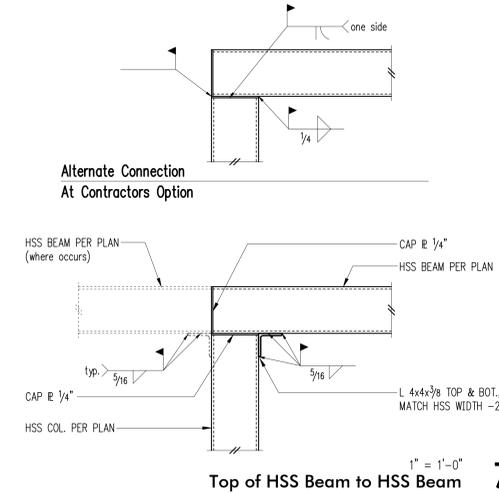
PROJECT NO.: 10993-2025-01
PROJECT MGR.: ABB
DRAWN BY: RJJ
CHECKED BY: ABB

Plan, Elevation & Details
S2.1

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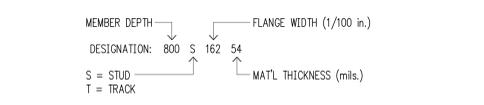
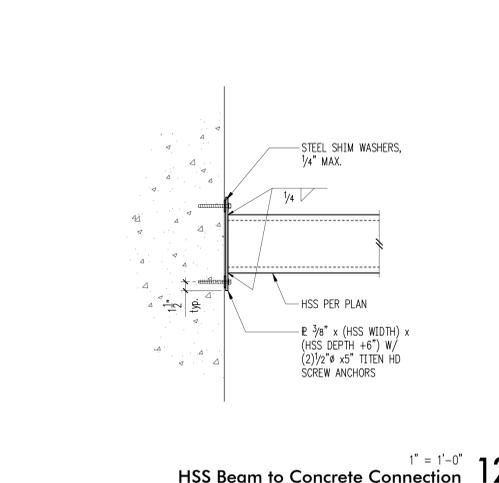
City of Puyallup
Development & Permitting Services
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Building	Planning
Engineering	Public Works
Fire	Traffic

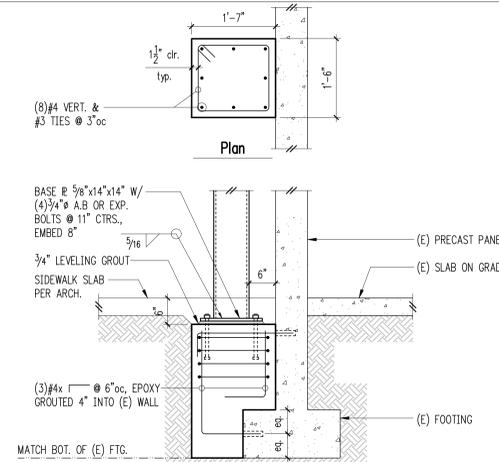


Metal Framing Properties

Type	Gauge	Net Area In ²	Ix, In. ⁴	Sx, In. ³	rx, In.
400 S 162 - 33	20	0.275	0.692	0.332	1.586
400 S 162 - 43	18	0.357	0.892	0.443	1.581
400 S 162 - 54	16	0.443	1.098	0.549	1.574
400 S 162 - 68	14	0.550	1.346	0.673	1.564
600 S 162 - 33	20	0.344	1.793	0.577	2.282
600 S 162 - 43	18	0.447	2.316	0.767	2.276
600 S 162 - 54	16	0.556	2.860	0.927	2.267
600 S 162 - 68	14	0.693	3.525	1.164	2.255
800 S 162 - 33	20	0.413	3.582	0.757	2.943
800 S 162 - 43	18	0.537	4.633	1.158	2.937
800 S 162 - 54	16	0.670	5.736	1.397	2.927
800 S 162 - 68	14	0.836	7.089	1.757	2.913



- Metal Framing Notes**
- METAL FRAMING USED SHALL CONFORM TO THE SHAPE, GRADE, SIZE, AND GAUGE SPECIFIED. DESIGNATIONS REFER TO THE UNIVERSAL DESIGNATOR SYSTEM FOR LIGHT GAUGE STEEL FRAMING MEMBERS.
 - METAL FRAMING SHALL BE GALVANIZED UNLESS OTHERWISE NOTED, CONFORMING AS FOLLOWS:
12, 14, AND 16 GAUGE ASTM A653 S0, GRADE 50 Fy = 50ksi
18 AND 20 GAUGE ASTM A653 S0, GRADE 33 Fy = 33ksi
 - ALL 8 AND 10 GAUGE MATERIAL SHALL CONFORM TO ASTM A36 WITH A MINIMUM YIELD OF 36,000 psi.
 - ALL BEARING STUDS SHALL BE LATERALLY SUPPORTED TO PREVENT WEAK AXIS BUCKLING BY CONNECTING EACH FLANGE TO GYPSUM WALLBOARD PER 1997 U.B.C. TABLE 25C.
 - TRACK SECTIONS SHALL BE UNPUNCHED, HAVE AT LEAST 1/4" FLANGES, AND HAVE SAME MATERIAL THICKNESS AS WALL FRAMING MEMBERS.
 - WALLS WHICH HAVE SHEATHING CONNECTED ON ONE SIDE ONLY SHALL HAVE UNSHEATHED FLANGES LATERALLY SUPPORTED PER 10/S4.1
 - WELDING OF COLD-FORMED METAL FRAMING SHALL CONFORM TO AWS D1.3 AND SHALL BE PERFORMED BY WELDERS QUALIFIED TO PRODUCE THE SPECIFIED CLASSES OF WELD.



Metal Framing Notes & Properties 16

HSS Beam to Concrete Connection 12