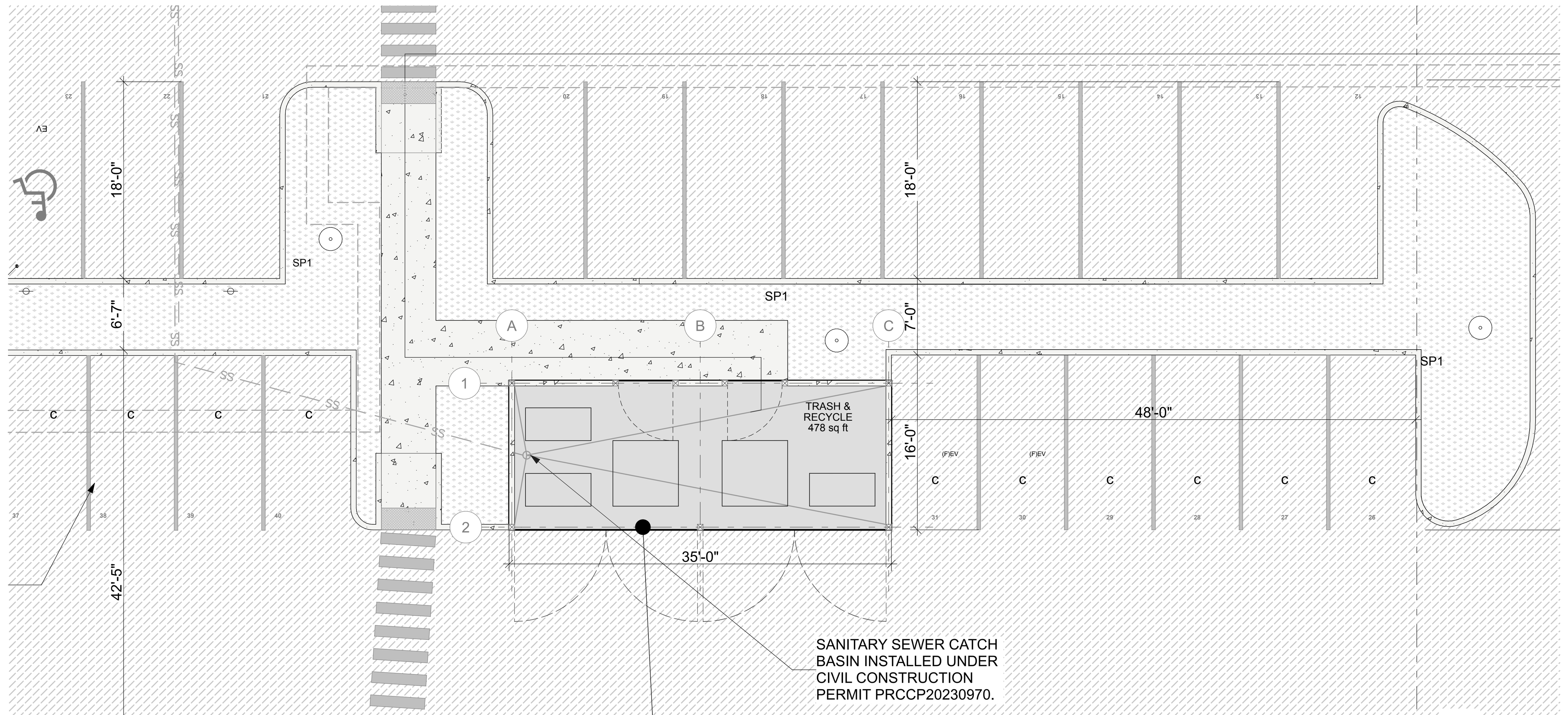
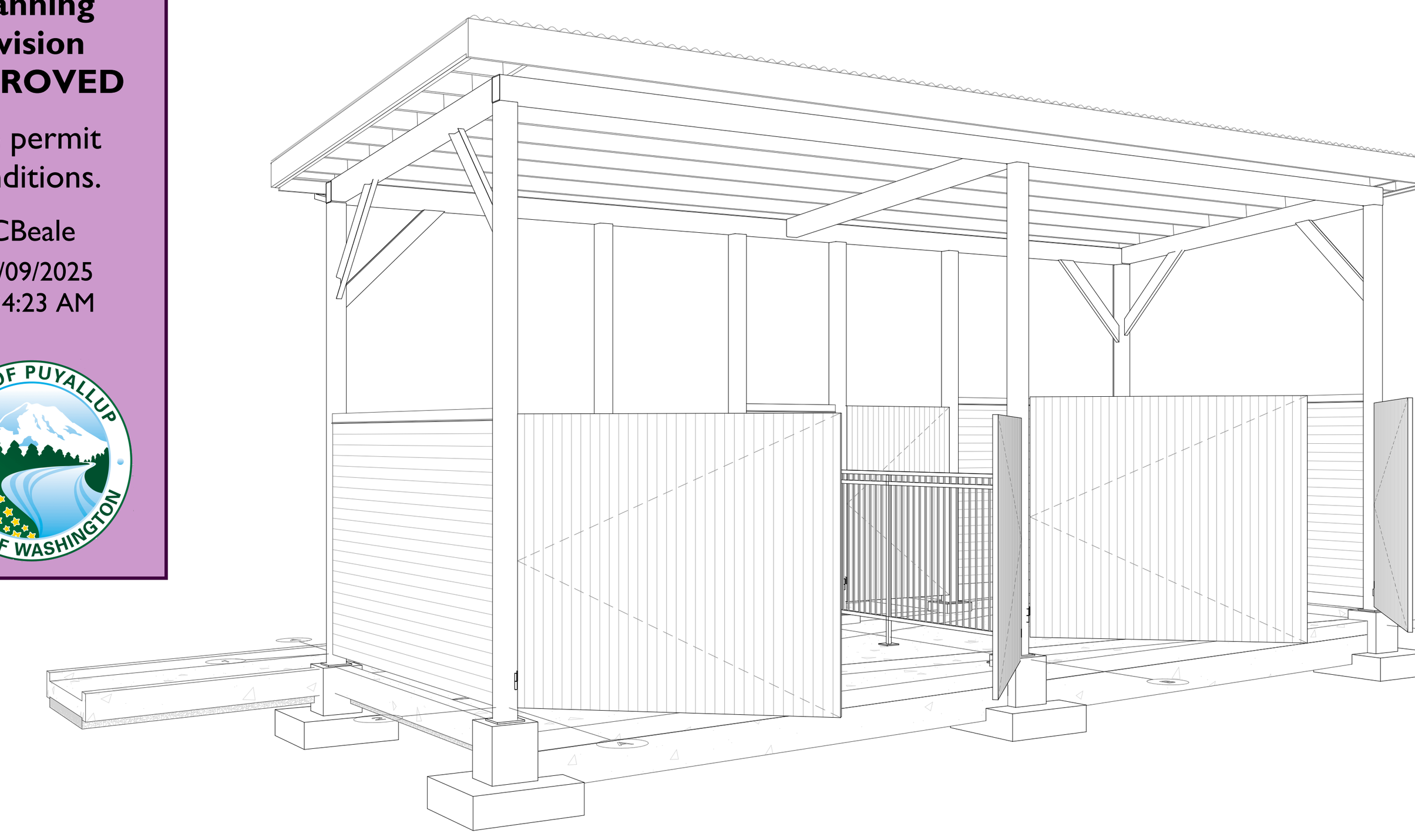
EAST TOWN CROSSING | COMMERCIAL LOTS 1 & 2 - TRASH ENCLOSURE

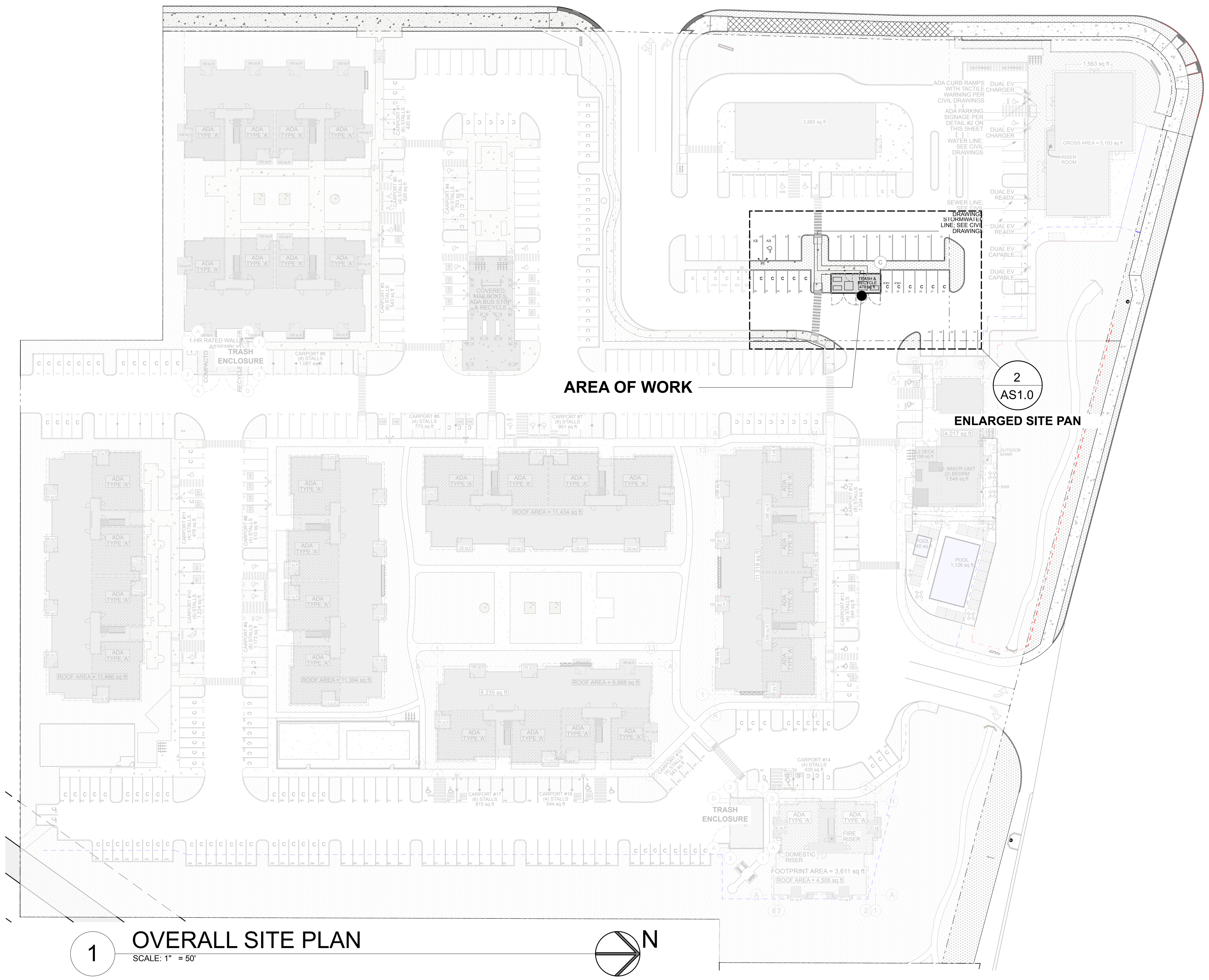
COMMERCIAL LOTS 1 & 2 - TRASH ENCLOSURE



2 ENLARGED SITE PLAN
SCALE: 1" = 10'
N

City of Puyallup Planning Division APPROVED
See permit conditions.
CBeale
09/09/2025
7:34:23 AM





1 OVERALL SITE PLAN
SCALE: 1" = 50'
N

LAND USE SUMMARY

P/N: 0420264021, LOT 1 & 2

JURISDICTION: CITY OF PUYALLUP

ZONING DESIGNATION:
CG - GENERAL COMMERCIAL
SHAW-EAST PIONEER OVERLAY

PARCEL AREA: 83,593 sq ft

SURROUNDING PARCELS: CG TO THE SOUTH AND EAST, CB ACROSS SHAW TO THE WEST, CMX ACROSS PIONEER TO THE NORTH

USE: RESTAURANT & RETAIL (PERMITTED)
MINIMUM LOT AREA: NONE
MINIMUM LOT WIDTH: 50 FT
MINIMUM LOT DEPTH: 100 FT
MINIMUM SETBACKS: 12 FT STREET, 0 FT SIDE, 0 FT REAR
MAXIMUM SETBACK: 20 FT WITH PLAZA
MAXIMUM HEIGHT: 50 FT (FOUR STORIES)
MAXIMUM FLOOR AREA: F.A.R. 4.0
MAXIMUM LOT COVERAGE: 75%

VICINITY MAP (NOT TO SCALE)

TEAM INFORMATION:

OWNER'S:
ASH DEVELOPMENT, LLC
PUYALLUP, WA
c/io: GREG HELLE
253-318-5711
greg.helle@absherco.com

ARCHITECT :
SYNTHESIS 9, LLC
TACOMA, WA
c/o: BRETT LINDSAY
253-468-4117
blindsay@synthesis9.com

CIVIL ENGINEER:
AHBL, INC.
TACOMA, WA
c/o: TODD SAWIN
253-383-2422
tsawin@AHBL.com

STRUCTURAL ENGINEER:
PIERUCCIONI E&C,, LLC
TACOMA, WA
c/o: CHON PIERUCCINI
206-949-7866
pieruccionìengineering@gmail.com

TABLE OF CONTENTS

ARCHITECTURAL

STRUCTURAL

CIVIL
SEE APPROVED CIVIL PLANS FOR GRADING, UTILITIES & TEMPORARY EROSION CONTROL PLANS

BUILDING SUMMARY

DESCRIPTION: TRASH ENCLOSURE
APPLICABLE BUILDING CODE: 2021 IBC
FIRE SPRINKLERS: NO
FIRE ALARM SYSTEM AND SMOKE ALARM: NO
OCCUPANCY: U
TYPE OF CONSTRUCTION: IIA (NON-COMBUSTIBLE PER IFC 304)

OCCUPANT LOAD:
FUNCTION OF SPACE: ACCESSORY STORAGE
OCCUPANT LOAD FACTOR: 300 (GROSS)
OCCUPANT LOAD : 478/300 = 2

PROPOSED GROSS AREA: 478 sq ft
PROPOSED HEIGHT: 18.5 ft

BASE ALLOWABLE BUILDING AREAS, HEIGHT AND STORIES:
ALLOWABLE AREA PER FLOOR: 5,500 sq ft
ALLOWABLE MAXIMUM HEIGHT: 40 ft
ALLOWABLE STORIES: 1

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER IBC (2021) TABLES 601:

PRIMARY STRUCTURAL FRAME:
EXTERIOR BEARING WALLS: 1-HR
INTERIOR BEARING WALLS: 1-HR
NONBEARING EXTERIOR WALL AND PARTITIONS: 0-HR (PER 705.5)
NONBEARING INTERIOR WALL AND PARTITIONS: NOT APPLICABLE
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 1-HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS: 1-HR

PROJECT SCOPE

CONSTRUCT A COVERED REFUSE STORAGE AREA FOR LOT 1 AND LOT 2.

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE (2021)
ANSI 117.1 (2017)
INTERNATIONAL MECHANICAL CODE (2021)
INTERNATIONAL FIRE CODE (2021)
INTERNATIONAL ELECTRICAL CODE (2021)
UNIFORM PLUMBING CODE (2021)
WASHINGTON STATE ENERGY CODE (2021)
PORT ORCHARD LAND USE CODE
WASTEWATER AND SURFACE WATER MANAGEMENT - CHAPTER 12.08
PUBLIC WORKS DESIGN MANUAL
WASHINGTON STATE AMENDMENTS

AGENCY REVIEW | 25.08.11

SYNTHESIS 9, LLC
2602 N. HUSON ST.
TACOMA, WA 98407

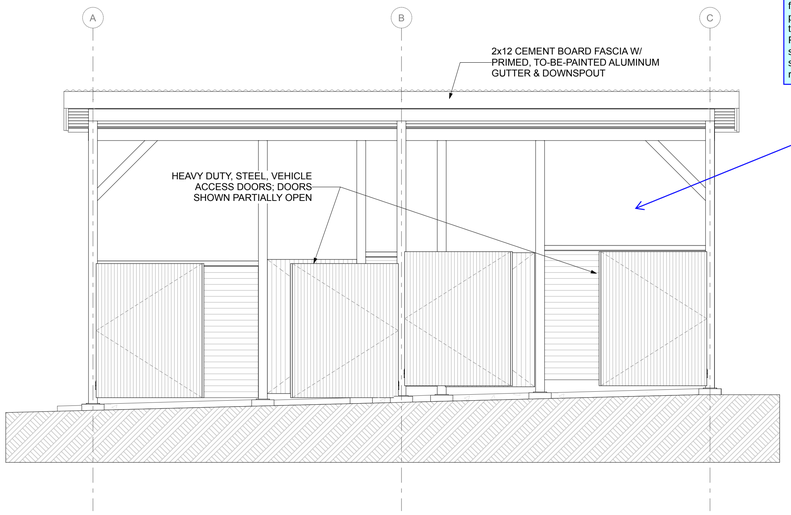
9251 REGISTERED ARCHITECT
BRETT ALLEN LINDSAY
STATE OF WASHINGTON

EAST TOWN CROSSING
COMMERCIAL LOTS 1 & 2 - TRASH ENCLOSURE
727 SHAW RD PUYALLUP WA 98372
P/N: 0420264021

REVISIONS

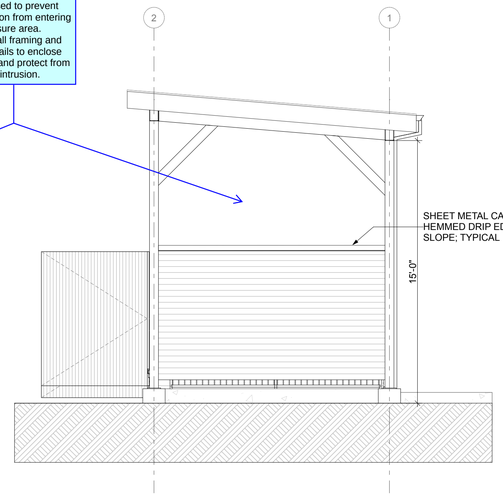
REVISIONS

DRAWN BY:	CM / BL
CHECKED BY:	BL
DATE:	25.08.11
TITLE:	SITE PLAN & PROJECT INFORMATION
PROJECT # :	#Pln
SHEET:	A1.0

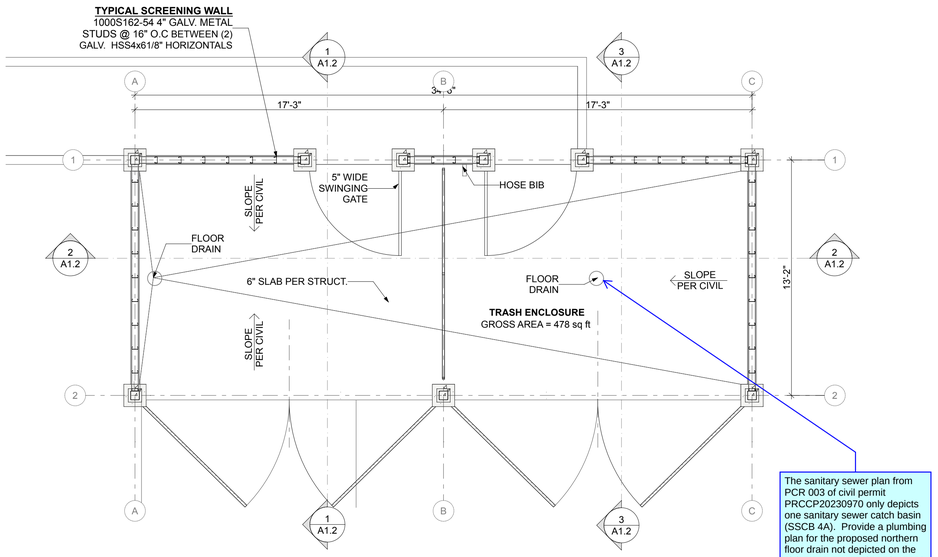


9 EAST ELEVATION
SCALE: 1/4" = 1'-0"

In accordance with City Standard Section 208.3, trash enclosures shall be full enclosed to prevent precipitation from entering the enclosure area. Revise wall framing and siding details to enclose structure and protect from rainwater intrusion.



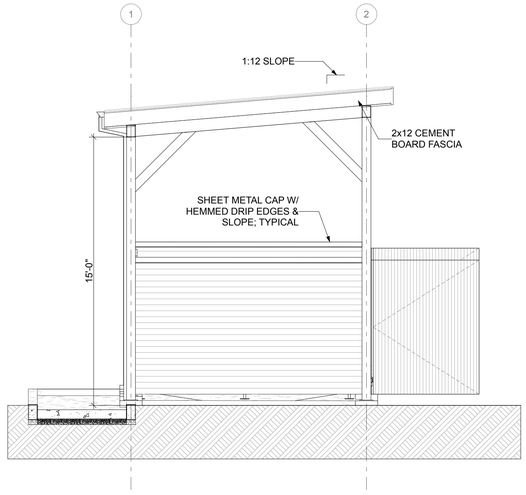
8 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



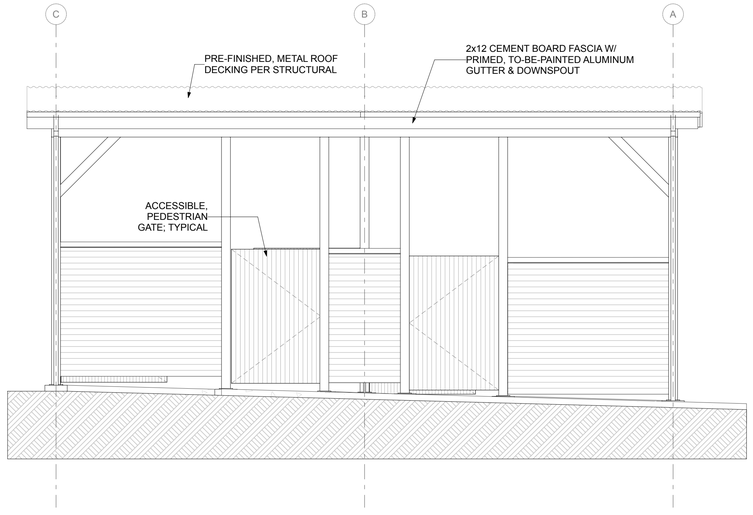
The sanitary sewer plan from PCR 003 of civil permit PRCCP20230970 only depicts one sanitary sewer catch basin (SSCB 4A). Provide a plumbing plan for the proposed northern floor drain not depicted on the civil plans, but depicted in these construction plans.

1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

N

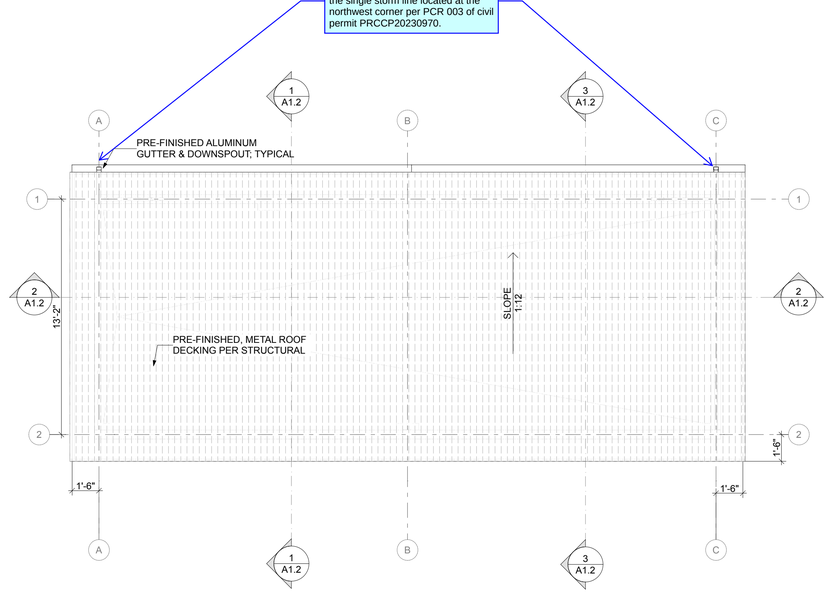


7 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



10 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Describe and callout how the two proposed downspouts will connect to the single storm line located at the northwest corner per PCR 003 of civil permit PRCCP20230970.



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

N

S9
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3002 E PIONEER WAY PUYALLUP WA 98372
P/N: 0420264053

AGENCY REVIEW | 25.08.11

REVISIONS

01	REVISION No.1 25.06.09

REVISIONS

DRAWN BY:	CM / BL
CHECKED BY:	BL
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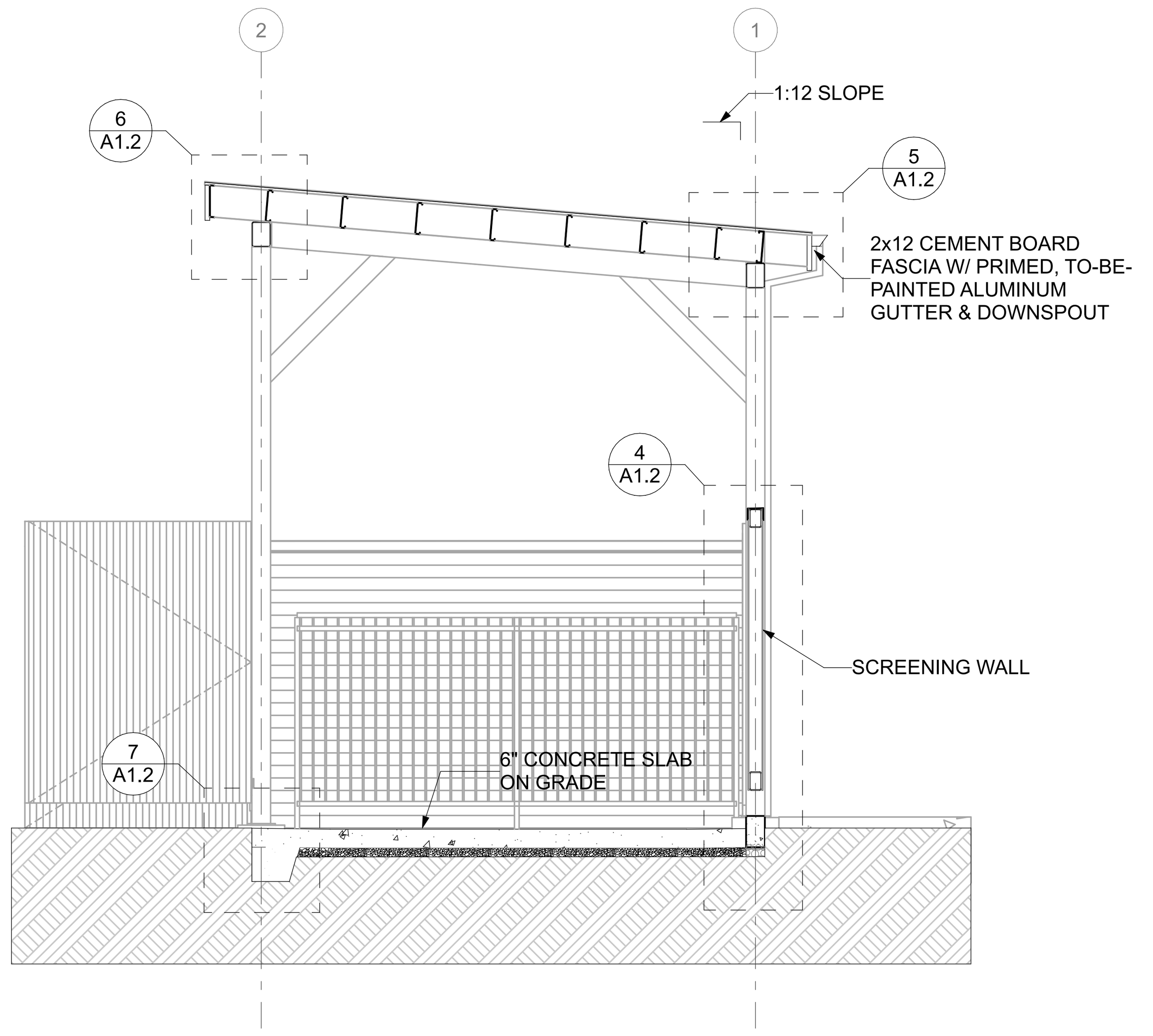
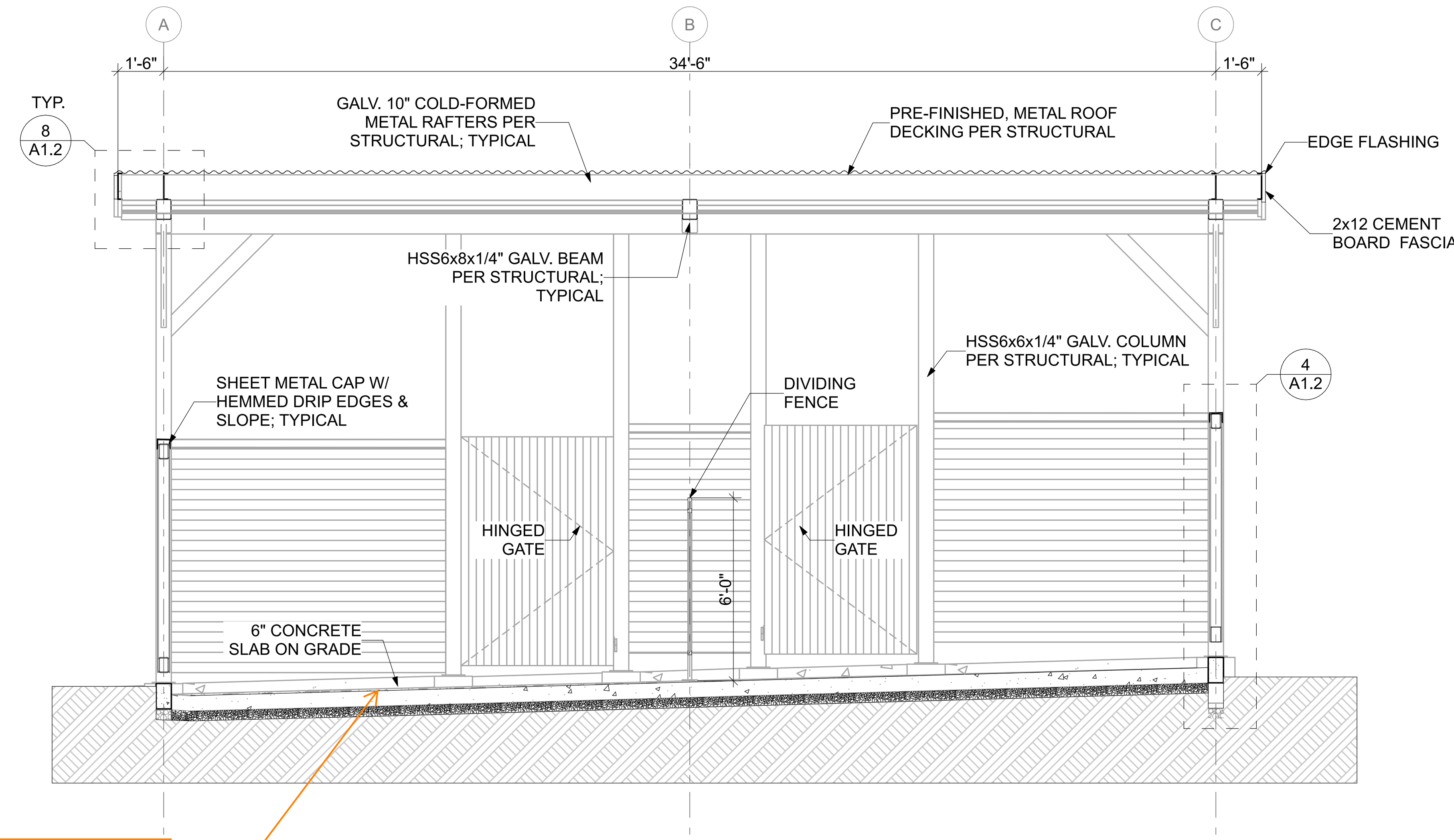
PROJECT # :	#Pln
SHEET:	A1.1

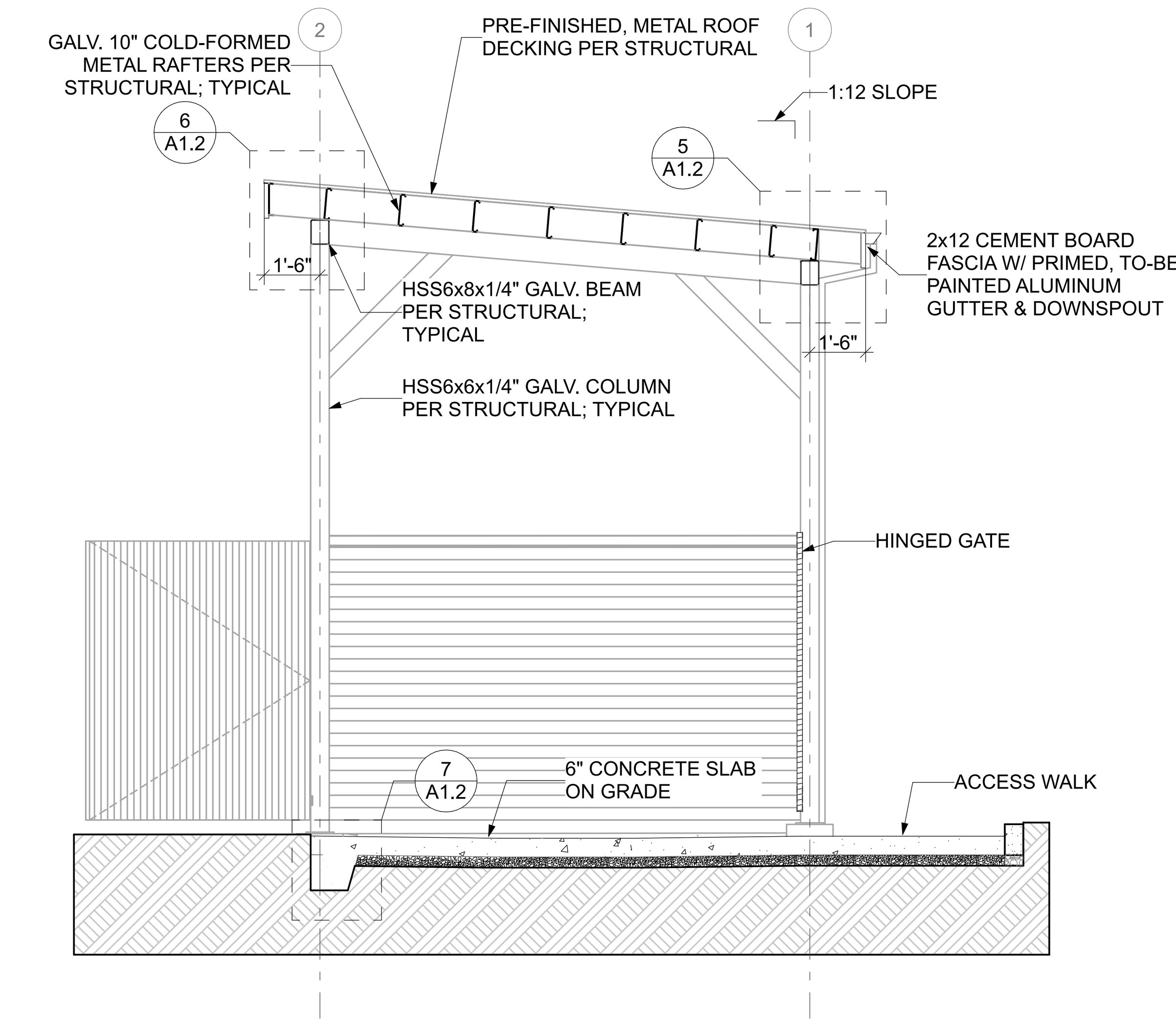


3 BUILDING SECTION - 3
SCALE: 1/4" = 1'-0"

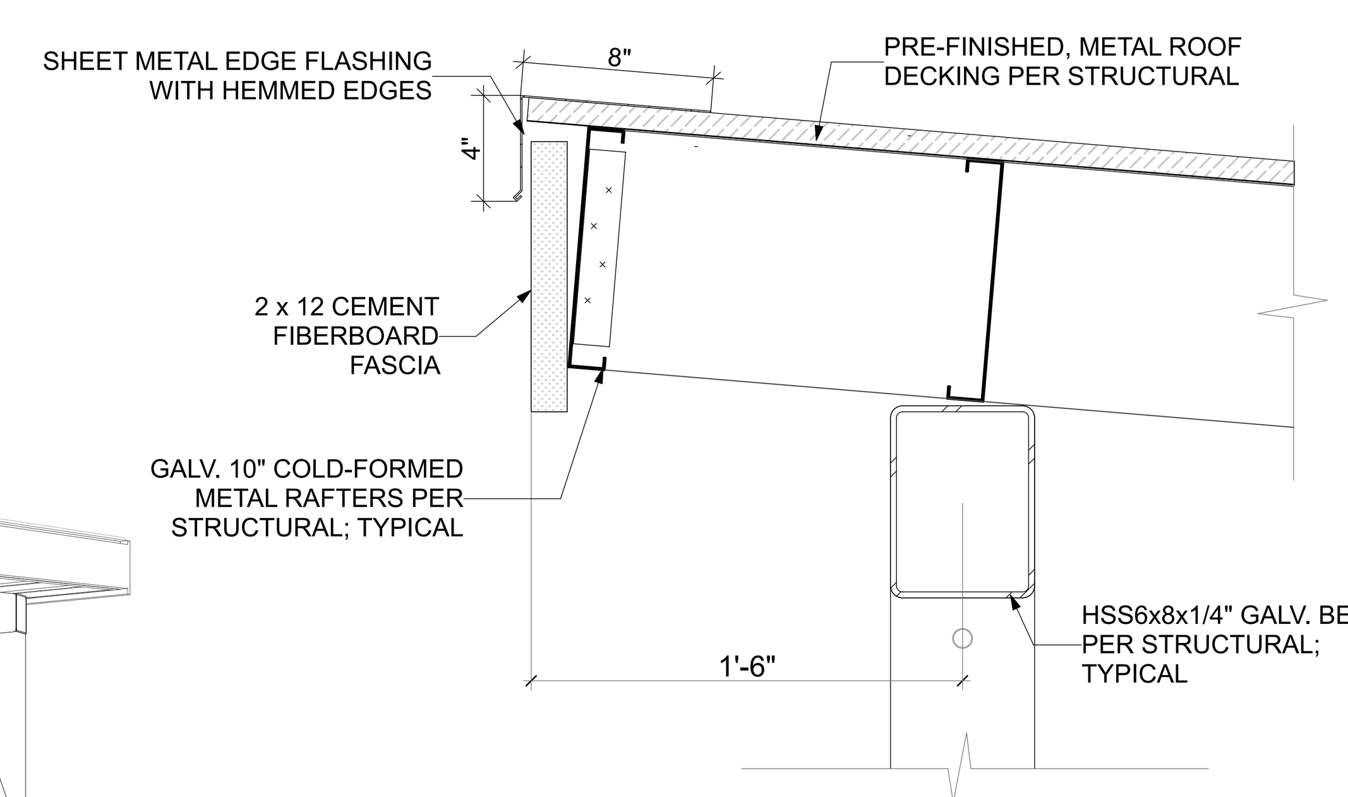

A
B
C
1'-6"
34'-6"
1'-6"
TYP.
8
A1.2
GALV. 10" COLD-FORMED METAL RAFTERS PER STRUCTURAL; TYPICAL
PRE-FINISHED, METAL ROOF DECKING PER STRUCTURAL
EDGE FLASHING
2x12 CEMENT BOARD FASCIA
HSS6x8x1/4" GALV. BEAM PER STRUCTURAL; TYPICAL
HSS6x6x1/4" GALV. COLUMN PER STRUCTURAL; TYPICAL
SHEET METAL CAP W/ HEMMED DRIP EDGES & SLOPE; TYPICAL
DIVIDING FENCE
4
A1.2
HINGED GATE
HINGED GATE
6'-0"
6" CONCRETE SLAB ON GRADE

This appears to be a ramp. Clearly identify the requirements of a ramp along, identify changes in level and how they will be addressed. Refuse enclosures should be accessible to all.

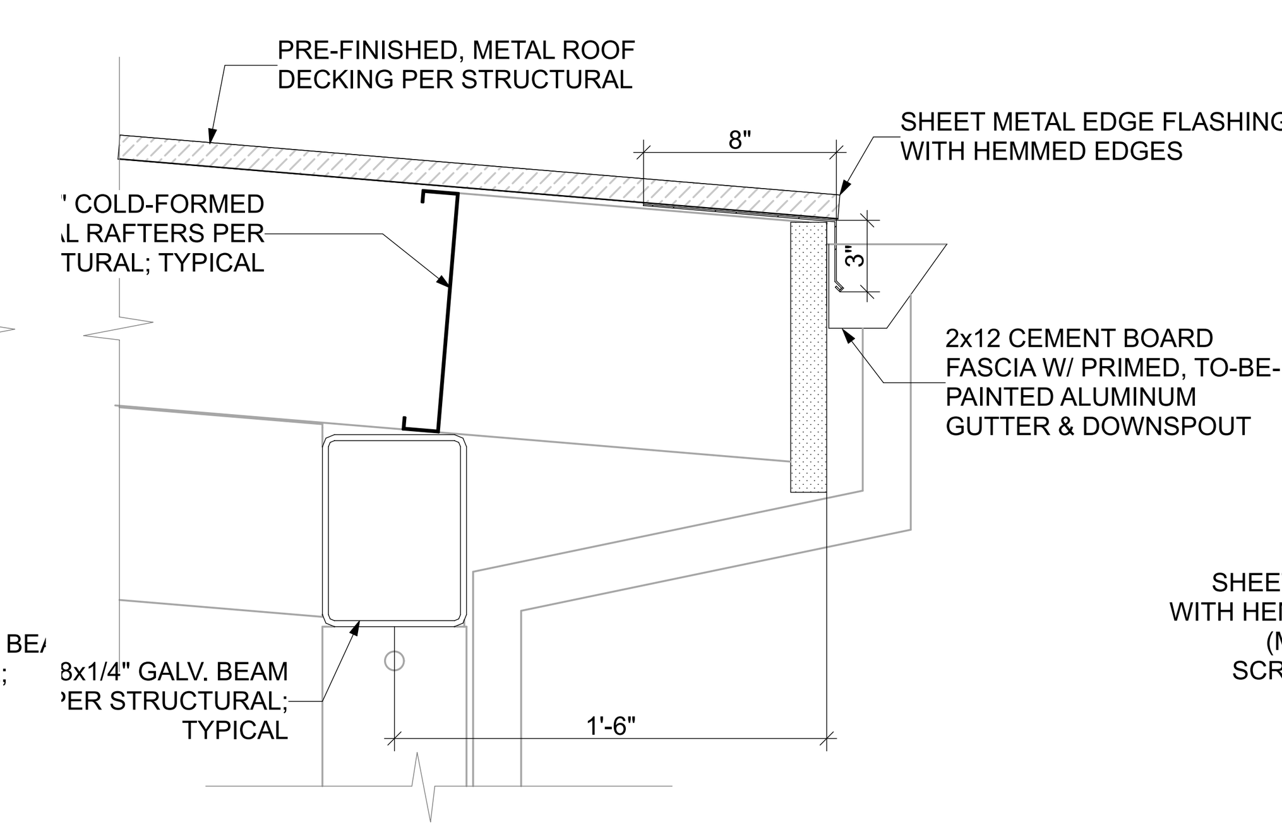
2 BUILDING SECTION - 2
SCALE: 1/4" = 1'-0"


GALV. 10" COLD-FORMED METAL RAFTERS PER STRUCTURAL; TYPICAL
2
PRE-FINISHED, METAL ROOF DECKING PER STRUCTURAL
1
1:12 SLOPE
6
A1.2
5
A1.2
2x12 CEMENT BOARD FASCIA W/ PRIMED, TO-BE-PAINTED ALUMINUM GUTTER & DOWNSPOUT
1'-6"
HSS6x8x1/4" GALV. BEAM PER STRUCTURAL; TYPICAL
1'-6"
HSS6x6x1/4" GALV. COLUMN PER STRUCTURAL; TYPICAL
HINGED GATE
7
A1.2
6" CONCRETE SLAB ON GRADE
ACCESS WALK

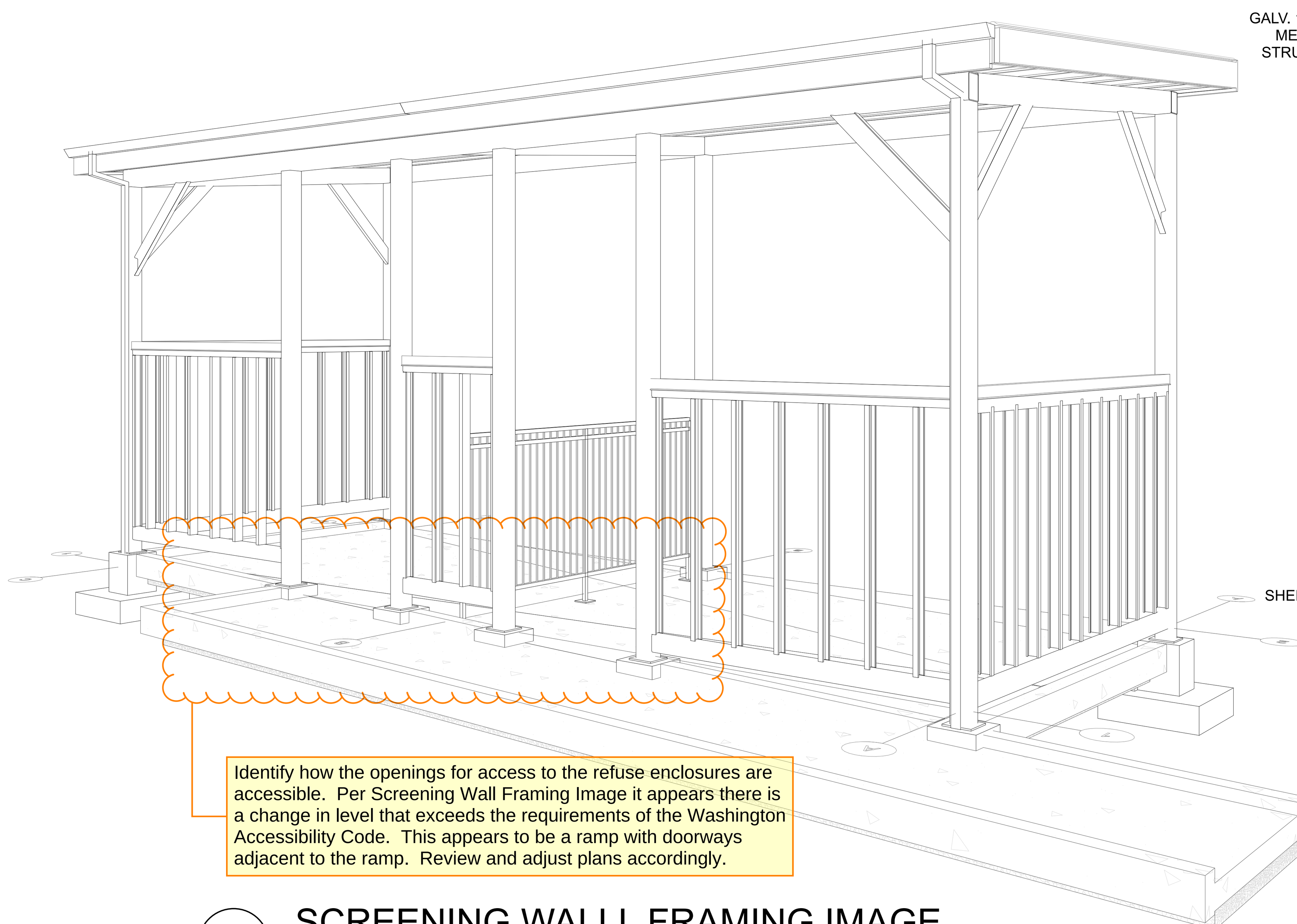
1 BUILDING SECTION - 1
SCALE: 1/4" = 1'-0"



6 DETAIL
SCALE: 1 1/2"= 1'-0"

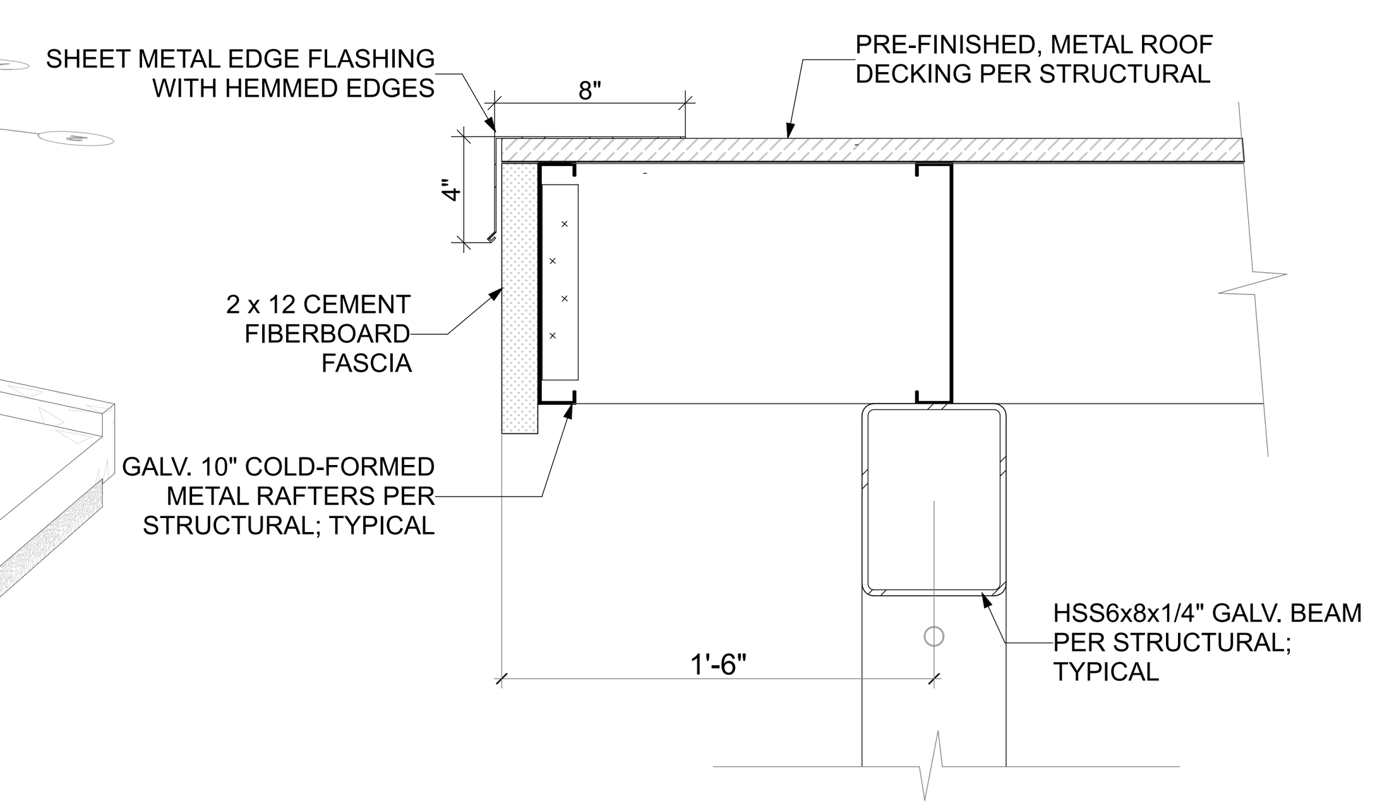


5 DETAIL
SCALE: 1 1/2"= 1'-0"

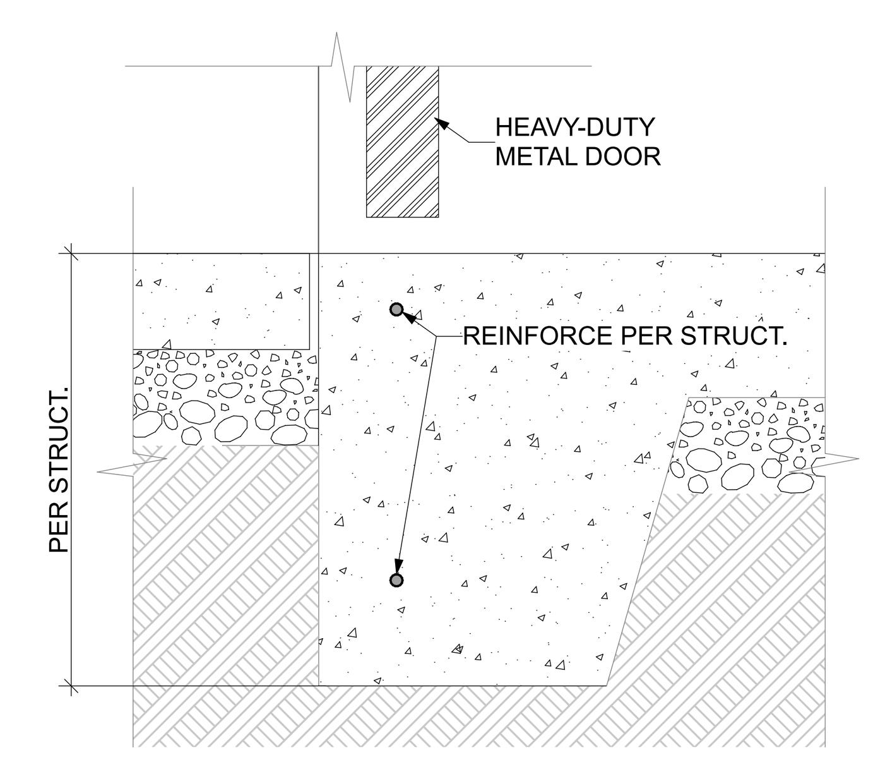


Identify how the openings for access to the refuse enclosures are accessible. Per Screening Wall Framing Image it appears there is a change in level that exceeds the requirements of the Washington Accessibility Code. This appears to be a ramp with doorways adjacent to the ramp. Review and adjust plans accordingly.

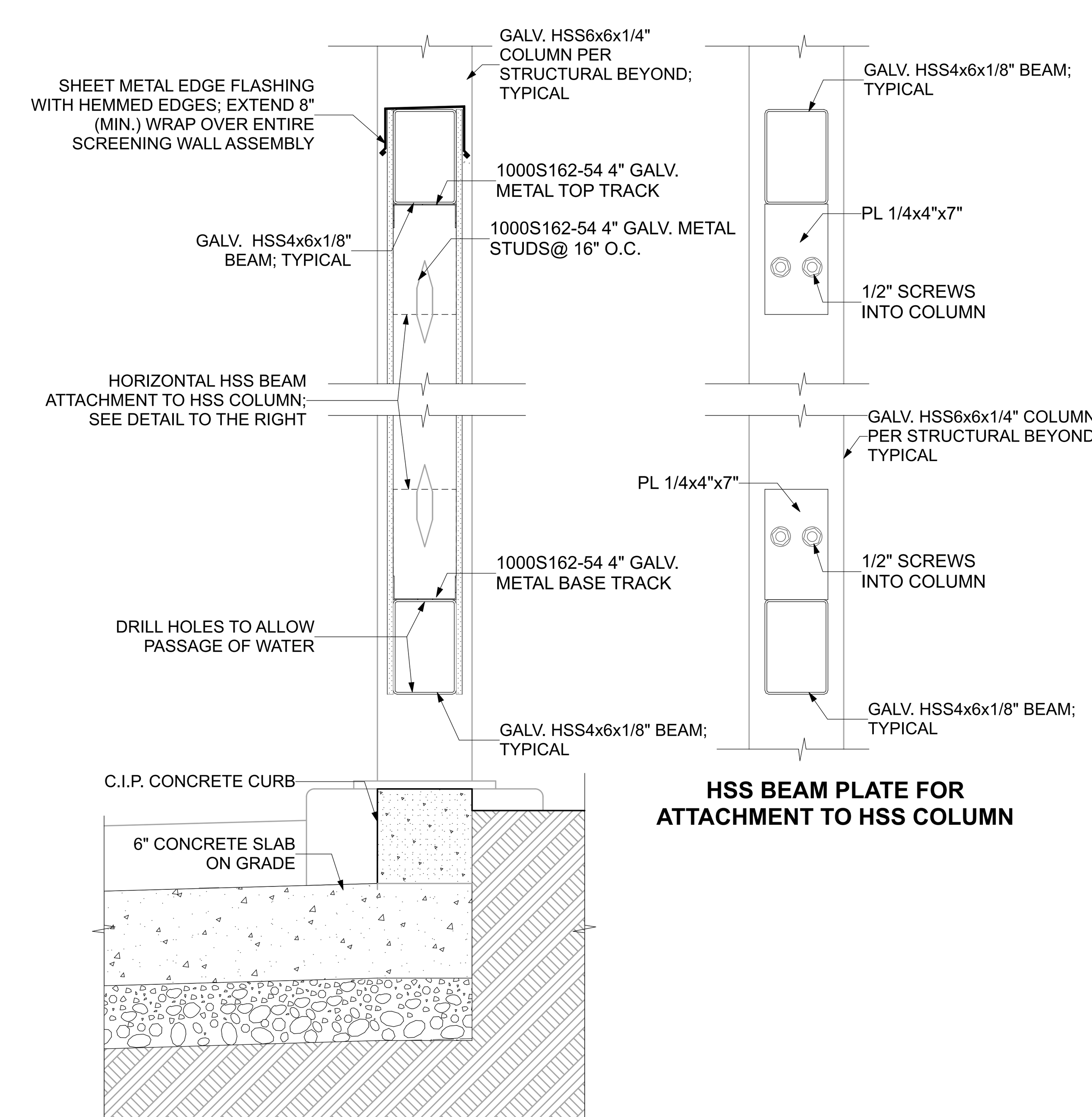
9 SCREENING WALLL FRAMING IMAGE
SCALE: 1:208.70



8 DETAIL
SCALE: 1 1/2"= 1'-0"



7 DETAIL
SCALE: 1 1/2"= 1'-0"


GALV. HSS6x6x1/4" COLUMN PER STRUCTURAL BEYOND; TYPICAL
SHEET METAL EDGE FLASHING WITH HEMMED EDGES; EXTEND 8" (MIN.) WRAP OVER ENTIRE SCREENING WALL ASSEMBLY
1000S162-54 4" GALV. METAL TOP TRACK
GALV. HSS4x6x1/8" BEAM; TYPICAL
1000S162-54 4" GALV. METAL STUDS@ 16" O.C.
HORIZONTAL HSS BEAM ATTACHMENT TO HSS COLUMN; SEE DETAIL TO THE RIGHT
1000S162-54 4" GALV. METAL BASE TRACK
DRILL HOLES TO ALLOW PASSAGE OF WATER
GALV. HSS4x6x1/8" BEAM; TYPICAL
C.I.P. CONCRETE CURB
6" CONCRETE SLAB ON GRADE
GALV. HSS4x6x1/8" BEAM; TYPICAL
PL 1/4x4"x7"
1/2" SCREWS INTO COLUMN
GALV. HSS6x6x1/4" COLUMN PER STRUCTURAL BEYOND; TYPICAL
PL 1/4x4"x7"
1/2" SCREWS INTO COLUMN
GALV. HSS4x6x1/8" BEAM; TYPICAL

HSS BEAM PLATE FOR ATTACHMENT TO HSS COLUMN

4 SCREENING WALL DETAIL
SCALE: 1 1/2"= 1'-0"

S9

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AGENCY REVIEW | 25.08.11

REVISIONS	
01	REVISION No.1 25.06.09

REVISIONS

DRAWN BY:	CM / BL
CHECKED BY:	BL
DATE:	25.08.11
TITLE:	SECTIONS & DETAILS
PROJECT # :	#Pln
SHEET:	A1.2

DESIGN CRITERIA

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE LOCAL JURISDICTION.

VERTICAL LOADS

ROOF LIVE LOAD: 30 PSF (SNOW) - LOW SLOPE ROOF

ROOF DEAD LOAD: 15 PSF

SNOW DESIGN DATA (ASCE 7-22)

FLAT SNOW LOAD: N/A

SNOW EXPOSURE FACTOR, Ce=1.0,

SNOW IMPORTANCE FACTOR, Is=1.0,

THERMAL FACTOR, Ct=1.2

WIND DESIGN DATA (ASCE 7-22)

BASIC WIND SPEED (ASD) V= 85MPH

ULTIMATE WIND SPEED V= 110MPH

RISK CATEGORY: II EXPOSURE: B

IMPORTANCE FACTOR, Iw= 1.0

TOPOGRAPHIC FACTOR, Kzt= 1.0

SEISMIC DESIGN DATA (ASCE7-22)

SEISMIC RESPONSE SYSTEM: STEEL ORDINARY CONCENTRICALLY BRACED FRAMES

EQUIVALENT LATERAL FORCE PROCEDURE (ASCE 7-22) R=3.25

RISK CATEGORY: II SEISMIC IMPORTANCE FACTOR, Ie= 1.0

MAPPED SPECTRAL RESPONSE ACCELERATION: Ss=1.42, S1=0.43

DESIGN SPECTRAL RESPONSE ACCELERATION: Sds=1.03, Sd1=0.61

SITE CLASS: D SEISMIC DESIGN CATEGORY: D

SEISMIC RESPONSE COEFFICIENT: Cs= 0.23

DESIGN BASE SHEAR: 3,508#

SOIL PROPERTIES:

BEARING CAPACITY: 2,000 PSF

LATERAL CAPACITY: 250 PSF/FT

GENERAL REQUIREMENTS

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED ABOVE.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO EXISTING CONDITIONS BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED WILL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
4. THE GENERAL CONTRACTOR IS ADVISED TO CONSIDER PERFORMING PHOTOGRAPHIC SURVEYS AND OTHER DOCUMENTATION OF THE CONDITION OF ADJACENT BUILDINGS AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL OBTAIN COPIES OF THE LATEST CONTRACT DOCUMENTS, INCLUDING ALL ADDENDA, AND PROVIDE THE RELEVANT PORTIONS TO ALL SUB-CONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTAL OF SHOP DRAWINGS AND FABRICATION AND ERECTION OF STRUCTURAL MEMBERS.
6. THE GENERAL CONTRACTOR SHALL COMPARE AND COORDINATE THE DRAWINGS OF ALL DISCIPLINES AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS TO THE ARCHITECT AND ENGINEER.
7. DETAILS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SEE DETAIL TITLES FOR APPLICABILITY OF A PARTICULAR DETAIL. TYPICAL DETAILS SHALL APPLY WHETHER OR NOT THEY ARE SPECIFICALLY KEYED AT EACH LOCATION. THE ENGINEER SHALL HAVE FINAL AUTHORITY TO DETERMINE APPLICABILITY OF TYPICAL DETAILS.
8. WHERE CONFLICTS EXIST BETWEEN STRUCTURAL DOCUMENTS THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER SHALL GOVERN.
9. THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
10. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
11. THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS. NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES.

CONSTRUCTION RESPONSIBILITY

1. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURE, AND ARE NOT INTENDED TO INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND FOR JOB SAFETY.
2. THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
3. PERIODIC SITE OBSERVATION VISITS MAY BE PROVIDED BY THE STRUCTURAL ENGINEER. THE SOLE PURPOSE OF THESE OBSERVATIONS IS TO REVIEW THE GENERAL CONFORMANCE OF THE CONSTRUCTION WITH THE STRUCTURAL CONTRACT DOCUMENTS. THESE LIMITED OBSERVATIONS SHOULD NOT BE CONSTRUED AS CONTINUOUS OR EXHAUSTIVE TO VERIFY THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL WORK IN COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR		
CLR.	CLEAR	N.T.S.	NOT TO SCALE
℄	CENTERLINE	O.C.	ON CENTER
CONC.	CONCRETE	PT	PRESSURE TREATED
CONT.	CONTINUOUS	REINF.	REINFORCEMENT
C.J.	CONTROL JOINT	SIM	SIMILAR
E.W.	EACH WAY	SF	SQUARE FEET
GLB	GLULAM BEAM	S.O.G.	SLAB ON GRADE
LBW	LOAD BEARING WALL	STL.	STEEL
HD	HOLD DOWN	T&G	TONGUE AND GROOVE
MFR.	MANUFACTURER	TYP.	TYPICAL
MIN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
MTL.	METAL	W/	WITH
N.T.S.	NOT TO SCALE		

SITE WORK

PER KRAZAN & ASSOCIATES, INC. REPORT DATED APRIL 11, 2019, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF. EXTERIOR FOOTINGS SHALL BEAR 18" & INTERIOR FOOTINGS SHALL BEAR 12" (MINIMUM) BELOW FINISHED GRADE. STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND COLUMNS 24" WIDE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS OR ON STRUCTURAL FILL PER THE GEOTECHS RECOMMENDATIONS.

CONCRETE

ITEM	DESIGN f'c (PSI)	MAX. W/C RATIO	MAX. AGGREGATE SIZE	MIN. CEMENT (SACKS/YARD)
FOUNDATIONS	2,500 @28 DAYS	0.45	$\frac{3}{4}$"	
STEM WALLS	3,000 @28 DAYS	0.45	$\frac{3}{4}$"	
SLAB ON GRADE	3,000 @28 DAYS	0.45	$\frac{3}{4}$"	

- REINFORCING STEEL SHALL BE ASTM A615 GRADE 40 FOR #4 BARS AND SMALLER AND GRADE 60 FOR #5 BARS AND LARGER.
- MINIMUM SPLICE LENGTHS SHALL BE: 24" FOR #4, 30" FOR #5, 42" FOR #6
- CONCRETE COVER SHALL BE: 3" CAST AGAINST EARTH, 2" EXPOSED TO EARTH/WEATHER, $\frac{3}{4}$" NOT EXPOSED TO EARTH/WEATHER.
- CORNER BARS ARE REQUIRED FOR ALL HORIZONTAL BARS IN FOOTINGS AND WALLS.
- All CONCRETE HAS BEEN DESIGNED FOR 2,500 PSI CONCRETE SO NO SPECIAL INSPECTION IS REQUIRED.

STRUCTURAL STEEL

1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
2. MATERIALS:
   - W-SHAPES & WT-SHAPES..... ASTM A992
   - S-SHAPES, M-SHAPES, HP-SHAPES..... ASTM A36
   - ST-SHAPES & MT-SHAPES..... ASTM A36
   - C-SHAPES & MC-SHAPES..... ASTM A36
   - ANGLES & PLATES..... ASTM A36
   - HSS SHAPES..... ASTM A500, GRADE B
   - STEEL PIPE..... ASTM A53 (TYPE E OR S), GRADE B
   - HIGH STRENGTH BOLTS..... ASTM A325
   - MACHINE BOLTS..... ASTM A307
   - ANCHOR RODS.....ASTM F1554, GRADE 55 TYPE S1(UNO)
   - WELDED HEADED STUDS..... ASTM A108
   - DEFORMED BAR ANCHORS..... ASTM A496
   - WELDING ELECTRODES..... AWS D1.1, E70 SERIES
3. NON-SHRINK, NON-METALLIC GROUT WITH A 28 DAY STRENGTH OF 5000 PSI SHALL BE USED UNDER BASE PLATES AND SHALL CONFORM TO CORPS OF ENGINEERS CRD-C621, FACTORY PREMIX GROUT. SEE SPECIFICATIONS FOR TESTING REQUIREMENTS.
4. ENGINEER SHALL BE CONTACTED FOR APPROVAL OF ANY FIELD MODIFICATIONS OF ANCHOR BOLTS OR RODS AND COLUMN BASE PLATES (PER OSHA).
5. TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR. STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
   CONTRACTOR MUST PROVIDE NOTIFICATION TO THE ERECTOR THAT, BY TESTING, THE FOUNDATION AND SUPPORTING WALLS HAVE ATTAINED SUFFICIENT STRENGTH TO SUPPORT THE STEEL TO BE ERECTED BEFORE ERECTING STRUCTURAL STEEL.
6. PROVIDE ONE SHOP COAT OF PRIMER (TT-P-636) ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.
7. FRAMING CONNECTIONS NOT DETAILED, OR CONNECTIONS THAT ARE MODIFIED FROM THOSE DETAILED, SHALL BE DESIGNED BY SUPPLIER FOR THE END REACTION SHOWN ON THE PLAN. IF NO REACTION IS PROVIDED, DESIGN FOR 1/2 THE BEAM MAXIMUM UNIFORM LOAD PER AISC MANUAL FOR STEEL CONSTRUCTION. SUBMIT SIGNED AND SEALED CALCULATIONS.
8. ALL WELD OPERATORS SHALL BE CURRENTLY AWS QUALIFIED.
9. SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. USE 3/16" FILLET WELD MINIMUM.
10. FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED AS DETAILED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED. USE 3/16" FILLET WELD MINIMUM.
11. DURING THE ERECTION OF STEEL BEAMS AND DIAGONAL BRACING, ALL BOLTING AND FIELD WELDING SHALL BE COMPLETE BEFORE RELEASING HOISTING CABLES.
12. SUBMIT FOR REVIEW SHOP DRAWINGS OF STEEL DETAILS PRIOR TO FABRICATING STRUCTURAL STEEL.
13. ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING PER SSPC-SP10. USE ASTM A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.
14. STEEL COLUMNS, BASE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MINIMUM 3" CONCRETE COVER PROTECTION.
15. MEMBERS NOTED AS "CONTINUOUS" SHALL BE FULLY WELDED AT ALL BUTT SPLICES OR CONNECTIONS SHALL BE DETAILED TO PROVIDE CONTINUITY.

STEEL ROOF DECKS

1. ROOF DECK SHALL BE 1-1/2" DEEP. SEE ROOF PLAN FOR GAGE AND PROFILE DESIGNATION.
2. ROOF DECK SHALL BE PLACED SO AS TO COVER AT LEAST TWO SPANS. NO SINGLE SPAN CONDITIONS SHALL BE USED.
3. DECK SHALL BE FABRICATED SO THAT DECK RUNS CONTINUOUSLY OVER OPENINGS. THE OPENINGS IN THE DECK SHALL NOT BE CUT UNTIL THE OPENING IS NEEDED (PER OSHA).
4. STEEL DECK SHALL CONFORM TO ASTM A653 SQ GRADE 33 (FY = 33,000 PSI).
5. STEEL DECK SHALL BE GALVANIZED WITH A PROTECTIVE ZINC COATING CONFORMING TO ASTM A924, WITH COATING DESIGNATION G90.
6. SEE ROOF PLAN AND DETAILS FOR ROOF DECK ATTACHMENT AND FORCES IMPOSED DUE TO UPLIFT AND DIAPHRAGM SHEAR UNDER WIND LOADING. SEE SPECIFICATIONS FOR INSPECTION AND REPORTING REQUIRED ON ROOF DECK ATTACHMENT.
7. PROVIDE A MINIMUM END BEARING OF 2" OVER SUPPORTS. END LAPS OF SHEETS SHALL BE A MINIMUM OF TWO INCHES AND SHALL OCCUR OVER SUPPORTS.
8. THE CONTRACTOR SHALL COORDINATE ALL TRADE REQUIREMENTS AND CONFIRM THE SIZE AND LOCATION OF ALL OPENINGS. OPENINGS LARGER THAN 12", AND AS DETAILED, SHALL HAVE STEEL FRAMING SUPPORTING ALL EDGES. SEE TYPICAL ANGLE FRAMING DETAILS.
9. STEEL MEMBERS SUPPORTING STEEL DECK AT THE PERIMETER OF THE BUILDING SHALL BE CONTINUOUS, BUTT WELD PIECES WHERE SPLICES OCCUR.

STATEMENT OF SPECIAL INSPECTIONS:

STRUCTURAL INSPECTION	VERIFICATION/INSPECTION	CONTINUOUS	PERIODIC	COMMENTS	REFERENCES
SOILS	VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY		X		IBC 1505.6
	VERIFY EXCAVATIONS ARE PROPER DEPTH AND HAVE REACHED PROPER MATERIAL		X		
	PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS		X		
	VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF FILL MATERIAL	X			
	PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY		X		
STEEL CONSTRUCTION	MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS		X		AISC 360 N5
	HIGH STRENGTH BOLTING A. SNUG TIGHT CONNECTIONS		X		AISC 360 N5
	MATERIAL VERIFICATION OF STRUCTURAL STEEL A. FOR STRUCTURAL STEEL, IDENTIFICATION MARKINGS TO CONFORM WITH AISC 360 B. MANUFACTURERS CERTIFIED MILL TEST REPORTS		X X	MANUFACTURE'S TO PROVIDE CERTIFIED MILL TEST REPORTS	AISC 360 N5 AISC 341 J6
	MATERIAL VERIFICATION OF WELD FILLER MATERIALS A. IDENTIFICATION MARKINGS TO CONFORM TO AWS SPECIFICATIONS LISTED IN GENERAL NOTES. B. MANUFACTURER'S CERTIFICATE OF COMPLIANCE		X X	MANUFACTURE'S TO PROVIDE CERTIFICATE OF COMPLIANCE	AISC 360 N5
	INSPECTION OF WELDING A. COMPLETE AND PARTIAL JOINT PENETRATION B. MULTI-PASS FILLET WELDS C. SINGLE-PASS FILLET WELDS > $\frac{5}{16}$" D. PLUG AND SLOT WELDS E. SINGLE-PASS FILLET WELDS < $\frac{5}{16}$" F. FIELD INSTALLED WELDED STUDS G. WELDING OF STAIRS AND RAILING SYSTEM.	X X X X	 X X X	SPECIAL INSPECTIONS IN THIS SECTION ARE WAIVED WHERE FABRICATION IS PERFORMED ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED IN ACCORDANCE WITH IBC SECTION 1704.2.5	AISC 360 N5 AISC 341 J6 AWS D1.1
STEEL CONSTRUCTION OTHER THAN STRUCTURAL STEEL	MATERIAL VERIFICATION OF COLD-FORMED STEEL DECK: A. IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS. B. MANUFACTURE'S CERTIFIED TEST REPORTS.		X X		APPLICABLE ASTM MATERIAL STANDARDS
	INSPECTION OF WELDING: A. COLD-FORM STEEL DECK WELDS		X		AWS D1.3

TESTING AND SPECIAL INSPECTION REPORTS SHALL BE PREPARED FOR EACH INSPECTION ITEM ON A DAILY BASIS WHENEVER WORK IS PERFORMED ON THAT ITEM. REPORTS SHALL BE DISTRIBUTED TO THE OWNER, CONTRACTOR, BUILDING OFFICIAL,M ARCHITECT AND STRUCTURAL ENGINEER.

STRUCTURAL OBSERVATIONS SHALL BE PERFORMED BY 3RD PARTY INSPECTORS IN ACCORDANCE WITH IBC 1704.5. STRUCTURAL OBSERVATION SHALL BE PERFROMED AS FOLLOW:

- PERIODIC VISUAL OBSERVATION OF STRUCTURAL SYSTEMS FOR GENERAL CONFORMANCE TO CONSTRUCTION DOCUMENTS AT SIGNIFICANT CONSTRUCTION STAGES
- REVIEW OF TESTIN AND INSPECTION REPORTS.
- REPORTS SHALL BE PREPARED FOR EACH SITE FISIT AND SHALL BE DISTRIBUTED TO OWNER, CONTRACTOR, BUILDING OFFICIAL, ARCHITECT AND STRUCTURAL ENGINEER.

GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN CONTRACTOR'S STATE OF RESPONSIBILITY TO THE BUIDLING OFFICIAL AND OWNER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR'S STATEMENT OF RESPONSIBILITY SHALL INCLUDE ACKNOWLEDGMENT OF AWARENESS OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION.

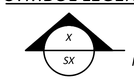
STEEL JOISTS

1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
2. THE MANUFACTURER OF THE JOISTS SHALL BE A MEMBER OF THE STEEL JOIST INSTITUTE.
3. PROVIDE ONE SHOP COAT OF PRIMER (TT-P-636) EXCEPT ITEMS TO RECEIVE SPRAY FIREPROOFING.
4. SEE GENERAL NOTES FOR SPRINKLER PIPE SUPPORT.
5. REFER TO DETAILS FOR SPECIAL TREATMENT OF:
   SUPPORTING CONCENTRATED LOADS
6. JOISTS SHALL BE DESIGNED TO RESIST A NET UPLIFT AS SHOWN ON LOADING DIAGRAMS.
7. CONNECT JOIST BEARING PLATES TO JOIST TOP CHORD FOR 4K.
8. SUBMIT FOR REVIEW SHOP DRAWINGS OF JOIST DETAILS FOR FABRICATION AND ERECTION PRIOR TO FABRICATING JOISTS.
9. PROVIDE HORIZONTAL OR DIAGONAL TYPE BRIDGING FOR ALL JOISTS AS REQUIRED BY SJI SPECIFICATION AND AS INDICATED ON THE DRAWINGS. THE ENDS OF ALL BRIDGING LINES TERMINATING AT BEAMS SHALL BE ANCHORED THERETO AT TOP AND BOTTOM CHORDS. PROVIDE ALL REQUIRED BRIDGING ANCHORS.
10. ALL JOISTS SHALL BE DESIGNED FOR A SINGLE CONCENTRATED TRAVELING PROVISIONAL LOAD OF 300 POUNDS ALONG THE TOP CHORD AND 100 POUNDS ALONG THE BOTTOM CHORD APPLIED BETWEEN PANEL POINTS.
11. JOIST DIAGONAL MEMBERS LOCATED IN THE MIDDLE QUARTER OF THE SPAN SHALL BE DESIGNED FOR A MINIMUM SHEAR, IN COMPRESSION, OF 15 PERCENT OF THE END REACTION. THIS MINIMUM DESIGN LOAD SHALL BE TO ACCOUNT FOR THE POSSIBILITY OF SHEAR REVERSAL DUE TO UNBALANCED LOADING.
12. JOIST SEATS SHALL HAVE THE CAPACITY TO RESIST A LATERAL LOAD APPLIED TO THE TOP CHORD, PERPENDICULAR TO THE SPAN (ROLLOVER). PROVIDE A MINIMUM ROLLOVER FORCE OF 2,000 POUNDS FOR SEATS UP TO 3 1/2 INCHES DEEP AND 1,200 POUNDS FOR SEAT OVER 3 1/2 INCHES DEEP.

COLD FORMED METAL FRAMING

1. SEE NOTES ON PRIMARY CODES AND SPECIFICATIONS.
2. ALL EXTERIOR WALLS, LINTELS, BEAMS, TRUSSES, ETC. AS WELL AS ALL INTERIOR BEARING WALLS, LINTELS, BEAMS, ETC. SHALL BE DESIGNED, SIGNED AND SEALED BY THE SUPPLIER'S DELEGATED ENGINEER REGISTERED IN THE STATE OF WASHINGTON.
3. ALL MEMBERS SHALL BE FORMED FROM HOT-DIPPED GALVANIZED STEEL, CORRESPONDING TO THE REQUIREMENTS OF ASTM A653 SQ GRADE 33 (FY = 33,000 PSI). GALVANIZED COATING SHALL CONFORM ASTM A924 WITH COATING DESIGNATION G60.
4. EXTERIOR METAL WALL STUDS:
   A. THE COLD FORMED METAL STUD FRAMING CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF EXTERIOR METAL STUDS. SHOP DRAWINGS SHOWING PLANS, ELEVATIONS, AND SECTIONS SHALL BE SUBMITTED WITH CALCULATIONS SIGNED AND SEALED BY A LICENSED ENGINEER IN THE STATE OF WASHINGTON.
   B. THE MINIMUM SIZE AND SPACING SHALL BE AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
   C. DO NOT CUT OR OTHERWISE DAMAGE LOAD BEARING STUDS DURING INSTALLATION OF WORK BY OTHER TRADES.

SYMBOL LEGEND



SECTION REFERENCE

HANGER

BEAM/HEADER

WELDING

STRUCTURAL STEEL: WELD IN ACCORDANCE WITH STRUCTURAL WELDING CODE AWS D1.1.

CERTIFICATION: ALL WELDING SHALL BE PERFORMED BY WABO/AWS CERTIFIED WELDERS. WELDERS SHALL BE PREQUALIFIED FOR EACH POSITION AND WELD TYP WHICH THE WELDER WITLL BE PERFORMING.

WELD TABS (ALSO KNOWN AS WELD "EXTENSION" TABS OR "RUN OFF" TABS) SHAL BE USED. AFTER THE WELD HAS BEEN COMPLETED THE WELD TABS SHALL BE REMOVED AND THE WELD END GROUND TO A SMOOTH CONTOUR. WELD "DAMS" OR "ENDS" SHALL NOT BE USED.

THE PROCESS OF CONSUMABLES FOR ALL WELD FILLER METAL INCLUDING TACK WELDS, ROOT PASS AND SUBSEQUENT PASSES DEPOSITEY IN A JOINT SHALL BE COMPATIBLE.

GRAVITY FRAME

WELD TYPE	FILLER METAL TENSILE STRENGTH	CHARPY V-NOTCH (CVN) RATING
FILLET	70 KSI	---
PARTIAL PENETRATION	70 KSI	---
COMPLETE PENETRATION	70 KSI	20 FT-LBS @ -20° F

WELDED CONNECTIONS INSPECTION:

ALL WELDING SHALL BE CHECKED BY VISUAL MEANS AND BY OTHER METHODS DEEMED NECESSARY BY THE WELDING INSPECTOR.

THE STANDARDS OF ACCEPTANCE FOR WELDS TESTED BY ULTRASONIC METHODS SHALL CONFORM TO AWS D1.1.

ALL WELDS FOUND TO BE DEFECTIVE SHALL BE REPAIRED AND REINSPECTED BY THE SAME METHODS ORIGINALLY USED, AND THIS REPAIR AND REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

DEFERRED SUBMITTALS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM AND MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO FABRICATION:

- STEEL FABRICATION

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EAST TOWN CROSSING
COMMERCIAL LOTS 1&2 - TRASH ENCLOSURE
3002 PIONEER WAY PUYALLUP WA 98372
P/N: 0420264053

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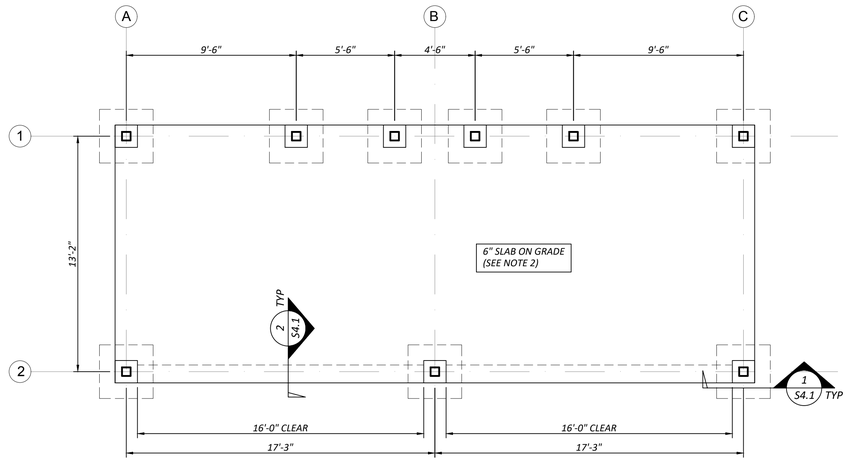
TITLE:	STRUCTURAL NOTES
PROJECT # :	---
SHEET:	S1.0

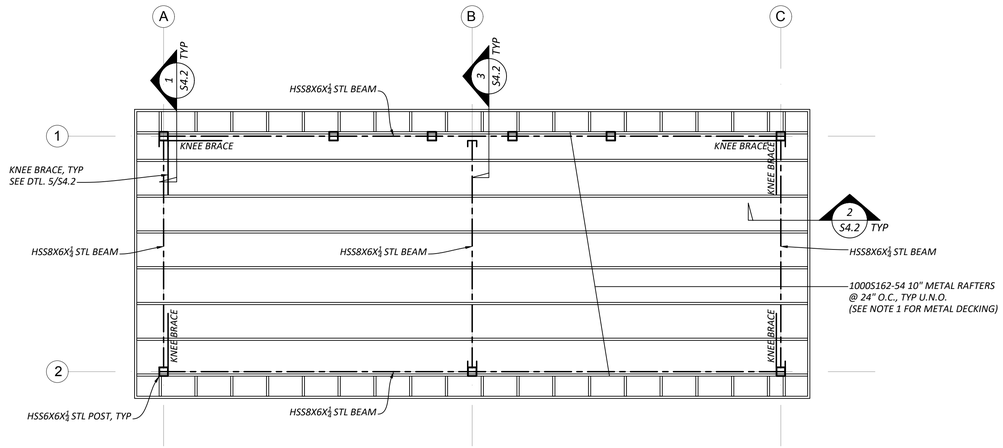


FOUNDATION PLAN

1/4" = 1'-0"

NOTES:

1. PER KRAZAN & ASSOCIATES, INC. REPORT DATED APRIL 11, 2019, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF. EXTERIOR FOOTINGS SHALL BEAR 18" & INTERIOR FOOTINGS SHALL BEAR 12" (MINIMUM) BELOW FINISHED GRADE. STRIP FOOTINGS SHALL BE A MINIMUM OF 16" WIDE AND COLUMNS 24" WIDE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS OR ON STRUCTURAL FILL PER THE GEOTECHS RECOMMENDATIONS. SPECIAL INSPECTION IS REQUIRED FOR FOUNDATION BEARING CAPACITY.
2. SLAB ON GRADE SHALL BE 6" THICK SLAB ON GRADE SLOPED 1:20 TOWARDS GRID 2. SLAB SHALL BE REINFORCED WITH #4 BARS @ 18" O.C. E.W. PLACED IN CENTER OF SLAB.
3. PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL
4. SEE DETAILS FOR POST ANCHOR BOLTS.



ROOF FRAMING AND SHEAR WALL PLAN

1/4" = 1'-0"

NOTES:

1. ROOF DECKING SHALL BE VULCRAFT 1.5B-36, 22 GAGE, GRADE 50 ROOF DECKING. DECKING SHALL BE ATTACHED TO RAFTERS WITH (4) #10 SCREWS PER PANEL PER RAFTER AND #10 SCREW SIDELAP @ 12" O.C.
2. ALL WALL FRAMING SHALL BE MTL. FRAMING CLAD PER ARCHITECTURAL PLANS.

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TITLE: FOUNDATION, FRAMING & SHEAR WALL PLAN
PROJECT # : ----
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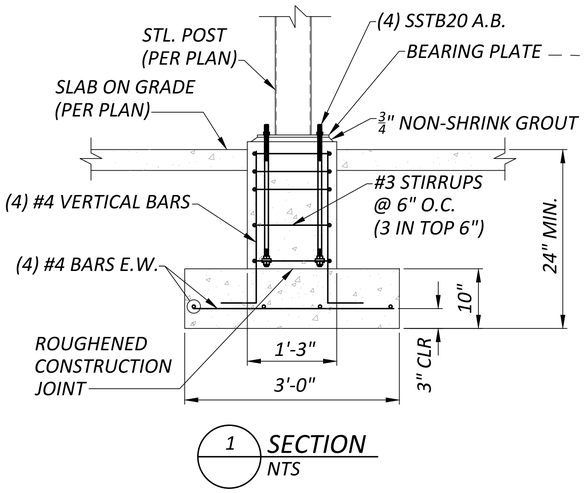
S3.1



1 SECTION
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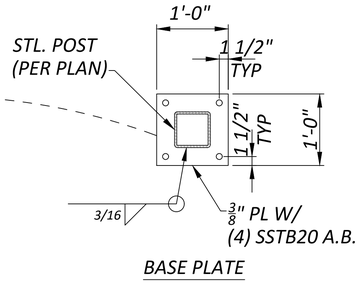
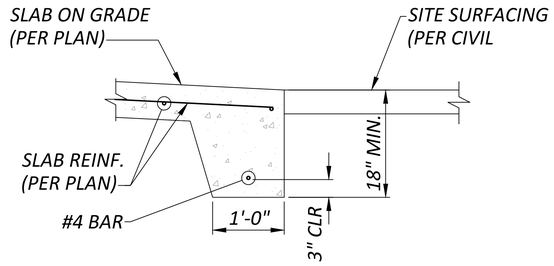


BASE PLATE



2 SECTION
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EAST TOWN CROSSING

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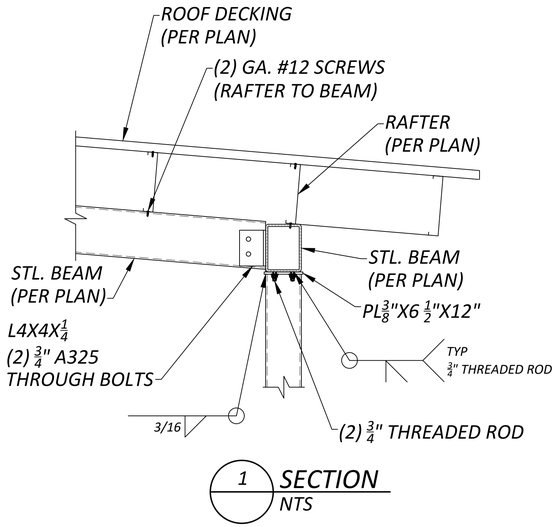

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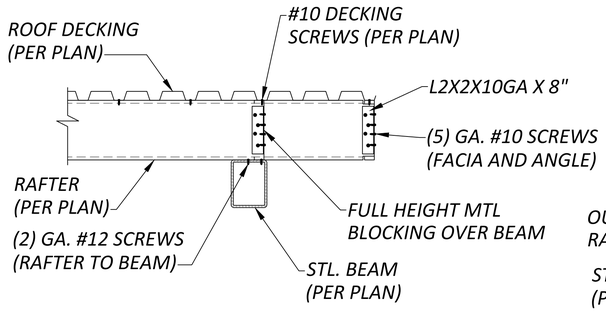

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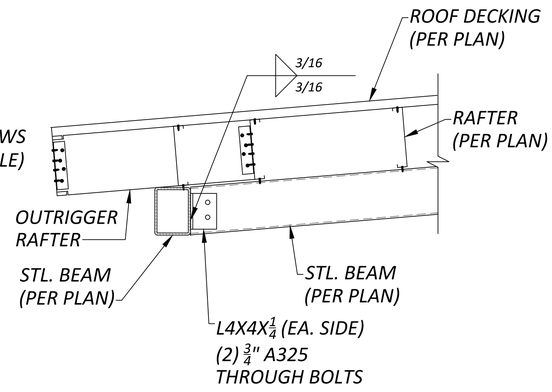

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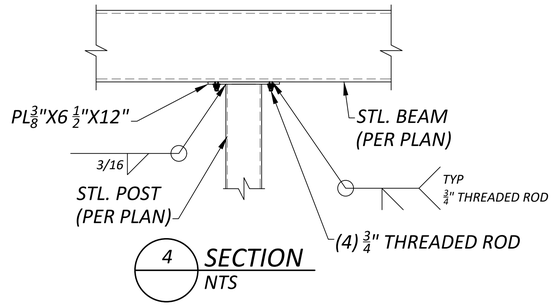

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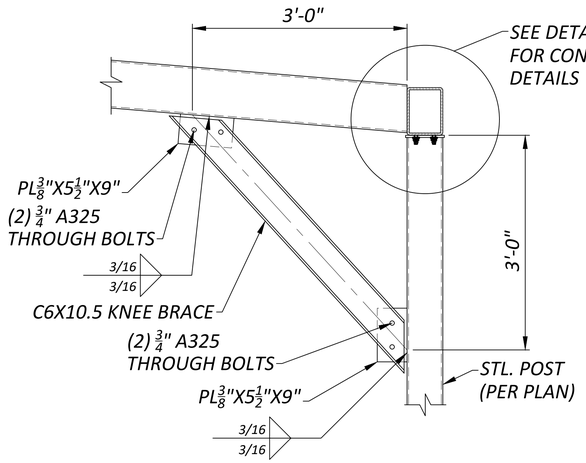

5 TYPICAL KNEE BRACE DETAIL
NTS

Welding to be done by an individual or fabricator who is WABO certified or approved by the Building Official to perform the work. All welds must be inspected and approved by a WABO certified special inspector.

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SHEET:	S4.2