

# EAST TOWN CROSSING - LOT 1

## RETAINING WALL

SHAW ROAD

### CONTRACTOR NOTE

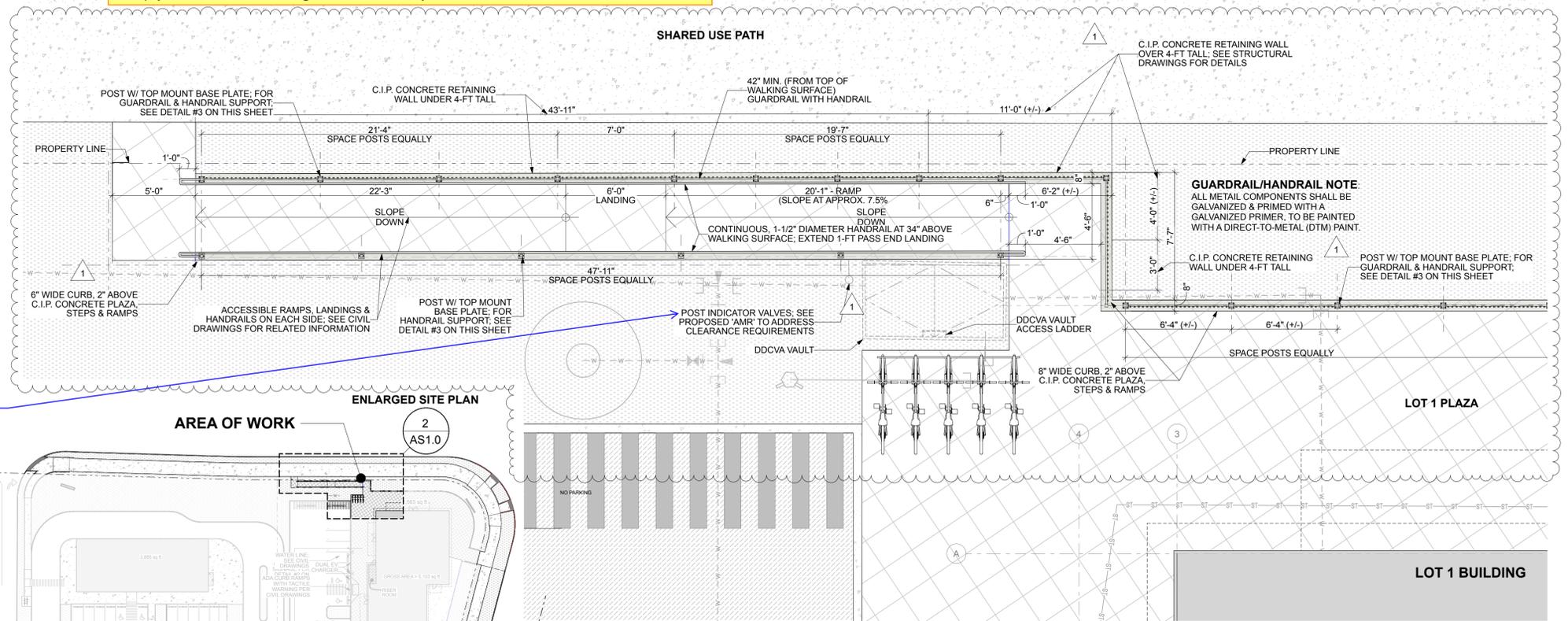
Ramps shall comply with the 2017 Washington Accessibility Code, Section 405. Ramps shall be steeper than 1:12 and shall not have a rise greater than 30 inches. Ramps shall be provided with a landing at the top and bottom that comply with 2017 Washington Accessibility Code, Section 405.7.



PROJECT LOCATION

VICINITY MAP (NOT TO SCALE)

AMR granted to City Standard Detail 03.10.03, note 7, regarding the 36" of unobstructed clearance around the perimeter of all post indicator valves. See PRRWF20251508 AMR permit approval letter dated November 25, 2025. According to the letter, "[t]he conditional approval is based on the site plan and that the valve handle will have vertical clearance above the guardrail for the full turning circumference."

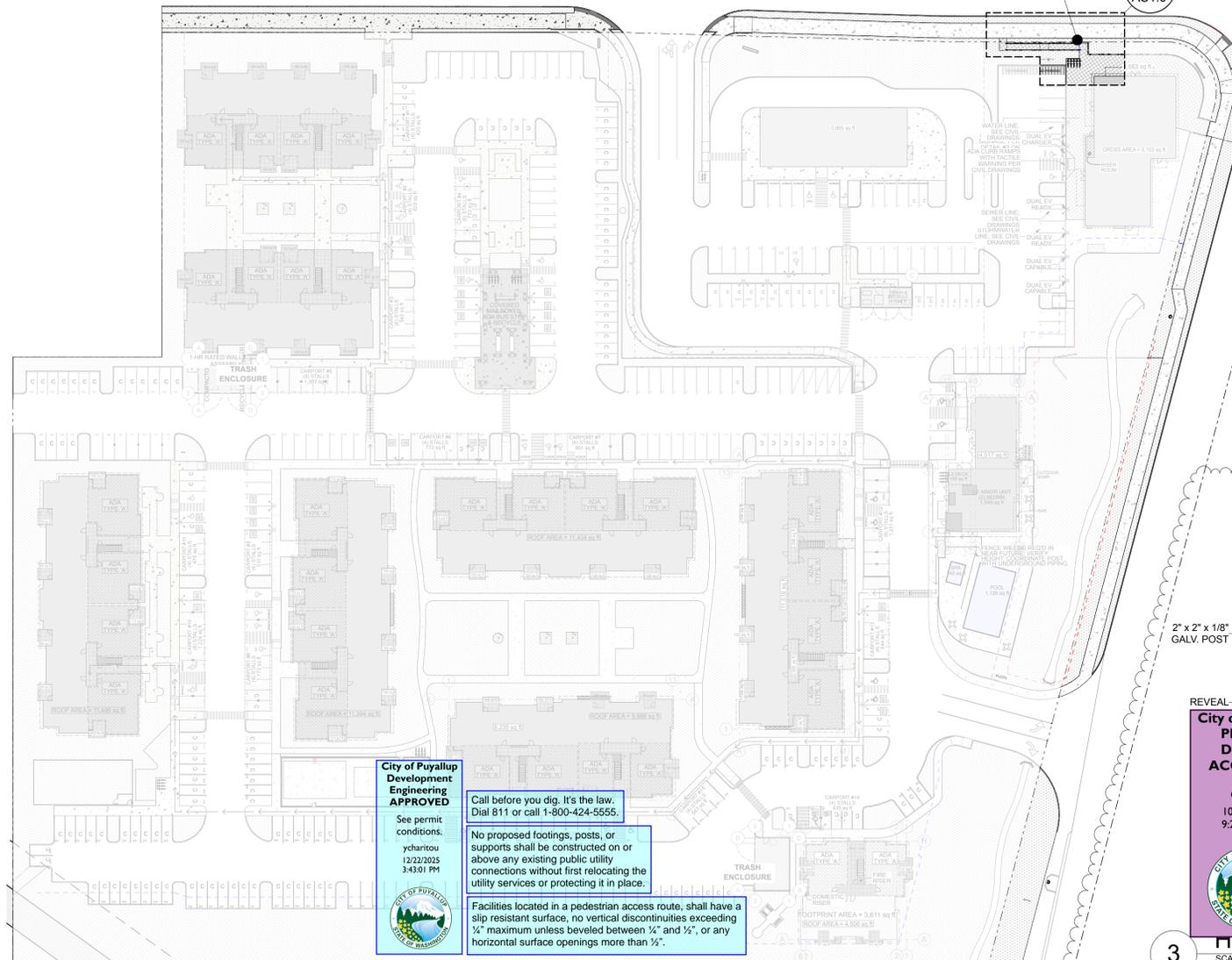


AREA OF WORK

ENLARGED SITE PLAN

ENLARGED PLAZA SITE PLAN

SCALE: 1/4" = 1'-0"



OVERALL SITE PLAN

SCALE: 1" = 50'

HANDRAIL/GUARDRAIL POST BASE PLATE

SCALE: 1 1/2" = 1'-0"



City of Puyallup  
Development  
Engineering  
APPROVED

ychariou  
12/22/2025  
3:43:01 PM

Call before you dig. It's the law.  
Dial 811 or call 1-800-424-5555.

No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.

Facilities located in a pedestrian access route, shall have a slip resistant surface, no vertical discontinuities exceeding 1/4" maximum unless beveled between 1/4" and 1/2", or any horizontal surface openings more than 1/2".

### TABLE OF CONTENTS

**ARCHITECTURAL**  
AS1.0 PROJECT INFO & SITE PLAN

**STRUCTURAL**  
S5.1 RETAINING WALL DETAILS

**CIVIL**  
SEE APPROVED CIVIL PLANS FOR GRADING, UTILITIES & TEMPORARY EROSION CONTROL PLANS

### PROJECT SCOPE

CONSTRUCT A RETAINING WALL AT AREAS OVER 4-FT IN HEIGHT. THE RETAINING WALL IS FOR A PEDESTRIAN RAMP PROVIDING ACCESS FROM COMMERCIAL LOT 1, DOWN TO THE PUBLIC SIDEWALK ON SHAW ROAD.

### APPLICABLE CODES:

WASHINGTON STATE BUILDING CODE (2021)  
ANSI 117.1 (2017)  
PUYALLUP MUNICIPAL CODE

### LAND USE SUMMARY

P/N: 0420264071, LOT 1

JURISDICTION: CITY OF PUYALLUP

ZONING DESIGNATION:  
CG - GENERAL COMMERCIAL  
SHAW-EAST PIONEER OVERLAY

PARCEL AREA: 83,593 sq ft

### TEAM INFORMATION:

**OWNER'S:**  
ASH DEVELOPMENT, LLC  
PUYALLUP, WA  
c/o: GREG HELLE  
253-318-5711  
greg.helle@absherco.com

**ARCHITECT :**  
SYNTHESIS 9, LLC  
TACOMA, WA  
c/o: BRETT LINDSAY  
253-468-4117  
blindsay@synthesis9.com

**CIVIL ENGINEER:**  
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TACOMA, WA  
c/o: TODD SAWIN  
253-383-2422  
tsawin@AHBL.com

**STRUCTURAL ENGINEER:**  
PIERUCCIONI E&C., LLC  
TACOMA, WA  
c/o: CHON PIERUCCIONI  
206-949-7866  
pieruccioniengineering@gmail.com



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PRRWF20251393

EAST TOWN CROSSING  
RETAINING WALL AT COMMERCIAL LOT 1  
727 SHAW ROAD PUYALLUP WA

### REVISIONS

1	REVISION #1: RESPONSE TO 1st REVIEW
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### REVISIONS

DRAWN BY:	BL / CM
CHECKED BY:	BL
DATE:	25.11.18
TITLE:	RAMP PLAN
PROJECT #:	2016
SHEET:	

AS1.0

AGENCY SUBMITTAL - REVISION No. 1 | 25.11.18