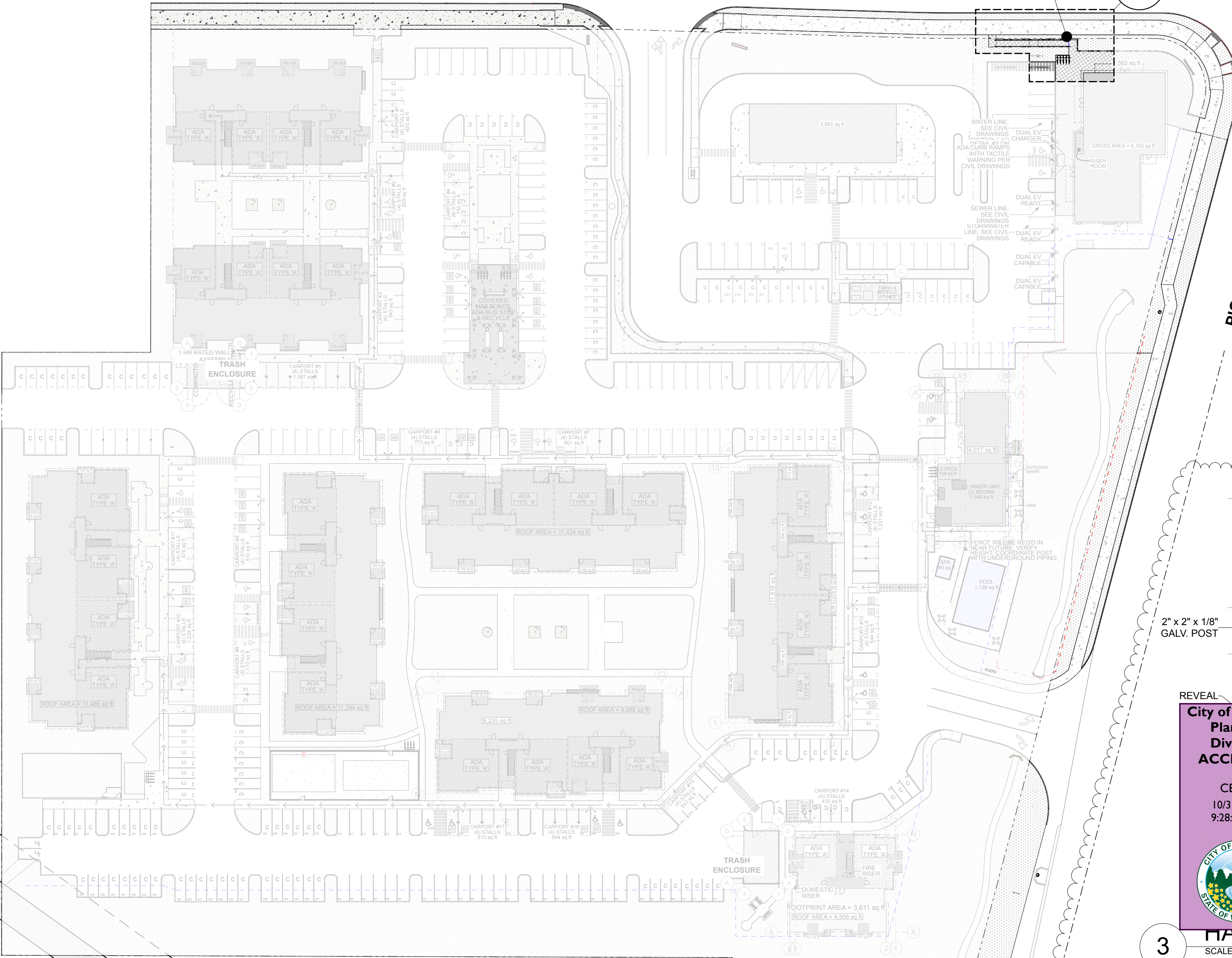


EAST TOWN CROSSING - LOT 1
RETAINING WALL



VICINITY MAP (NOT TO SCALE)

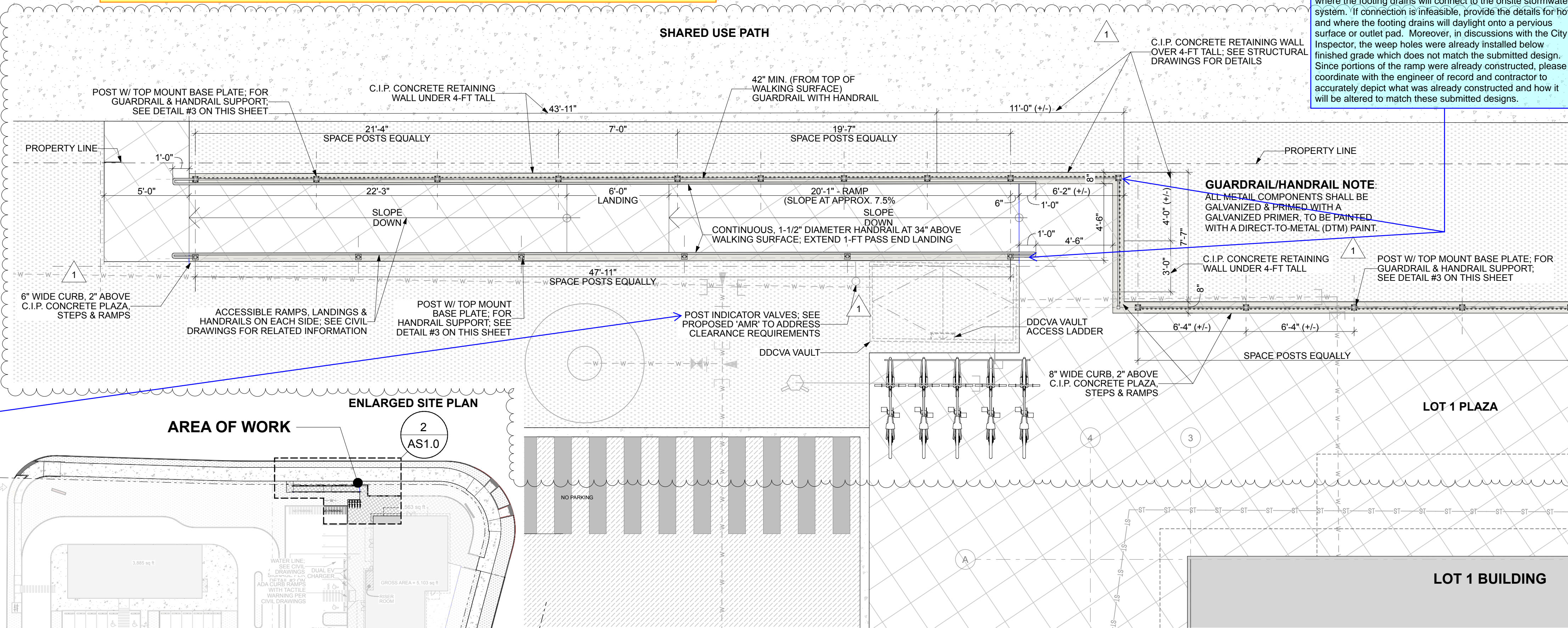
AMR granted to City Standard Detail 03.10.03, note 7, regarding the 36" of unobstructed clearance around the perimeter of all post indicator valves. See PRAMR20251508 AMR permit approval letter dated November 25, 2025. According to the letter, "[t]he conditional approval is based on the site plan and that the valve handle will have vertical clearance above the guardrail for the full turning circumference."



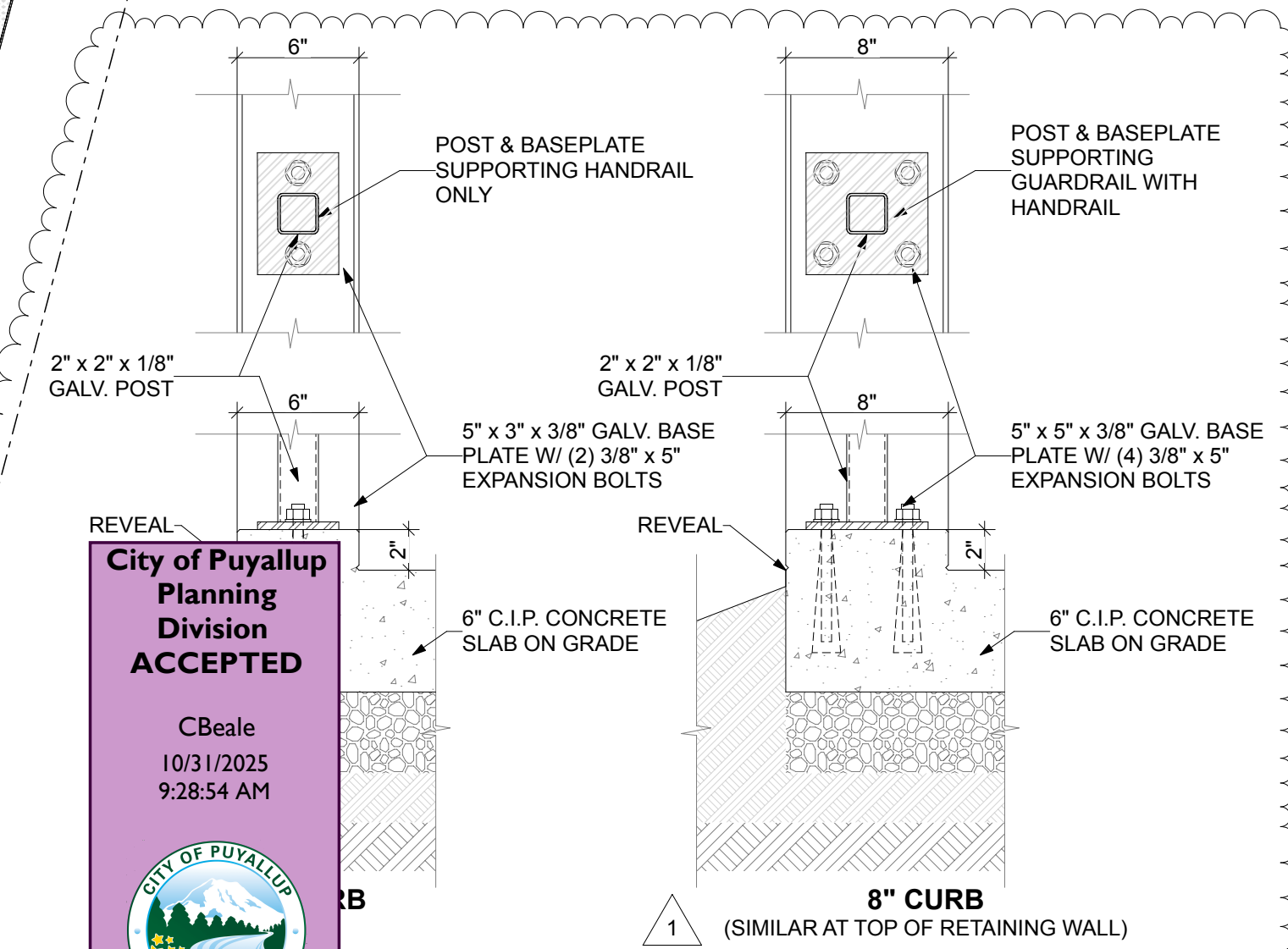
1 OVERALL SITE PLAN
SCALE: 1" = 50'

CONTRACTOR NOTE

Ramps shall comply with the 2017 Washington Accessibility Code, Section 405. Ramps shall be steeper than 1:12 and shall not have a rise greater than 30 inches. Ramps shall be provided with a landing at the top and bottom that comply with 2017 Washington Accessibility Code, Section 405.7.



2 ENLARGED PLAZA SITE PLAN
SCALE: 1/4" = 1'-0"



3 HANDRAIL/GUARDRAIL POST BASE PLATE
SCALE: 1 1/2" = 1'-0"

FIRST REVIEW CORRECTION: Depict and label how and where the retaining wall foundation drains will connect to the onsite stormwater system.

SECOND REVIEW CORRECTION: The discussion between the engineer of record and City Review Engineer, Mark Higginson, was only to allow the weep holes which daylight onto pervious surfaces. The City Review Engineer did not waive the footing drain requirement which is still depicted on the structural drawing details. Depict and label how and where the footing drains will connect to the onsite stormwater system. If connection is infeasible, provide the details for how and where the footing drains will daylight onto a pervious surface or outlet pad. Moreover, in discussions with the City Inspector, the weep holes were already installed below finished grade which does not match the submitted design. Since portions of the ramp were already constructed, please coordinate with the engineer of record and contractor to accurately depict what was already constructed and how it will be altered to match these submitted designs.

GUARDRAIL/HANDRAIL NOTE:
ALL METAL COMPONENTS SHALL BE GALVANIZED & PRIMED WITH A GALVANIZED PRIMER, TO BE PAINTED WITH A DIRECT-TO-METAL (DTM) PAINT.

TABLE OF CONTENTS

ARCHITECTURAL
AS1.0 PROJECT INFO & SITE PLAN

STRUCTURAL
S5.1 RETAINING WALL DETAILS

CIVIL
SEE APPROVED CIVIL PLANS FOR GRADING, UTILITIES & TEMPORARY EROSION CONTROL PLANS

PROJECT SCOPE

CONSTRUCT A RETAINING WALL AT AREAS OVER 4-FT IN HEIGHT. THE RETAINING WALL IS FOR A PEDESTRIAN RAMP PROVIDING ACCESS FROM COMMERCIAL LOT 1, DOWN TO THE PUBLIC SIDEWALK ON SHAW ROAD.

APPLICABLE CODES:

WASHINGTON STATE BUILDING CODE (2021)
ANSI 117.1 (2017)
PUYALLUP MUNICIPAL CODE

LAND USE SUMMARY

P/N: 0420264071, LOT 1
JURISDICTION: CITY OF PUYALLUP
ZONING DESIGNATION:
CG - GENERAL COMMERCIAL
SHAW-EAST PIONEER OVERLAY
PARCEL AREA: 83,593 sq ft

TEAM INFORMATION:

OWNER'S:
ASH DEVELOPMENT, LLC
PUYALLUP, WA
c/o: GREG HELLE
253-318-5711
greg.helle@absherco.com

ARCHITECT :
SYNTHESIS 9, LLC
TACOMA, WA
c/o: BRETT LINDSAY
253-468-4117
blindsay@synthesis9.com

CIVIL ENGINEER:
AHBL, INC.
TACOMA, WA
c/o: TODD SAWIN
253-383-2422
tsawin@AHBL.com

STRUCTURAL ENGINEER:
PIERUCCIONI E&C, LLC
TACOMA, WA
c/o: CHON PIERUCCINI
206-949-7866
pieruccioniengineering@gmail.com

Call before you dig. It's the law.
Dial 811 or call 1-800-424-5555.

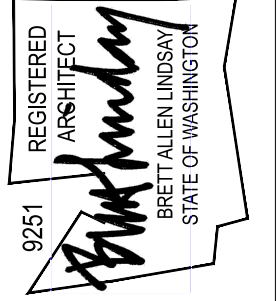
No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.

Facilities located in a pedestrian access route, shall have a slip resistant surface, no vertical discontinuities exceeding 1/4" maximum unless beveled between 1/4" and 1/2", or any horizontal surface openings more than 1/2".



SYNTHESIS 9, LLC
321 N. D ST
TACOMA, WA 98403

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PRRWF20251393

EAST TOWN CROSSING
RETAINING WALL AT COMMERCIAL LOT 1
727 SHAW ROAD PUYALLUP WA

REVISIONS
1 REVISION #1: RESPONSE TO 1st REVIEW

REVISIONS
DRAWN BY: BL / CM
CHECKED BY: BL
DATE: 25.11.18
TITLE: RAMP PLAN
PROJECT #: 2016
SHEET:

AS1.0

AGENCY SUBMITTAL - REVISION No.1 | 25.11.18