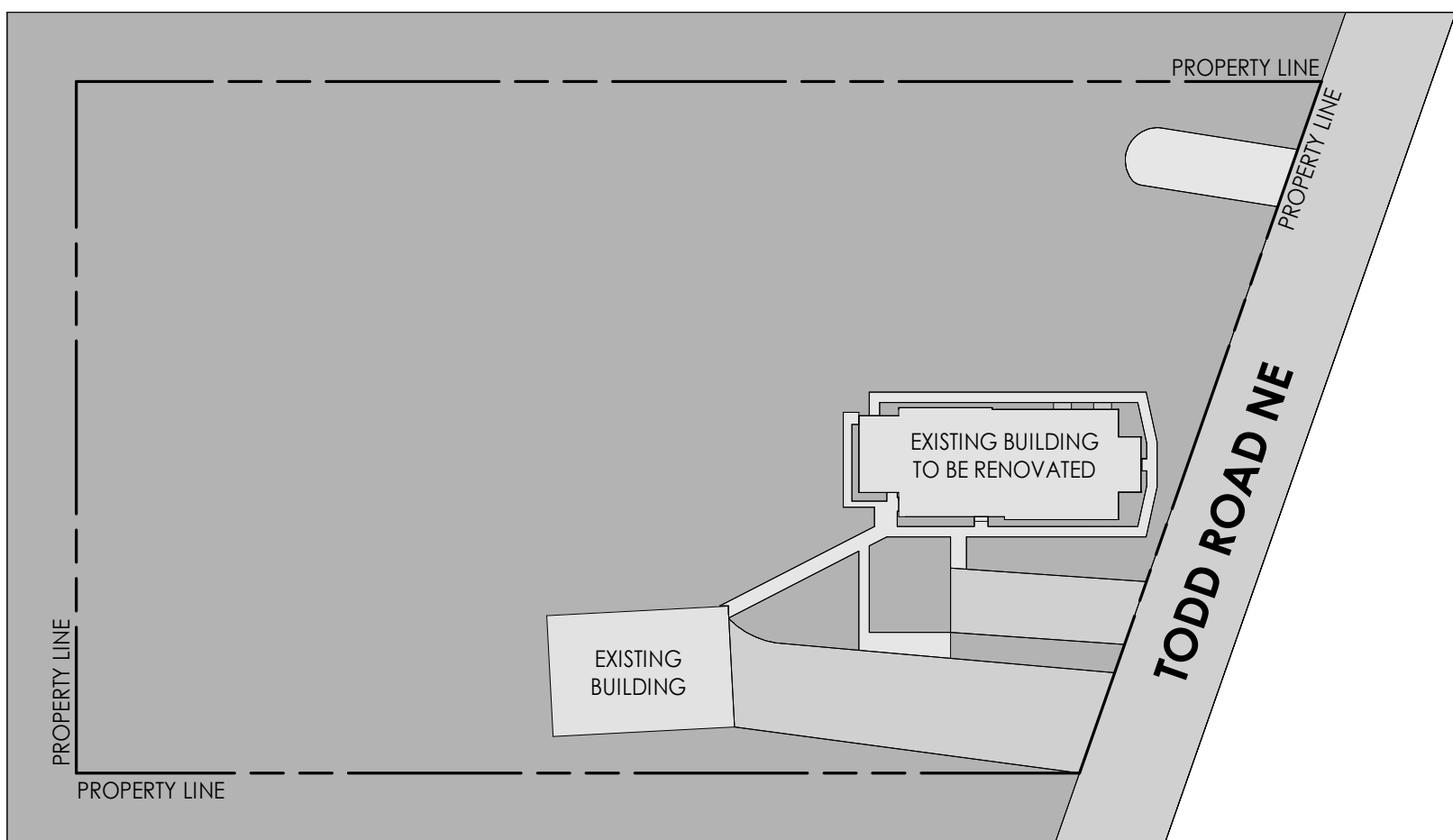


TODD ROAD CHANGE OF USE

320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371

PROJECT NO. 23-108



SITE PLAN

1" = 50'-0"

NORTH

Please provide a site plan showing the proposed parking. Include the required accessible parking space(s), accessible routes, and EV infrastructure.

ABBREVIATIONS

AB	ANCHOR BOLT
ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITY ACT
ADJ	ADJACENT OR ADJUSTABLE
AF	ABOVE FINISH FLOOR
AGG	AGGREGATE
AHJ	AUTHORITY HAVING JURISDICTION
AIB	AIR INFILTRATION BARRIER
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
AP	ACCESS PANEL
APC	ACOUSTICAL PANEL CEILING
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
ASB	ASBESTOS
ASPH	ASPHALT
AWRB	AIR / WATER RESISTANT BARRIER

BD	BOARD
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BM	BEAM
BMK	BENCHMARK
BOT	BOTTOM
BSMT	BASEMENT
BTWN	BETWEEN

C	CHANNEL
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
CF	CUBIC FEET
CFM	CUBIC FEET PER MINUTE
CG	CORNER GUARD
CI	CONTINUOUS INSULATION
CIP	CAST IN PLACE
CJ	CONSTRUCTION / CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR(ANCE)
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CASED OPENING OR CLEANOUT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS, CONTINUE
CONTR	CONTRACT(OR)
CORR	CORRIDOR
CPT	CARPETED
CRB	CRUSHED ROCK BASE
CT	CERAMIC TILE
CTR	CENTER
CTSK	COUNTERSINK (SUNK)
CW	COLD WATER
CY	CUBIC YARD(S)

D	D
d	PENNY
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DEPT	DEPARTMENT
DET / DTL	DETAIL(S)
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DIV	DIVISION
DN	DOWN
DO	DOOR OPENING
DOOR	DOOR
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER

E	EAST
EA	EACH
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	ELECTRICAL PANEL
EQ	EQUAL
EQPT	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EX/EXIST	EXISTING
EXAG	EXPOSED AGGREGATE
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXTERIOR

FA	FIRE ALARM
FB	FLAT BAR
FCB	FIBER COMPOSITE BOARD
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH OR FINISH FLOOR
FFL	FINISHED FLOOR LEVEL
FG	FIBERGLASS
CO	FINISH GRADE
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FIN	FINISH(ED)
FL/FLR	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLRG	FLOORING
FLUOR	FLUORESCENT
FOB	FACE OF BRICK
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR
FOS	FACE OF STUD
FP	FIREPLACE
FPRF	FIREPROOF(ING)
FRP	FIBERGLASS REINFORCED PANEL
FS	FULL SIZE
FT	FOOT / FEET

ABBREVIATIONS

FTG	FOOTING
FURR	FURRING (FURRED)
FV	FIELD VERIFY

GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GEN	GENERAL
GFI	GROUND FAULT INTERRUPTER
GL	GLASS, GLAZING
GLBM	GLUE LAMINATED BEAM
GLAM	GLUE-LAMINATED
GND	GROUND
GR	GRADE
GYWB	GYPSUM WALL BOARD
GYP	GYPSUM

HB	HOSE BIBB
HC	HOLLOW CORE
HDR	HEADER
HDWD	HARDWOOD
HDWR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HANDRAIL OR HOUR
HSS	HOLLOW STRUCTURAL SECTION
HT	HEIGHT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HW	HOT WATER
HWB	HOT WATER HEATER

IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER (DIMENSION)
IN	INCH
INCL	INCLUDE(D)
INSP	INSPECT(ED)(ION)
INSUL	INSULATE(D) / INSULATION
INT	INTERIOR

JAN	JANITOR(S)
JST	JOIST
JT	JOINT

KIT	KITCHEN
------------	----------------

MO	MASONRY OPENING
MTL	METAL
MULL	MULLION

N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE

OA	OVERALL
OBS	OBSCURE
OC	ON CENTER(S)
OD	OUTER DIAMETER (DIMENSION)
OFCI	OWNER FURNISH / CONTRACTOR INSTALLED
OFD	OVERFLOW DRAIN
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD

PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE OR PROPERTY LINE
PLAM	PLASTIC LAMINATE
PNL	PANEL
POIC	PROVIDED BY OWNER / INSTALLED BY CONTRACTOR
PP	POWER POLE
PRCST	PRECAST
PT	POINT OR PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PTD/R	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE PARTITION
PTN	PAPER TOWEL RECEPTACLE
PTR	PLYWOOD
PWD	PLYWOOD

QT	QUARRY TILE
-----------	--------------------

R	RADIUS OR RISER
R&S	ROD AND SHELF
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
RD/OF	ROOF DRAIN & OVERFLOW
REC	RECOMMENDED
RECEPT	RECEPTION
REF	REFERENCE, REFER TO
REFR	REFRIGERATOR
REINF	REINFORCE(D)(ING)
REQ	REQUIRE(D)(ING)
RFG	ROOFING
RH	ROBE HOOK
RM	ROOM
RO	ROUGH OPENING

S	SOUTH
SC	SOLID CORE
SCD	SEAT COVER DISPENSER
SD	SMOKE DETECTOR OR SOAP DISPENSER

SF	SQUARE FOOT (FEET)
SG	SAFETY GLASS
SHT	SHEET
SHTG	SHEATHING
SHWR	SHOWER
SIM	SIMILAR

SND	SANITARY NAPKIN DISPENSER
SNR	SANITARY NAPKIN RECEPTACLE
SOG	SLAB ON GRADE
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	STAINLESS STEEL
SSK	SERVICE SINK
STD	STANDARD
STL	STEEL
STOR	STORAGE
SYM	SYMMETRY / SYMMETRICAL
SYS	SYSTEM

T	TEMPERED OR TREAD
T&G	TONGUE AND GROOVE
TB	TOWEL BAR
TBD	TO BE DETERMINED
TBS	TO BE SELECTED
TD	TOWEL DISPENSER
TEL	TELEPHONE
TEMP	TEMPERATURE OR TEMPORARY
TERR	TERRAZO
THK	THICK(NESS)
TCC	TOP OF CONCRETE OR TOP OF CURB
TOF	TOP OF FOOTING
TOL	TOLERANCE
TOM	TOP OF MASONRY
TOP	TOP OF PARAPET OR TOP OF PAVEMENT
TOPL	TOP OF PLATE
TOS	TOP OF SLAB OR STEEL
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TS	TUBE STEEL
TYP	TYPICAL

UL	UNDERWRITERS LABORATORIES
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UON	UNLESS OTHERWISE NOTED
UR	URINAL

VAC	VACUUM
VB	VAPOR BARRIER
VCR	VINYL CARPET REDUCER
VCT	VINYL COMPOSITION TILE
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VT	VINYL TILE
VTO	VENT TO OUTSIDE
VWC	VINYL WALL COVERING

W	WEST OR CLOTHES WASHER
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD OR STACKED
WDW	WASHER/DRYER
WG	WINDOW
WH	WIRE GLASS
WH	WATER HEATER
WM	WATERMETER
WP	WATERPROOF(ING)
WR	WASTE RECEPTACLE
WSCT	OR WATER RESISTANT
WT	WAINSCOT
WT	WEIGHT

SHEET INDEX

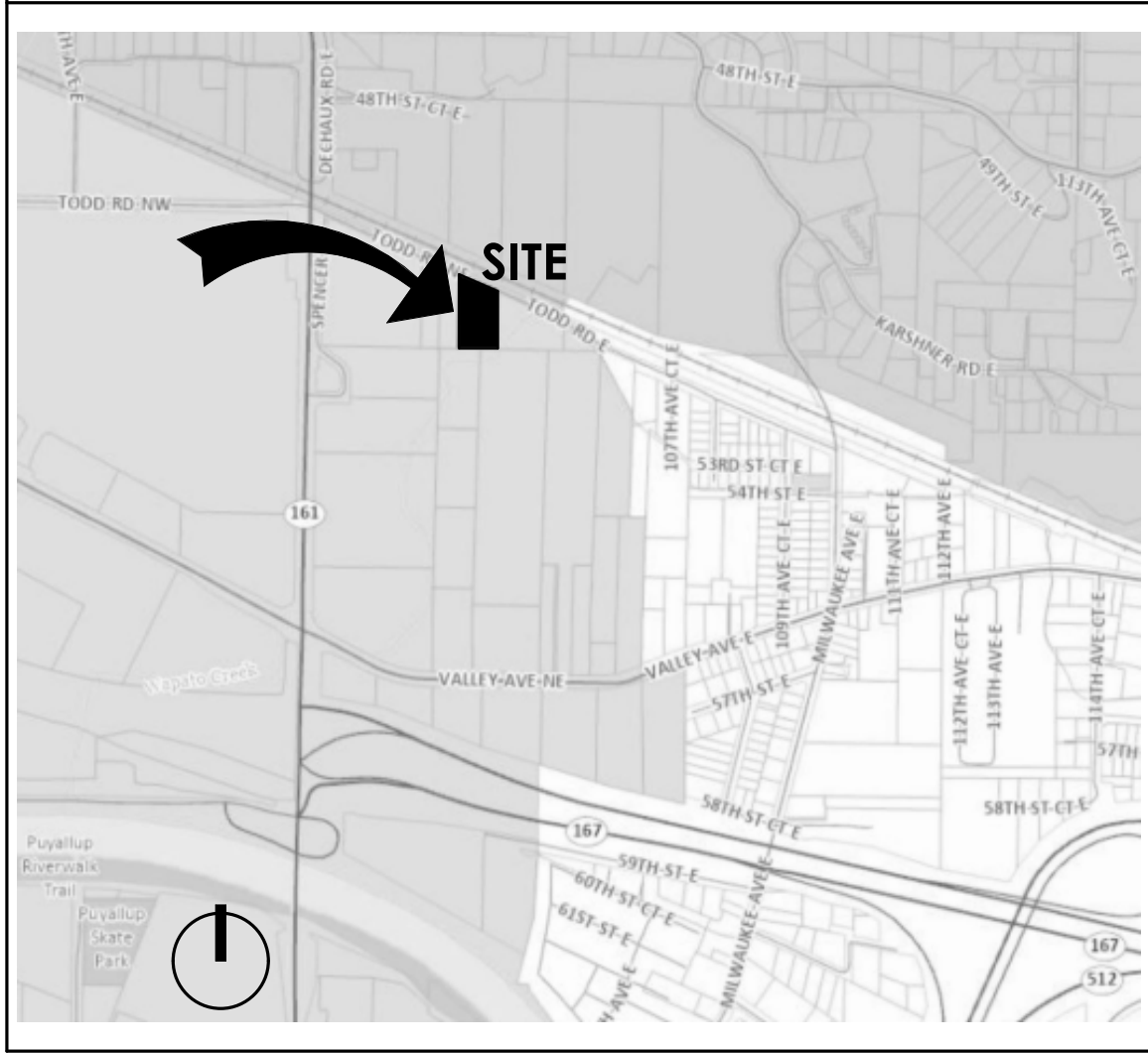
SHEET NUMBER	SHEET NAME
G0.01	COVER SHEET
G1.01	CODE ANALYSIS

AD2.10	DEMOLITION PLAN - GROUND LEVEL
AD2.11	DEMOLITION FLOOR PLAN - SECOND LEVEL
AD2.20	DEMOLITION ROOF PLAN
AD3.10	DEMOLITION ELEVATIONS

A2.10	NEW FLOOR PLAN - GROUND LEVEL
A2.11	NEW FLOOR PLAN - SECOND LEVEL
A2.21	NEW REFLECTED CEILING PLAN - GROUND LEVEL
A2.22	NEW REFLECTED CEILING PLAN - SECOND LEVEL
A2.30	NEW ROOF PLAN
A3.10	NEW ELEVATIONS
A3.11	NEW ELEVATIONS
A3.20	BUILDING SECTIONS
A3.30	INTERIOR ELEVATIONS
A4.10	DOOR, DOOR FRAME, WINDOW TYPES & SCHEDULES
A6.10	ROOF DETAILS

VICINITY MAP

NOT TO SCALE



CHANGE OF USE

TODD ROAD

320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371

PROJECT NO. 23-108

COVER SHEET

PERMIT

JUNE 2025

No. Description Date

PRCTI20250966

G0.01

PROJECT NO. 23-108

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PROJECT DATA

CITY OF PUYALLUP

PROPERTY ADDRESS:

320 TODD ROAD NE
PUYALLUP, WASHINGTON 98372

GENERAL SITE INFORMATION

ZONING: RM-20
TOTAL ACRES: 1.68 Acre
PARCEL NO. 0420222005
LEGAL DESCRIPTION: Section 22 Township 20 Range 04 Quarter 22 : BEG
1287 FT S & 786.29 FT E OF NW COR TH N 366.5 FT TO RDWY TH SELY 215.3 FT
TH S 287 FT TO A PT DIRECTLY E OF BEG TH W 200 FT M/L TO BEG

PROJECT DESCRIPTION:

Renovation of an existing residence into an office and warehouse.

APPLICABLE CODES:

2021 International Building Code
2021 International Fire Code
2021 International Mechanical Code
2021 Uniform Plumbing Code
2021 National Electric Code
2021 Washington State Energy Code
2017 International Code Council / American National Standard ICC/ ANSI A117.1

DEFERRED SUBMITTALS

- Fire Sprinkler
- Fire Alarm
- Engineered Truss Design

Manufactured trusses cannot be deferred.
Please provide the manufacturer's truss
layout and calculations.

CODE ANALYSIS

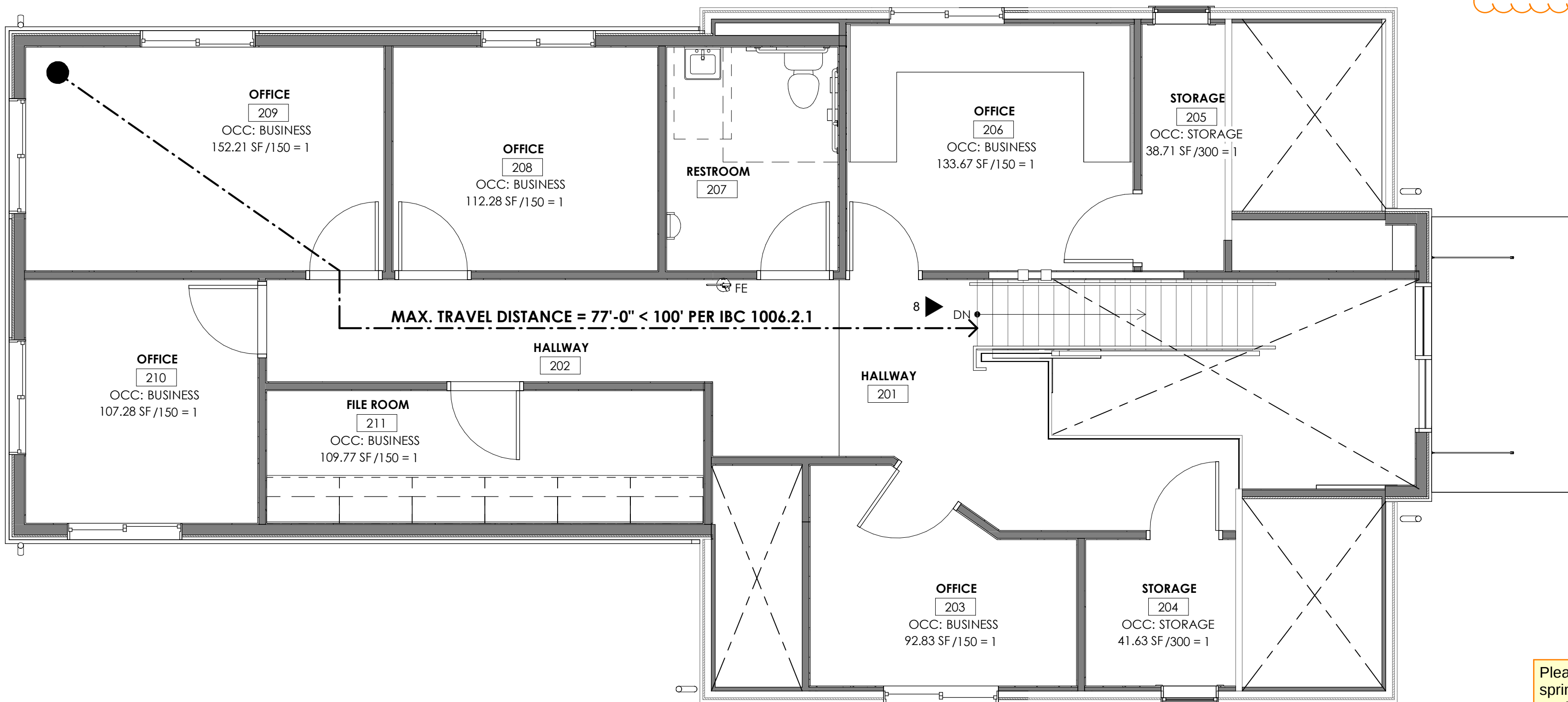
CODE COMPLIANCE	PROPOSED
IBC 2021 CODE REQUIREMENTS Chapter 3 Use & Occupancy Classification Occupancy Group B, Business Chapter 5 General Building Heights and Areas Limitations Table 504.3 Allowable building height (Non-Sprinklered): 40' allowed Table 504.4 Allowable no. of stories (Sprinklered): 2 Stories allowed Table 506.2 Allowable Area: 9,000 sqft Chapter 6 Types of Construction Table 601 Type of Construction V-B Occupancy B Fire resistance requirement 0 hr Chapter 10 Means of Egress Table 1004.5 Max. Floor Area Allowances Per Occupant Assembly (Unconcentrated) 15 SF Net Business 150 SF Gross Mech/ Storage 300 SF Gross Table 1006.2.1 Space With One Exit or Exit Access Doorway B Occupancy Max. occupant load 49 1013.1 Exit Sign Where required Table 1017.2 Exit Access Travel Distance Occupancy W/O Sprinkler System B 100' Chapter 29 Plumbing Systems Table 2902.1 Minimum number of required plumbing fixtures Water Closets: 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50 Total Occupancy: 21 Required WC: 1 Lavatory: 1/40 for the first 80 and 1 per 80 for the remainder exceeding 80 Total Occupancy: 21 Required Lav: 1	Group B, type V-B Construction. Actual Building Height: 24'-9" Actual No. of Stories: 2 Actual Building Area: Ground level 1,586 sqft (existing) Second level 812 sqft (existing) 662 sqft (new) Total 3,060 sqft Structural Frame 0 hr Bearing - Interior 0 hr Bearing - Exterior 0 hr Non-bearing - Interior 0 hr Floor Construction 0 hr Roof Construction 0 hr See Occupancy Plan Total Occupant Load: 21 Occupants (2) Exit Doors Provided Exit signs provided at all egress exist. Max. travel distance: 77'-0" Water Closet provided : 2 Lavatory provided : 2
WASHINGTON STATE ENERGY CODE Contractor is to provide exterior components with the following maximum U-Factors or better: Fiberglass windows = 0.30 Aluminum windows = 0.38 Entrance/glazed doors = 0.60 Opaque doors = 0.40 Non-swinging Opaque = 0.34 Contractor is to provide components with the following maximum Shading Coefficient or better: Windows = 0.40 All exterior doors shall be gasketed to provide a maximum air leakage rate of 1.0 cfm/ft2 tested at a pressure of at least 1.57 psf. All glazing shall be double-pane with a Low-E coating.	

Please show the exit
signage on the plans.

SYMBOL LEGEND

OFFICE 202	ROOM NAME ROOM NUMBER
OCC: BUSINESS 200 SF/ 150 = 2	ROOM S.F. / OCCUPANT ALLOWANCE PER S.F. = OCCUPANT LOAD
20	OCCUPANT LOAD EXISTING ROOM
EXIT SIGN FE	EXIT SIGN FE
TRAVELING PATH	TRAVELING PATH
FIRE EXTINGUISHER	FIRE EXTINGUISHER
EGRESS PATHWAY	EGRESS PATHWAY

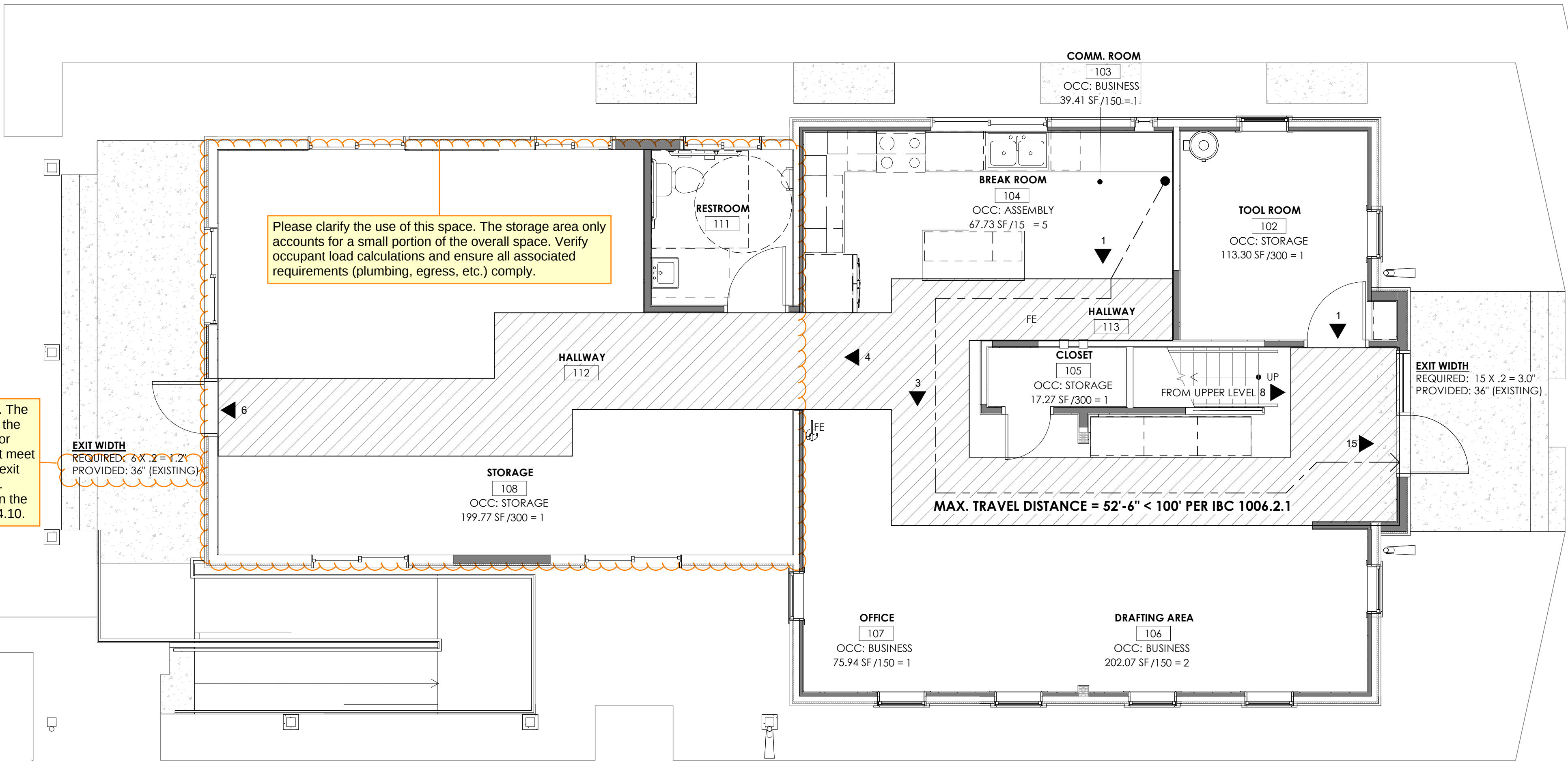
Please fix the placement of the Exit
Sign and Fire Extinguisher symbols.



Please clarify whether this building is
sprinklered or non-sprinklered. There
conflicting notes in this analysis.

2 NEW FLOOR PLAN - SECOND LEVEL

1/4" = 1'-0"



Please clarify the use of this space. The storage area only
accounts for a small portion of the overall space. Verify
occupant load calculations and ensure all associated
requirements (plumbing, egress, etc.) comply.

Please verify the exit width. The
door scales out to 32", and the
Door Schedule lists this door
(112) as 32". This exit must meet
minimum requirements for exit
doors on accessible routes.
Please see the comment on the
Door Schedule on sheet A4.10.

1 NEW FLOOR PLAN - GROUND LEVEL

1/4" = 1'-0"

Please provide a site plan showing the proposed parking. Include the required
accessible parking space(s), accessible routes, and EV infrastructure.

PERMIT

JUNE 2025

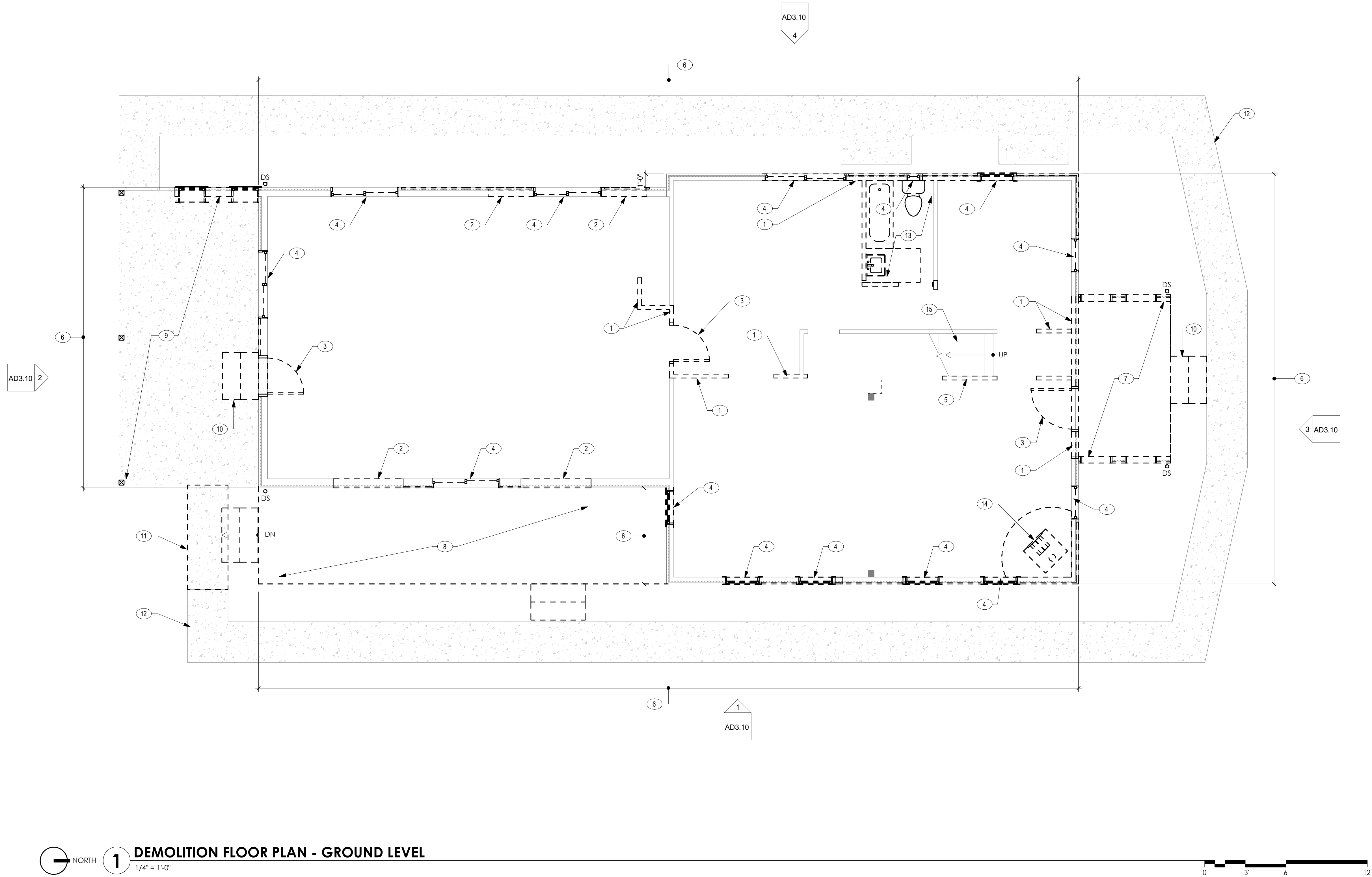
No. Description Date

PRCT120250966

G1.01

PROJECT NO. 23-108

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KEYNOTES

1. REMOVE EXISTING WALL ASSEMBLY, CLEAN AND PATCH SURROUNDING AND PREP FOR NEW WORK.
2. REMOVE EXISTING PARTIAL WALL ASSEMBLY FOR NEW WINDOW INSTALLATION.
3. REMOVE EXISTING DOOR, DOOR FRAME AND HARDWARE.
4. REMOVE EXISTING WINDOW, PREP FOR NEW WINDOW OR NEW WALL INFILL.
5. REMOVE PARTIAL HIGH WALL, PREP FOR NEW WALL ASSEMBLY.
6. REMOVE EXISTING LAP SIDING, PREP FOR NEW SIDING.
7. REMOVE EXISTING PORCH, WALL AND COLUMN ENTIRELY. EXISTING FOOTING TO REMAIN.
8. REMOVE EXISTING WOOD DECK, STAIRS AND STRUCTURE ENTIRELY.
9. REMOVE EXISTING PORCH, WALL AND COLUMNS ENTIRELY. EXISTING CONCRETE PAD TO REMAIN.
10. REMOVE EXISTING CONCRETE STAIRS.
11. REMOVE CONCRETE PAD.
12. EXISTING CONCRETE WALKWAY TO REMAIN.
13. REMOVE EXISTING LAVATORY, TOILET AND RESTROOM ACCESSORIES ENTIRELY.
14. REMOVE EXISTING WOOD BURN HEATER, EXHAUST PIPE AND FLOOR PAD.
15. EXISTING STAIR TO REMAIN.

GENERAL NOTES

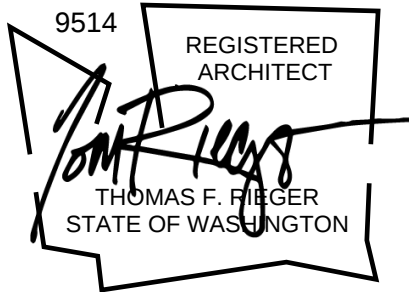
1. CLEAN AND PATCH EXISTING FLOOR FINISHES, FLOOR SUBSTRATE TO REMAIN; PREP FOR NEW FLOOR FINISH.

LEGEND

- EXISTING STUD
- WALL TO REMAIN
- EXISTING WALL OR ITEMS TO BE REMOVED, PATCH/REPAIR THE SURROUNDING AND PREP FOR NEW WORK
- EXISTING DOOR TO BE REMOVED
- DS EXISTING DOWNSPOUT AND ASSOCIATED BRACKET TO BE REMOVED



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CHANGE OF USE
TODD ROAD
320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371
PROJECT NO. 23-108
DEMOLITION PLAN - GROUND LEVEL

PERMIT

JUNE 2025

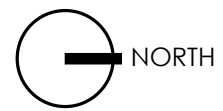
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PRCT120250966

AD2.10

PROJECT NO., 23-108

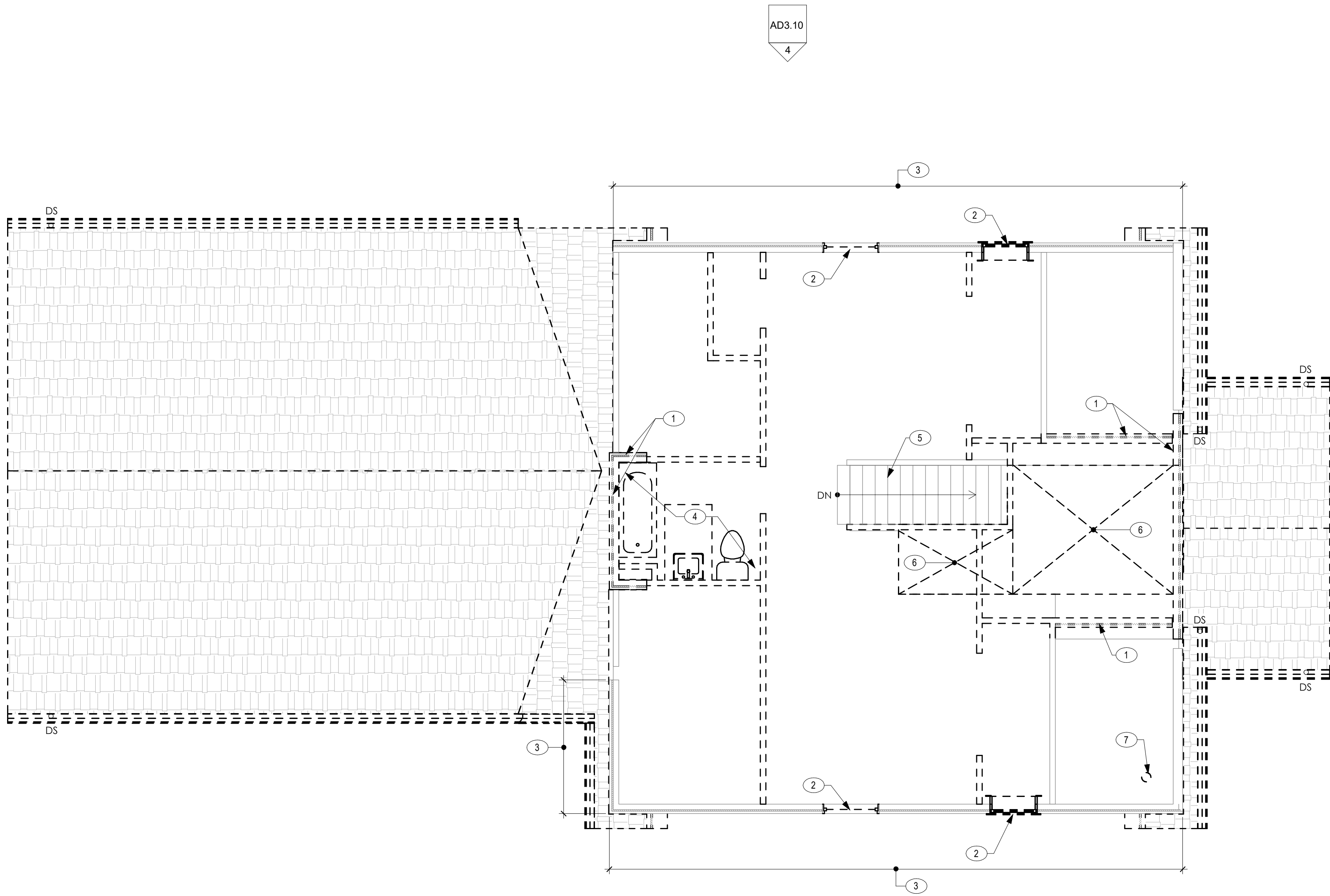
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1

DEMOLITION FLOOR PLAN - SECOND LEVEL

1/4" = 1'-0"



KEYNOTES 8

1. REMOVE EXISTING WALL ASSEMBLY, CLEAN AND PATCH SURROUNDING AND PREP FOR NEW WORK.
2. REMOVE EXISTING WINDOW, PREP FOR NEW WINDOW OR NEW WALL INFILL.
3. REMOVE EXISTING LAP SIDING, PREP FOR NEW SIDING.
4. REMOVE EXISTING LAVATORY, TOILET AND RESTROOM ACCESSORIES ENTIRELY.
5. EXISTING STAIR TO REMAIN.
6. REMOVE PLYWOOD FLOOR.
7. REMOVE EXHAUST PIPE.

GENERAL NOTES

1. CLEAN AND PATCH EXISTING FLOOR FINISHES, FLOOR SUBSTRATE TO REMAIN. PREP FOR NEW FLOOR FINISH.

LEGEND

EXISTING STUD
WALL TO REMAIN

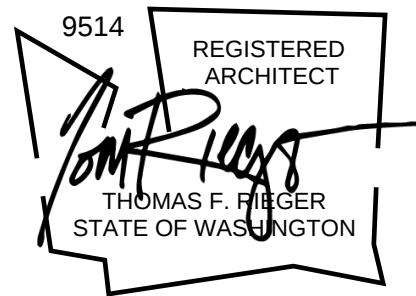
EXISTING WALL OR
ITEMS TO BE
REMOVED, PATCH/
REPAIR THE
SURROUNDING
AND PREP FOR
NEW WORK

EXISTING DOOR TO
BE REMOVED

DS EXISTING DOWNSPOUT
AND ASSOCIATED
BRACKET TO BE
REMOVED



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CHANGE OF USE
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DEMOLITION FLOOR PLAN - SECOND LEVEL

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JUNE 2025

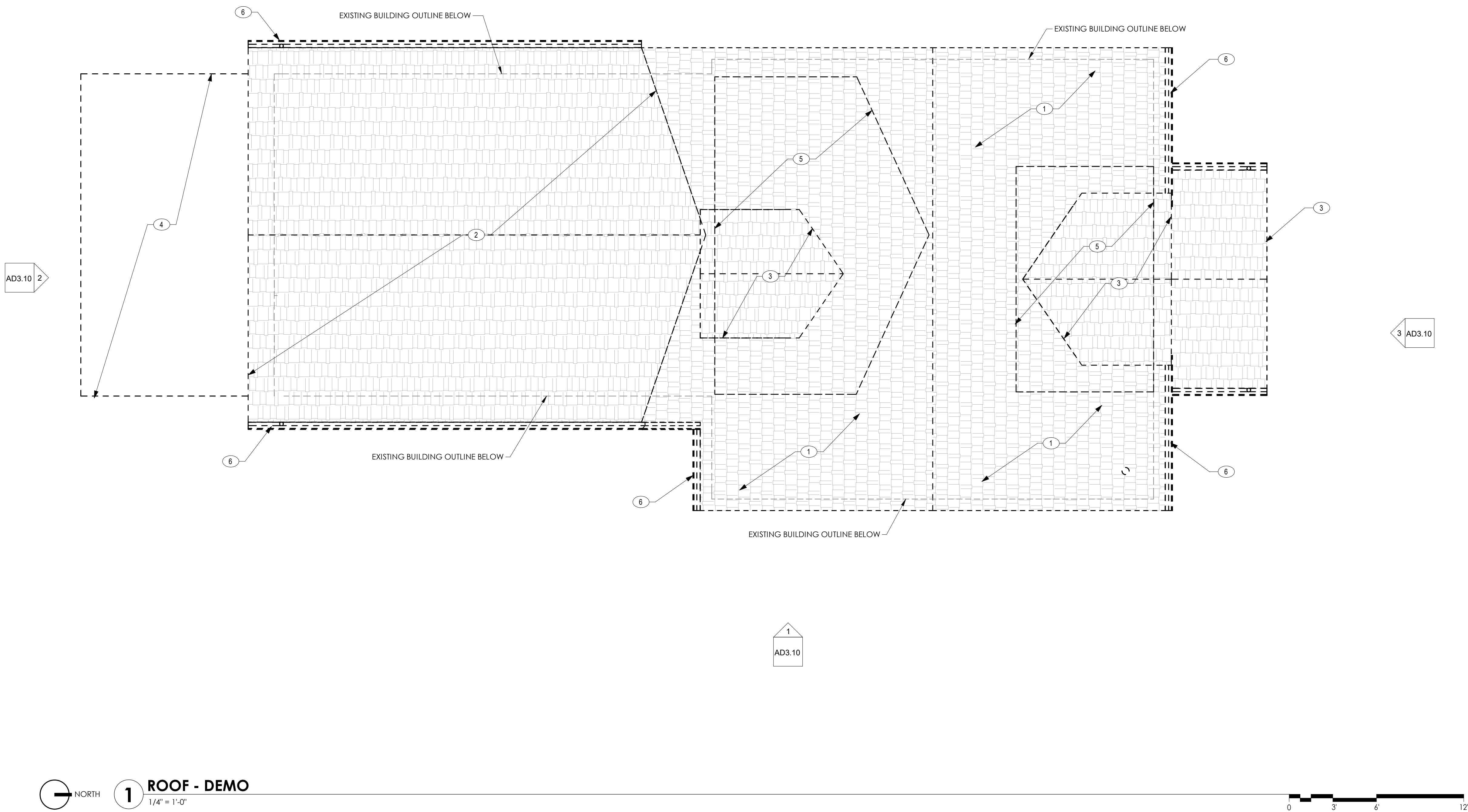
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AD2.11

PROJECT NO. 23-108

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KEYNOTES

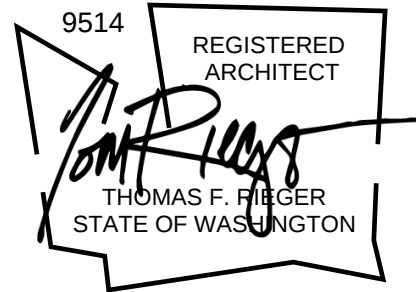
1. REMOVE EXISTING ASPHALT SINGLES AND ASSOCIATED EDGE FLASHING. EXISTING SHEATHING AND ROOF STRUCTURE TO REMAIN. PREP FOR NEW ROOF INSTALLATION. REPORT ANY DAMAGE OR ROT OF EXISTING SHEATHING TO ARCHITECT AND OWNER IMMEDIATELY IF DISCOVERED.
2. REMOVE EXISTING ASPHALT SHINGLE ROOF AND ROOF STRUCTURE. PREP FOR NEW WORK.
3. REMOVE EXISTING ROOF AND WALL STRUCTURE ENTIRELY. PREP FOR NEW WORK.
4. REMOVE EXISTING PORCH. WALL AND COLUMNS ENTIRELY.
5. REMOVE EXISTING PARTIAL ROOF STRUCTURE ACCORDINGLY. PREP FOR NEW WALL AND ROOF CONSTRUCTION.
6. REMOVE EXISTING GUTTER. ASSOCIATED EDGE FLASHING. EXISTING DOWNSPOUT AND ASSOCIATED BRACKETS.

GENERAL NOTES

1. REMOVE EXISTING VTR, EXHAUST HOOD, VENT PIPE, ETC IN THEIR ENTIRETY THROUGHOUT AREA OF ROOF DEMOLITION.



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CHANGE OF USE
TODD ROAD
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PROJECT NO. 23-108
DEMOLITION ROOF PLAN

PERMIT

JUNE 2025

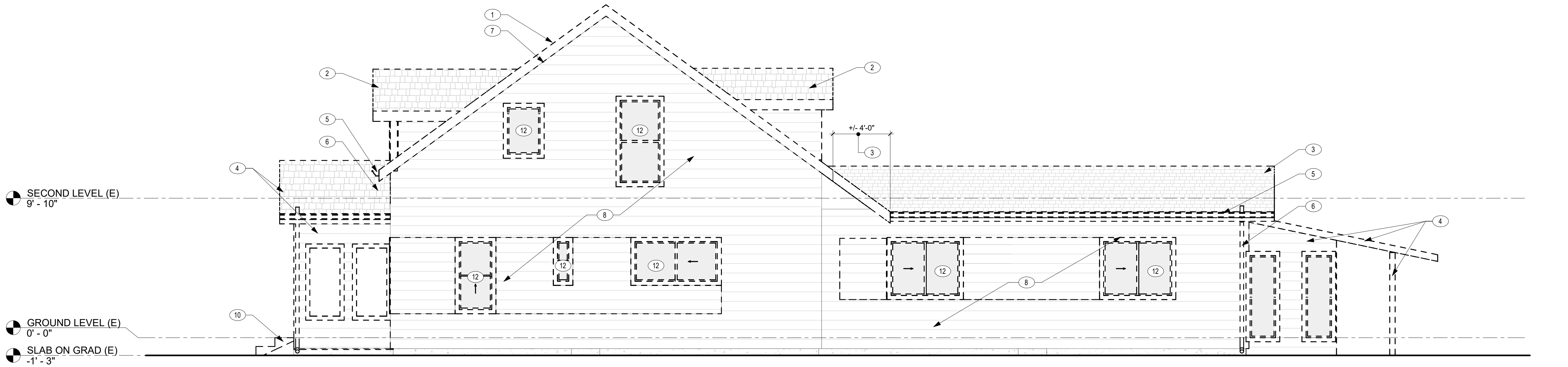
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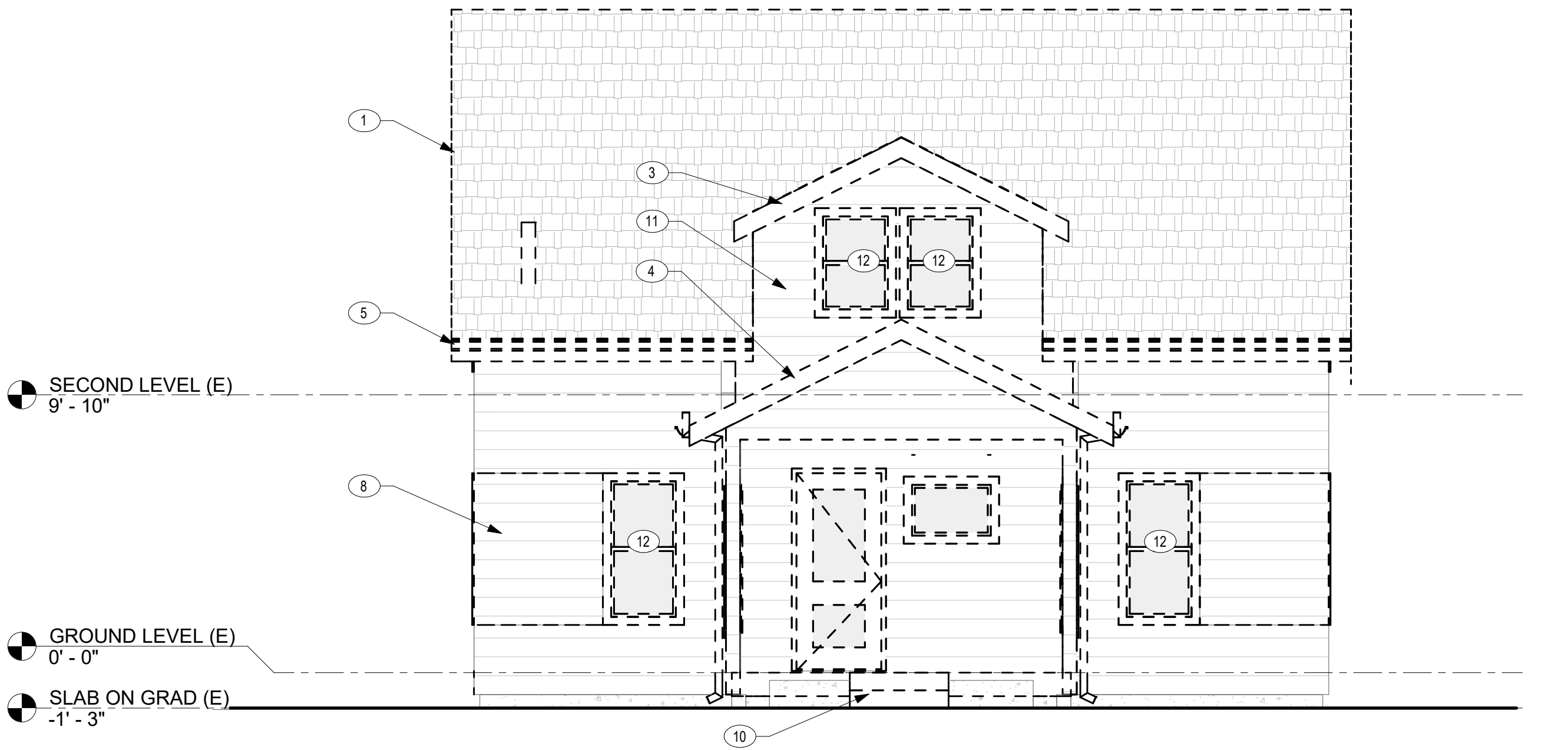
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PROJECT NO. 23-108

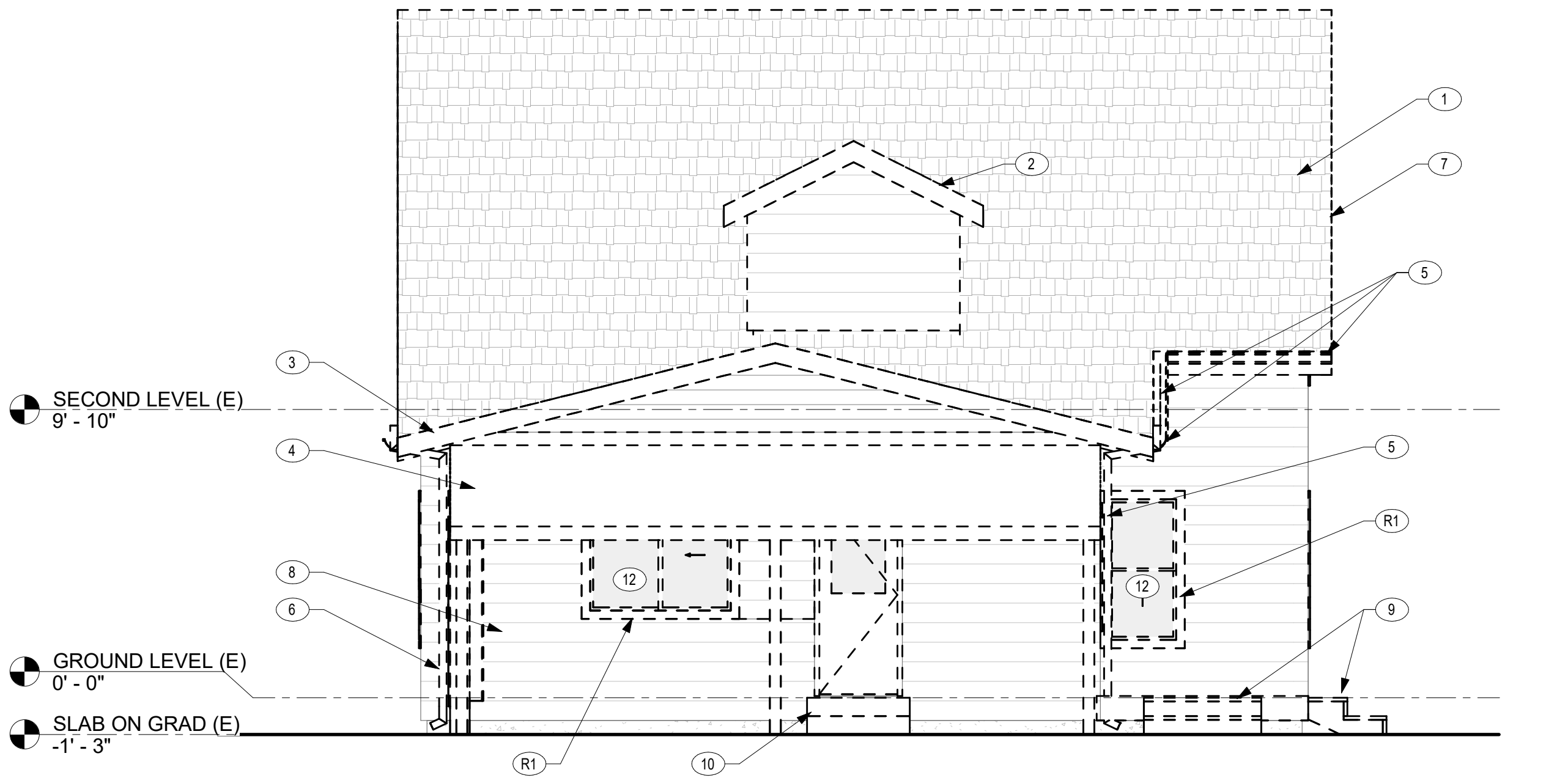
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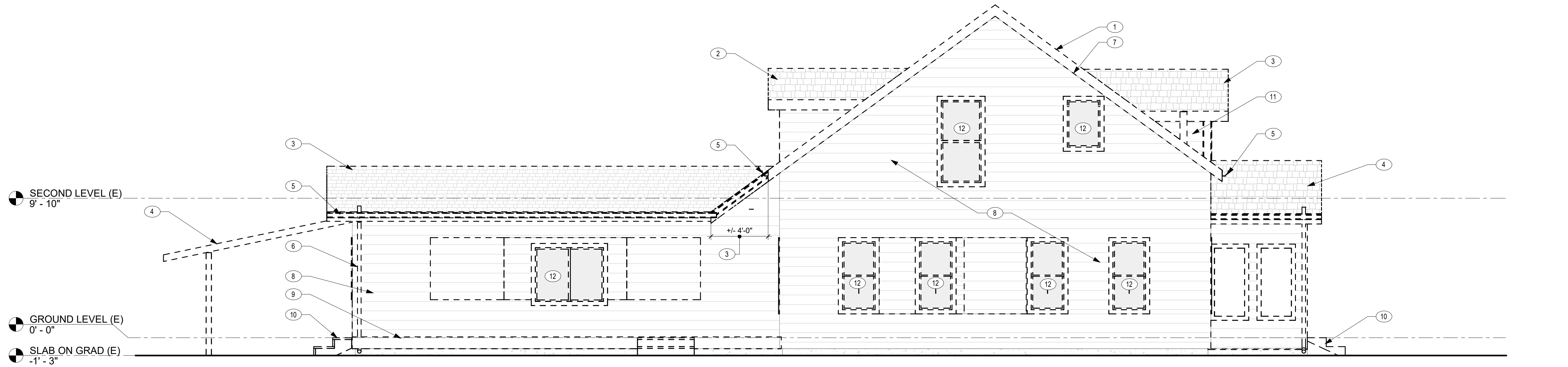
4 WEST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

KEYNOTES #

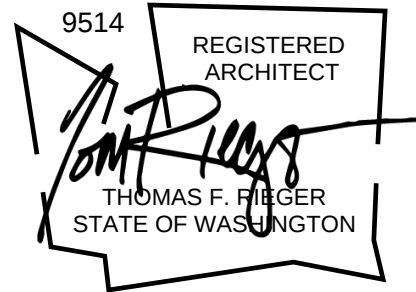
1. REMOVE EXISTING ASPHALT SINGLES, EXISTING SHEATHING AND ROOF STRUCTURE TO REMAIN, PREP FOR NEW ROOF INSTALLATION, REPORT ANY DAMAGE OR ROT OF EXISTING SHEATHING TO ARCHITECT AND OWNER IMMEDIATELY IF DISCOVERED.
2. REMOVE EXISTING ROOF, WALL AND STRUCTURE ENTIRELY, PREP FOR NEW WORK.
3. REMOVE EXISTING ROOF AND ROOF STRUCTURE AND PREP FOR NEW WORK.
4. REMOVE EXISTING PORCH, WALL AND COLUMNS ENTIRELY.
5. REMOVE EXISTING GUTTER AND ASSOCIATED EDGE FLASHING.
6. REMOVE EXISTING DOWNSPOUT AND ASSOCIATED BRACKETS.
7. REMOVE EXISTING RAKE EDGE FLASHING.
8. REMOVE EXISTING LAP SIDING.
9. REMOVE EXISTING WOOD DECK, STAIRS AND STRUCTURE ENTIRELY.
10. REMOVE CONCRETE STAIRS.
11. REMOVE EXISTING EXTERIOR WALL ASSEMBLY, PREP FOR NEW WORK.
12. REMOVE EXISING WINDOW, PREP FOR NEW WINDOW INSTALLATION OR NEW WALL INFILL.

LEGEND

--- EXISTING ITEMS TO BE REMOVED



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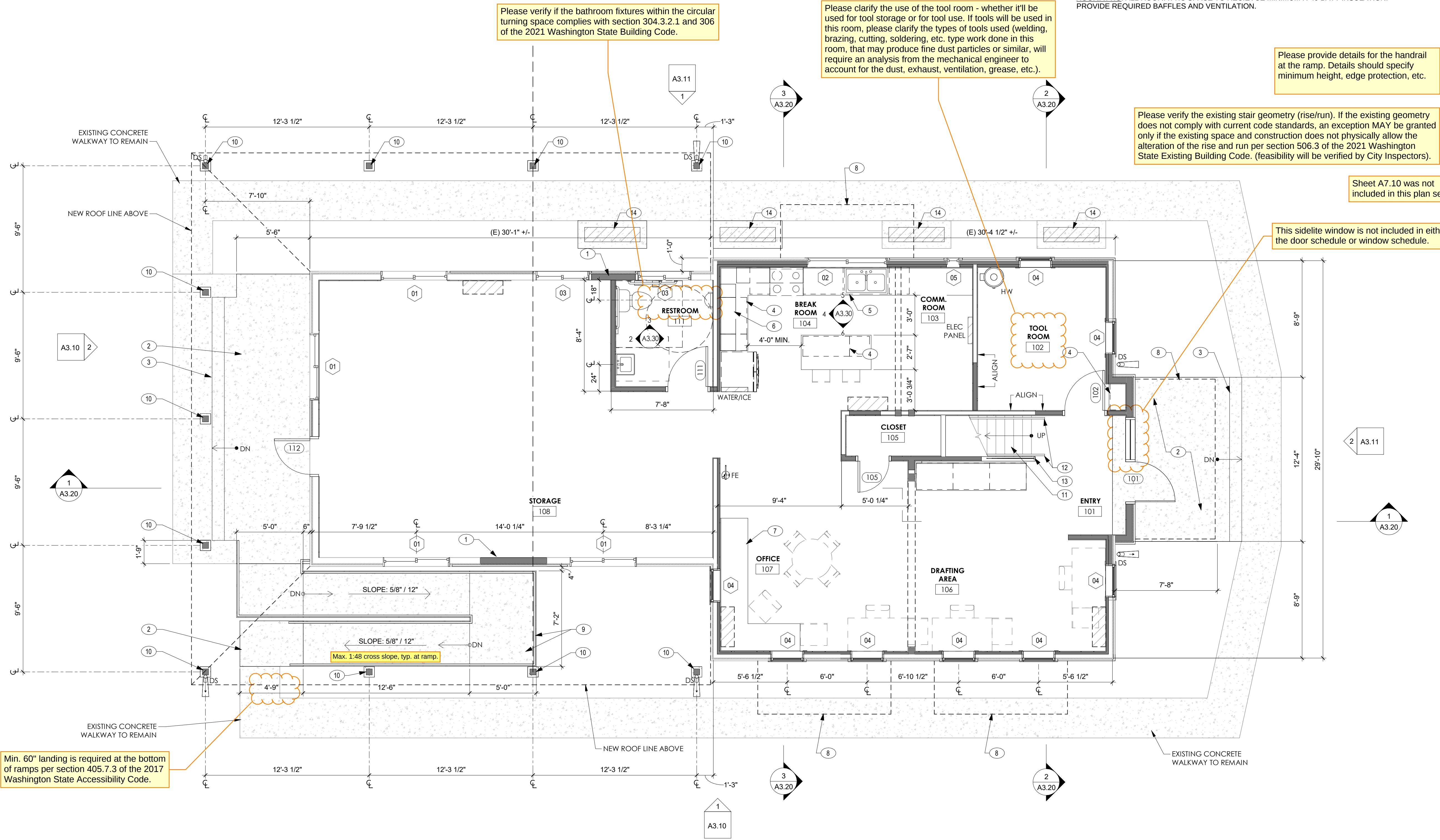
CHANGE OF USE
TODD ROAD
320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371
PROJECT NO. 23-108
DEMOLITION ELEVATIONS

PERMIT
JUNE 2025

PRCTI20250966

AD3.10

PROJECT NO. 23-108
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1 NEW FLOOR PLAN - GROUND LEVEL
1/4" = 1'-0"

ENVELOPE REQUIREMENTS:
EXISTING BUILDING AND ADDITION TO COMPLY AS A NEW BUILDING FOR ENVELOPE AND SPACE HEATING. FENESTRATION AREA IS WITHIN THE REQUIRED LIMITS FOR COMPLIANCE.

EXTERIOR WALLS: ALL NEW WALLS TO BE INSULATED WITH R-21 BATTS FRICTION FIT BETWEEN 2x6 STUD FRAMING. WHERE EXISTING EXTERIOR WALL FRAMING IS LESS THAN 2x6 STUDS, WALLS TO BE FURRED TO CREATE AN EQUIVALANT 2x6 STUD WALL DEPTH OR GREATER.

ALL EXTERIOR WALLS TO RECIEVE A MINIMUM 1" (R-3.8 MIN) EXTERIOR RIGID INSULATION OVER CONTINUOUS WEATHER RESISTANT BARRIER.

FLOORS: ALL FLOORS BETWEEN CONDITIONED AND NON-CONDITIONED SPACE TO RECEIVE R-30 BATT INSULATION SECURED BETWEEN JOIST FRAMING. CRAWL SPACE TO BE COVERED WITH MINIMUM 6-MIL POLY VAPOR BARRIER.

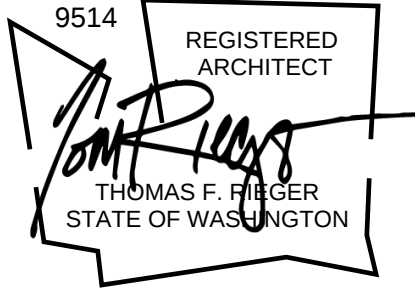
ROOF/ATTIC: ALL ROOF/ATTIC SPACE TO RECIEVE MINIMUM R-49 BATT INSULATION. PROVIDE REQUIRED BAFFLES AND VENTILATION.

- KEYNOTES**
- INFILL NEW WALL CONSTRUCTION TO MATCH EXISTING AT REMOVED DOOR/ WINDOW OPENINGS. PATCH AND PAINT THE DAMAGED SURROUNDINGS.
 - NEW 4" CONCRETE SLAB OVER 4" COMPACTED GRAVEL BASE, TYPICAL.
 - NEW CONCRETE STAIRS, 12" TREADS WITH MAX 7" RISERS.
 - NEW BASE CABINET W/ SOLID COUNTER TOP.
 - NEW BASE CABINET W/ SOLID COUNTER TOP AND S.S. SINK, COORDINATE W/ MECHANICAL.
 - NEW UPPER WALL CABINET, SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHT.
 - NEW WORKING COUNTER TOP.
 - NEW METAL CANOPY ABOVE.
 - NEW CONCRETE RAMP WITH Ø = 1-1/2" METAL PIPE RAILING.
 - NEW 4x6 HEAVY TIMBER COLUMN.
 - EXISTING STAIR TO REMAIN.
 - NEW 1-1/2" METAL HANDRAIL.
 - NEW METAL GUARDRAIL.
 - NEW HEAT PUMP PER MECHANICAL ON NEW 4" CONCRETE PAD OVER COMPACTED GRAVEL BASE AS REQUIRED.

- LEGEND**
- NEW WALL: SEE A7.10 FOR WALL TYPES
 - NEW DOOR WITH DOOR TAG, SEE A4.10 FOR TYPES
 - NEW WINDOW WITH WINDOW TAG, SEE A4.10 FOR TYPES
 - NEW FIRE EXTINGUISHER CABINET
 - NEW FIRE EXTINGUISHER BRACKET
 - FURNITURE N.I.C.
 - NEW PRE-FINISHED METAL DOWNSPOUT, PROVIDE WITH SPLASHBLOCK AND SLOPE AWAY FROM STRUCTURE, TYP.



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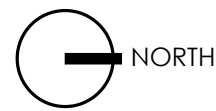
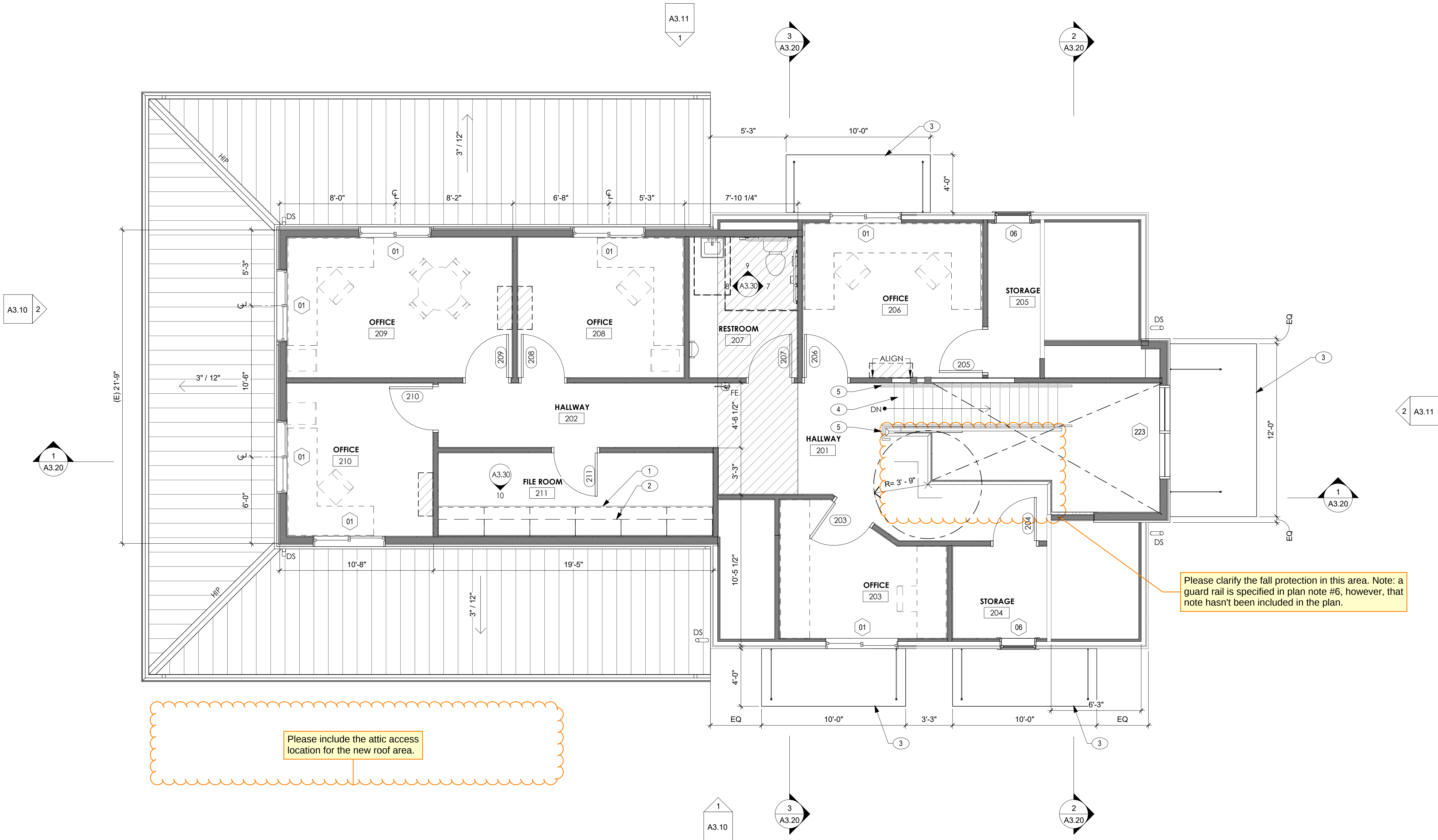
CHANGE OF USE
TODD ROAD
320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371
PROJECT NO. 23-108
NEW FLOOR PLAN - GROUND LEVEL

PERMIT
JUNE 2025

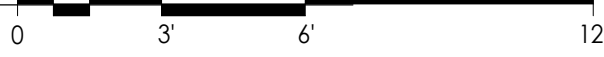
PRCTI20250966

A2.10

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1 NEW FLOOR PLAN - SECOND LEVEL
1/4" = 1'-0"



KEYNOTES

1. NEW BASE CABINET W/ P-LAM COUNTER TOP.
2. NEW UPPER WALL CABINET. SEE INTERIOR FOR MOUNTING HEIGHT.
3. NEW METAL CANOPY.
4. EXISTING STAIR TO REMAIN.
5. NEW Ø = 1-1/2" MTL HANDRAIL.
6. NEW MTL GUARDRAIL.

LEGEND

- NEW WALL. SEE A7.10 FOR WALL TYPES
- NEW DOOR WITH DOOR TAG. SEE A4.10 FOR TYPES
- NEW WINDOW WITH WINDOW TAG. SEE A4.10 FOR TYPES
- NEW FIRE EXTINGUISHER CABINET
- NEW FIRE EXTINGUISHER BRACKET
- FURNITURE N.I.C.
- NEW PRE-FINISHED METAL DOWNSPOUT. PROVIDE WITH SPLASHBLOCK AND SLOPE AWAY FROM STRUCTURE, TYP.

Sheet A7.10 was not included in this plan set.

Please include details for the hand rail and guard rail showing the minimum code requirements (construction, spacing, height, connections, etc.)

Please clarify the fall protection in this area. Note: a guard rail is specified in plan note #6, however, that note hasn't been included in the plan.

PERMIT

JUNE 2025

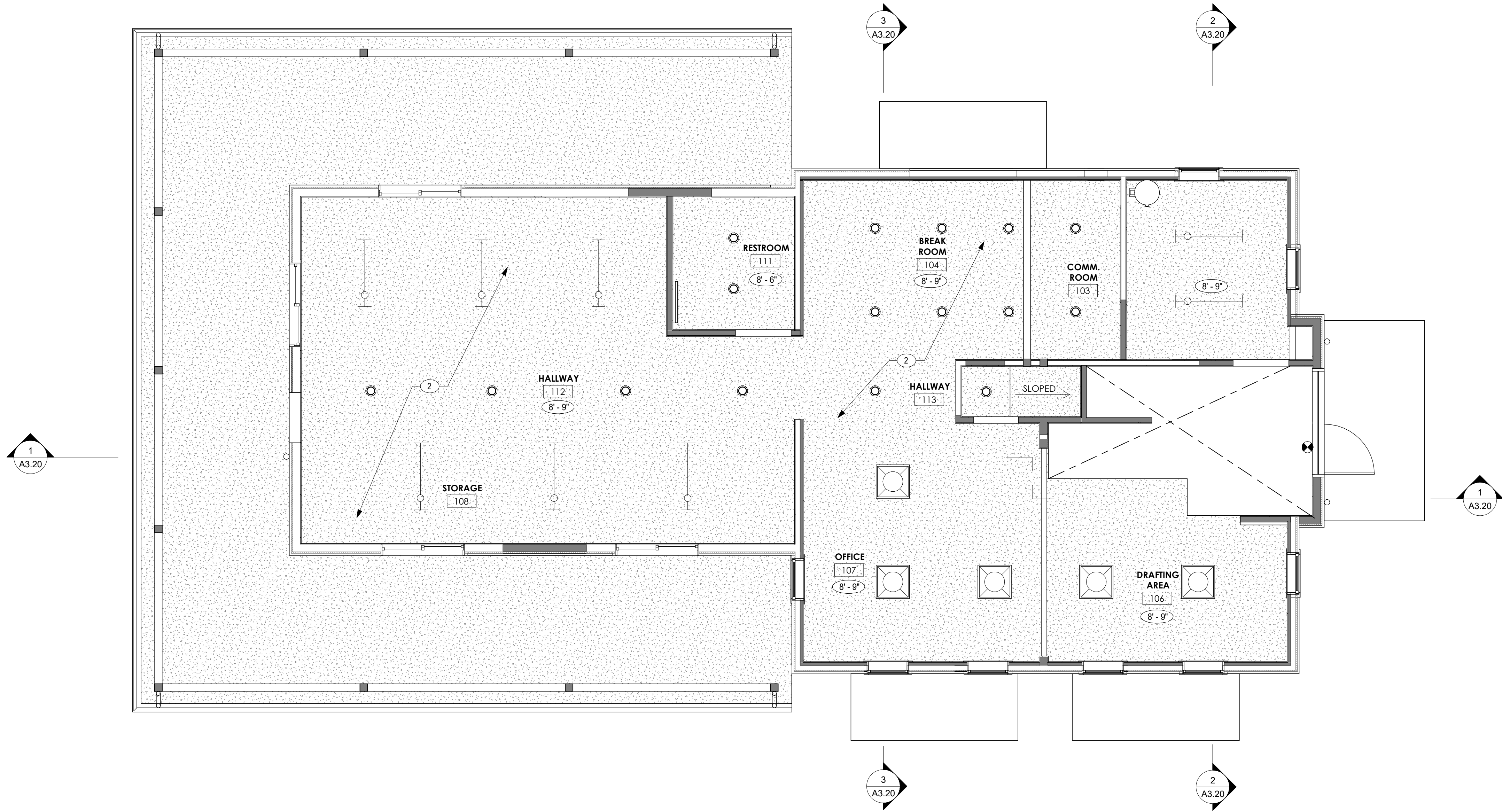
No.	Description	Date
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A2.11

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KEYNOTES

1. NEW SUSPENDED GRID AND NEW ACOUSTIC TILE. SEE DETAIL.
2. NEW GWB CEILING. SEE DETAIL.

LEGEND

NEW GWB CEILING

NEW SUSPENDED GRID AND NEW ACOUSTIC TILE

NEW LIGHT FIXTURE

NEW EXIT SIGN

CEILING HEIGHT ABOVE FINISHED FLOOR

NEW MECH GRILL



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9514 REGISTERED ARCHITECT
THOMAS F. FRIGER
STATE OF WASHINGTON

CHANGE OF USE
TODD ROAD
320 TODD ROAD NE., PUYALLUP, WASHINGTON 98371
PROJECT NO. 23-108
NEW REFLECTED CEILING PLAN - GROUND LEVEL

PERMIT

JUNE 2025

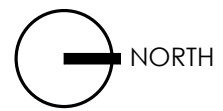
No.	Description	Date
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A2.21

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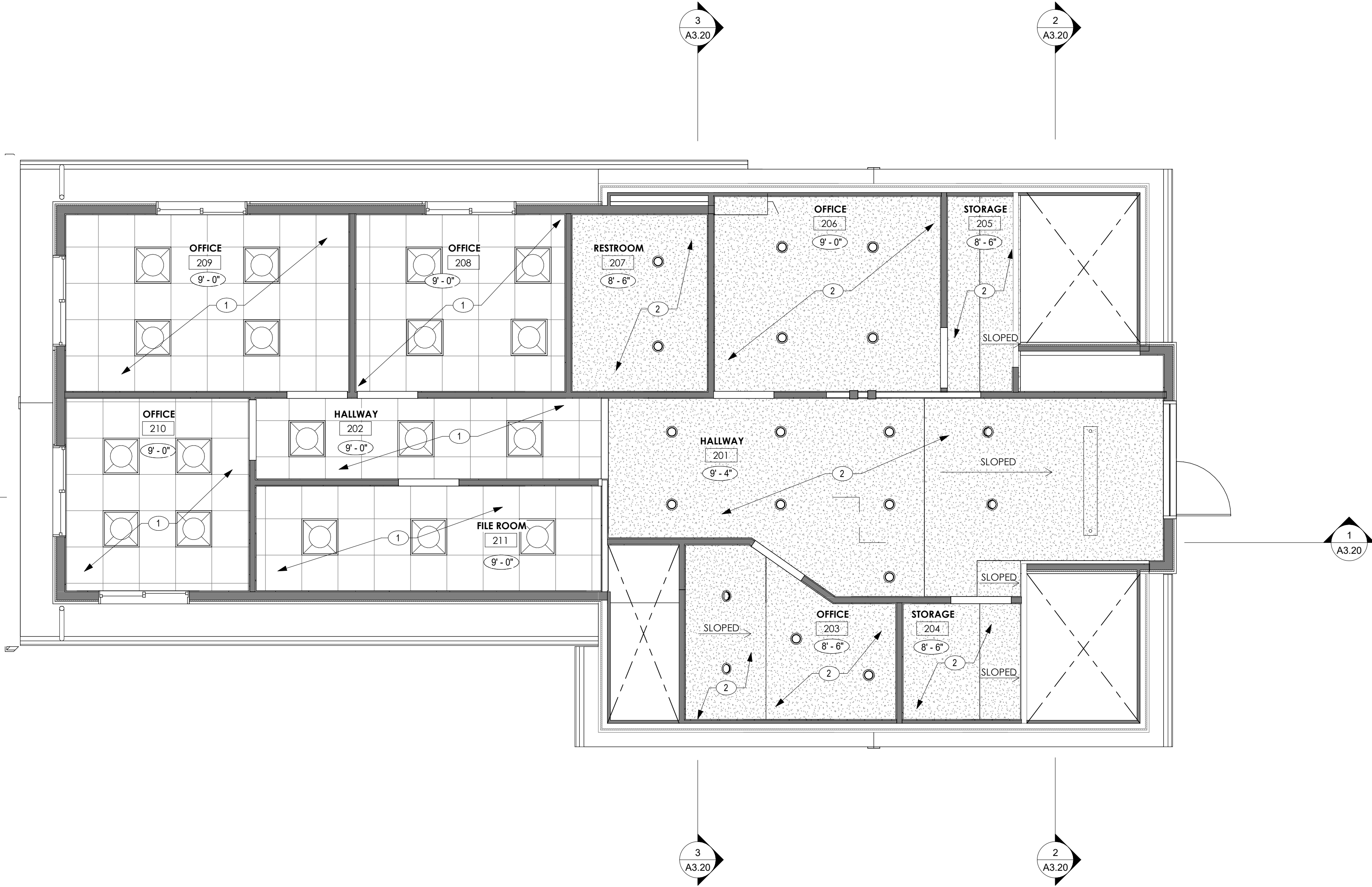


1

NEW REFLECTED CEILING PLAN - SECOND LEVEL

1/4" = 1'-0"

0 3 6 12

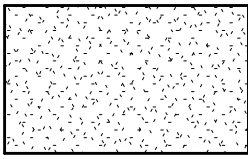


Please provide additional information and details for the suspended grid and acoustic tile ceiling, including information (as applicable) per ASCE 7, ASTM C635, and ASTM C636.

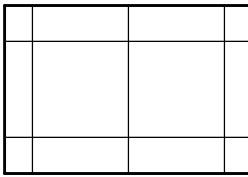
KEYNOTES

1. NEW SUSPENDED GRID AND NEW ACOUSTIC TILE. SEE DETAIL.
2. NEW GWB CEILING. SEE DETAIL.

LEGEND



NEW GWB CEILING



NEW SUSPENDED GRID AND NEW ACOUSTIC TILE



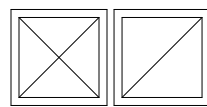
NEW LIGHT FIXTURE



NEW EXIT SIGN

1'-0"

CEILING HEIGHT ABOVE FINISHED FLOOR

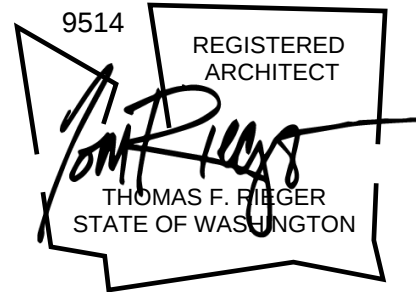


NEW MECH GRILL

Additional Exit Signs are needed to comply with the requirements of section 1013.1 of the 2021 Washington State Building Code.



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PROJECT NO. 23-108
NEW REFLECTED CEILING PLAN - SECOND LEVEL

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JUNE 2025

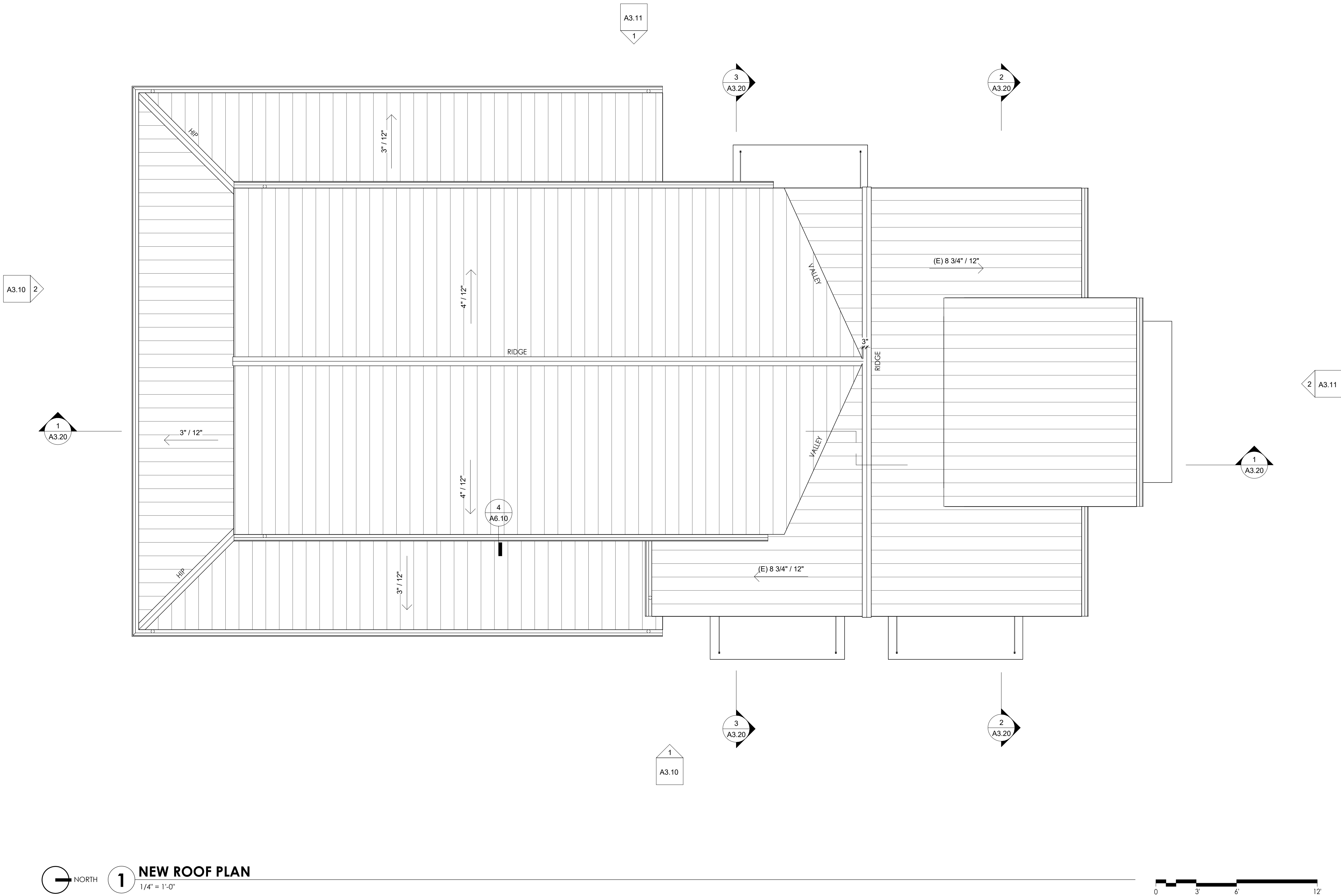
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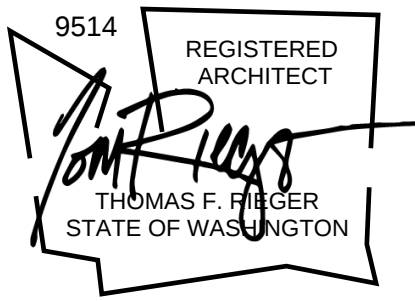
A2.22

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CHANGE OF USE
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PROJECT NO. 23-108
NEW ROOF PLAN

PERMIT
JUNE 2025

PRCT120250966

A2.30

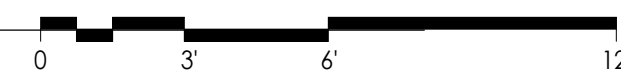
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KEYNOTES

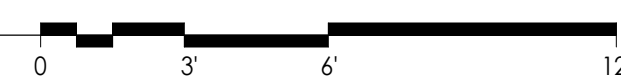
1. NEW STANDING SEAM METAL ROOF PANEL OVER EXISTING ROOF SHEATHING.
2. NEW STANDING SEAM METAL PANEL ROOF SYSTEM.
3. NEW 6" SMOOTH FACE FIBER CEMENT BEVELED SIDING, PAINT.
4. NEW EXTERIOR WALL ASSEMBLY. SEE FLOOR PLAN FOR WALL TYPE.
5. PRE-FINISHED METAL GUTTER AND DOWNSPOUTS.
6. NEW CONCRETE STAIR.
7. NEW CONCRETE RAMP.
8. NEW 1-1/2" DIA. MTL PIPE HAND RAIL.
9. NEW METAL CANOPY.
10. NEW 4 H X 5W VINYL WINDOW.
11. NEW 6X6 HEAVY TIMBER COLUMN.
12. NEW CEDAR VERTICAL SIDING.
13. NEW FIBER CEMENT WALL PANEL. SEE FLOOR PLAN FOR WALL TYPES.
14. INSTALL NEW WINDOW AT EXISTING REMOVED WINDOW LOCATION.
15. NEW STOREFRONT SYSTEM.
16. CYLINDER UP/DOWN LIGHT FIXTURE.



2 SOUTH ELEVATION
1/4" = 1'-0"

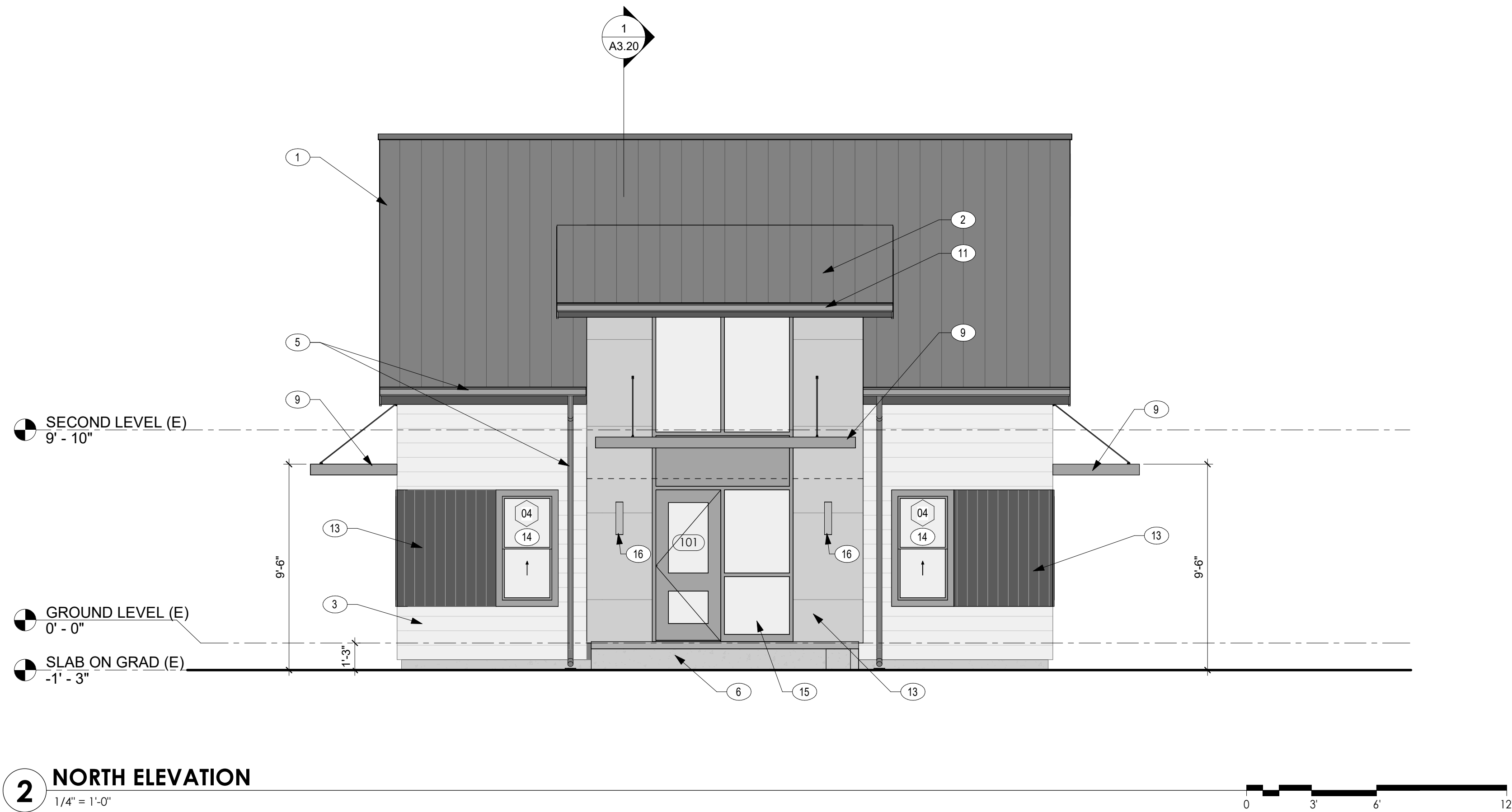


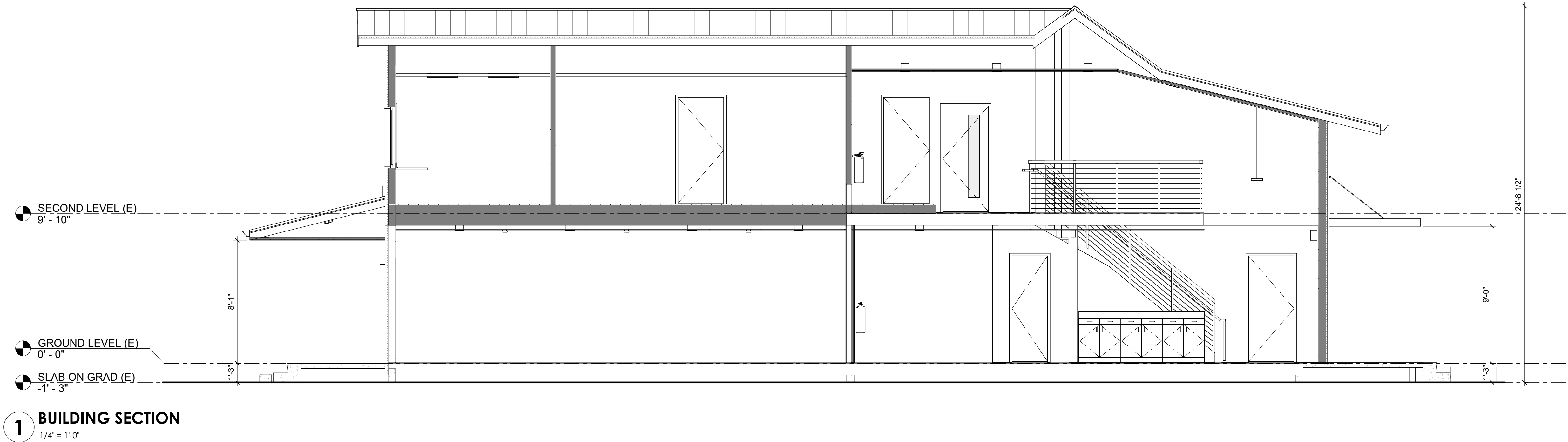
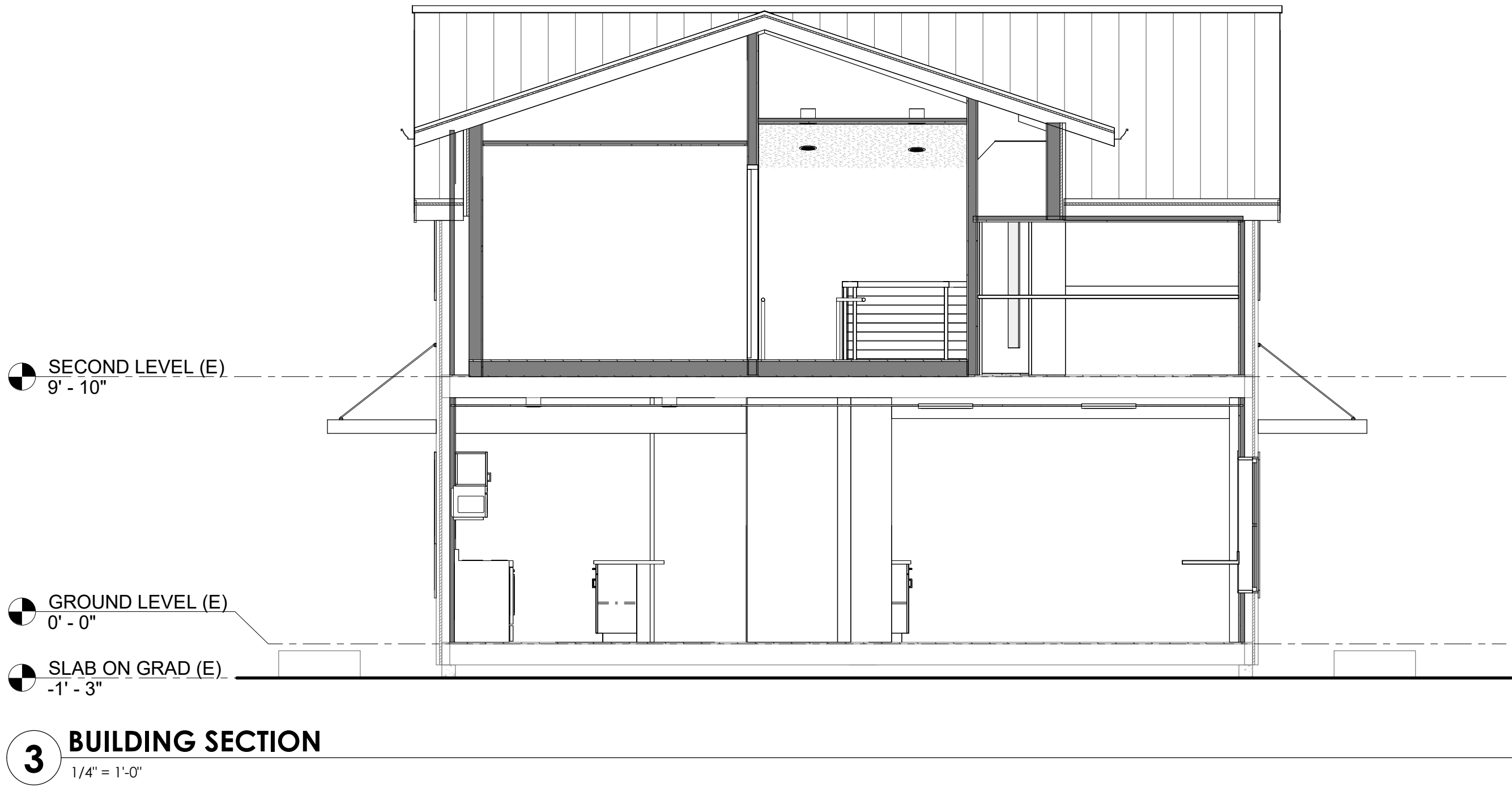
1 EAST ELEVATION
1/4" = 1'-0"



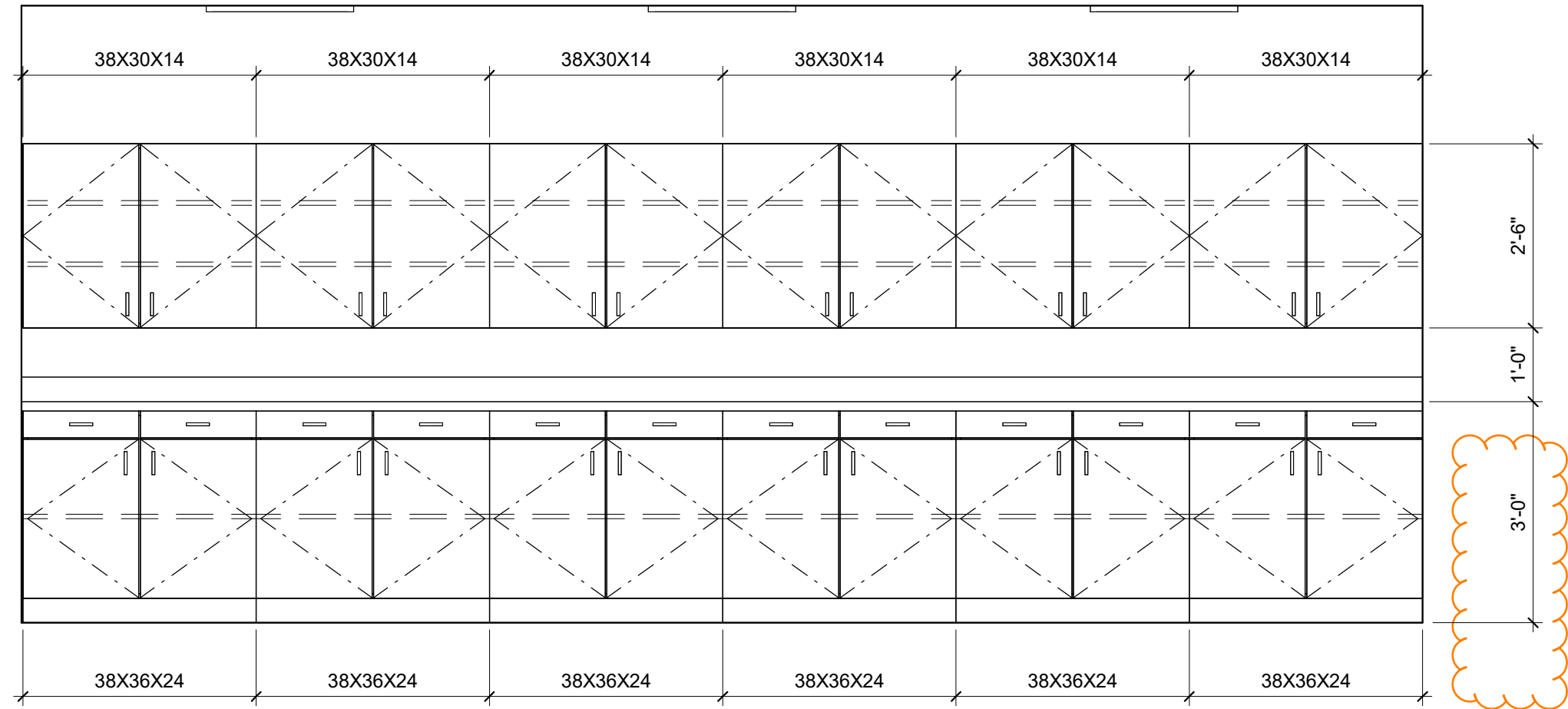
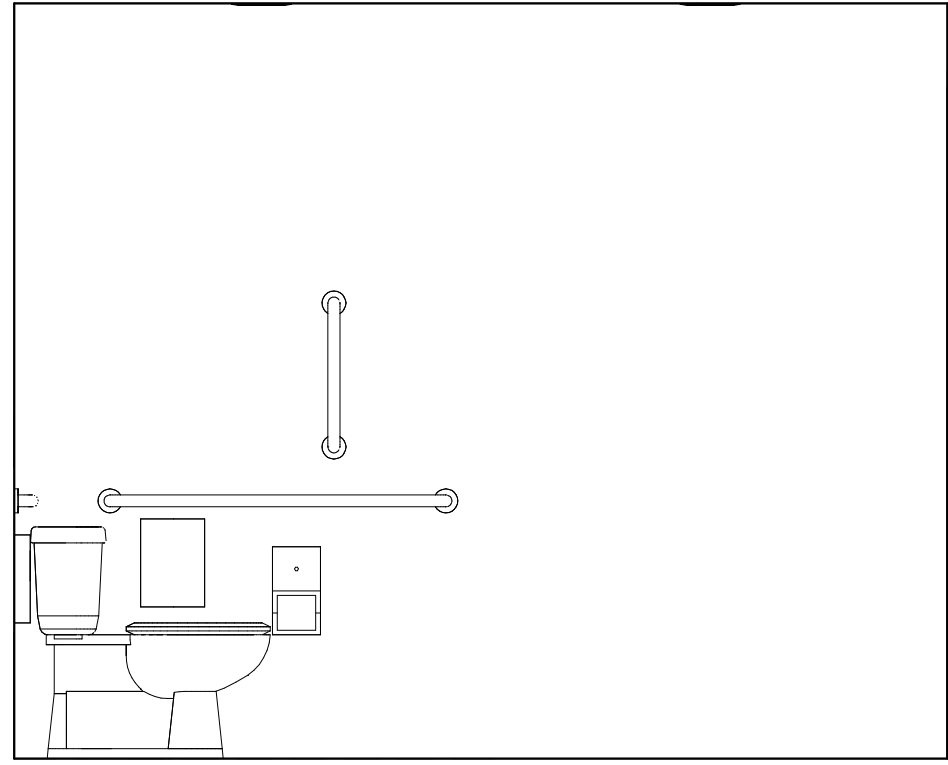
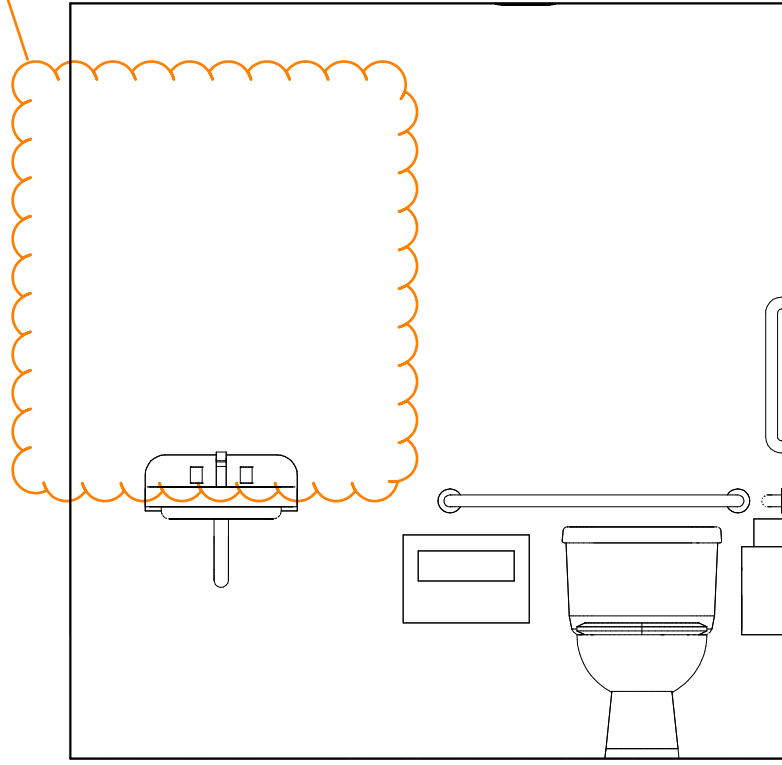
KEYNOTES

1. NEW STANDING SEAM METAL ROOF PANEL OVER EXISTING ROOF SHEATHING.
2. NEW STANDING SEAM METAL PANEL ROOF SYSTEM.
3. NEW 6" SMOOTH FACE FIBER CEMENT BEVELED SIDING, PAINT.
4. NEW EXTERIOR WALL ASSEMBLY. SEE FLOOR PLAN FOR WALL TYPE.
5. PRE-FINISHED METAL GUTTER AND DOWNSPOUTS.
6. NEW CONCRETE STAIR.
7. NEW CONCRETE RAMP.
8. NEW 1-1/2" DIA. MTL PIPE HAND RAIL.
9. NEW METAL CANOPY.
10. NEW 4' H X 5' W VINYL WINDOW.
11. NEW 6X6 HEAVY TIMBER COLUMN.
12. NEW CEDAR VERTICAL SIDING.
13. NEW FIBER CEMENT WALL PANEL. SEE FLOOR PLAN FOR WALL TYPES.
14. INSTALL NEW WINDOW AT EXISTING REMOVED WINDOW LOCATION.
15. NEW STOREFRONT SYSTEM.
16. CYLINDER UP/DOWN LIGHT FIXTURE.





Please verify whether a mirror will be provided. If so, please include it on the plan set and note the maximum distance from the mirror to the floor per section 603.3 of the 2017 Washington State Accessibility Code.



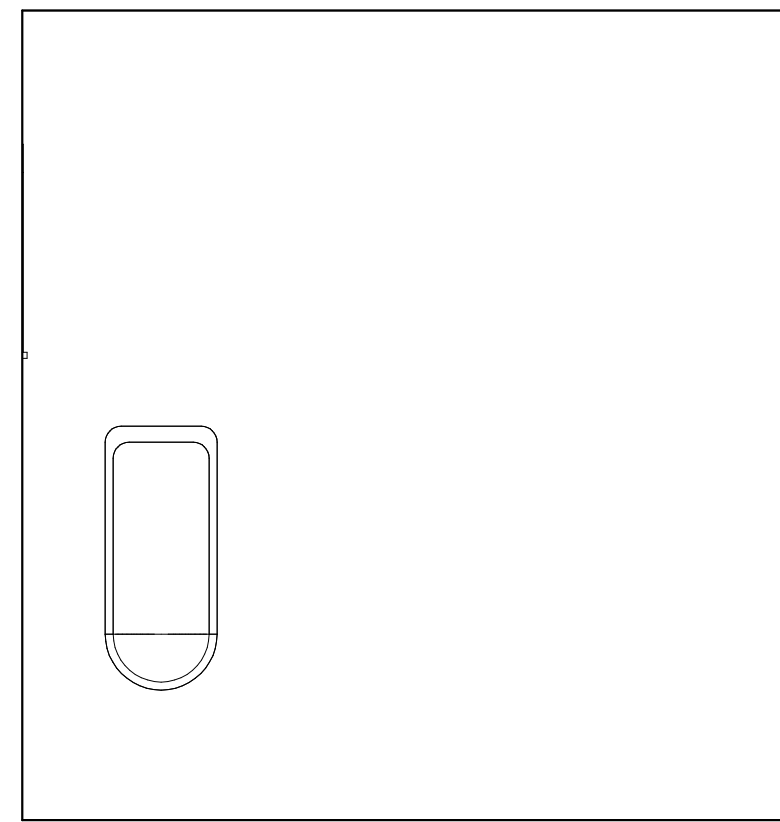
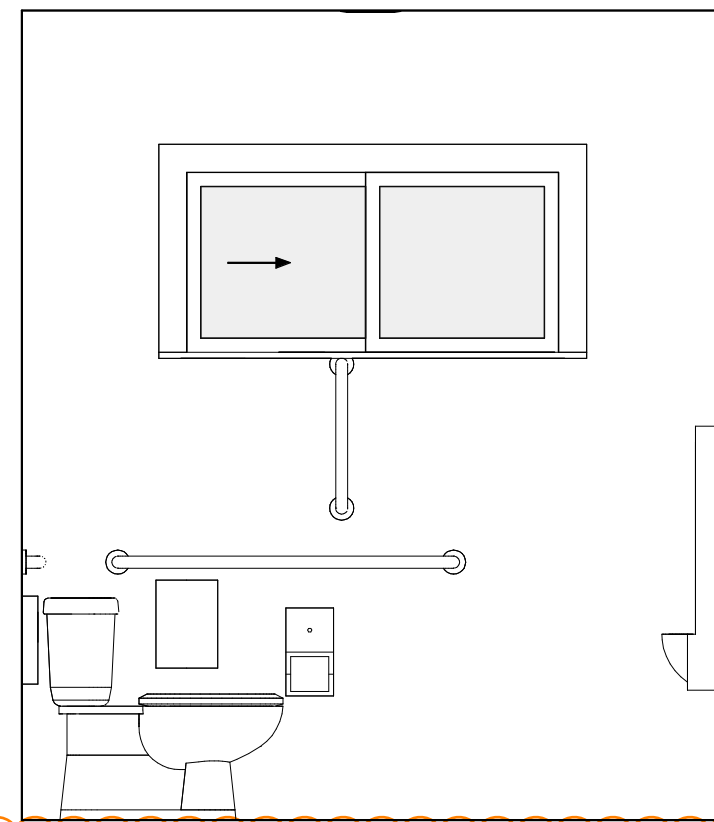
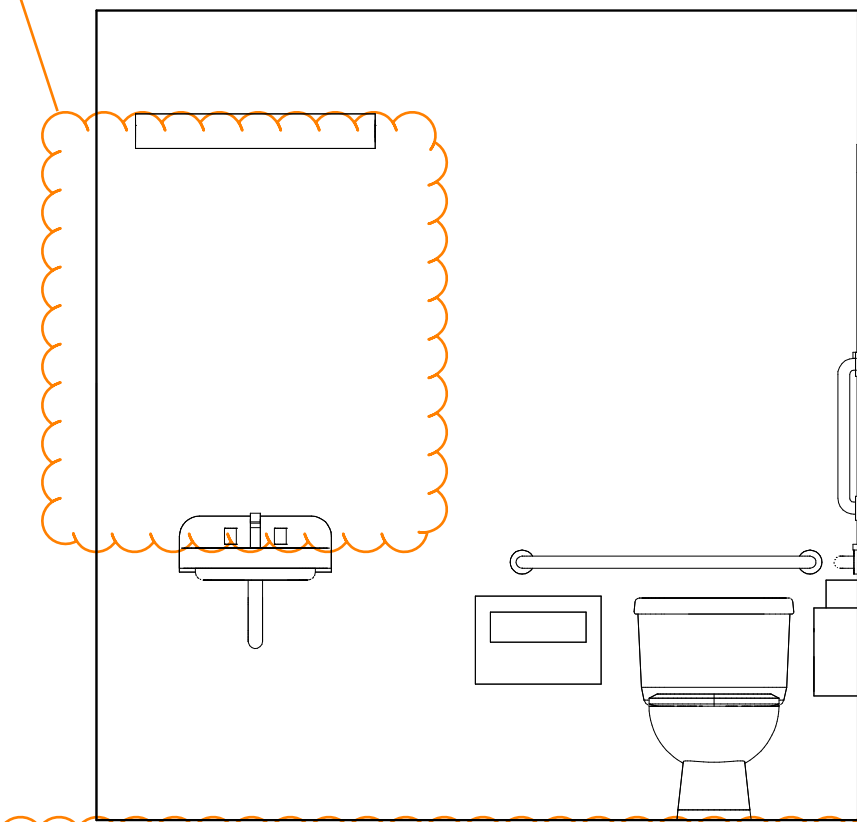
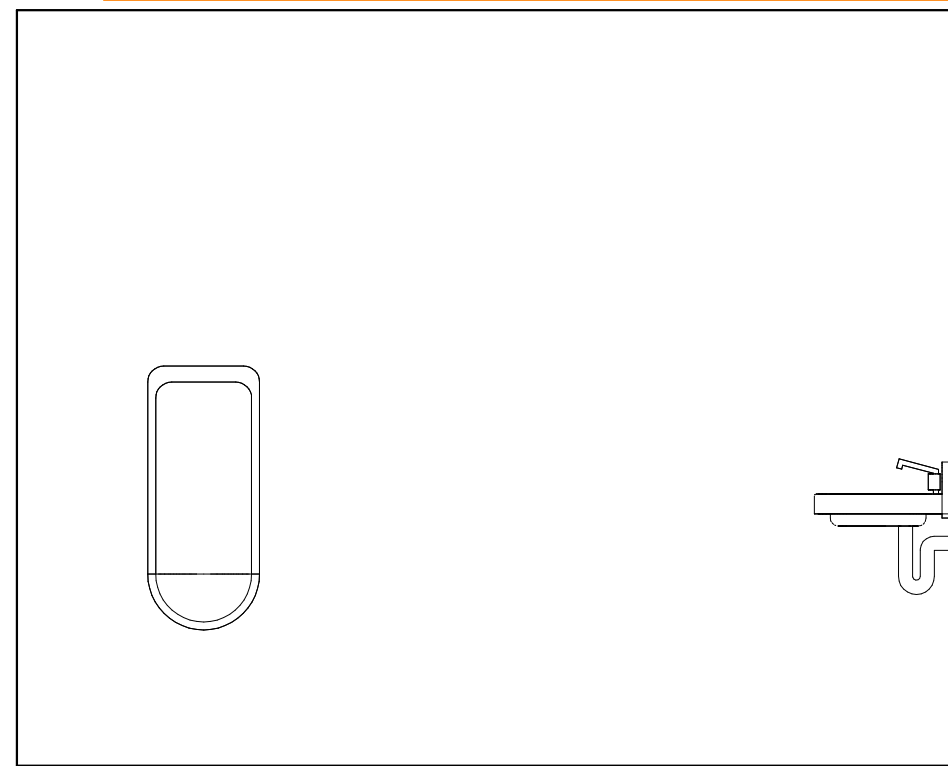
File Room counters used by employees for active working; such as sorting, filing, or processing documents - would be considered Work Surfaces and require a maximum surface height of 34" per section 902 of the 2017 Washington State Accessibility Code.

9 RESTROOM 207 - WEST
1/2" = 1'-0"

Please verify whether a mirror will be provided. If so, please include it on the plan set and note the maximum distance from the mirror to the floor per section 603.3 of the 2017 Washington State Accessibility Code.

7 RESTROOM 207 - NORTH
1/2" = 1'-0"

10 FILE ROOM 211 - EAST
1/2" = 1'-0"



Please provide dimensions for the restroom. Dimensions should meet all requirements per the 2017 Washington State Accessibility Code.

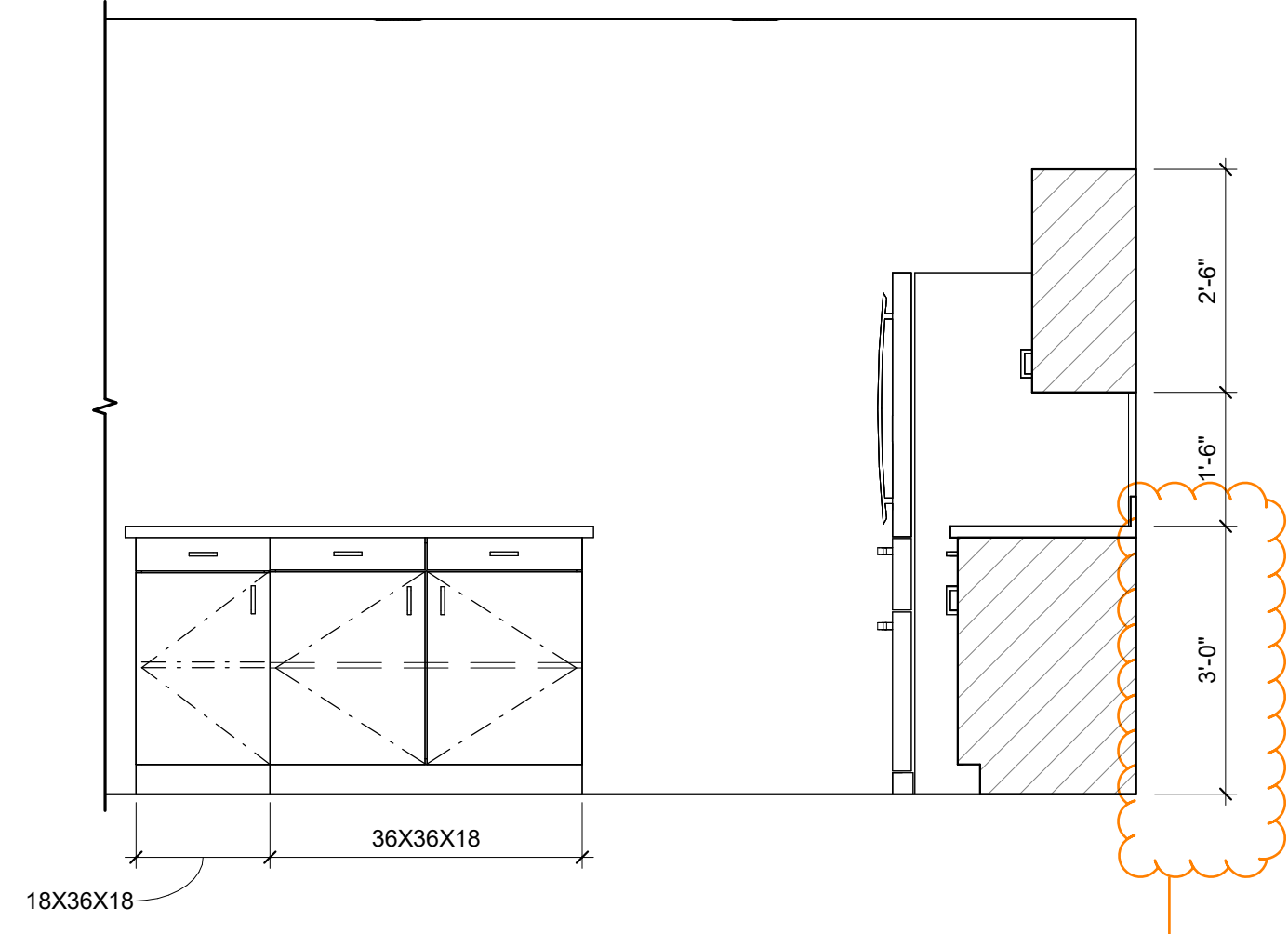
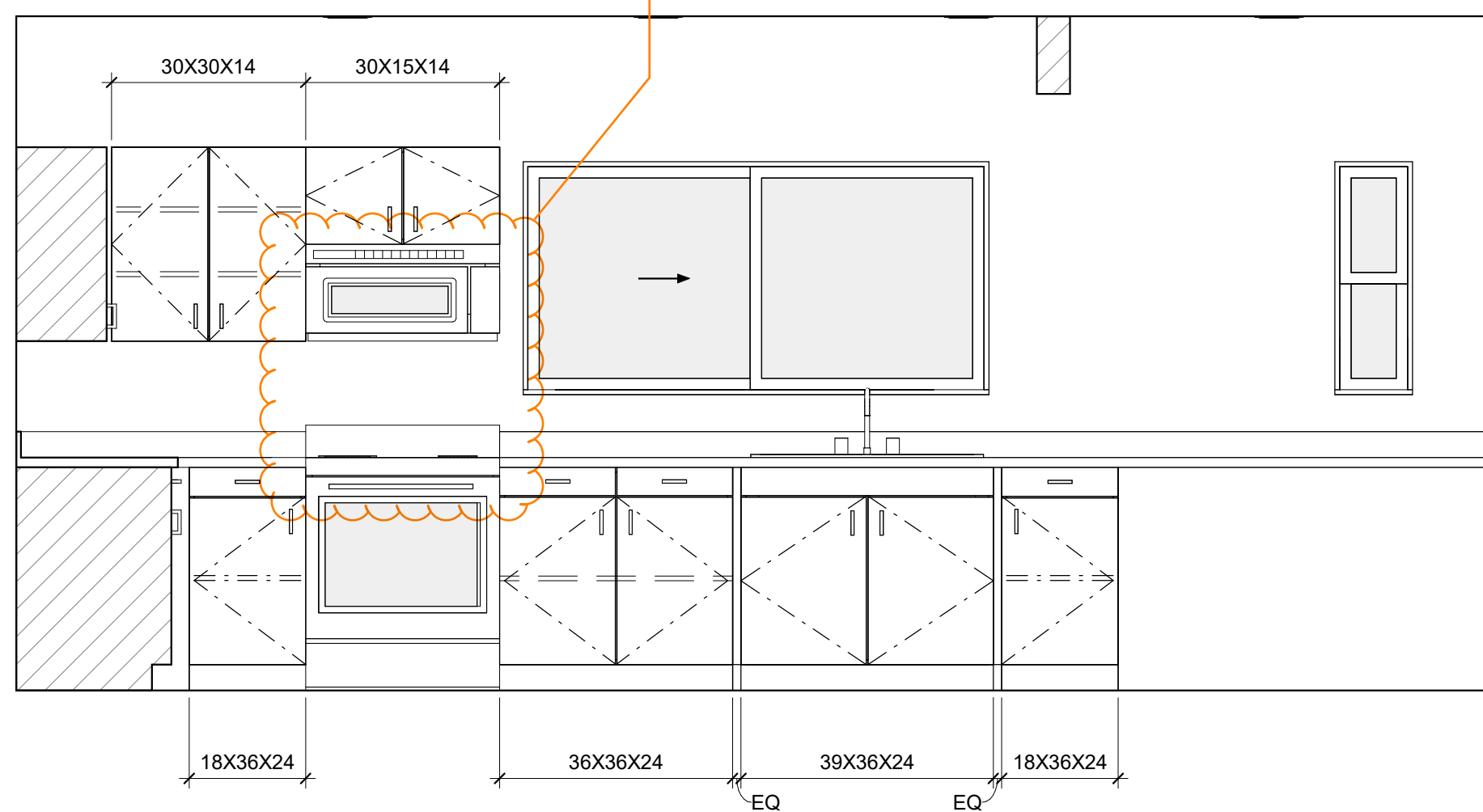
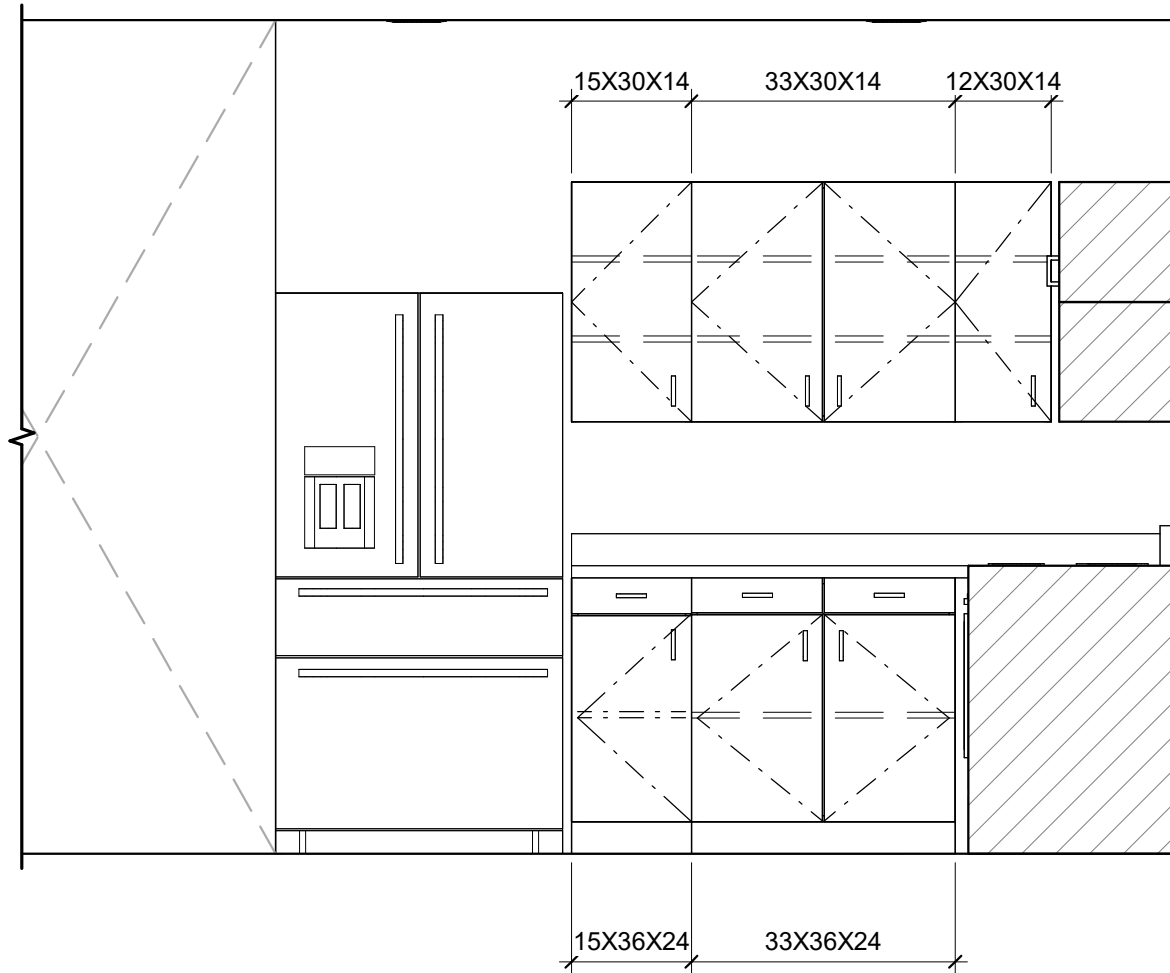
8 RESTROOM 207 - SOUTH
1/2" = 1'-0"

2 RESTROOM 111 - SOUTH
1/2" = 1'-0"

3 RESTROOM 111 - WEST
1/2" = 1'-0"

1 RESTROOM 111 - NORTH
1/2" = 1'-0"

Verify range and hood controls are within accessible reach. Note the minimum requirements on the plan set.



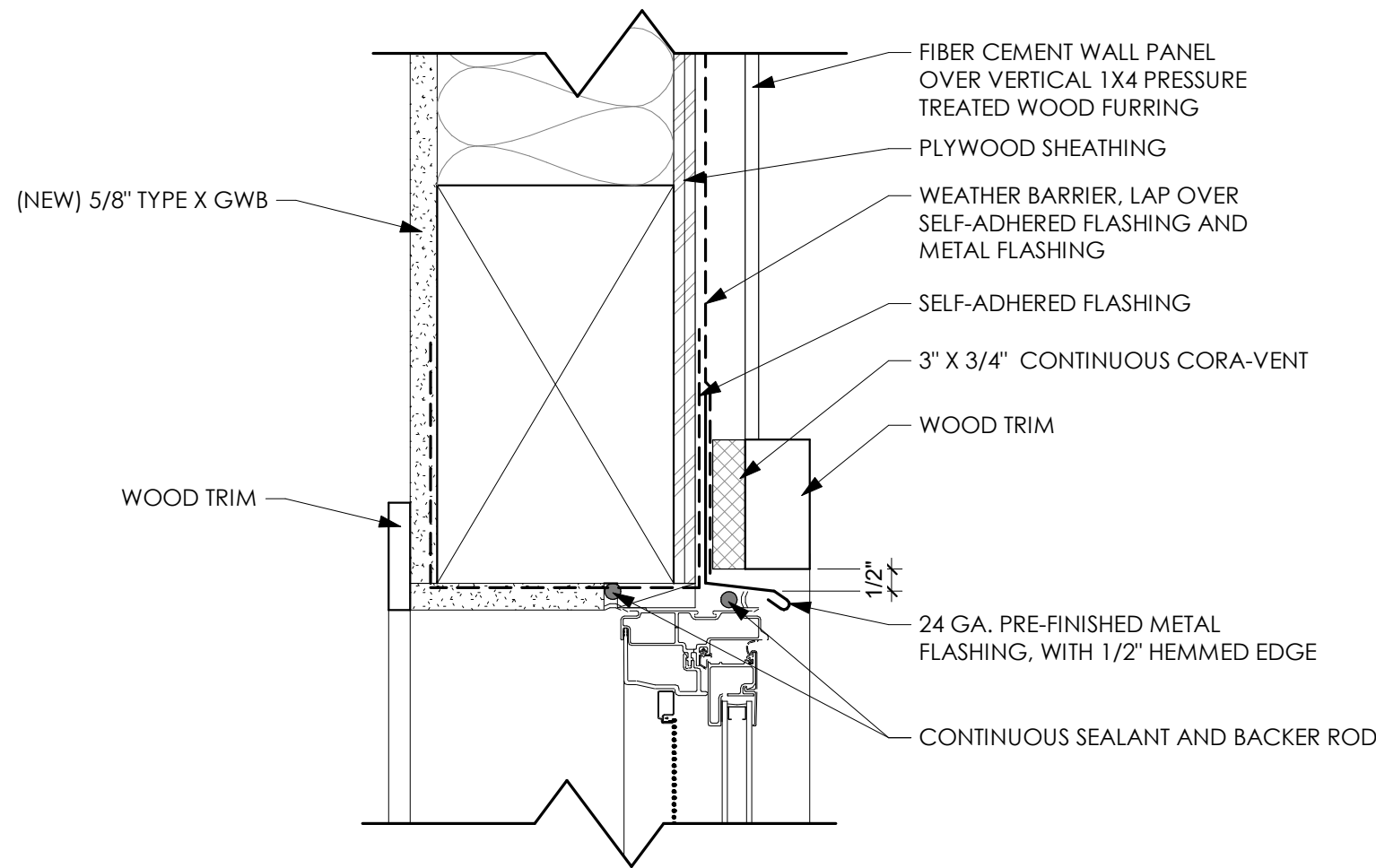
4 BREAK ROOM 104 - SOUTH
1/2" = 1'-0"

5 BREAK ROOM 104 - WEST
1/2" = 1'-0"

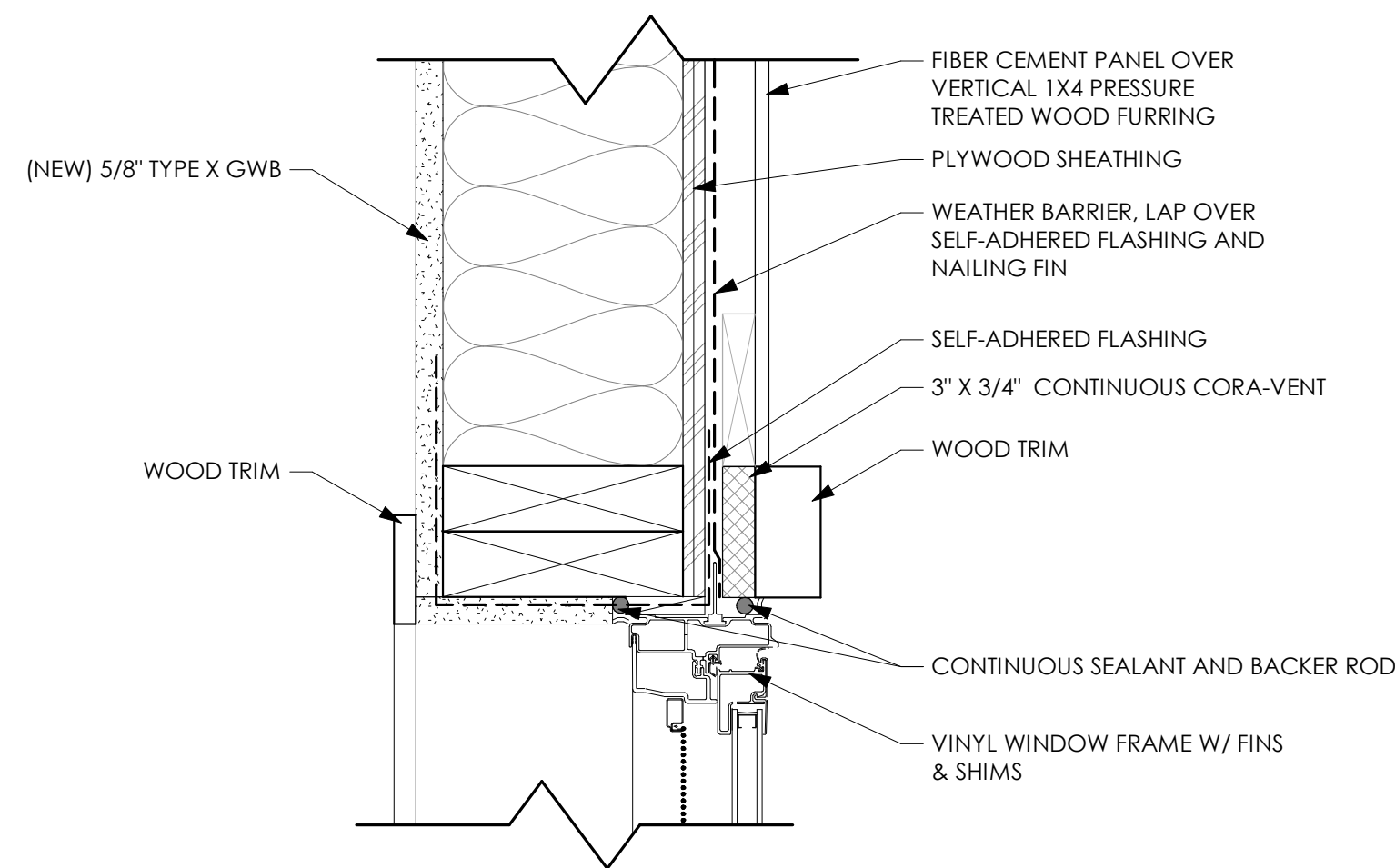
6 BREAK ROOM 104 - EAST
1/2" = 1'-0"

Counter heights (or a portion of the counter) should meet the minimum surface height requirements noted in Chapter 9 of the 2017 Washington State Accessibility Code. Counters that include sinks cannot be more than 34" in height.

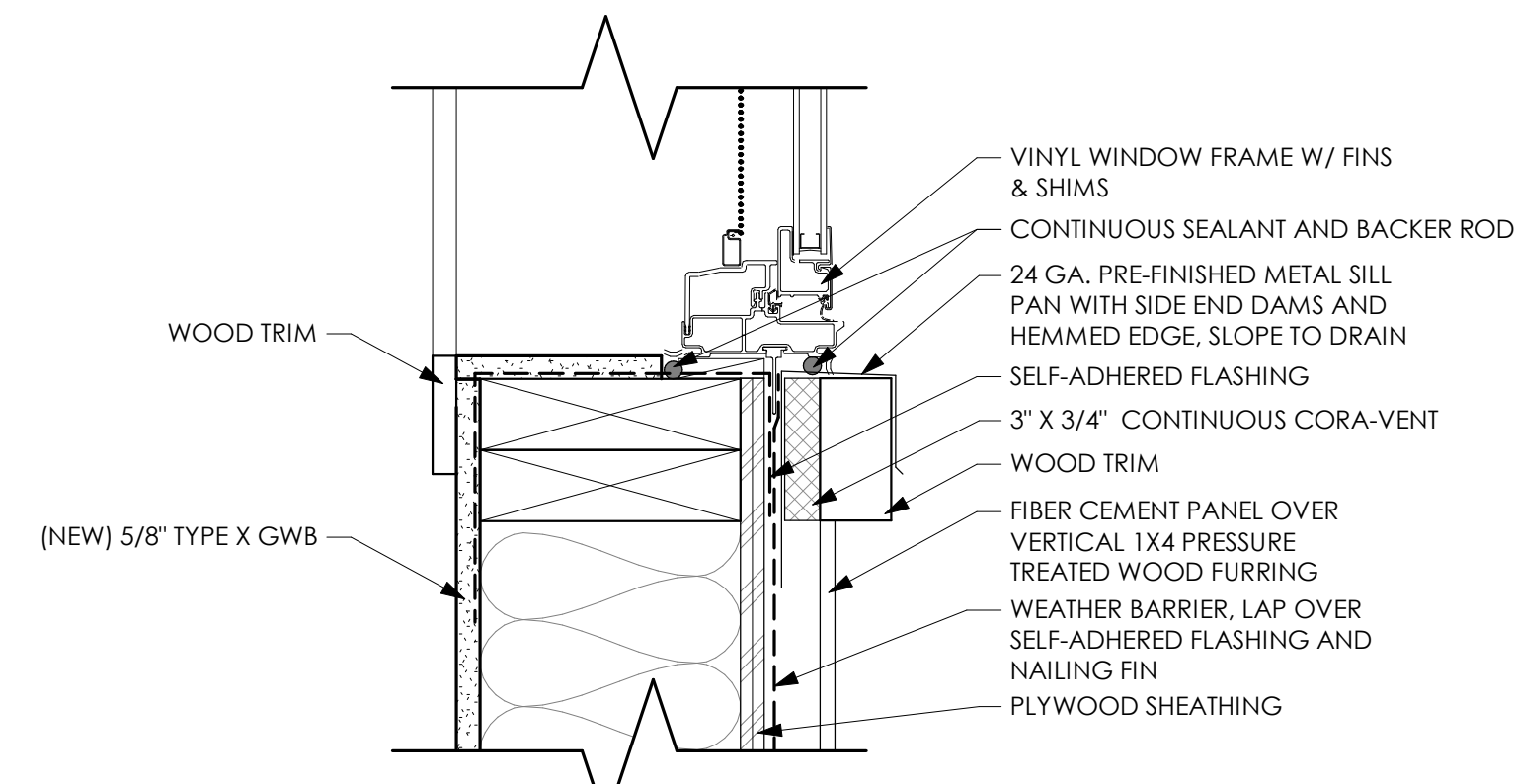
Please include the R3.8 rigid continuous insulation on the exterior wall details.



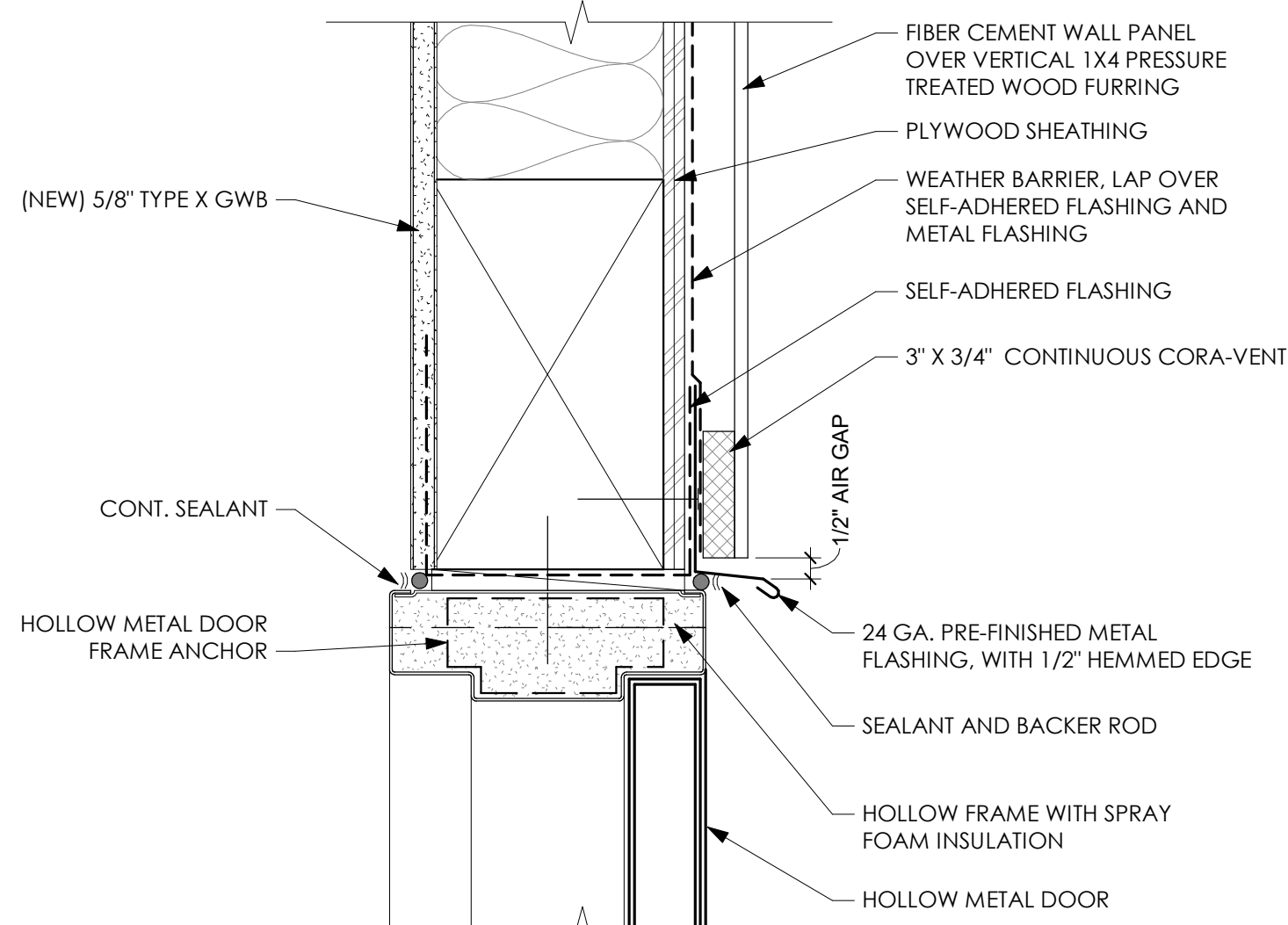
5 VINYL FRAME - HEAD
3" = 1'-0"



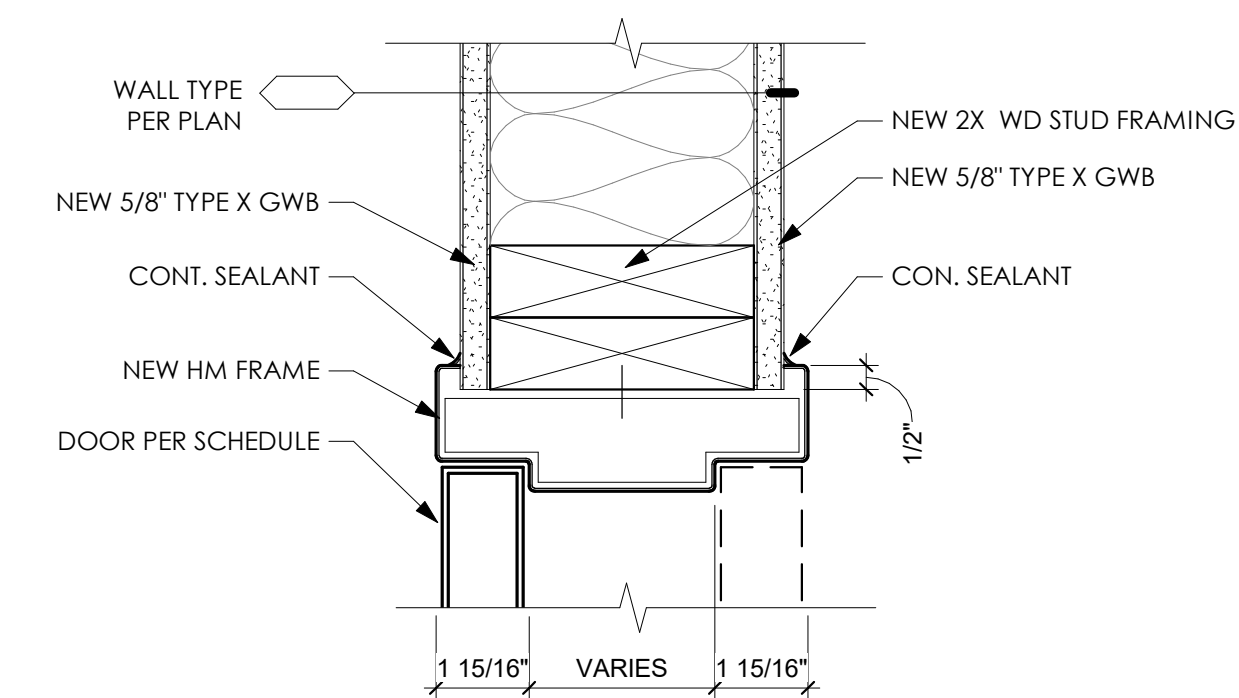
6 VINYL FRAME - JAMB
3" = 1'-0"



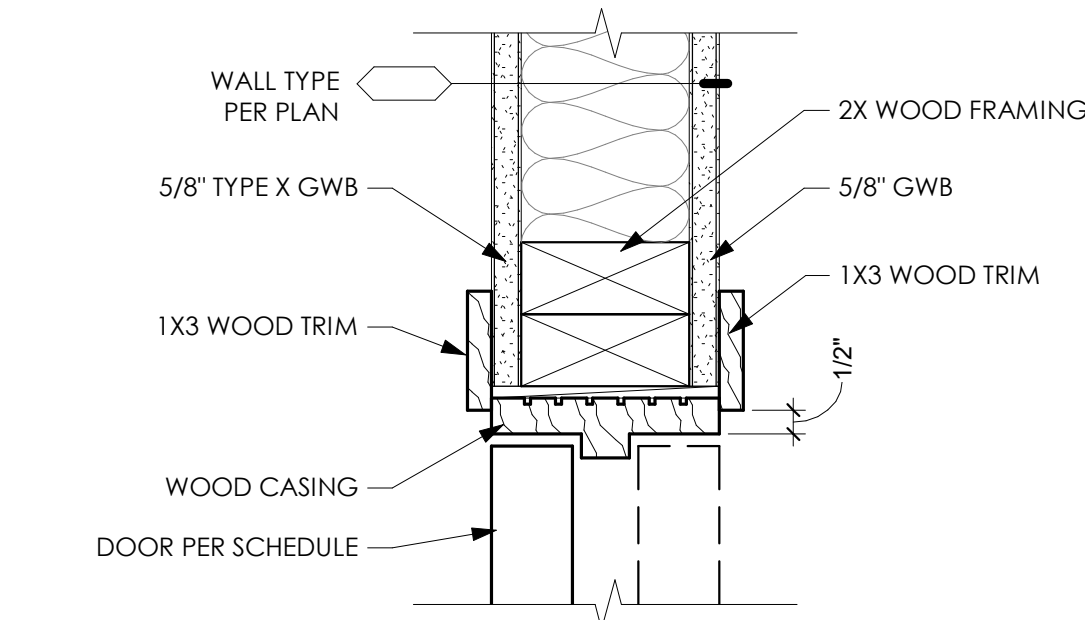
4 VINYL FRAME - SILL
3" = 1'-0"



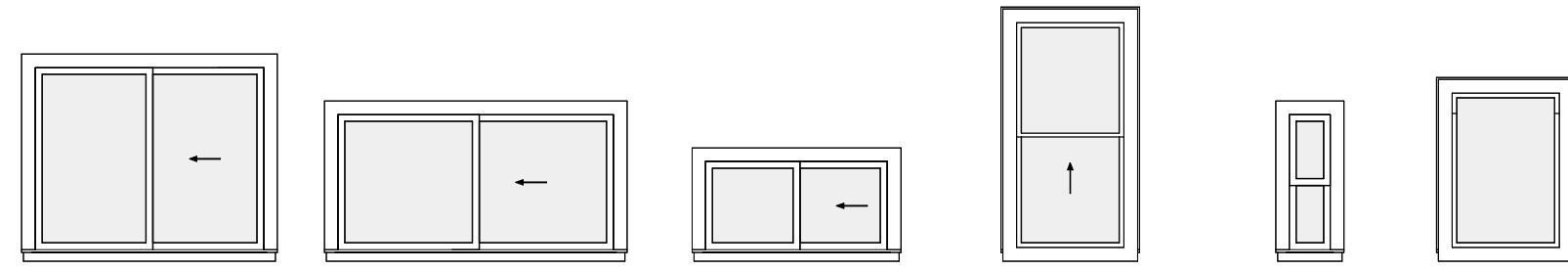
1 EXT DOOR HEAD DETAIL
3" = 1'-0"



2 METAL FRAME HEAD/ JAMB DETAIL
3" = 1'-0"



3 WD DOOR HEAD/ JAMB DETAIL
3" = 1'-0"



Please include the U-Factor. Values must meet or exceed the minimum U-values required by the WSEC Envelope Summary Worksheet

WINDOW SCHEDULE											
WINDOW NO.	QUANTITY	WIDTH	HEIGHT	FRAME MATERIAL	GLAZING	OPERATION	INTERIOR FRAME COLOR	EXTERIOR FRAME COLOR	U-FACTOR	COMMENTS	
01	11	5'-0"	4'-0"	VINYL	TI	SINGLE SLIDER					
02	1	6'-0"	3'-0"	VINYL	TI	SINGLE SLIDER					
03	2	4'-0"	2'-0"	VINYL	TI	SINGLE SLIDER					
04	8	2'-6"	5'-0"	VINYL	TI	SINGLE HUNG					
05	1	1'-0"	3'-0"	VINYL	TI	SINGLE HUNG					
06	2	2'-6"	3'-6"	VINYL	TI	FIXED					

DOOR SCHEDULE											
DOOR NO.	ROOM NAME	DOOR TYPE	QUANTITY	WIDTH	HEIGHT	DOOR MATERIAL	DOOR FINISH	GLAZING	FRAME TYPE	FRAME MATERIAL	FRAME FINISH
101	ENTRY	C	1	3'-0"	7'-0"	AL	FF	TI			
102	TOOL ROOM	A	1	3'-0"	7'-0"	SCWD	FF	~	AA	HM	PT
105	CLOSET	A	1	2'-4"	7'-0"	SCWD	FF	~	BB	WD	PF
111	RESTROOM	A	1	3'-0"	7'-0"	SCWD	FF	~	AA	HM	PT
112	HALLWAY	D	1	2'-8"	7'-0"	HM	PF	TI	AA	HM	PT
203	OFFICE	B	1	3'-0"	7'-0"	SCWD	FF	T	AA	HM	PT
204	STORAGE	A	1	3'-0"	7'-0"	SCWD	PF	~	BB	WD	PF
205	STORAGE	A	1	3'-0"	7'-0"	SCWD	PF	~	BB	WD	PF
206	OFFICE	B	1	3'-0"	7'-0"	SCWD	FF	T	AA	HM	PT
207	RESTROOM	A	1	3'-0"	7'-0"	SCWD	FF	~	AA	HM	PT
208	OFFICE	B	1	3'-0"	7'-0"	SCWD	FF	T	AA	HM	PT
209	OFFICE	B	1	3'-0"	7'-0"	SCWD	FF	T	AA	HM	PT
210	OFFICE	B	1	3'-0"	7'-0"	SCWD	FF	T	AA	HM	PT
211	FILE ROOM	A	1	3'-0"	7'-0"	SCWD	FF	~	AA	HM	PT

LEGEND:

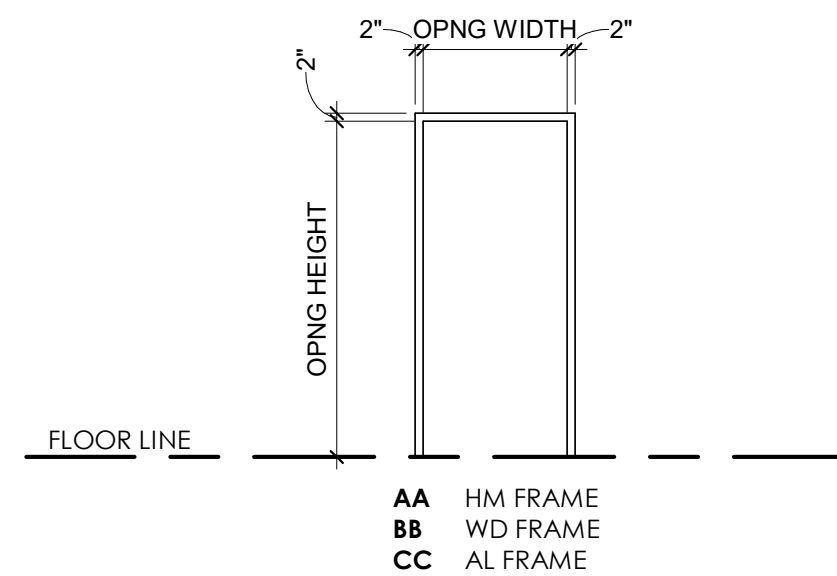
MATERIAL:
AL ALUMINUM
HM HOLLOW METAL
SCWD SOLID CORE WOOD DOOR
T 1/2" TEMPERED GLASS
TI 1" TEMPERED/ INSULATED GLASS
WD WOOD

FINISHES:
FF FACTORY FINISHED
PF PRE-FINISHED
PT PAINT

GENERAL NOTES:

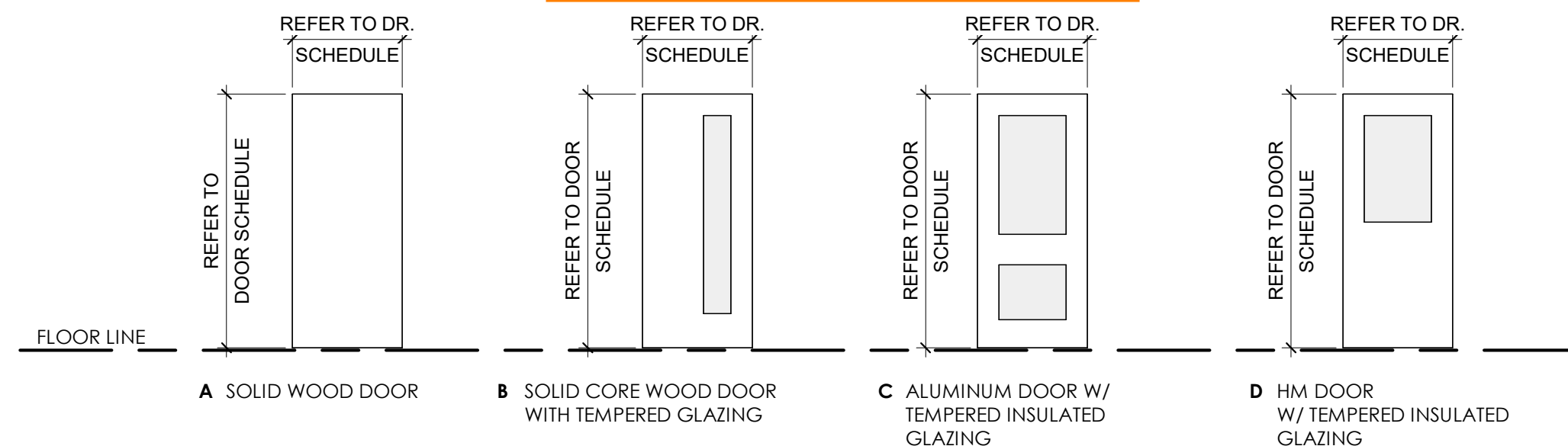
- FILED VERIFY ALL DIMENSIONS.
- ALL INSULATED EXTERIOR HOLLOW METAL DOORS SHALL HAVE U FACTOR OF NOT MORE THAN 0.37. EXTERIOR DOORS HAVE FULL GASKETS & WEATHER PROOFING AROUND DOOR JAMBS.

Please provide the door hardware.



DOOR FRAME TYPES
1/4" = 1'-0"

Vision lites within the accessible route must comply with section 404.2.10 of the 2017 Washington State Accessibility Code



DOOR TYPES
1/4" = 1'-0"

Doors within the accessible route must have a clear opening width of 32" (measured from the face of the door to the stop with the door open 90 degrees). If the door width is 32", the clear opening most likely will not meet the minimum requirement.

PERMIT

JUNE 2025

No. Description Date

PRCTI20250966