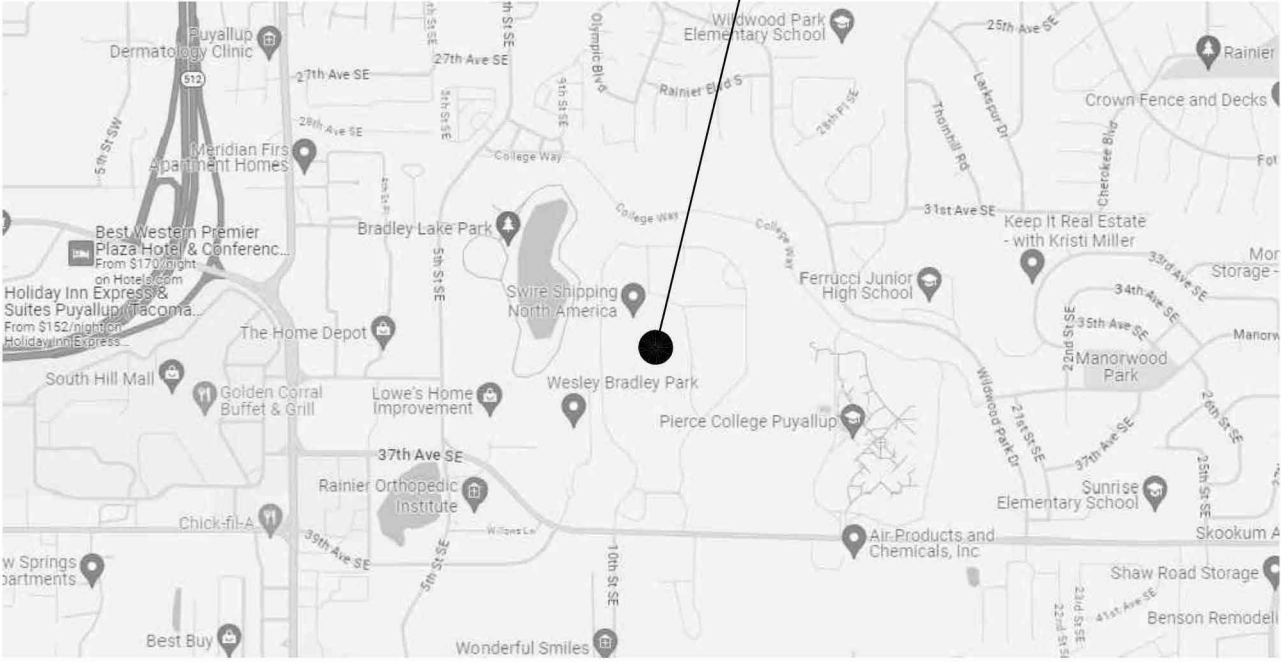


1015 BLDG EAST PARKING LOT TRASH ENCLOSURE

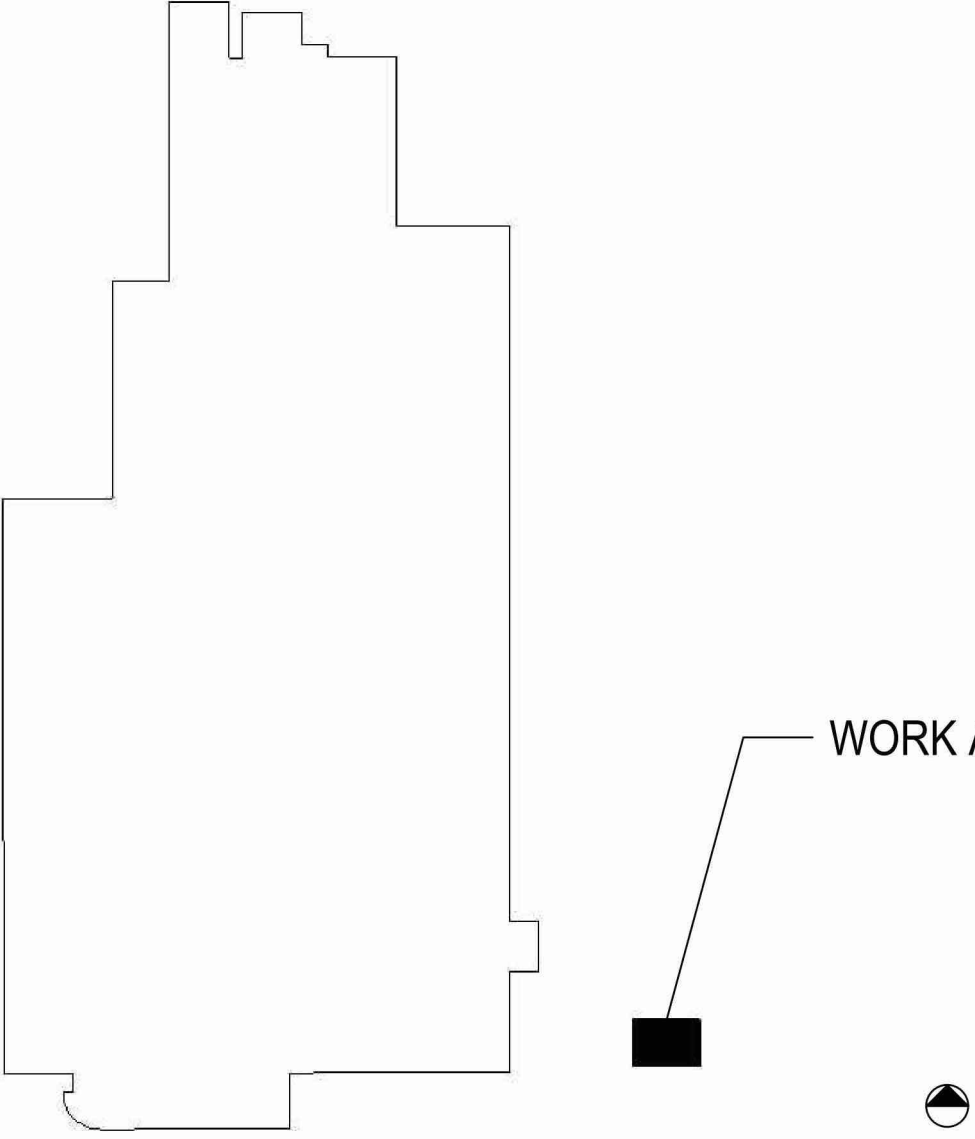
1015 39TH AVE SE, PUYALLUP, WA 98374

PERMIT SET

VICINITY MAP



KEY PLAN



PROJECT TEAM

DESIGNER

MARSHALL DESIGN + MANAGEMENT, LLC

12400 SE 38TH

#50766

BELLEVUE, WA 98015

CONTACT: MIA MARSHALL

206.890.1570

MIA@MARSHALLDM.COM

OWNER

BENAROYA COMPANY

9675 SE 36TH ST

MERCER ISLAND, WA 98040

CONTACT: DAVID VRANIZAN

206.619.5341

DAVEV@BENAROYA.COM

STRUCTURAL

QUANTUM CONSULTING ENGINEERS

1511 THIRD AVE,

SUITE 323

SEATTLE, WA 98101

CONTACT: SCOTT TINKER

206.957.3916

SCOTTTINKER@QUANTUMCE.COM

GENERAL CONTRACTOR

JTM CONSTRUCTION

5900 AIRPORT WAY SOUTH

SUITE 110

SEATTLE, WA 98108

CONTACT: MICHAEL ORME

206.454.9879

MORME@JTMCONSTRUCTION.COM

ARCHITECT

UTILIZE DESIGN LLC

3901 SW OTHELLO ST

SEATTLE, WA 98136

CONTACT: LIZ KATZ

402.676.0007

UTILIZE.LIZ.KATZ@GMAIL.COM

CIVIL ENGINEER

BARHAUSEN ENGINEERS

307 29TH STREET NE

SUITE 102

PUYALLUP, WA 98372

CARA VISINTAINER

425.656.7409

CVISINTAINER@CORE-STATES.COM

INDEX OF DRAWINGS

ISSUED

ISSUED FOR REFERENCE

DATE

02.23.2024

11.25.2025

ISSUED FOR PERMIT SET

REVISED PERMIT SET

CS1.1

COVER SHEET/INDEX

ARCHITECTURAL DRAWINGS

A1.2

SITE PLAN

A1.3

ENLARGED SITE PLAN & FLOOR PLAN

A1.4

FRAMING PLAN, SECTION, ELEVATIONS, & 3D VIEW

A1.5

STRUCTURAL SKETCHES

CIVIL DRAWINGS

C1.0

CIVIL PLAN

Call before you dig. It's the law. Dial 811 or call 1-800-424-5555.

Prior to starting site work, request an erosion and sediment inspection through the CityView portal.

Refer to the City standard details 02.03.02 & 05.02.01 for typical erosion and sedimentation control methods.

No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.

Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections or call for Licensing Information: 1-800-647-0982

BUILDING DATA

ZONING:MP - BUSINESS PARK

SEISMIC DESIGN CAT.:D-1

SEISMIC SITE CLASS:D

CONSTRUCTION TYPE:TYPE III

PROJECT DESCRIPTION

WORK INCLUDES 24' x 27' TRASH COMPACTOR ENCLOSURE OF 8' HEIGHT CHAINLINK FENCE WITH BLACK SLATS.

SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. BOTH SUBMITTED AND APPROVED ON PREVIOUS PERMIT.

APPLICABLE CODES

BUILDING CODE:2021 INTERNATIONAL BUILDING CODE (IBC) WAC 51-50

FIRE CODE:2021 INTERNATIONAL FIRE CODE, WAC 51-54A

ENERGY CODE:2021 WASHINGTON STATE ENERGY CODE (WSEC) WAC 51-11C

MECHANICAL CODE:2021 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51

ELECTRICAL CODE:2023 NATIONAL ELECTRICAL CODE (NEC)

PLUMBING CODE:UNIFORM PLUMBING CODE (UPC), WAC 51-56

ZONING CODE:CITY OF PUYALLUP ZONING CODE

ACCESSIBILITY CODE:2009 ICC A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

DESIGN STANDARDS:SECTION 208 - TRASH ENCLOSURES

TAX PARCEL NUMBER

PIERCE COUNTY ASSESSOR'S OFFICE PARCEL #0419034038

DESIGNER

Md+m

MARSHALL DESIGN + MANAGEMENT

12400 SE 38TH #50766

BELLEVUE, WA 98015

CLIENT

Benaroya

BENAROYA

9675 SE 36TH STREET

MERCER ISLAND, WA 98040

PROJECT

South Hill Business + Technology Center

1015 BLDG EAST PARKING LOT TRASH ENCLOSURE

1015 39TH AVE SE

PUYALLUP, WA 98374

PRCNC20251558

ISSUANCE

ISSUE DATE:11.25.2025

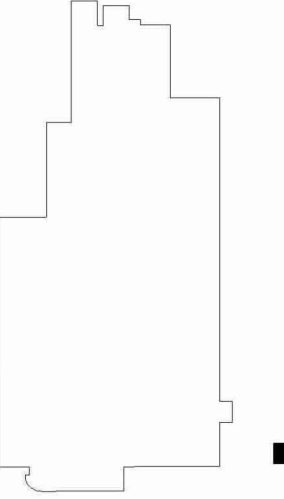
DRAWN BY:LK

CHECKED BY:MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

KEY PLAN



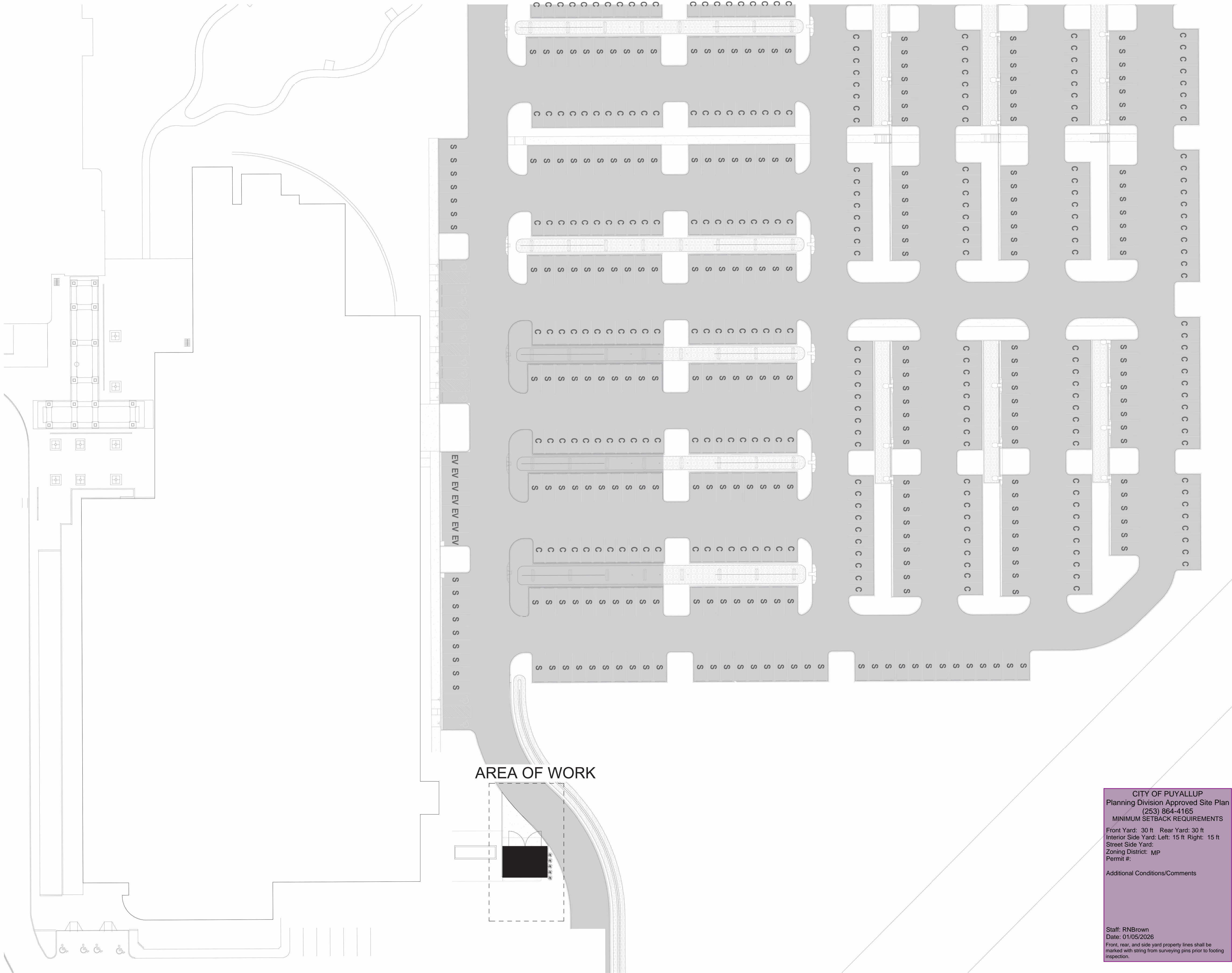
SHEET TITLE

COVER SHEET

SHEET NUMBER

CS1.1

©Marshall Design + Management, LLC 2025



1 SITE PLAN
1" = 30'-0"

CITY OF PUYALLUP
Planning Division Approved Site Plan
(253) 864-4165
MINIMUM SETBACK REQUIREMENTS
Front Yard: 30 ft Rear Yard: 30 ft
Interior Side Yard: Left: 15 ft Right: 15 ft
Street Side Yard:
Zoning District: MP
Permit #:
Additional Conditions/Comments

Staff: RNBrown
Date: 01/05/2026
Front, rear, and side yard property lines shall be marked with string from surveying pins prior to footing inspection.

DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

CLIENT



BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

PROJECT



1015 BLDG EAST PARKING LOT TRASH ENCLOSURE
1015 39TH AVE SE
PUYALLUP, WA 98374

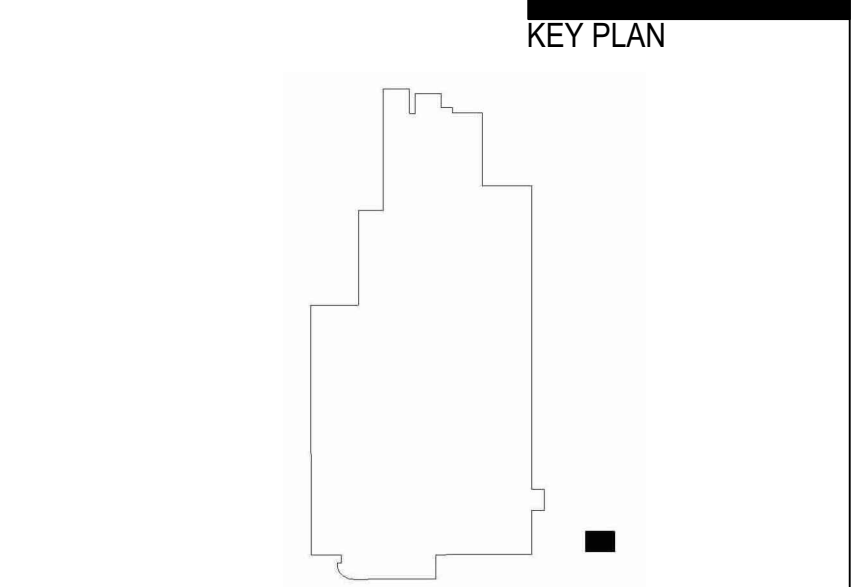
SHEET FOR REFERENCE ONLY

PRCNC20251558

ISSUANCE

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST			
NO.	DATE	DESCRIPTION	BY



SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.2




LIENT

PROJECT

PRCNC20251558

24020736
REGISTERED
ARCHITECT
ELIZABETH M. KATZ
STATE OF WASHINGTON

NO.	DATE	DESCRIPTION	BY



A1.3

703+00

SD

SSK-TE-01

HSS 6x3x1/4

COMPACTOR (SC-02-20)

8' - 4"

19' - 0"

3' - 0"

27' - 0"

1' - 0"

4' - 0"

2' - 0"

10' - 0"

A1.4

A1.3

ACCESS DRIVE AND CURB CUT (PER CIVIL)

1/2" GROUND GATE SLEEVES EMBEDDED FOR CANE BOLT GATE LATCHING

TWO 10' BLACK CHAINLINK GATES WITH BLACK SLATS AND LOCKING HARDWARE - POSTS AND TOP RAIL PER MANUFACTURER

DRAIN TO SEWER (TIE IN PER CIVIL) - SLOPE CONCRETE PAD TOWARDS DRAIN (1/4"/12")

BLACK CHAINLINK FENCE W/ BLACK SLATS AT PERIMETER - INTERMEDIATE FENCE POSTS EVERY 6' WITH FOOTING AND TOP RAIL PER MANUFACTURER

6" ROOF OVERHANG (TYP)

COMPACTOR CONTROLS/POWER PER MANUFACTURER

CONCRETE PAD TO BE 6" REINFORCED W/ #4 @ 12" O.C. EACH WAY AT MID-DEPTH. SLAB EDGE TO BE THICKENED, MIN 18" DEEP & 16" WIDE

COLUMN FOUNDATION PER STRUCTURAL (SEE SSK-TE-01)

DOWNSPOUT TO STORM (TIE IN PER CIVIL)

NOTE: LANDSCAPING SHOWN FOR REFERENCE ONLY. SUBMITTED AND APPROVED ON SEPARATE PERMIT.

Surfaces must slope away from the enclosure to prevent stormwater tributary runoff from entering the enclosure area. Label adjacent grades to verify elevations.

Depict and label the proposed yard hydrant. Clearly indicate if the yard hydrant is located inside or outside trash enclosure.

SEE STRUCTURAL SKETCH SSK-TE-01 FOR BASE PLATE AND THICKENED SLAB EDGE DETAILING

HSS5x5x1/4" ROOF SUPPORT POST PER STRUCTURAL (TYP) - FENCE ATTACHED TO POST PER FENCE MANUFACTURER

CONCRETE PAD TO BE 6", REINFORCED W/ #4 @ 12" O.C. EACH WAY AT MID-DEPTH. SLAB EDGE TO BE THICKENED, MIN 18" DEEP & 16" WIDE

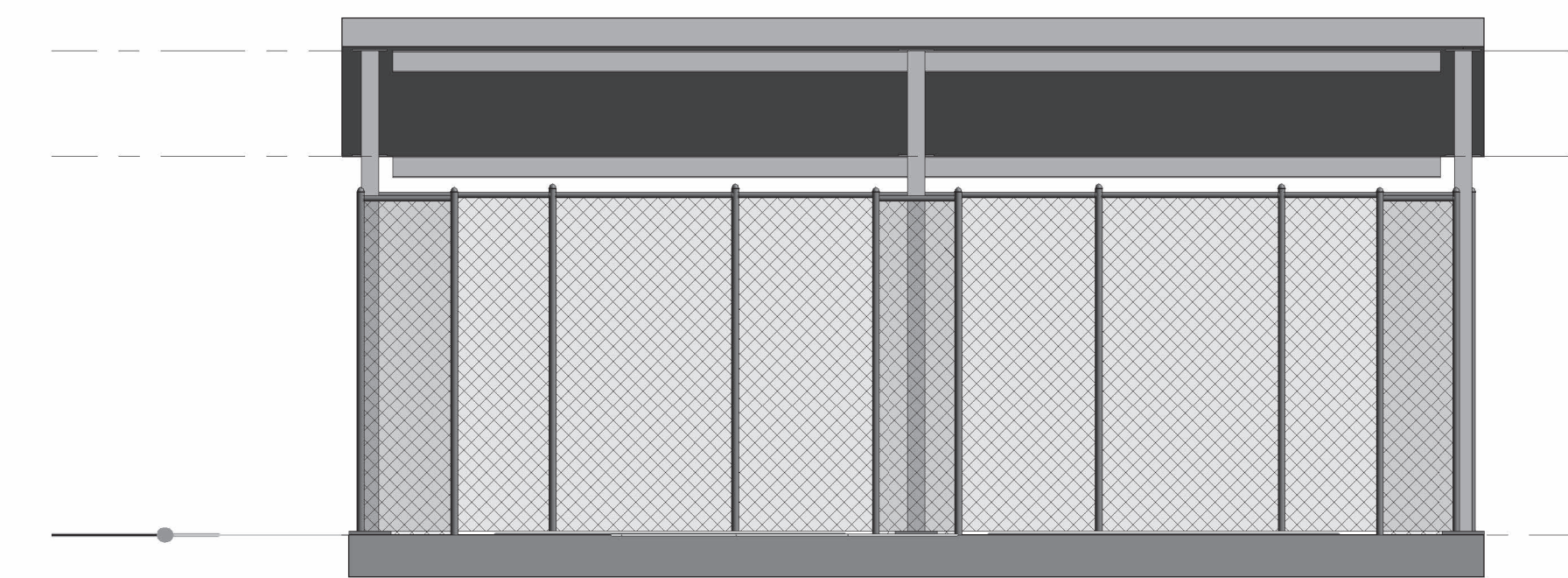
CHAINLINK W/ BLACK SLATS - REFER TO FENCE MANUFACTURER FOR SIZING AND ASSEMBLY DETAILS

5"

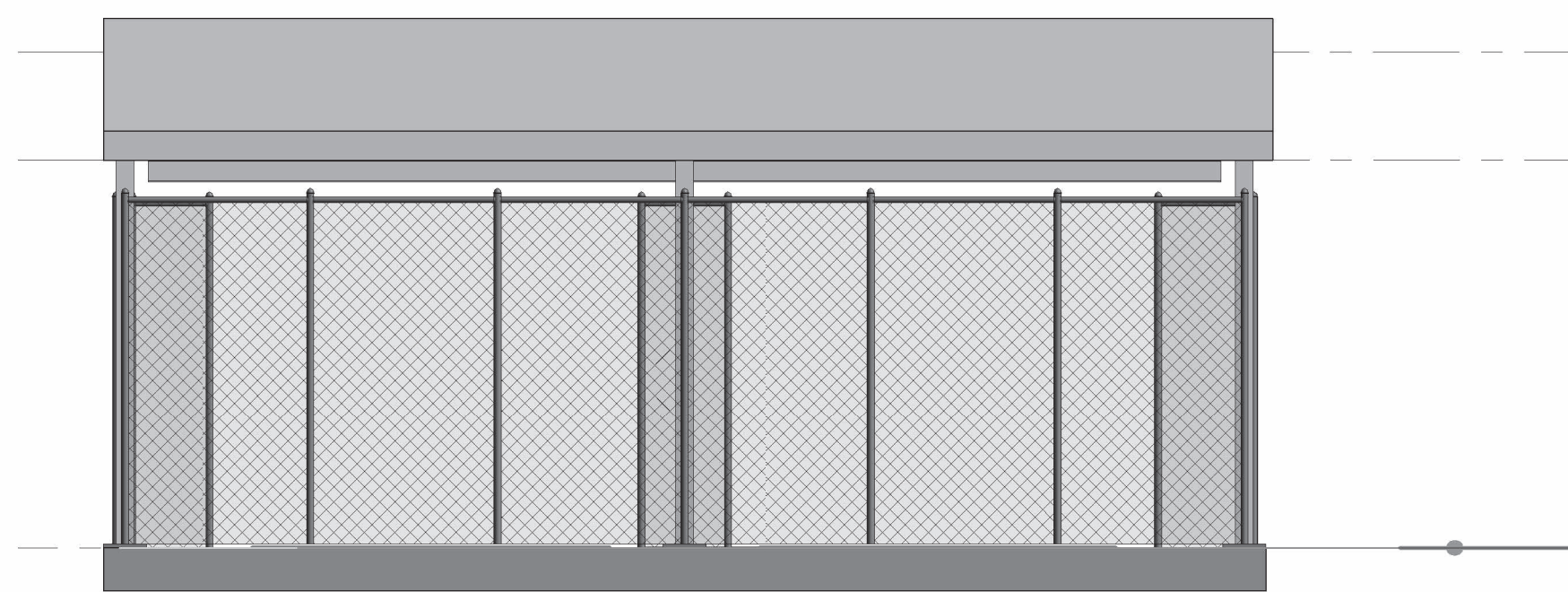
1'-0"

6"

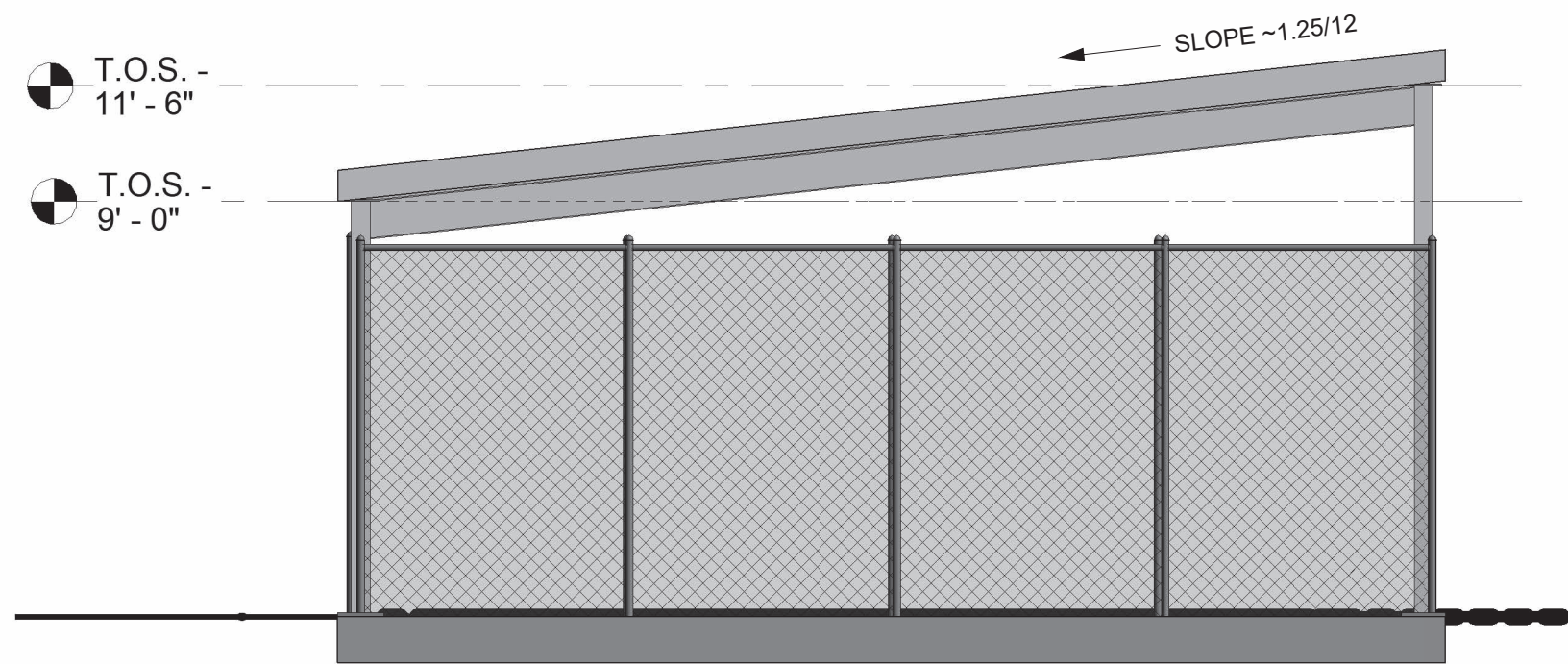
② FENCE POST SUPPORT
3" = 1'-0"



1 FRONT ELEVATION

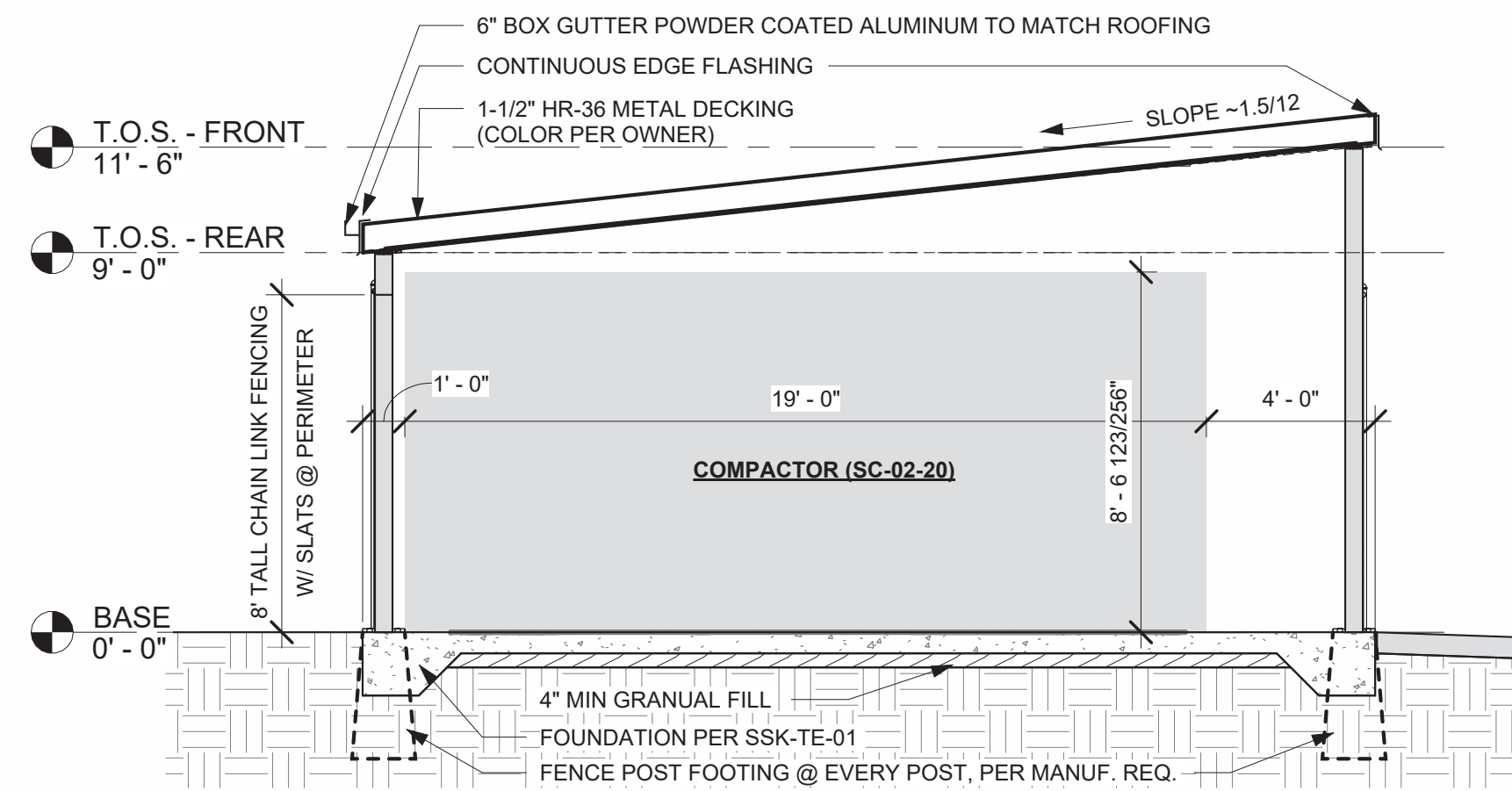


2 REAR ELEVATION

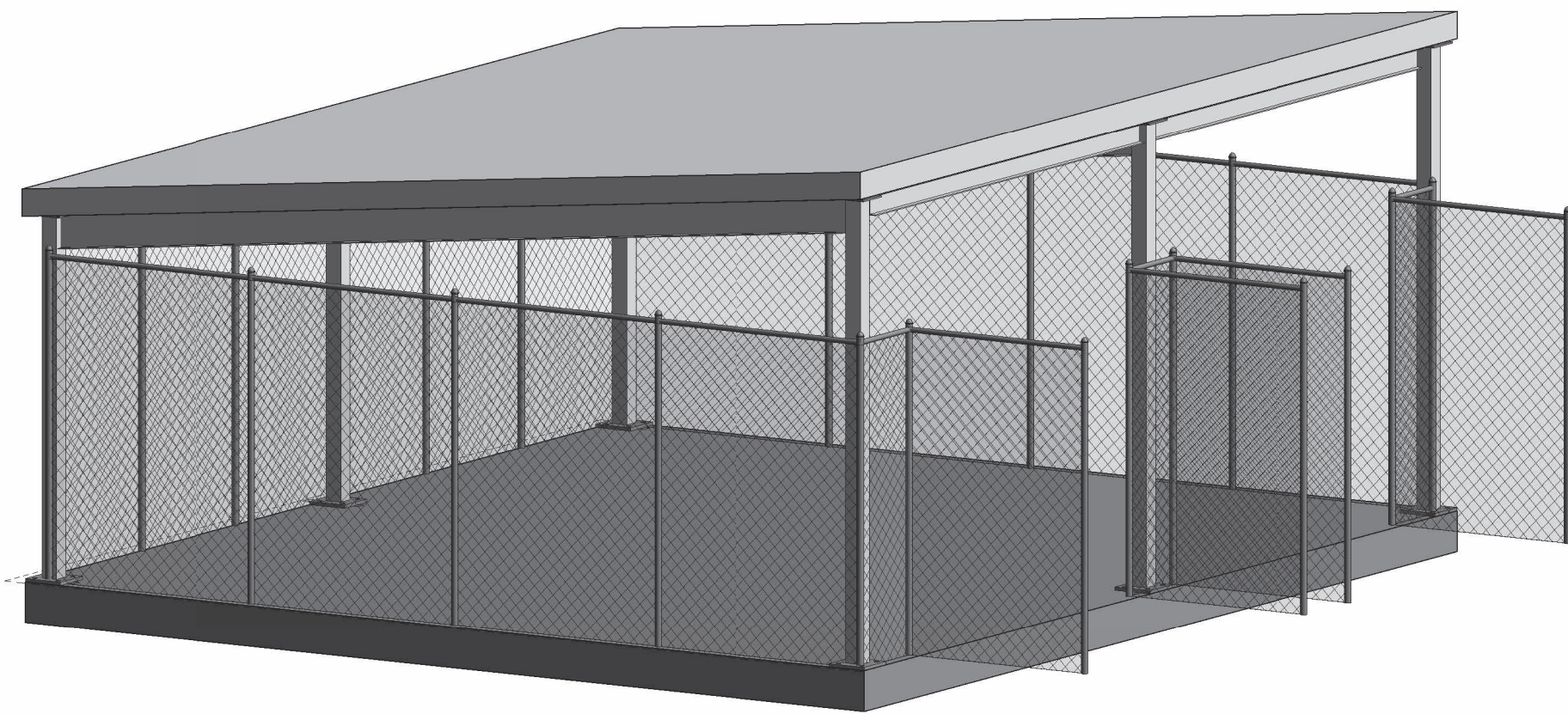


3 SIDE ELEVATION

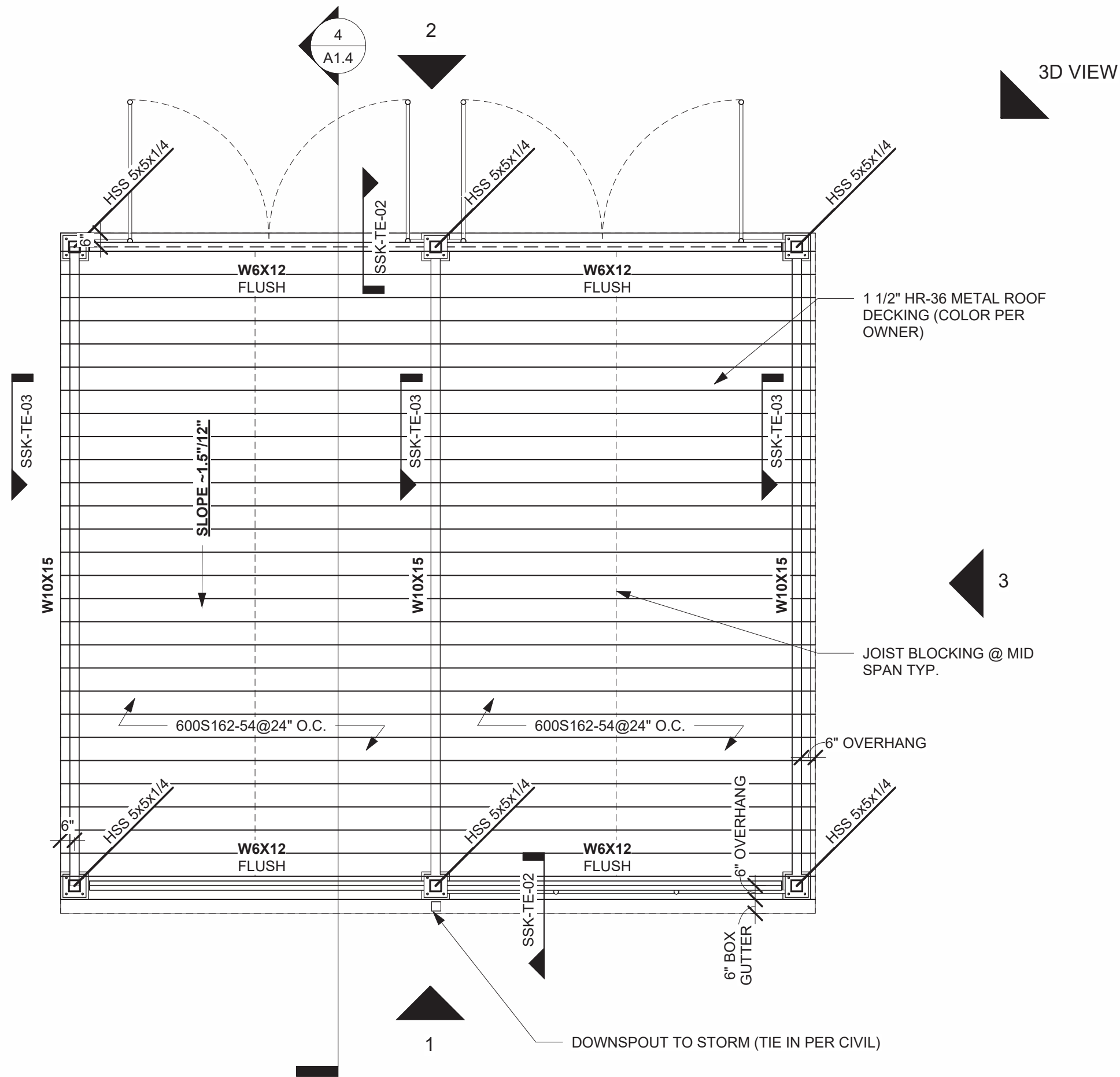
In accordance with City Stormwater Standards, Section 208.3, enclosures shall be covered (roofed) and fully enclosed to prevent precipitation from entering the enclosure area. Watertight containers are still required. The proposed chain link fence perimeter does not adequately prevent precipitation from entering the enclosure.



4 SECTION
1/4" = 1'-0"



5 3D VIEW



6 TRASH ENCLOSURE - FRAMING PLAN
1/4" = 1'-0"

DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

CLIENT



BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

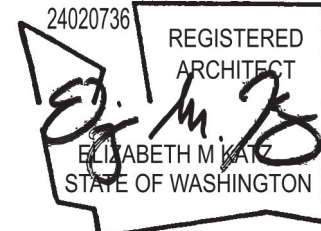
PROJECT



1015 BLDG EAST PARKING LOT TRASH ENCLOSURE
1015 39TH AVE SE
PUYALLUP, WA 98374

PRCNC20251558

STAMP



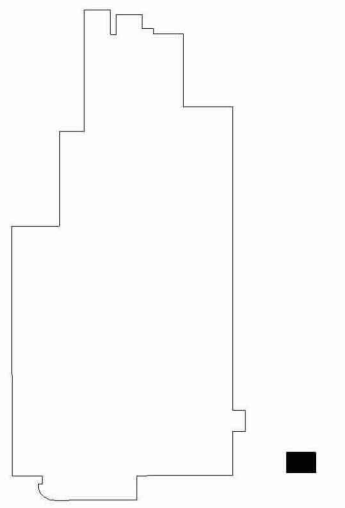
ISSUANCE

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

KEY PLAN

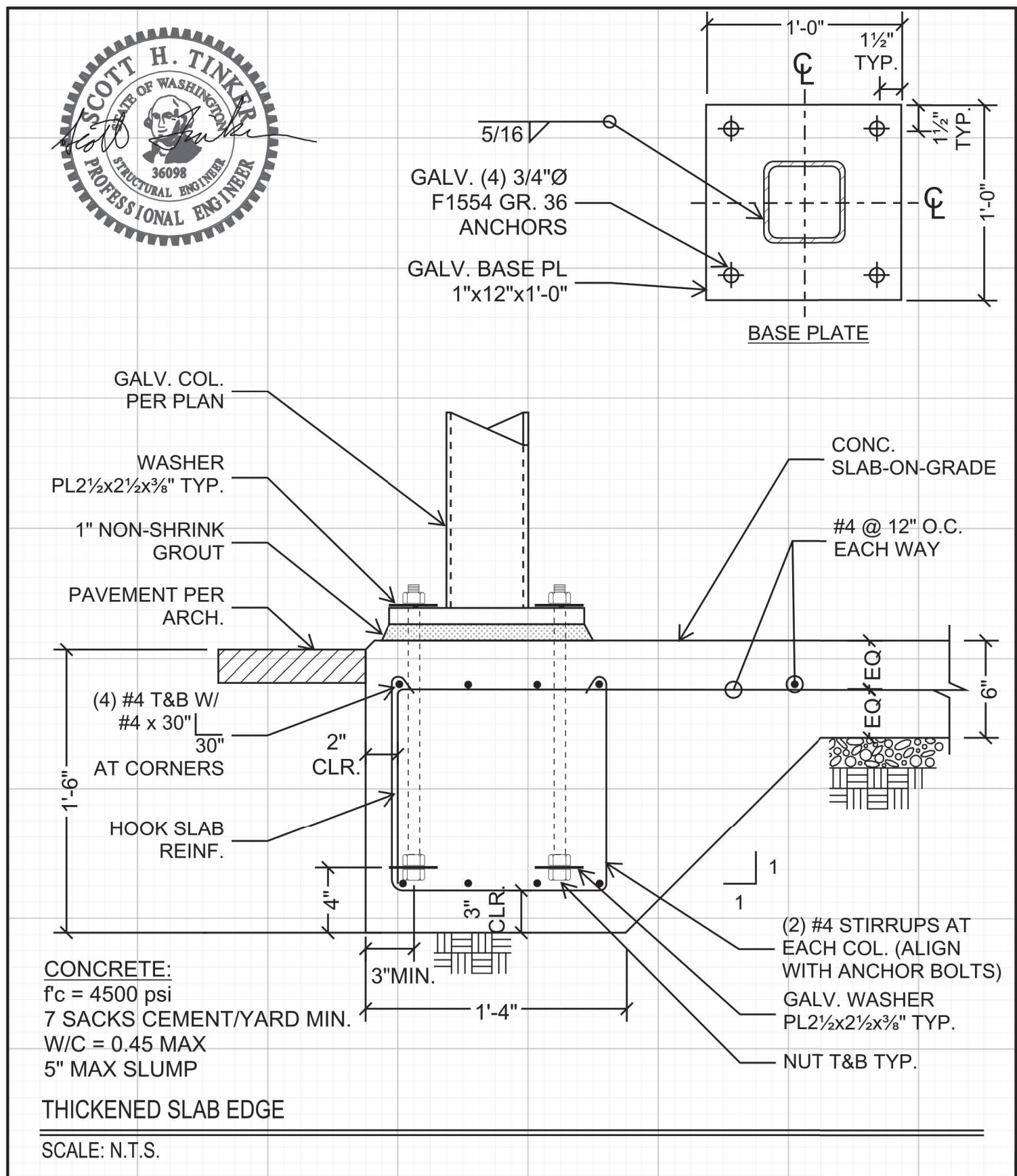


SHEET TITLE

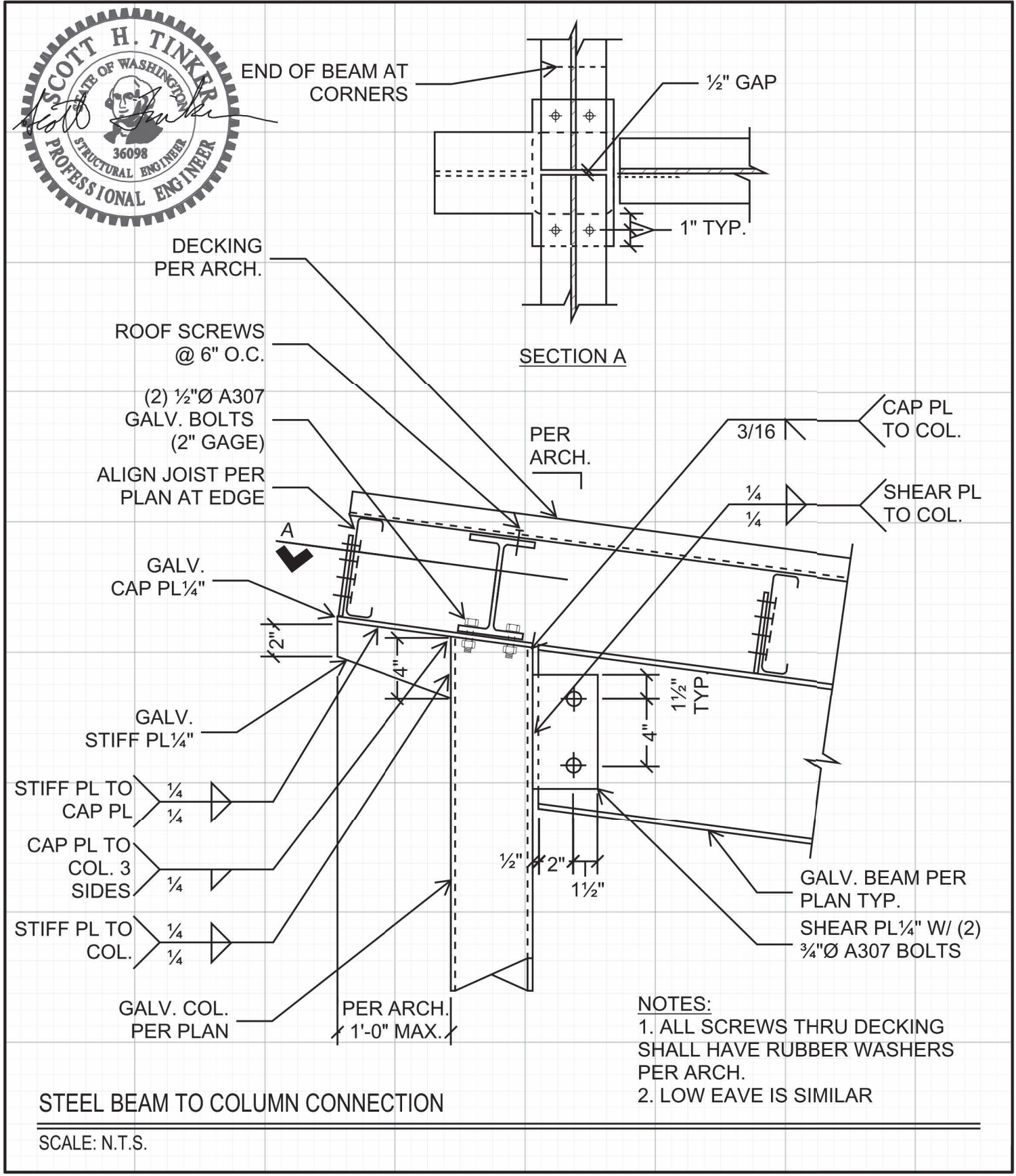
FRAMING PLAN, SECTION,
ELEVATIONS, & 3D VIEW

SHEET NUMBER

A1.4

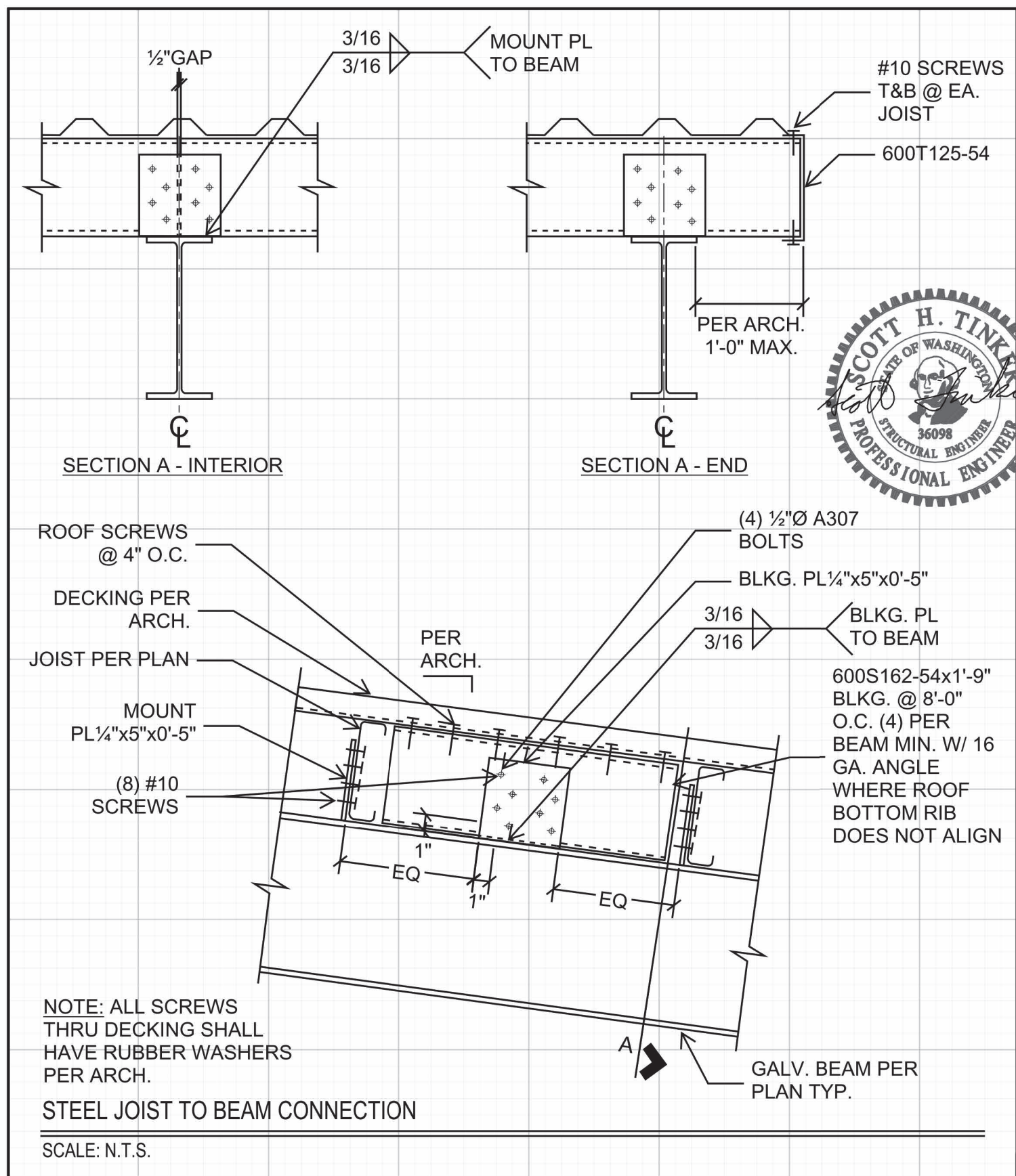


1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
BENAROYA COMPANIES
client
drawn by:
TVM
design by:
SSK-TE-01
sheet no.



1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
BENAROYA COMPANIES
client
drawn by:
TVM
design by:
SSK-TE-02
sheet no.

Welding to be done by an individual or fabricator who is WABO certified or approved by the Building Official to perform the work. All welds must be inspected and approved by a WABO certified special inspector.



1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
BENAROYA COMPANIES
client
drawn by:
TVM
design by:
SSK-TE-03
sheet no.

DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

CLIENT



Benaroya

BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

PROJECT

South Hill
Business + Technology Center

1015 BLDG EAST PARKING LOT TRASH ENCLOSURE
1015 39TH AVE SE
PUYALLUP, WA 98374

PRCNC20251558

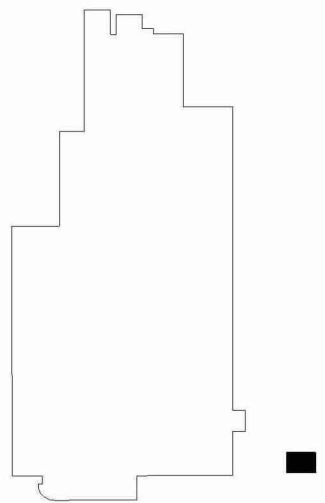
ISSUANCE

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

KEY PLAN

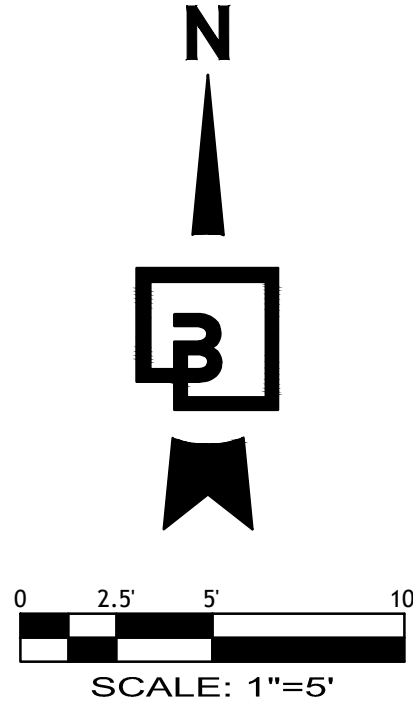
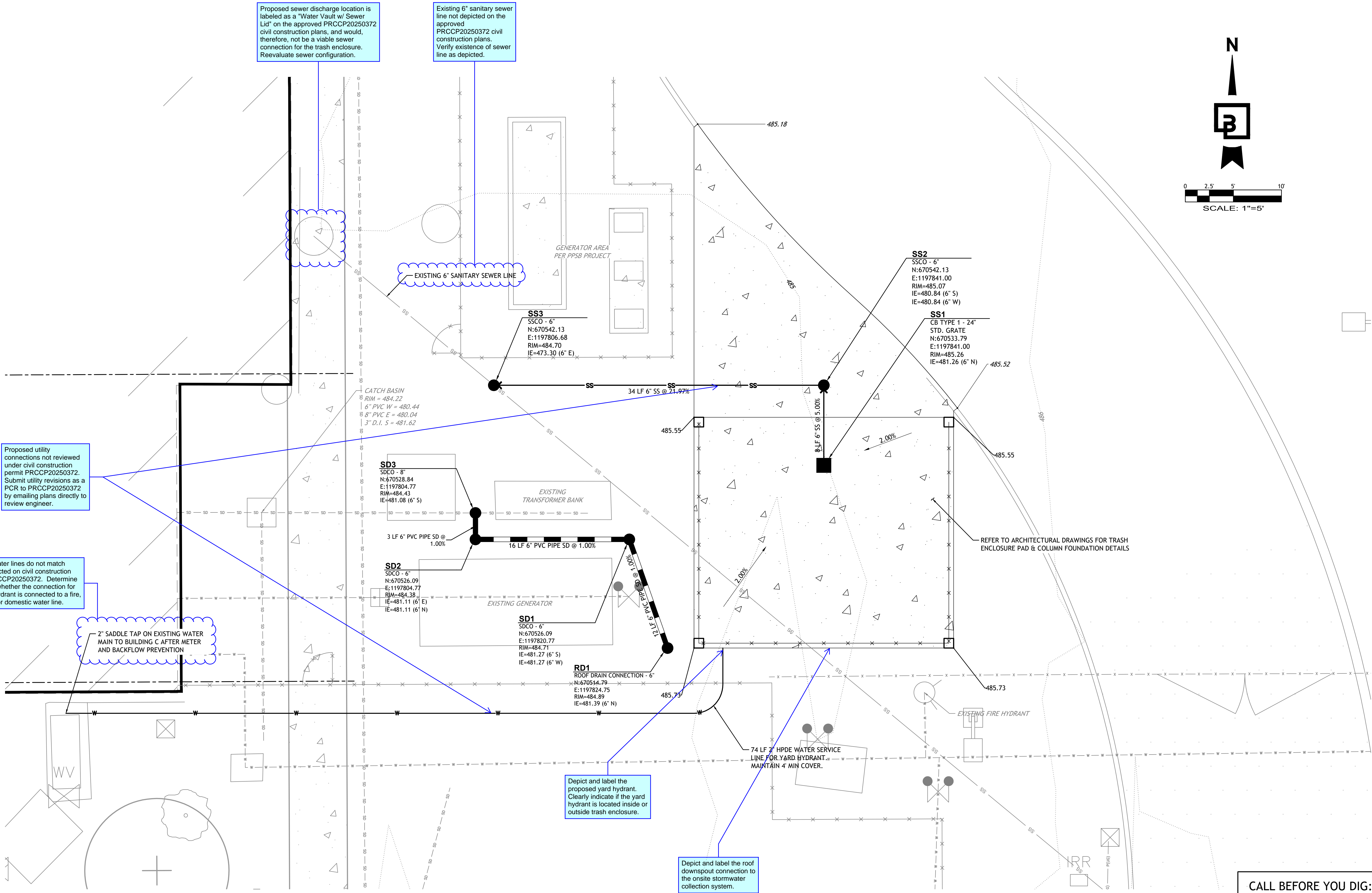


SHEET TITLE

STRUCTURAL SKETCHES

SHEET NUMBER

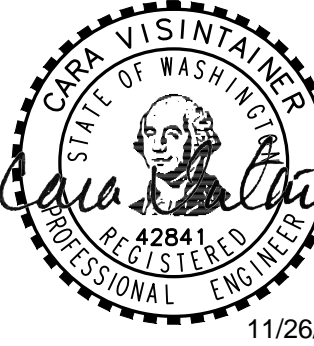
A1.5



Title: TRASH ENCLOSURE OVERALL SITE
PLAN FOR BLDG 1015

PRCNC20251558

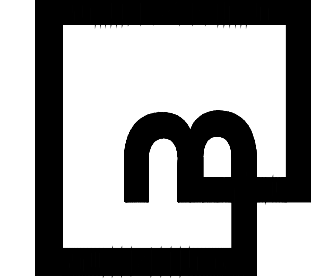
For: BENAROYA CAPITAL, LLC
CENTERIS DATA CENTERS
9675 SE 36TH ST, SUITE 115
MERCER ISLAND, WA 98040



Scale:
Horizontal: 1" = 5'
Vertical: N/A

Designed	KDM
Drawn	KDM
Checked	CMW
Approved	CMW
Date	11/26/2025

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222 **barghausen.com**



Job Number
18111

Sheet
C1.0
1 of 1

CALL BEFORE YOU DIG:
1-800-424-5555 OR "811"

UTILITY CONFLICT NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.