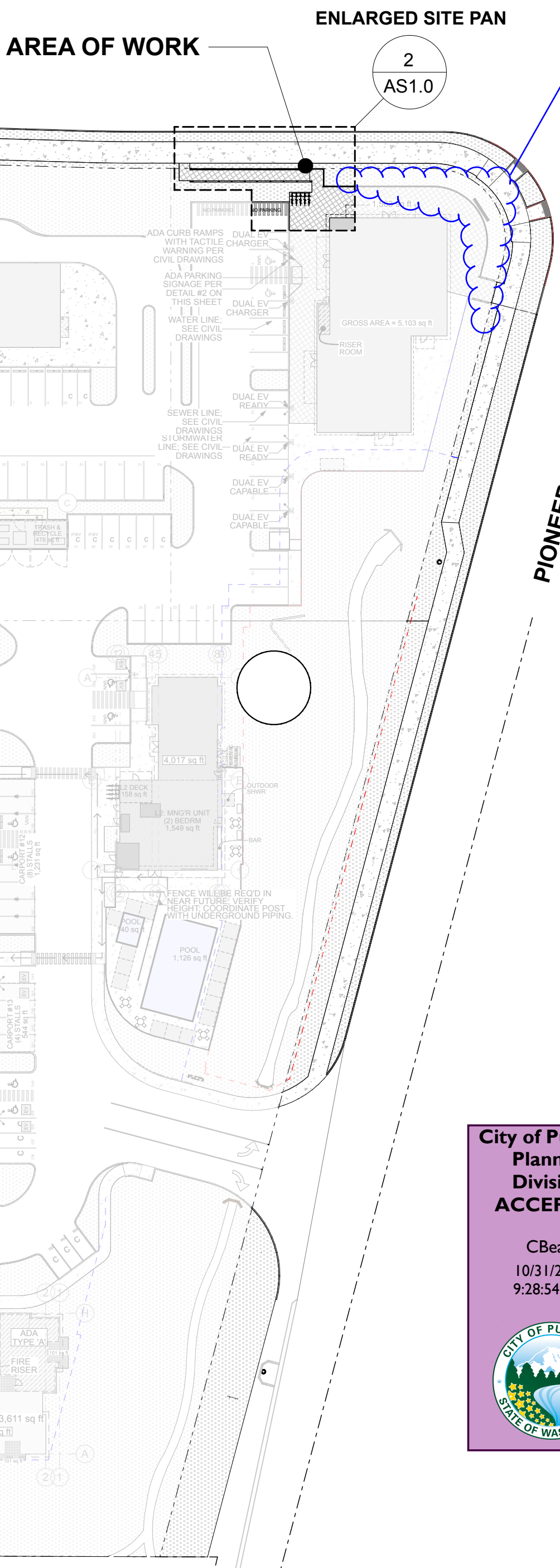
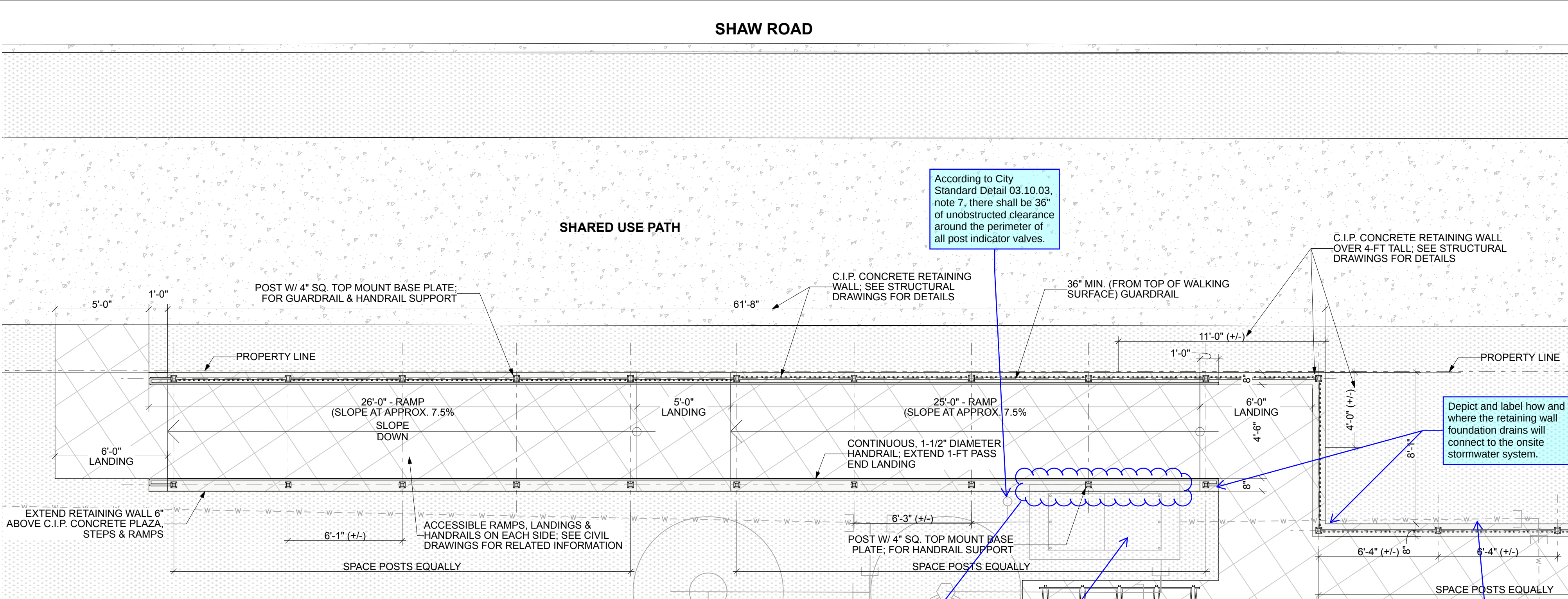


EAST TOWN CROSSING - LOT 1
RETAINING WALL



VICINITY MAP (NOT TO SCALE)

CONTRACTOR NOTE
Ramps shall comply with the 2017 Washington Accessibility Code, Section 405. Ramps shall be steeper than 1:12 and shall not have a rise greater than 30 inches. Ramps shall be provided with a landing at the top and bottom that comply with 2017 Washington Accessibility Code, Section 405.7.



Indicate if the remainder of the retaining wall not depicted in the enlarged site plan is included in this permit application, if a separate permit is to be obtained, or a permit is not required.

Cast-in-place wall conflicts with existing DDCVA vault. Encroaching retaining wall creates inadequate space to facilitate maintenance and testing in accordance with City Standard Detail 03.10.01-2, note 2. Moreover, no modifications to precast concrete vault walls will be allowed without written approval from precast supplier and/or engineer of record per City Standard Detail 03.11.01. Address the wall and vault conflict to remain in compliance with City Standards.

Depict and label the location of the galvanized ladder or safety post inside the DDCVA vault to determine the access orientation in relation to the proposed wall.

The Engineer of Record must provide a signed statement indicating that the placement and imposed load of the cast in place retaining wall will not impact or damage the existing water main underneath the new wall.

LAND USE SUMMARY

P/N: 0420264071, LOT 1
JURISDICTION: CITY OF PUYALLUP
ZONING DESIGNATION:
CG - GENERAL COMMERCIAL
SHAW-EAST PIONEER OVERLAY
PARCEL AREA: 83,593 sq ft

APPLICABLE CODES:

WASHINGTON STATE BUILDING CODE (2021)
ANSI 117.1 (2017)
PUYALLUP MUNICIPAL CODE

TABLE OF CONTENTS

ARCHITECTURAL
AS1.0 PROJECT INFO & SITE PLAN

STRUCTURAL
S5.1 RETAINING WALL DETAILS

CIVIL
SEE APPROVED CIVIL PLANS FOR GRADING, UTILITIES & TEMPORARY EROSION CONTROL PLANS

PROJECT SCOPE

CONSTRUCT A RETAINING WALL AT AREAS OVER 4-FT IN HEIGHT. THE RETAINING WALL IS FOR A PEDESTRIAN RAMP PROVIDING ACCESS FROM COMMERCIAL LOT 1, DOWN TO THE PUBLIC SIDEWALK ON SHAW ROAD.

TEAM INFORMATION:

OWNER'S:
ASH DEVELOPMENT, LLC
PUYALLUP, WA
c/o: GREG HELLE
253-318-5711
greg.helle@absherco.com

ARCHITECT :
SYNTHESIS 9, LLC
TACOMA, WA
c/o: BRETT LINDSAY
253-468-4117
blindsay@synthesis9.com

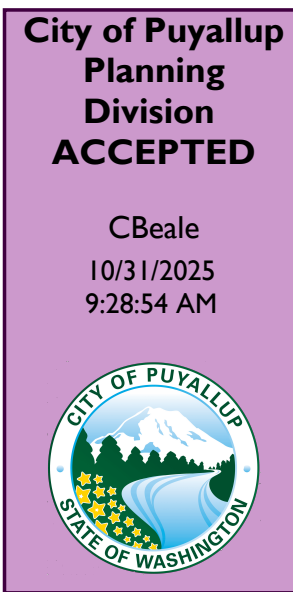
CIVIL ENGINEER:
AHBL, INC.
TACOMA, WA
c/o: TODD SAWIN
253-383-2422
tsawin@AHBL.com

STRUCTURAL ENGINEER:
PIERUCCIONI E&C, LLC
TACOMA, WA
c/o: CHON PIERUCCINI
206-949-7866
pieruccioniengineering@gmail.com

Call before you dig. It's the law.
Dial 811 or call 1-800-424-5555.

No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.

Facilities located in a pedestrian access route, shall have a slip resistant surface, no vertical discontinuities exceeding 1/4" maximum unless beveled between 1/4" and 1/2", or any horizontal surface openings more than 1/2".



S9

SYNTHESIS 9, LLC
TACOMA, WA 98403

REUSE OF DOCUMENTS
THIS DOCUMENT AND THE EXISTING DESIGNS INCORPORATED HEREIN ARE THE PROPERTY OF SYNTHESIS 9, LLC AND ARE NOT TO BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN AUTHORIZATION OF SYNTHESIS 9, LLC.

REGISTERED ARCHITECT
Brett Lindsay
SYNTHESIS 9, LLC
STATE OF WASHINGTON

PRRWF20251393

EAST TOWN CROSSING
RETAINING WALL AT COMMERCIAL LOT 1
727 SHAW ROAD PUYALLUP WA

AGENCY SUBMITTAL | 25.10.21

REVISIONS	
DRAWN BY:	BL / CM
CHECKED BY:	BL
DATE:	25.10.21
TITLE:	RAMP PLAN
PROJECT #:	2016
SHEET:	

AS1.0