SECTION 26, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M.

FARM 12 - PARKING LOT REVISION
CIVIL SITE PERMIT

1st Review
PRCCP20241731
Dec 2024

Cecil & Associates comment response
Date: 8/19/2025
By: Roger Cecil

APPLICANT

FARM 12
3303 8TH AVE SE A
PUYALLUP, WA 98372
kristalinden@stepbystepfamily.org
CONTACT: KRISTA LINDEN

CIVIL ENGINEER

JMJ TEAM
905 MAIN STREET
SUITE 200
SUMNER, WA 98390
(206) 596-2020
CONTACT: JUSTIN JONES, PE

SITE INFORMATION:

SITE ADDRESS	506 33RD ST SE PUYALLUP, WA 98372
TAX PARCEL NUMBER(S):	0420264069
ZONING:	CMX- SHAW PIONEER COMMUNITY MIXED USE
SITE AREA:	5.94 ACRES

VERTICAL DATUM:

NVAD 88

HORIZONTAL DATUM:

NAD 83

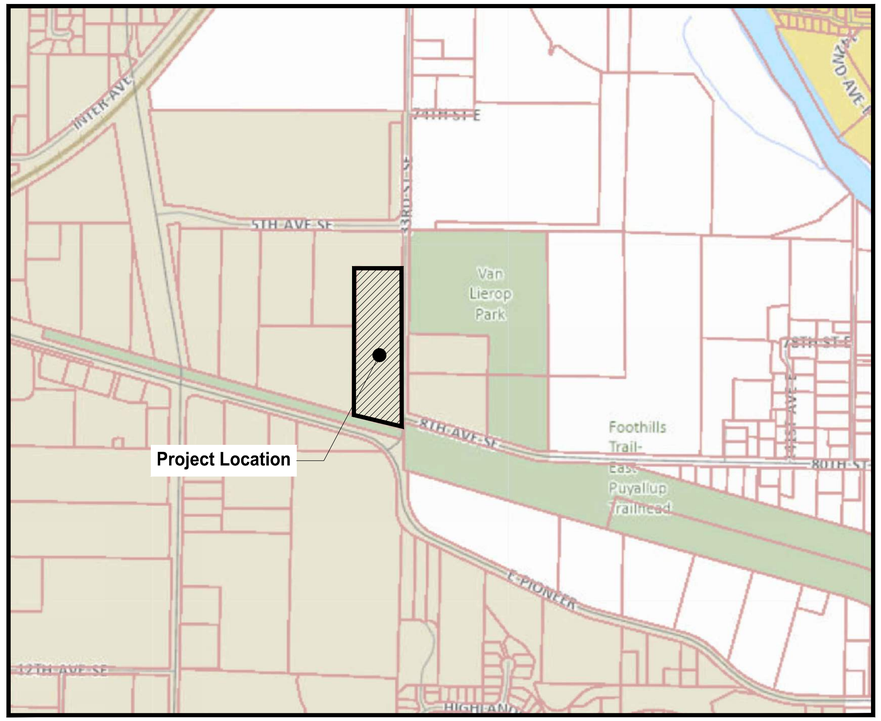
LEGAL DESCRIPTION:

SECTION 26 TOWNSHIP 20 RANGE 04 QUARTER 44 LOT 2 OF BLA 2023-03-15-5002 COM AT INTER OF S LI OF RS MOORE DLC & E LI OF SE OF SEC TH S 00 DEG 44 MIN 18 SEC W 250.47 FT TH N 89 DEG 02 MIN 21 SEC W 20 FT TO POB TH N 89 DEG 02 MIN 21 SEC W 280.18 FT TH S 00 DEG 44 MIN 18 SEC W 887.38 FT TH S 74 DEG 08 MIN E 290.24 FT TH N 00 DEG 44 MIN 18 SEC E 962.04 FT TO POB EASE OF REC CURRENT USE RCW 84.34 AFN 2414198 AGRI 1971 AS AMEND 1973 AFN 2546752 OUT OF 04-20-26-4-007 & 4-019 SEG 2023-0331 03/24/23 JP/DH

SERVICE PROVIDERS:

WATER:	CITY OF PUYALLUP
SEWER:	CITY OF PUYALLUP
POWER:	PUGET SOUND ENERGY
GAS:	PUGET SOUND ENERGY
FIRE PROTECTION:	PIERCE COUNTY FIRE DEPARTMENT

VICINITY MAP



506 33rd St SE Puyallup, WA 98372

SHEET INDEX

GENERAL NOTES

1. All work in City right-of-way requires a permit from the City of Puyallup. Prior to any work commencing, the general contractor shall arrange for a preconstruction meeting at the Development Services Center to be attended by all contractors that will perform work shown on the approved engineering plans, representatives from all applicable utility companies, the project owner and appropriate city staff. Contact Engineering Services at (253-841-5568) to schedule the meeting. The contractor is responsible to have their own set of approved plans at the meeting.
2. After completion of all items shown on these plans and before acceptance of the project the contractor shall obtain a "punch list" prepared by the City's inspector detailing remaining items of work to be completed. All items of work shown on these plans shall be completed to the satisfaction of the City prior to acceptance of the water system and provision of sanitary sewer service.
3. All materials and workmanship shall conform to the Standard Specifications for Road, Bridge, and Municipal Construction (hereinafter referred to as the "Standard Specifications"), Washington State Department of Transportation and American Public Works Association, Washington State Chapter, latest edition, unless superseded or amended by the City of Puyallup City Standards for Public Works Engineering and Construction (hereinafter referred to as the "City Standards").
4. A copy of these approved plans and applicable city developer specifications and details shall be on site during construction.
5. Any revisions made to these plans must be reviewed and approved by the developer's engineer and the City prior to any implementation in the field. The City shall not be responsible for any errors and/or omissions on these plans.
6. The contractor shall have all utilities verified on the ground prior to any construction. Call (811) at least two working days in advance. The owner and his/her engineer shall be contacted immediately if a conflict exists.
7. Any structure and/or obstruction that requires removal or relocation relating to this project shall be done so at the developer's expense.
8. Locations of existing utilities are approximate. It shall be the contractor's responsibility to determine the true elevations and locations of hidden utilities. All visible items shall be the engineer's responsibility.
9. The contractor shall install, replace, or relocate all signs, as shown on the plans or as affected by construction, per City Standards.
10. Power, street light, cable, and telephone lines shall be in a trench located within a 10-foot utility easement adjacent to public right-of-way. Right-of-way crossings shall have a minimum horizontal separation from other utilities (sewer, water, and storm) of 5 feet.
11. All construction surveying for extensions of public facilities shall be done under the direction of a Washington State licensed land surveyor or a Washington State licensed professional civil engineer.
12. During construction, all public streets adjacent to this project shall be kept clean of all material deposits resulting from on-site construction, and existing structures shall be protected as directed by the City.
13. Certified record drawings are required prior to project acceptance.
14. A NPDES Stormwater General Permit may be required by the Department of Ecology for this project. For information contact the Department of Ecology, Southwest Region Office at (360)407-6300.
15. Any disturbance or damage to Critical Areas and associated buffers, or significant trees designated for preservation and protection shall be mitigated in accordance with a Mitigation Plan reviewed and approved by the City's Planning Division. Preparation and implementation of the Mitigation Plan shall be at the developer's expense.

A construction sequence has been added to Sheet C2.00 TESC Plan.

Provide a brief Construction Sequence per City Standards Section 501.6. [Plans; Sheet C-01 of 7]

Williams Gas Easement has been added to all plan views.

Callout and show the Williams Gas Easement on the project plan views. (Typ.) [Plans; Sheet C-01 of 7]

Please refer to M. Higginson email dated 6/11/2025, Mr. Higginson agreed that Pierce County approval would be required when the storm extension (condition of ELC project) is constructed, because that constitutes a connection to the Viking Line.

Provide Pierce County approval acknowledging the project's connection to the direct discharge conveyance system and ultimately the outfall in accordance with the County issued Shoreline Substantial Development permit. (Ref. MHigginson email to JMJ dated 12/17/24). [Plans; Sheet C-01 of 7]

NOTE, THE PROPOSED STORMWATER MITIGATION FOR THIS PROJECT RELIES ON DISPERSION TO VEGETATED SPACE IN LIEU OF A CONNECTION TO THE PUBLIC STORM.

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:
Krista Linden
Farm 12
3303 8th Ave SE A
Puyallup, WA 98372
kristalinden@stepbystepfamily.org

Engineer:
Justin Jones
JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:
Farm 12
Parking Lot Revision

506 33rd St SE
Puyallup, WA 98372

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Civil Site Permit

JUSTIN M. JONES — STATE OF WASHINGTON — 41829 — REGISTERED PROFESSIONAL ENGINEER
12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:
Cover Sheet

PROJ. NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:
C-01

DWG. 1 OF 7

File: 1616001-Cv.dwg Path: J:\1616 - Farm 12\001 - Fruit Stand Parking\CAD\ Plotted by: Pawarisa Date: 12-Dec-23 11:21:42am

Plotted by: Pawsrdso Date: 12-Dec-23 11:19:20am

File: 1616001C-EX.dwg Path: J:\1616 - Farm 12\001 - Fruit Stand Parking\CAD\

LEGEND

- Existing Gravel
- Existing Edge of Asphalt
- Existing Ditch Line
- Property Line
- Fire Hydrant

VERTICAL DATUM

NAVD 88

HORIZONTAL DATUM

NAD 83

EXISTING LOT COVERAGE

- Project Site Area: 258,473 SF (5.94 AC)
- Total Impervious: 19,940 SF (7.7%)
  - Existing Gravel Parking: 19,940 SF
- Total Pervious: 238,533 SF (92.3%)
  - Grass Vegetation: 238,533 SF

THE 24X114' GRAVEL HAS BEEN ADDED

0 40 80 FEET
1" = 40'

APPROVED

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DEVELOPMENT ENGINEERING

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Civil Site Permit

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER

12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:

Existing Site Plan

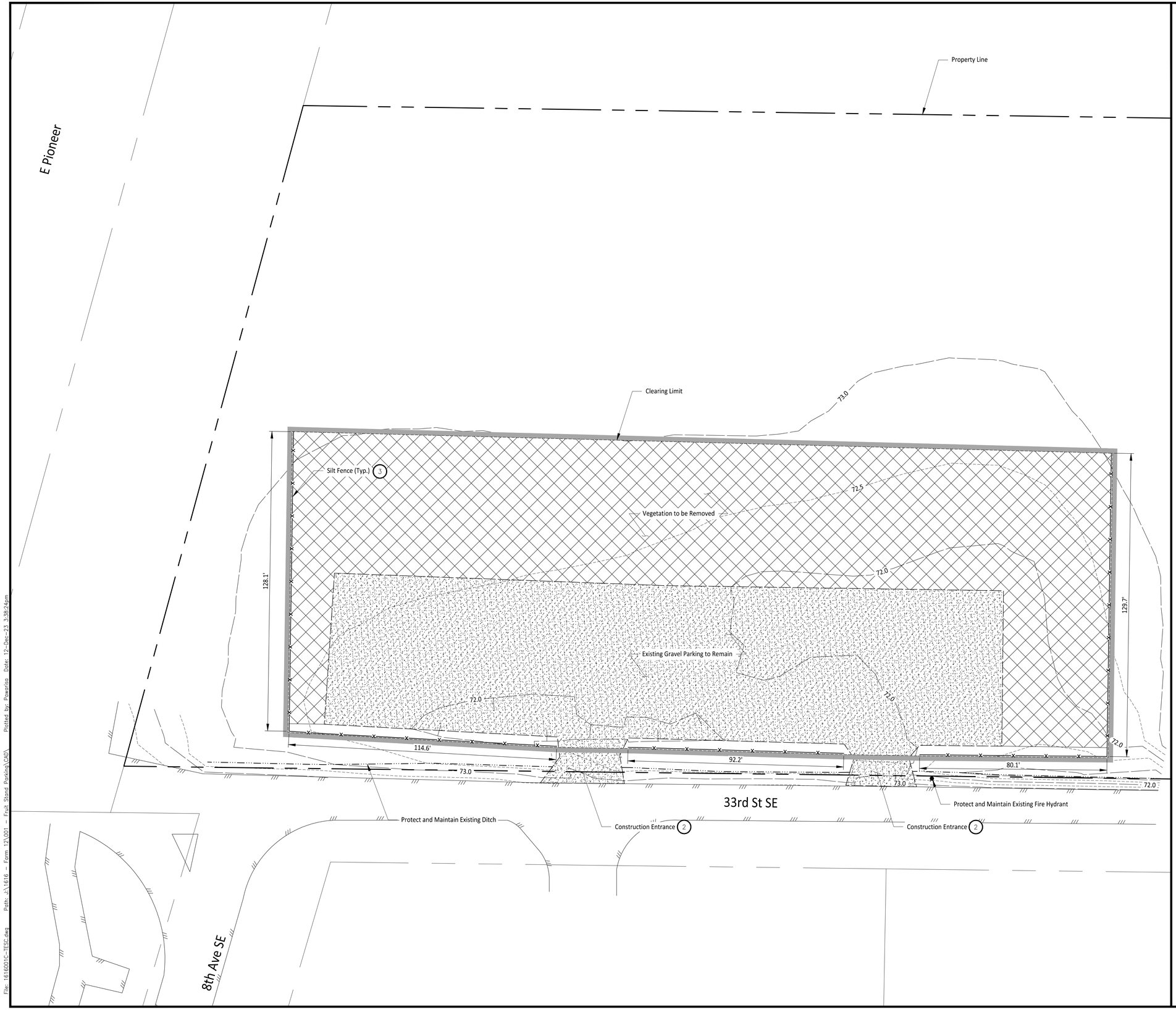
PROJ.NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:

C-02

DWG.

2 OF 7



LEGEND

- Existing Gravel
- Landscape to be Cleared & Grubbed
- Silt Fence
- Existing Ditch Line
- Property Line
- Clearing Limit

(#) TESC NOTES

1. Contractor to install TESC measures as necessary to ensure stormwater leaving the site is free of settleable solids.
2. Existing gravel driveway to be used as construction entrance. Maintain construction entrance per City of Puyallup Standard Detail 05.01.01 and install wheel wash as needed per Washington DOE BMP C106.
3. Install silt fence per City of Puyallup Standard Detail 02.03.02 Silt Fence to mark clearing limits in the field.
4. Roads shall be cleared thoroughly as needed to protect stormwater infrastructure and downstream water resources. Sediment shall be removed from roads by shoveling or pickup sweeping and transported to a controlled sediment disposal area.
5. Exposed soils shall be watered as necessary to prevent dust from leaving the site.
6. Disturbed soils to be amended per DOE BMP T5.13
7. If necessary, alternative sediment control methods shall be submitted by the contractor for review and approval prior to construction.
8. A CESCL shall be present on-site or on-call for the duration of construction operations.

TYPO UPDATED

DEMOLITION NOTES

- Vegetation to be Removed: 25,280 SF
- Disturbed Area: 45,960 SF

DISTURBED AREA UPDATED PER REVISED DESIGN.

EARTHWORK

- Cut: 150 CY
- Fill: 760 CY
- Net: 910 CY (Fill)

0 20 40 FEET
1" = 20'

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

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Puyallup, WA 98372

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IF NOT, SCALE ACCORDINGLY

Civil Site Permit

JUSTIN M. JONES STATE OF WASHINGTON 41829 REGISTERED PROFESSIONAL ENGINEER

12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:

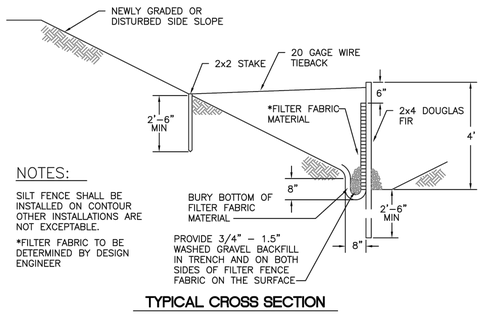
TESC Plan

PROJ.NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:

C-03

DWG. 3 OF 7

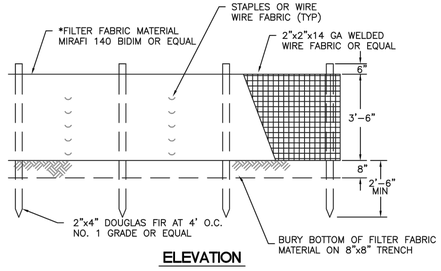


NOTES:

SILT FENCE SHALL BE INSTALLED ON CONTOUR OTHER INSTALLATIONS ARE NOT EXCEPTABLE.

*FILTER FABRIC TO BE DETERMINED BY DESIGN ENGINEER

TYPICAL CROSS SECTION

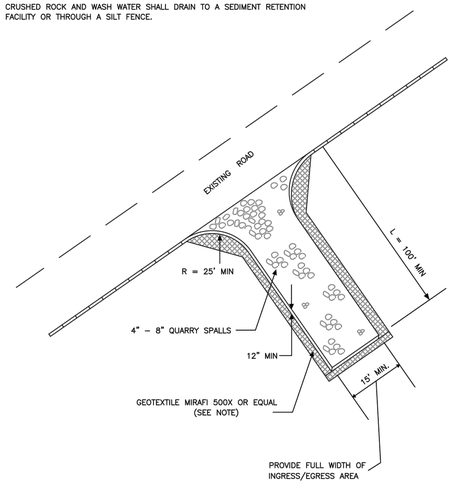


ELEVATION

CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	SILTATION FENCE				
DRAWN BY: LINDA LANSING	CHECKED BY: LINDA LIAN	APPROVED BY: COLLEEN HARRIS	REVISED BY: XXXX	CITY STANDARD: 02.03.02	
FILE NAME: F:\PW\COMMON\STDS\CITY\200902_SD02.03.02	DATE APPROVED: 00/0/1992	DATE REVISED: 00/0/2003	SCALE: NTS		

NOTE:

1. GEOTEXTILE MIRAFI 500 X OR APPROVED EQUAL SHALL BE PLACED UNDER THE ENTIRETY OF THE TEMPORARY ENTRANCE.
2. ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF THE PAD.
3. IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE'S WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.



CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	TEMPORARY CONSTRUCTION ENTRANCE				
DRAWN BY: JIM ERWIN-SVOBODA	CHECKED BY: LINDA LIAN	APPROVED BY: COLLEEN HARRIS	REVISED BY: XXXX	CITY STANDARD: 05.01.01	
FILE NAME: F:\PW\COMMON\STDS\CITY\200905_GRD05.01\05.01.01	DATE APPROVED: 07/01/2009	DATE REVISED: XX/XX/XXX	SCALE: 1:40		

1. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.

2. ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.

3. THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.

4. APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.

5. ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.

6. IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.

7. NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES				
DRAWN BY: JIM ERWIN-SVOBODA	CHECKED BY: LINDA LIAN	APPROVED BY: COLLEEN HARRIS	REVISED BY: LINDA LIAN	CITY STANDARD: 05.02.01	
FILE NAME: F:\PW\COMMON\STDS\CITY\200905_GRD05.01\05.02.01	DATE APPROVED: 07/01/2009	DATE REVISED: 11/18/2014	SCALE: 1:1		

Owner/Developer:

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Puyallup, WA 98372
kristalinden@stepbystepfamily.org

Engineer:

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Sumner, WA 98390
(206) 596-2020

Project:

Farm 12
Parking Lot Revision

506 33rd St SE
Puyallup, WA 98372

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Civil Site Permit

JUSTIN M. JONES
STATE OF WASHINGTON
41829
REGISTERED
PROFESSIONAL ENGINEER

12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:

TESC Details

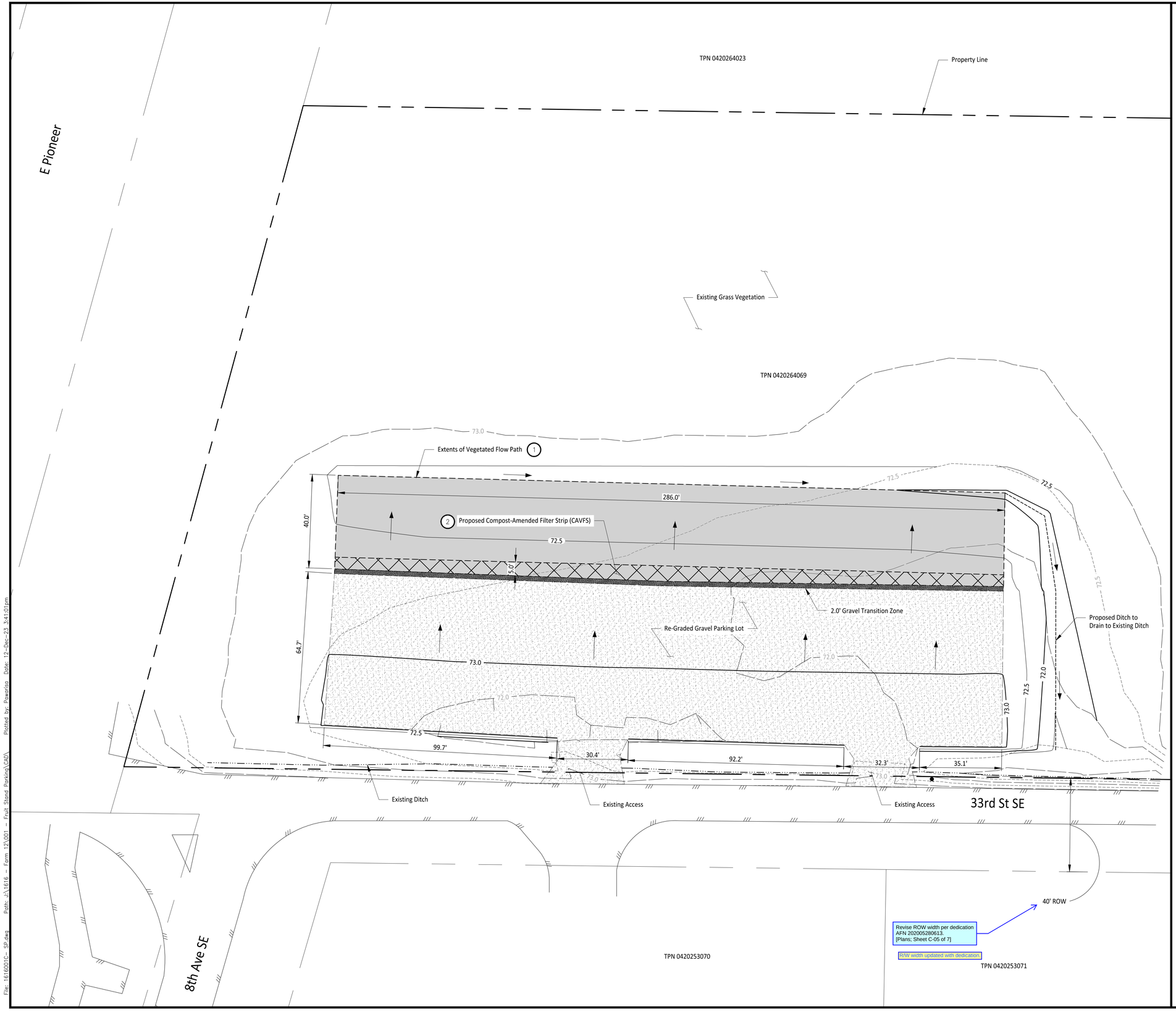
PROJ. NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:

C-04

DWG.

4 OF 7



LEGEND

- Proposed Gravel Transition Zone
- Proposed Gravel Parking Lot
- Proposed CAVFS
- Proposed Vegetated FLow Path
- Existing Edge of Asphalt
- Existing Ditch Line
- Property Line
- Proposed Ditch Line
- Proposed Flow Path

SITE DATA

- Project Site Area: 258,473 SF (5.94 AC)
- Tax Parcel Number: 0420264069
- Zoning: CMX - Shaw-Pioneer Community Mixed Use

PROPOSED LOT COVERAGE

• Project Site Area:	258,473 SF	(5.94 AC)
• Total Impervious:	19,940 SF	(7.7%)
•• Replaced Gravel Parking:	19,940 SF	
• Total Pervious:	238,533	(92.3%)
•• Grass Vegetation:	238,533 SF	

(#) CONSTRUCTION NOTES

1. Vegetated Flow Path to be a minimum of 40 LF in length at 1.0% minimum slope.
2. Composed-Amended Filter Strip to be a minimum of 5 LF in length at 2.0% minimum slope. See CAVFS Detail, Sheet C-07.
3. All disturbed lawn and landscaped area to be amended per BMP T5.13 Post-Construction Soil Quality and Depth.

Please add note: "See City Standard Detail 01.02.08a." [Plans; Sheet C-05 of 7]

THE REFERENCE TO THE CITY STANDARD DETAIL HAS BEEN ADDED TO CROSS SECTIONS ON SHEET C4.10. DETAILS HAVE BEEN ADDED TO C4.11.

0 20 40 FEET
1" = 20'

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

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12/12/2023

REV	DATE	DESCRIPTION

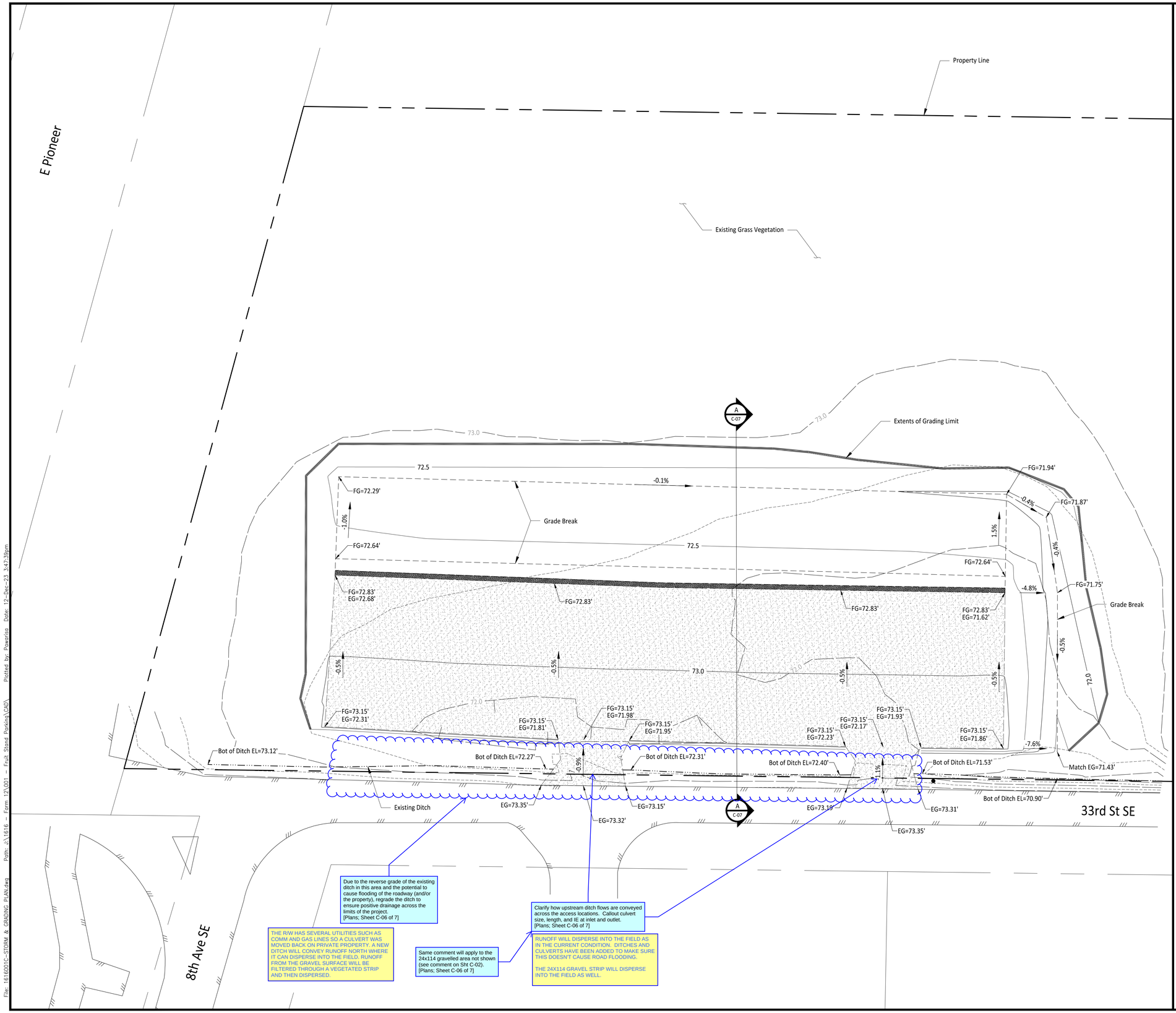
SHEET TITLE:
Proposed Site and Storm Plan

PROJ. NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:
C-05

DWG.
5 OF 7

File: 1616001C - SP.dwg Path: J:\1616 - Farm 12\001 - Fruit Stand Parking\CAD\ Plotted by: Pawarisa Date: 12-Dec-23 3:41:01 pm



LEGEND

- Existing Gravel
- Proposed Gravel Transition
- Existing Edge of Asphalt
- Existing Ditch Line
- Property Line
- Grade Break Line
- Extents of Grading Limit
- Existing Fire Hydrant
- FG — Finished Grade Elevation
- EG — Existing Grade Elevation

0 20 40 FEET
1" = 20'

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

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JUSTIN M. JONES — STATE OF WASHINGTON — 41829 — REGISTERED PROFESSIONAL ENGINEER

12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:

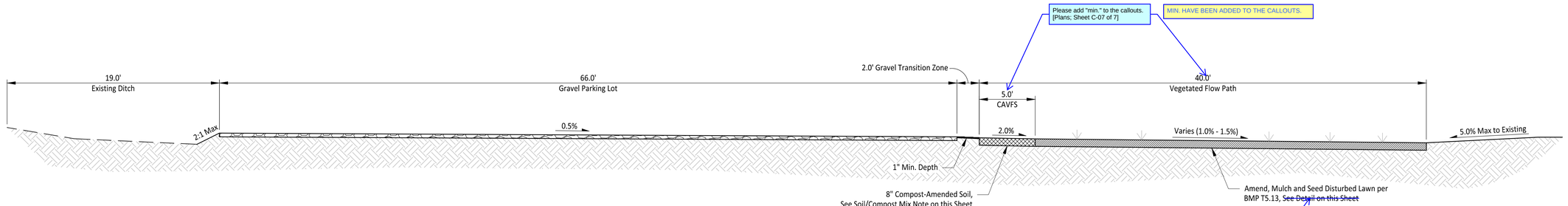
Grading Plan

PROJ. NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:

C-06

DWG. 6 OF 7



SECTION A
1" = 5' C-06

Please add "min." to the callouts. [Plans; Sheet C-07 of 7]

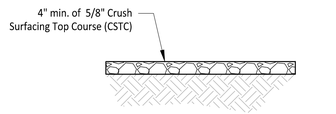
MIN. HAVE BEEN ADDED TO THE CALLOUTS.

Please revise to: "and City Standard Detail 01.02.08a." [Plans; Sheet C-07 of 7]

REFERENCES TO THE CITY STANDARD DETAIL HAS BEEN ADDED.

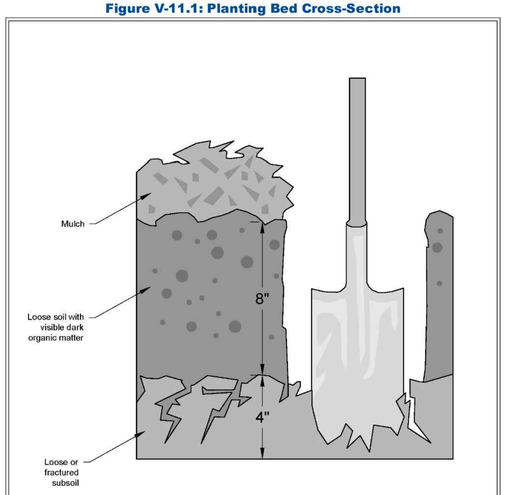
SOIL/COMPOST MIX NOTE:

1. Place and rototill 1.75 inches of composted material into 6.25 inches of soil (a total amended depth of about 9.5 inches), for a settled depth of 8 inches.
2. Water or roll to compact soil to 85% maximum.
3. Plant Grass.
4. Recommend mixing 60% to 65% loamy sand mixed with 25% to 30% compost or 30% sandy loam, 30% course sand, and 30% compost in order to achieve organic content of 5% by dry weight.
5. Final soil mixture to be tested prior to installation for fertility, micronutrient analysis, and organic material content.



Gravel Parking
SECTION B
1" = 2'

Figure V-11.1: Planting Bed Cross-Section



Reprinted from *Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13 in WDOE Stormwater Management Manual for Western Washington*, 2010, Washington Organic Recycling Council

NOT TO SCALE

DEPARTMENT OF ECOLOGY
State of Washington

Planting Bed Cross-Section
Revised June 2016

BMP T5.13 POST CONSTRUCTION SOIL QUALITY AND DEPTH
DETAIL 1
NOT TO SCALE

Add City Standard Detail(s): 01.02.08a. // [Plans; Sheet C-07 of 7]

C4.11 WAS ADDED FOR DETAILS

APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

CALL TWO BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:

Krista Linden
Farm 12
3303 8th Ave SE A
Puyallup, WA 98372
kristalinden@stepbystepfamily.org

Engineer:

Justin Jones
JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:

Farm 12
Parking Lot Revision

506 33rd St SE
Puyallup, WA 98372

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Civil Site Permit

JUSTIN M. JONES STATE OF WASHINGTON 41829 REGISTERED PROFESSIONAL ENGINEER

12/12/2023

REV	DATE	DESCRIPTION

SHEET TITLE:
Details

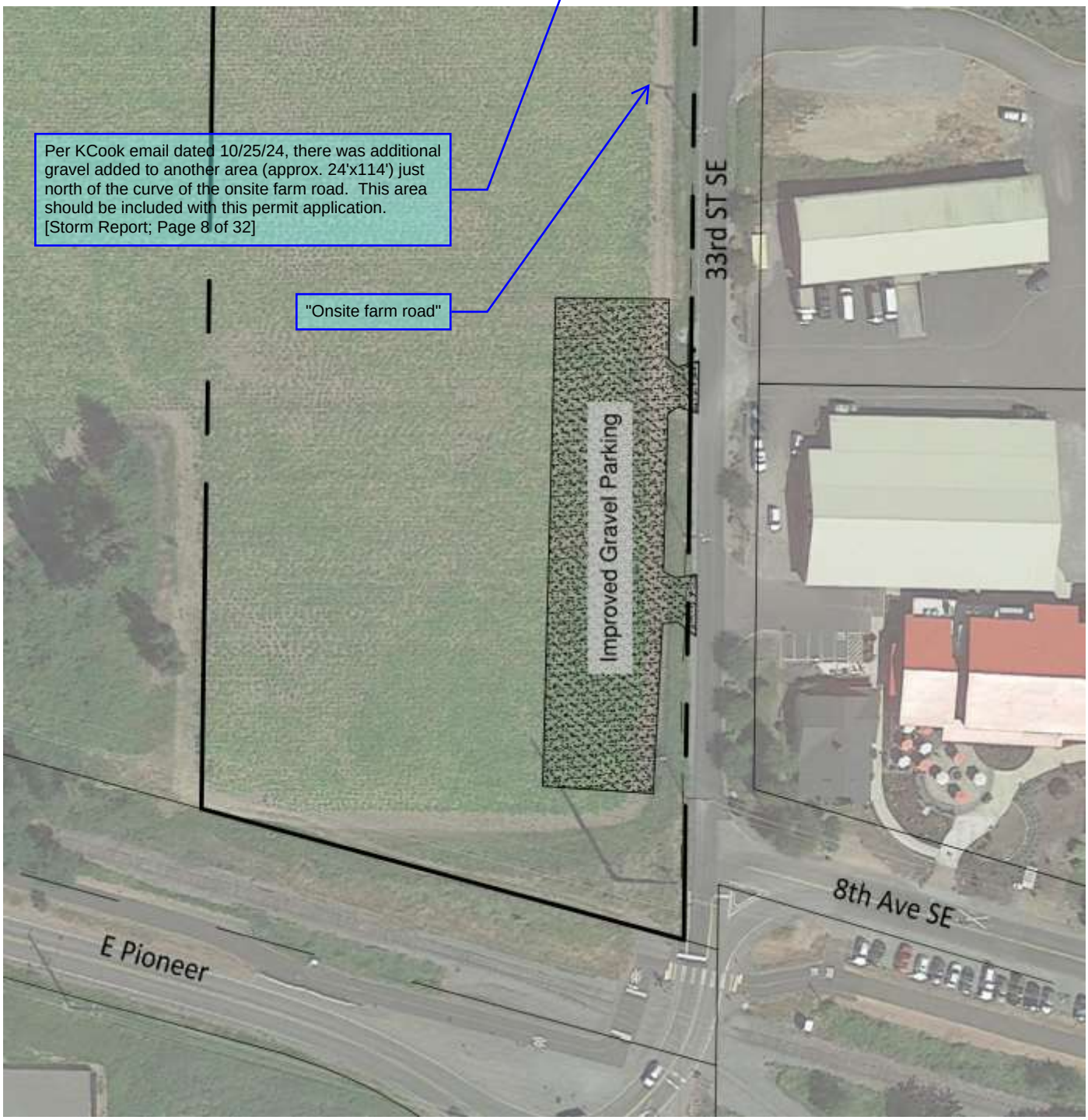
PROJ. NO: 1616-001
DATE: December 12, 2023
DRAWN BY: MO
DESIGN BY: JJ

SHEET NUMBER:
C-07

DWG:
7 OF 7

CECIL & ASSOCIATES
10-06-2025
BY: JOHN FARLEIGH

A NEW 'EXISTING CONDITIONS MAP' WAS CREATED FOR REVIEW. THE UPDATED EXHIBIT INCLUDES THE 24x114 GRAVEL AREA.



Proposed Site Map

EXISTING CONDITIONS SUMMARY

The Farm 12 Parking Lot Revision project site area is 254,473 SF (5.94 acres). The existing site consists of grass vegetation and an existing gravel parking lot abutting 33rd Street SE. The site is fairly flat and has a slight slope towards the east side of the property.

The existing storm system consists of a ditch along the eastern property line that is part of the City's MS4 system. This ditch is part of the Southeast Puyallup Basin, that direct discharges to the Puyallup River. Runoff from 33rd Street SE sheet flows to the ditch and is eventually conveyed towards the Puyallup River located north of site. Runoff from existing gravel parking pad sheet flows towards the grass vegetation and existing ditch.

USDA Soil Survey Map was utilized to analyze existing soils on-site, see Appendix B for maps. On-site soils are predominantly Briscot loam (Group C soils).

The site is located within Lahar Hazard area.

There are no critical areas within site.

Adjust quantities for the additional 24'x114' gravelled area (See Page 8 comment). [Storm Report; Page 9 of 32]

QUANTITIES UPDATED TO INCLUDE 24x114 GRAVEL AREA.

PROPOSED CONDITIONS SUMMARY

The proposed development is to improve the existing gravel parking lot so that it meets the City of Puyallup Design and stormwater management standards. Improvements include the re-grade of existing gravel parking lot and implementation of stormwater management practices.

The proposed development will result in 19,940 SF of replaced impervious surfaces within the project site area. Total land disturbing activity to be approximately 45,960 SF. Minimum requirements 1-9 will apply to this project. Lot Coverage Table has been provided in the report following.

The stormwater approach for this project is to sheet flow runoff from the replaced gravel lot to disperse and receive treatment through amended soil. Runoff will then follow a natural drainage pattern and be conveyed towards an existing ditch east of site where it will eventually discharge into the Puyallup River.

LOT COVERAGE

Adjust quantities for the additional 24'x114' gravelled area (See Page 8 comment). [Storm Report; Page 10 of 32]

QUANTITIES UPDATED TO INCLUDE 24x114 GRAVEL AREA.

The following tables show the existing and proposed lot coverage for t project site.

Existing Lot Coverage (258,473 SF Site Area)			
Coverage	**Area (SF)**	**Area (Acres)**	**% of Site**
Impervious			
Existing Gravel Parking	19,940	0.46	
Total Site Impervious	**19,940**	**0.46**	**7.7%**
Pervious			
Grass Vegetation	238,533	5.47	
Total Site Pervious	**238,533**	**5.47**	**92.3%**

Proposed Lot Coverage (258,473 SF Site Area)			
Coverage	**Area (SF)**	**Area (Acres)**	**% of Site**
Impervious			
Replaced Gravel Parking	19,940	0.46	
Total Replaced Impervious	**19,940**	**0.46**	
Total Site Impervious	**19,940**	**0.46**	**7.7%**
Pervious			
Grass Vegetation	238,533	5.47	
Total Site Pervious	**238,533**	**5.47**	**92.3%**

QUANTITIES UPDATED TO INCLUDE 24x114 GRAVEL AREA.

MINIMUM REQUIREMENT 1: PREPARATION OF STORMWATER SITE PLANS

Stormwater Site Plan drawings have been prepared per the City of Puyallup development codes and the 2019 Stormwater Management Manual for Western Washington (DOE Manual), see Appendix A.

MINIMUM REQUIREMENT 2: CONSTRUCTION STORMWATER POLLUTION PREVENTION

A Temporary Erosion and Sediment Control Plan has been prepared per the City of Puyallup development codes and the 2019 DOE Manual and is included in this report, see Appendix A. Construction Stormwater Pollution Prevention measures may include storm drain inlet protection; construction entrance; silt fence and a sediment trap.

MINIMUM REQUIREMENT 3: SOURCE CONTROL OF POLLUTION

Source control BMPs will be implemented to minimize stormwater contamination and help comply with the DOE Manual. BMP's for the project may include:

- *Inspect and clean treatment BMPs, conveyance systems, and catch basins as needed, and determine necessary O & M Improvements.*
- *Clean catch basins when the depth of deposits reaches 60-percent of the sump depth as measured from the bottom of basin to the invert of the lowest pipe into or out of the basin.*
- *Clean woody debris in a catch basin as frequently as needed to ensure proper operation of the catch basin.*

MINIMUM REQUIREMENT 4: PRESERVATION OF NATURAL DRAINAGE SYSTEMS AND OUTFALLS

This site is fairly flat and has a natural drainage pattern towards an MS4 ditch along the east side of the site. The project proposes to maintain drainage pattern so that overall site continues to drain east of site.

It does not appear that there are any catch basins associated with this project. Perhaps language such as:
-"Maintain, swales, ditches and culverts at an appropriate frequency to ensure that plugging,erosion, and flooding does not occur."
-"Provide maintenance and cleaning of debris, sediments, and other pollutants from the stormwater collection, conveyance, and treatment systems to maintain proper operation."
-"Reseed bare turf areas until the vegetation fully covers the grond surface."
[Storm Report; Page 12 of 32]

A REVISED DRAINAGE REPORT WAS PROVIDED FOR REVIEW. INPARTICULAR THE CATCH BASIN CLEANING LANGUAGE WAS REMOVED.

1st Review
PRCCP20241731
Dec 2024

CECIL &
ASSOCIATEAS
DATE: 10-06-2025
BY: JOHN FARLEIGH

Construction Stormwater General Permit (CSWGP)

Stormwater Pollution Prevention Plan (SWPPP)

for

Farm 12

Prepared for:
Department of Ecology
City of Puyallup

Permittee / Owner	Developer	Operator / Contractor
Krista Linden		TBD

506 33rd ST SE Puyallup, WA 98372

Certified Erosion and Sediment Control Lead (CESCL)

Name	Organization	Contact Phone Number

Please add "TBD".
[CSWPPP; Page 1 of 32]

DONE

SWPPP Prepared By

Name	Organization	Contact Phone Number
Mirissa Ochoa	JMJ Team	(206) 596-2020

SWPPP Preparation Date

12 / 12 / 2023

Project Construction Dates

Activity / Phase	Start Date	End Date
Begin Construction	TBD	TBD

Project Information (1.0)

Project/Site Name: Farm 12
Street/Location: 506 33rd St SE
City: Puyallup State: WA Zip code: 98372
Subdivision:
Receiving waterbody: Puyallup River

Existing Conditions (1.1)

Total acreage (including support activities such as off-site equipment staging yards, material storage areas, borrow areas).

Total acreage: 1.06 Acres

Disturbed acreage: 1.06 Acres

Existing structures: None

Landscape topography: Flat

Drainage patterns: Overland Flow to Existing Ditch

Existing Vegetation: Grass

Critical Areas (wetlands, streams, high erosion risk, steep or difficult to stabilize slopes): None

Puyallup River Fecal Coliform TMDL. [CSWPPP; Page 4 of 32]

List of known impairments for 303(d) listed or Total Maximum Daily Load (TMDL) for the receiving waterbody: None

DONE. SEE PAGE 4 OF 250

Table 1 includes a list of suspected and/or known contaminants associated with the construction activity.

Table 1 – Summary of Site Pollutant Constituents

Constituent (Pollutant)	Location	Depth	Concentration
None	N/A	N/A	N/A

Discharges to 303(d) or Total Maximum Daily Load (TMDL) Waterbodies (5.0)

303(d) Listed Waterbodies (5.1)

Is the receiving water 303(d) (Category 5) listed for turbidity, fine sediment, phosphorus, or pH?

Yes No

Please complete. [CSWPPP; Page 28 of 32]

UPDATED: PLEASE REVIEW PAGE 39 OF 250

List the impairment(s):

[Insert text here]

The receiving waterbody, insert waterbody name, is impaired for: insert impairment. All stormwater and dewatering discharges from the site are subject to an **effluent limit** of 8.5 su for pH and/or 25 NTU for turbidity.

List and describe BMPs:

[Insert text here]

TMDL Waterbodies (5.2)

Waste Load Allocation for CWSGP discharges:

[Insert text here]

List and describe BMPs:

[Insert text here]

Discharges to TMDL receiving waterbodies will meet in-stream water quality criteria at the point of discharge.

The Construction Stormwater General Permit Proposed New Discharge to an Impaired Water Body form is included in Appendix F.