

1015 BLDG EAST PARKING LOT TRASH ENCLOSURE

1015 39TH AVE SE, PUYALLUP, WA 98374

PERMIT SET

DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

CLIENT



BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

PROJECT



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1015 39TH AVE SE
PUYALLUP, WA 98374

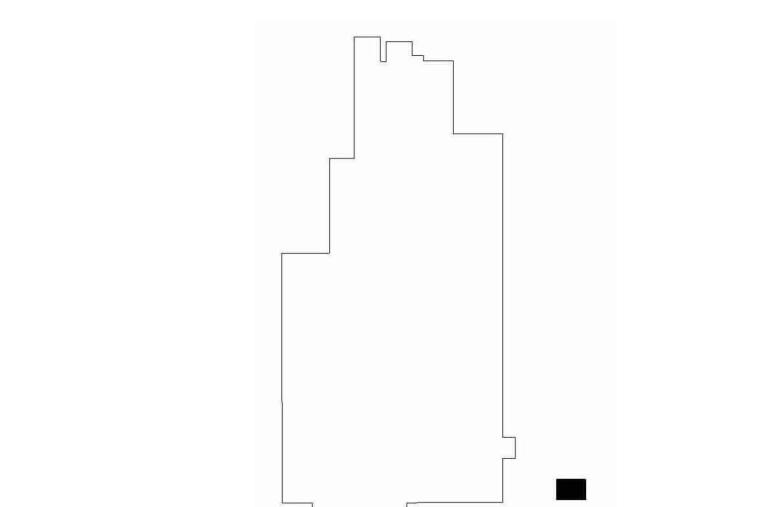
PRCNC20251558

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

KEY PLAN



SHEET TITLE

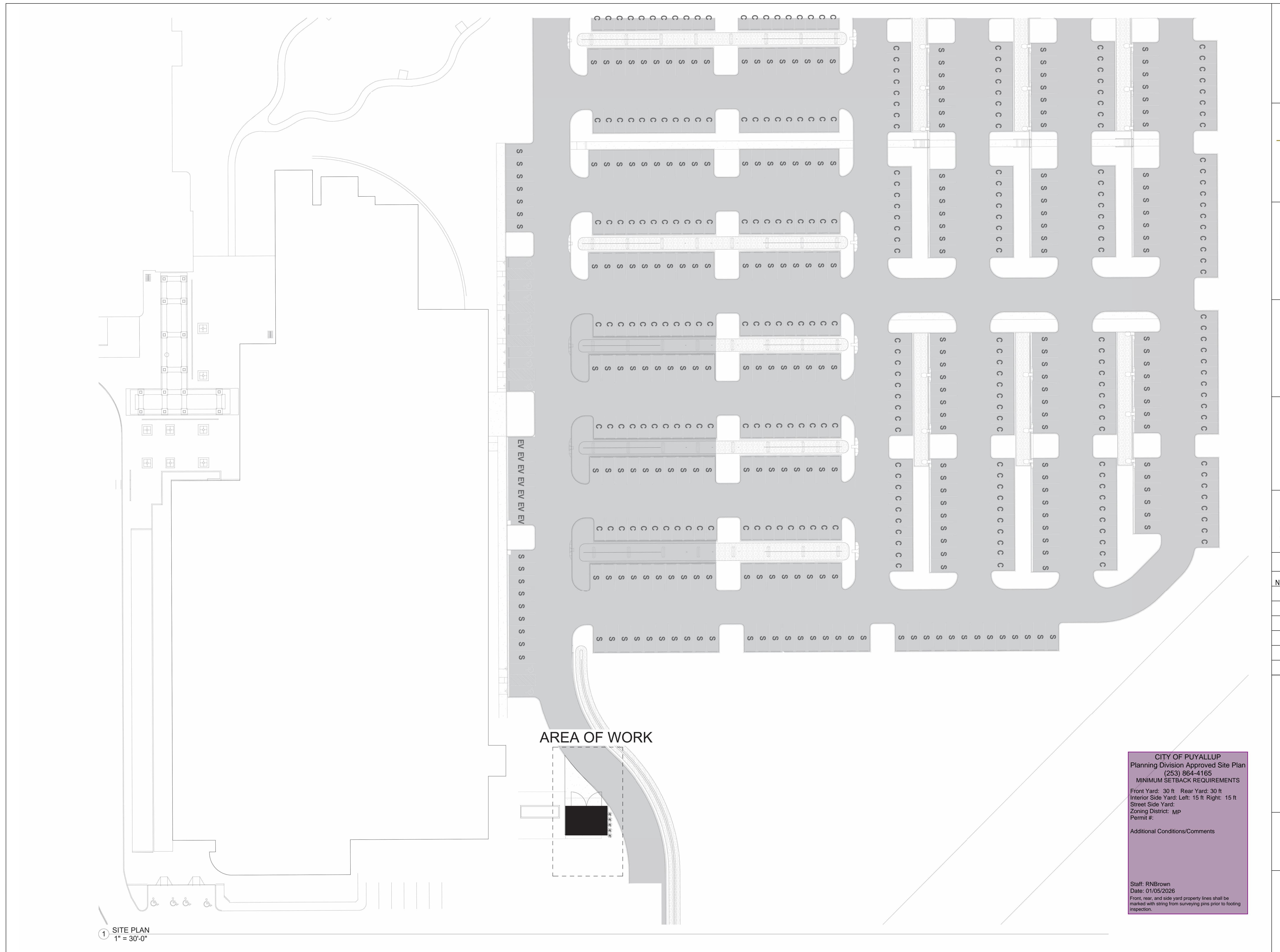
COVER SHEET

SHEET NUMBER

CS1.1

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VICINITY MAP	KEY PLAN	PROJECT TEAM	INDEX OF DRAWINGS																																				
		<p>DESIGNER MARSHALL DESIGN + MANAGEMENT, LLC 12400 SE 38TH #50766 BELLEVUE, WA 98015 CONTACT: MIA MARSHALL 206.890.1570 MIA@MARSHALLDLDM.COM</p> <p>OWNER BENAROYA COMPANY 9675 SE 36TH ST MERCER ISLAND, WA 98040 CONTACT: DAVID VRANIZAN 206.619.5341 DAVEV@BENAROYA.COM</p> <p>STRUCTURAL QUANTUM CONSULTING ENGINEERS 1511 THIRD AVE, SUITE 323 SEATTLE, WA 98101 CONTACT: SCOTT TINKER 206.957.3916 SCOTT.TINKER@QUANTUMCE.COM</p> <p>GENERAL CONTRACTOR JTM CONSTRUCTION 5900 AIRPORT WAY SOUTH SUITE 110 SEATTLE, WA 98108 CONTACT: MICHAEL ORME 206.454.9879 MORME@JTMCONSTRUCTION.COM</p> <p>ARCHITECT UTILIZE DESIGN LLC 3901 SW OTHELLO ST SEATTLE, WA 98136 CONTACT: LIZ KATZ 402.676.0007 UTILIZE.LIZ.KATZ@GMAIL.COM</p> <p>CIVIL ENGINEER BARHAUSEN ENGINEERS 307 29TH STREET NE SUITE 102 PUYALLUP, WA 98372 CARA VISINTAINER 425.656.7409 CVISINTAINER@CORE-STATES.COM</p>	<table border="1"> <thead> <tr> <th>ISSUED</th> <th>ISSUED FOR PERMIT SET</th> <th>REvised PERMIT SET</th> </tr> </thead> <tbody> <tr> <td>●</td> <td>02.23.2024</td> <td>11.25.2025</td> </tr> <tr> <td>○</td> <td></td> <td></td> </tr> <tr> <td>CS1.1</td> <td>COVER SHEET/INDEX</td> <td></td> </tr> <tr> <td></td> <td>ARCHITECTURAL DRAWINGS</td> <td></td> </tr> <tr> <td>A1.2</td> <td>SITE PLAN</td> <td>●</td> </tr> <tr> <td>A1.3</td> <td>ENLARGED SITE PLAN & FLOOR PLAN</td> <td>●</td> </tr> <tr> <td>A1.4</td> <td>FRAMING PLAN, SECTION, ELEVATIONS, & 3D VIEW</td> <td>●</td> </tr> <tr> <td>A1.5</td> <td>STRUCTURAL SKETCHES</td> <td>●</td> </tr> <tr> <td></td> <td>CIVIL DRAWINGS</td> <td></td> </tr> <tr> <td>C1.0</td> <td>CIVIL PLAN</td> <td>●</td> </tr> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>Call before you dig. It's the law. Dial 811 or call 1-800-424-5555.</p> <p>Prior to starting site work, request an erosion and sediment inspection through the CityView portal.</p> <p>Refer to the City standard details 02.03.02 & 05.02.01 for typical erosion and sedimentation control methods.</p> <p>No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.</p> <p>The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.</p> <p>Full sized legible color plans are required to be provided by the permittee on site for inspection.</p> <p>Separate Electrical Permit is required with the Washington State Department of Labor & Industries. https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections or call for Licensing Information: 1-800-647-0982</p>	ISSUED	ISSUED FOR PERMIT SET	REvised PERMIT SET	●	02.23.2024	11.25.2025	○			CS1.1	COVER SHEET/INDEX			ARCHITECTURAL DRAWINGS		A1.2	SITE PLAN	●	A1.3	ENLARGED SITE PLAN & FLOOR PLAN	●	A1.4	FRAMING PLAN, SECTION, ELEVATIONS, & 3D VIEW	●	A1.5	STRUCTURAL SKETCHES	●		CIVIL DRAWINGS		C1.0	CIVIL PLAN	●			
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C1.0	CIVIL PLAN	●																																					
BUILDING DATA	PROJECT DESCRIPTION																																						
ZONING: SEISMIC DESIGN CAT.: SEISMIC SITE CLASS: CONSTRUCTION TYPE:	MP - BUSINESS PARK D-1 D TYPE III	WORK INCLUDES 24' x 27' TRASH COMPACTOR ENCLOSURE OF 8' HEIGHT CHAINLINK FENCE WITH BLACK SLATS. SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. BOTH SUBMITTED AND APPROVED ON PREVIOUS PERMIT.																																					
APPLICABLE CODES	TAX PARCEL NUMBER																																						
BUILDING CODE: FIRE CODE: ENERGY CODE: MECHANICAL CODE: ELECTRICAL CODE: PLUMBING CODE: ZONING CODE: ACCESSIBILITY CODE: DESIGN STANDARDS:	2021 INTERNATIONAL BUILDING CODE (IBC) WAC 51-50 2021 INTERNATIONAL FIRE CODE, WAC 51-54A 2021 WASHINGTON STATE ENERGY CODE (WSEC) WAC 51-11C 2021 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51 2023 NATIONAL ELECTRICAL CODE (NEC) UNIFORM PLUMBING CODE (UPC), WAC 51-56 CITY OF PUYALLUP ZONING CODE 2009 ICC A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES SECTION 208 - TRASH ENCLOSURES	PIERCE COUNTY ASSESSOR'S OFFICE PARCEL #0419034038																																					



DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

1



BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

PROJECT



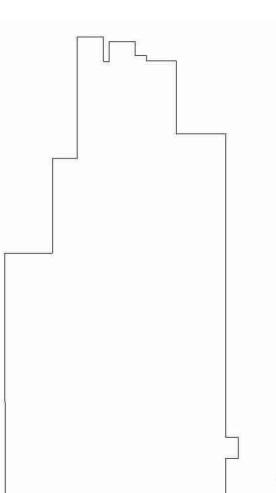
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**SHEET FOR
REFERENCE ONLY**

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION 1

KEY PLAN



SHEET TITLE

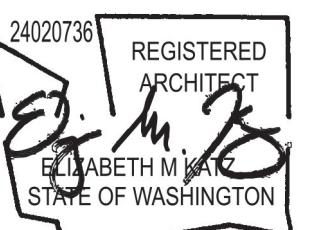
SITE PLAN

SHEET NUM

A1.2

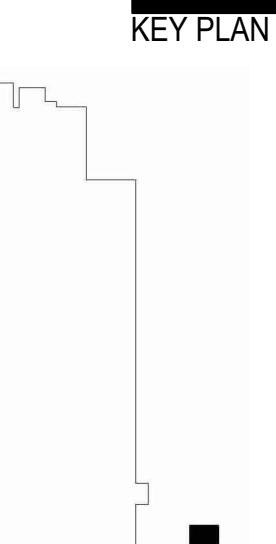
PRCNC20251558

STAMP

ISSUANCE
ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

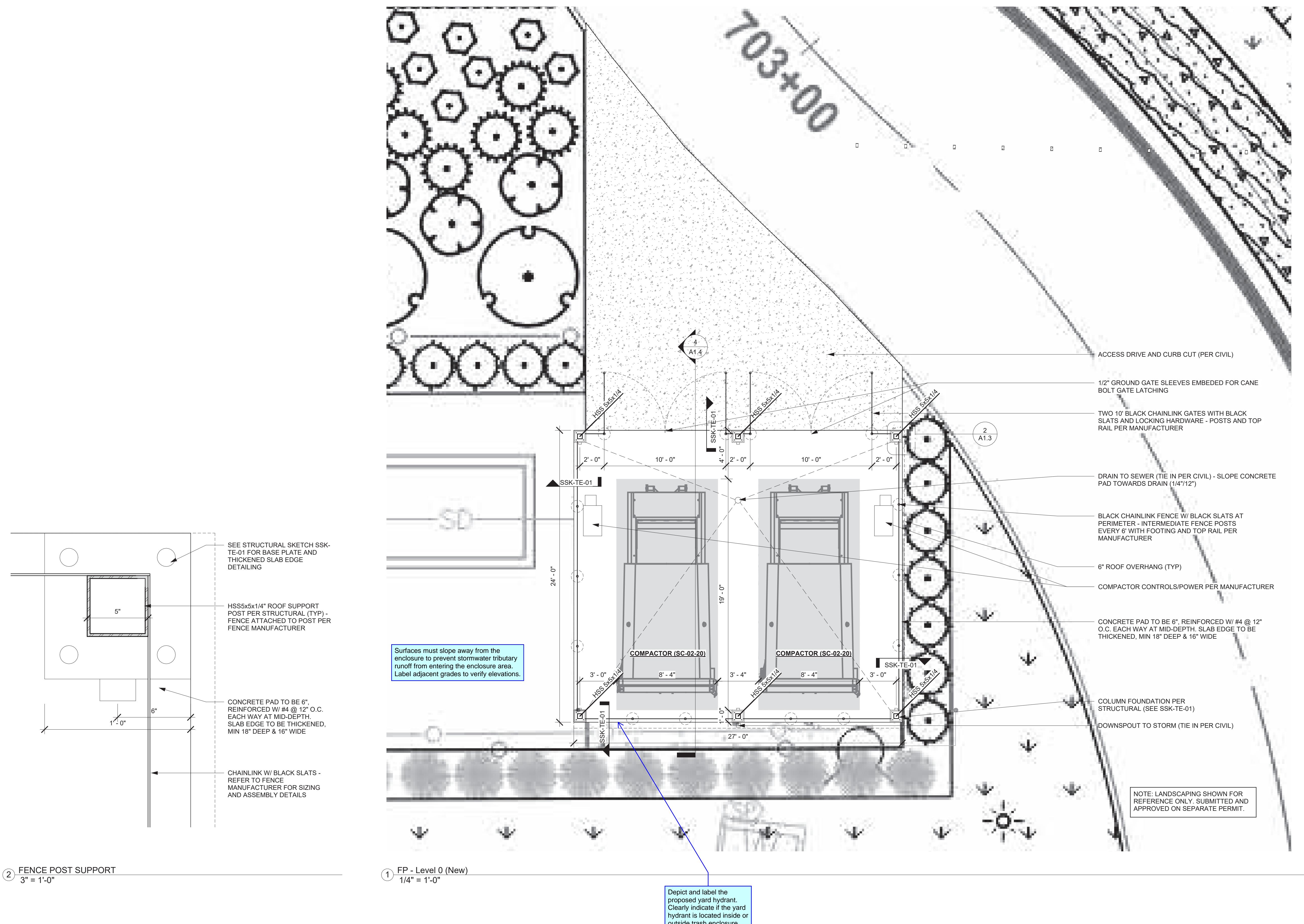


SHEET TITLE

ENLARGED SITE PLAN
& FLOOR PLAN

SHEET NUMBER

A1.3





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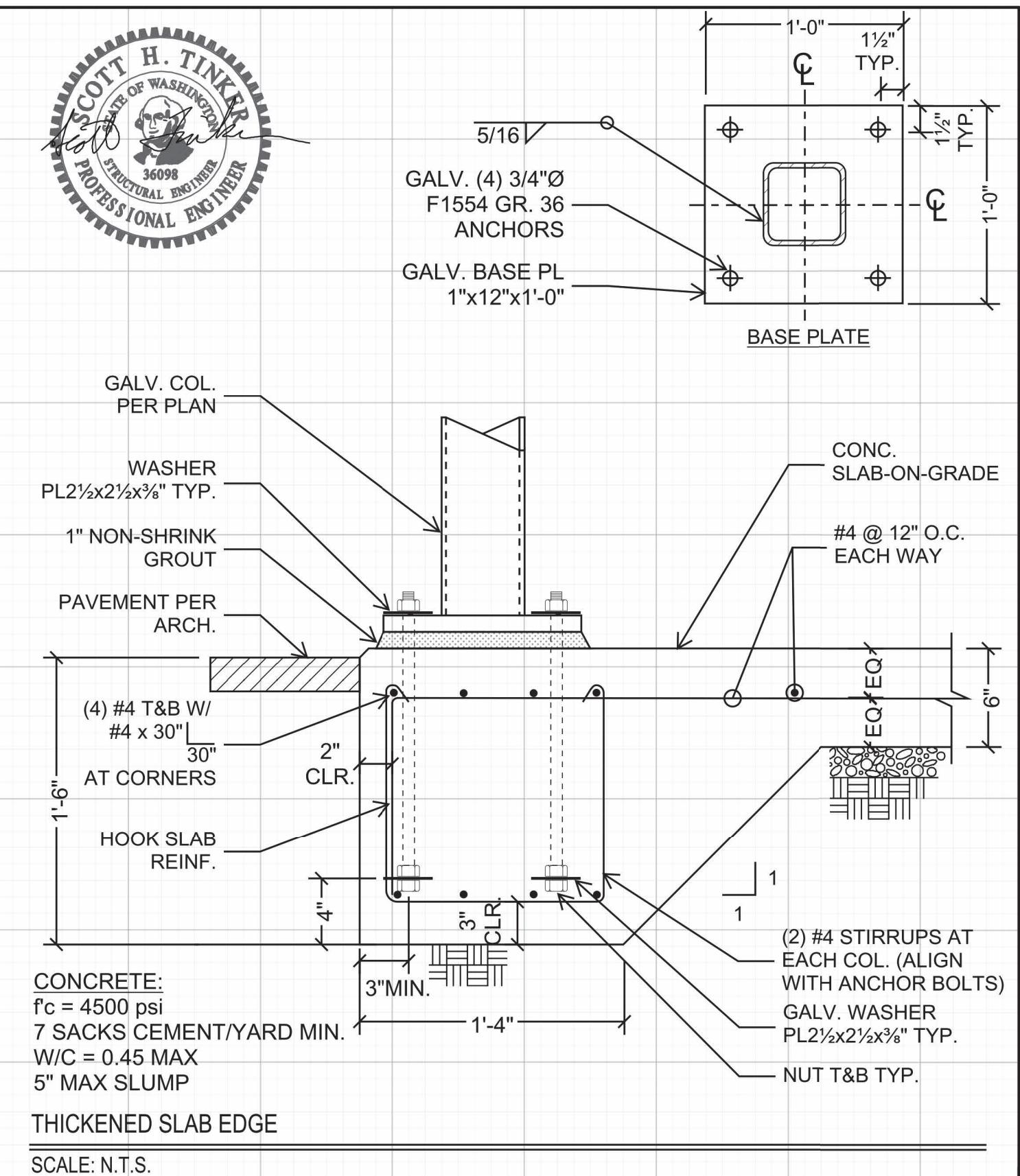
NO. DATE DESCRIPTION BY

KEY PLAN

SHEET TITLE
STRUCTURAL SKETCHES

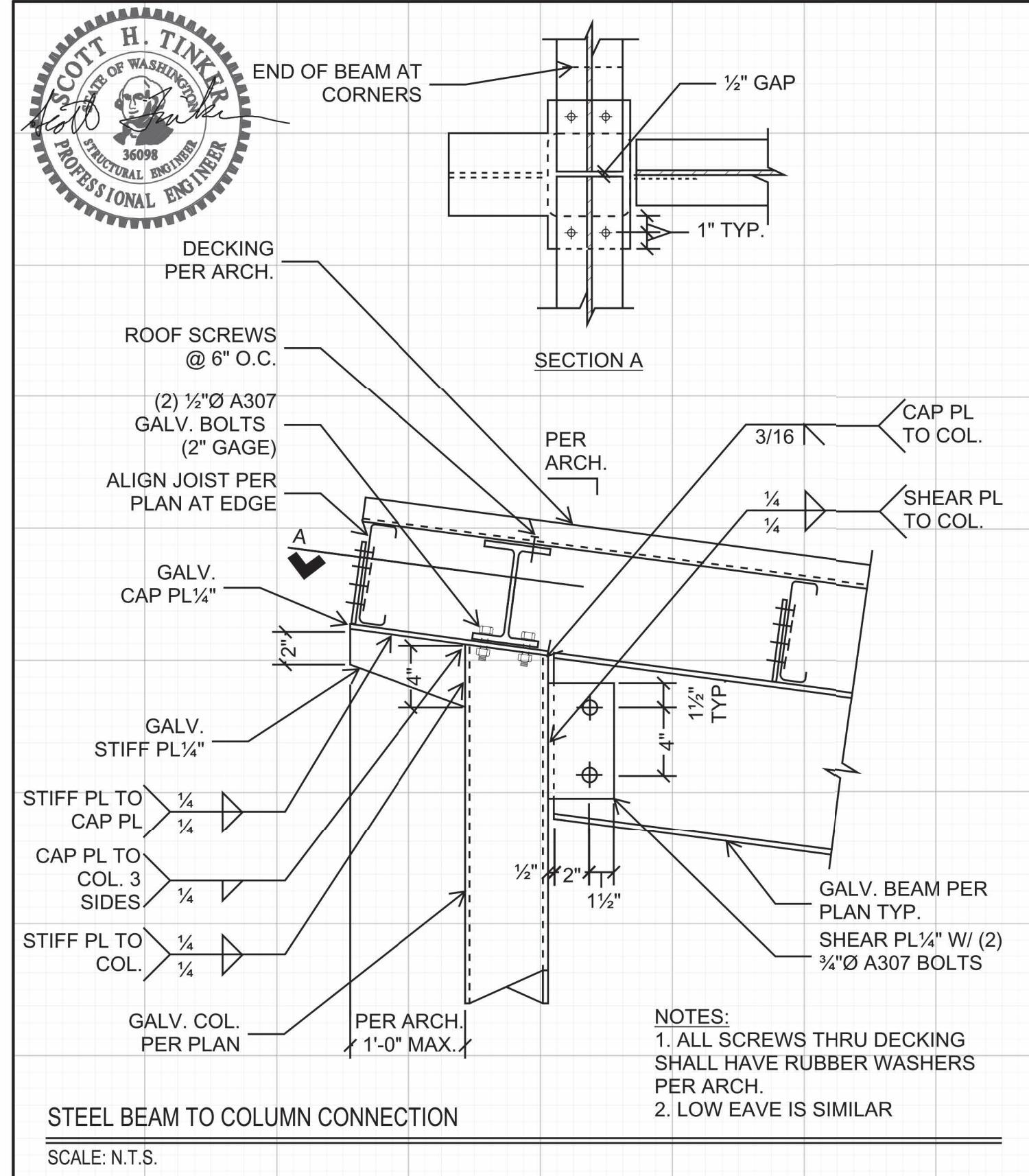
SHEET NUMBER

A1.5



1015 BUILDING TRASH ENCLOSURE
project 11/24/2025 19305.04
date job no.
drawn by: TVM
design by: SSK-TE-01
sheet no.

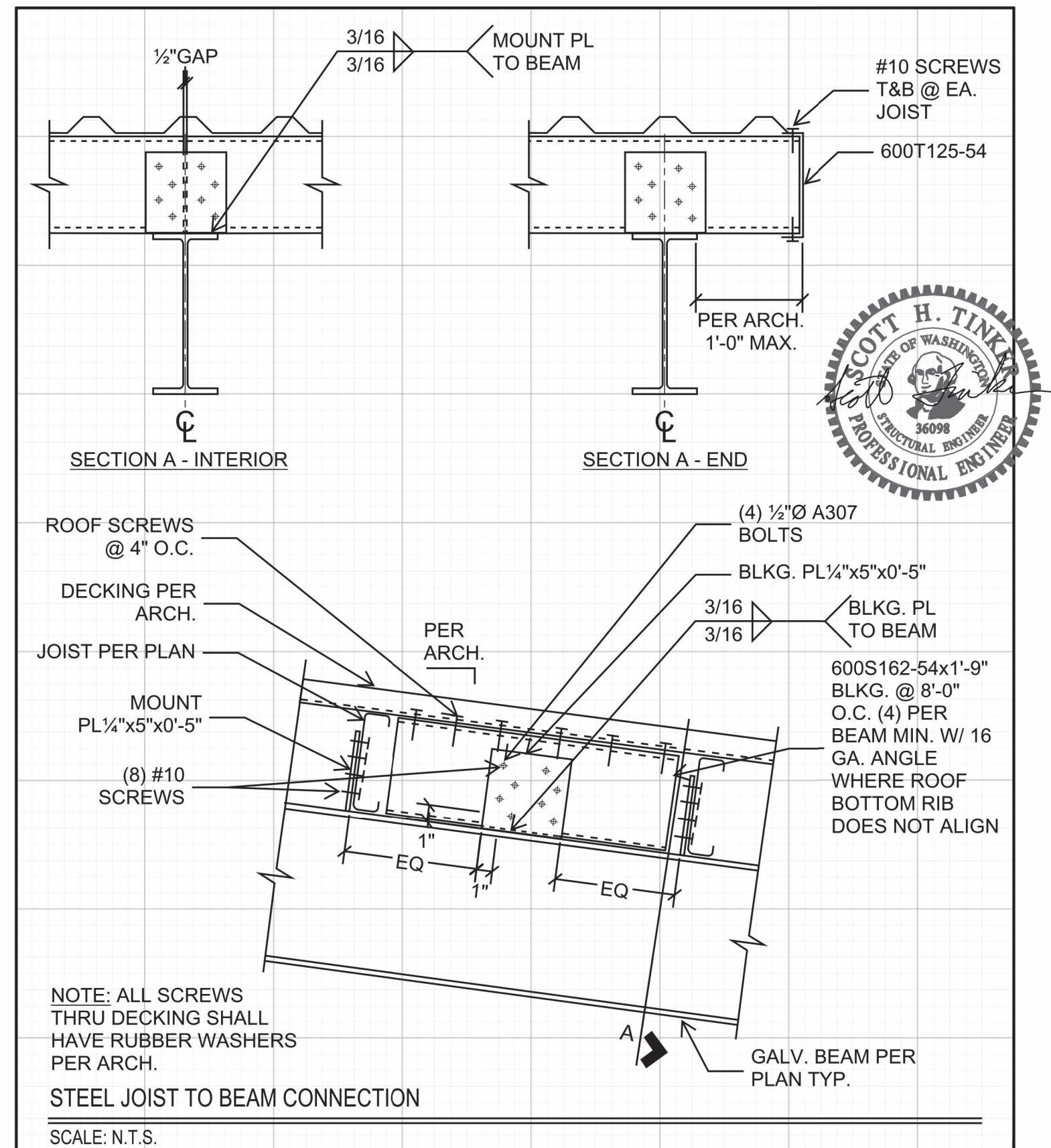
QUANTUM CONSULTING ENGINEERS
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101
TEL: 206.957.3900 FAX: 206.957.3901
client



1015 BUILDING TRASH ENCLOSURE
project 11/24/2025 19305.04
date job no.
drawn by: TVM
design by: SSK-TE-02
sheet no.

QUANTUM CONSULTING ENGINEERS
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101
TEL: 206.957.3900 FAX: 206.957.3901
client

Welding to be done by an individual or fabricator who is WABO certified or approved by the Building Official to perform the work. All welds must be inspected and approved by a WABO certified special inspector.



1015 BUILDING TRASH ENCLOSURE
project 11/24/2025 19305.04
date job no.
drawn by: TVM
design by: SSK-TE-03
sheet no.

QUANTUM CONSULTING ENGINEERS
1511 THIRD AVENUE SUITE 323 SEATTLE, WA 98101
TEL: 206.957.3900 FAX: 206.957.3901
client

PRCNC20251558

TRASH ENCLOSURE OVERALL SITE PLAN FOR BLDG 1015

Title:

No.

Date

By

Cd.

Appl.

Revision



11/26/25

11/26/25

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