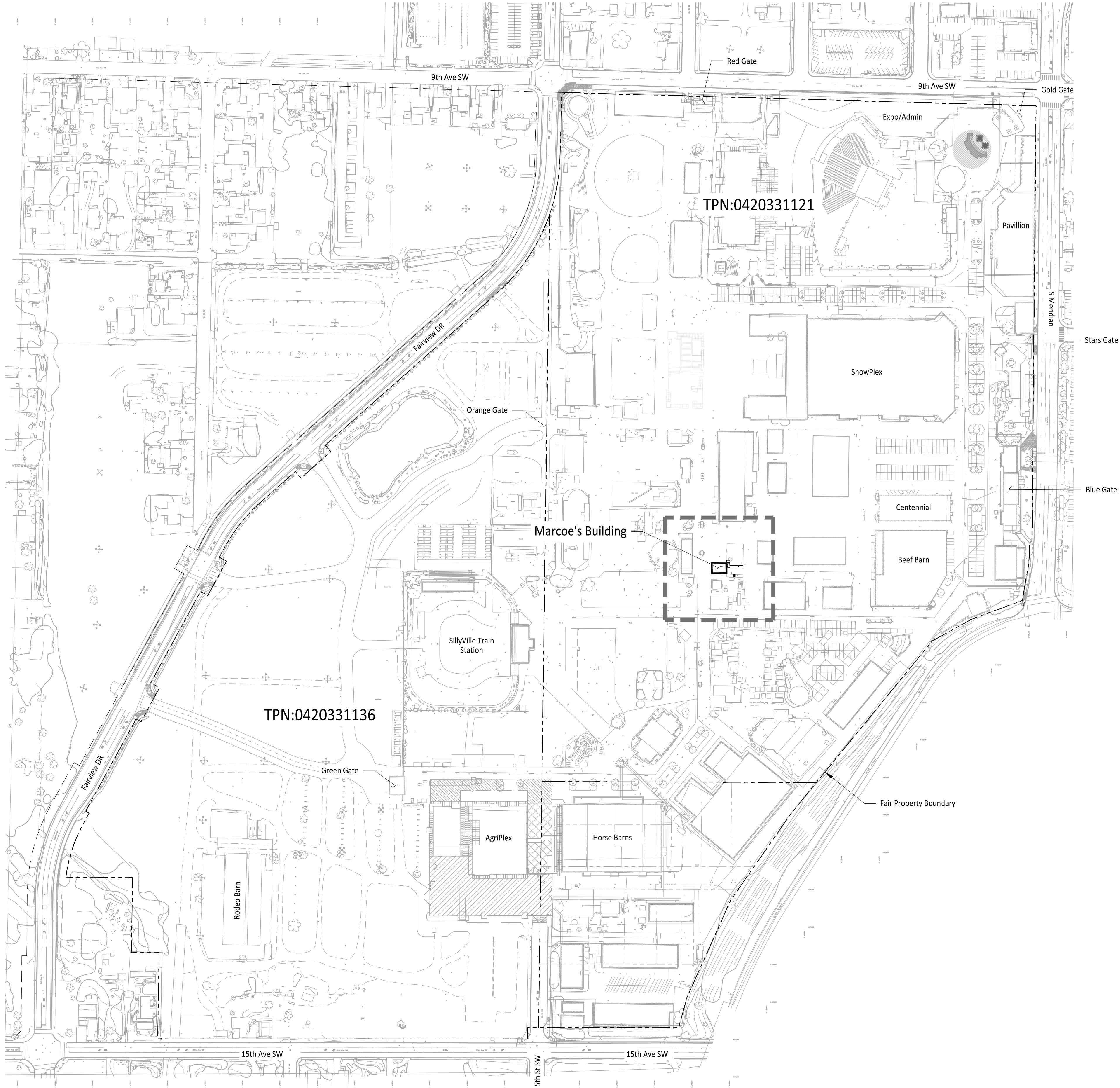


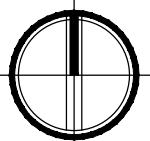
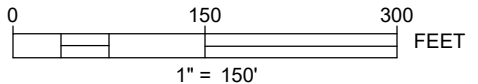
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File: 1507004010-VICINITYMAP.dwg



Prior to starting site work, request an erosion and sediment inspection through the CityView portal.

No proposed footings, posts, or supports shall be constructed on or above any existing public utility connections without first relocating the utility services or protecting it in place.

Any public facilities, i.e., utilities, curb, gutter, driveway approach, curb ramp, sidewalk, etc., broken now or during the course of construction shall be removed and replaced to current City Standard. Restoration limits and requirements shall be at the discretion of the City.



CALL TWO BUSINESS DAYS
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1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:

**Washington
STATE FAIR**

PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

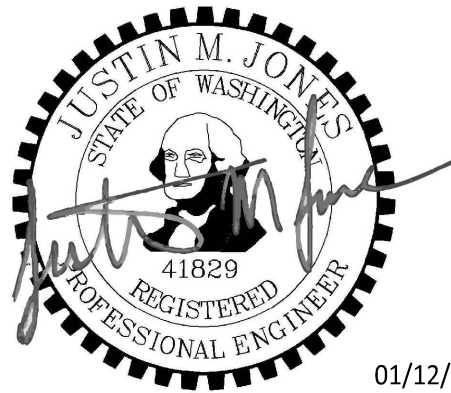
Project:

**Marcoe's Building
Relocation**

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE:

Vicinity Map

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

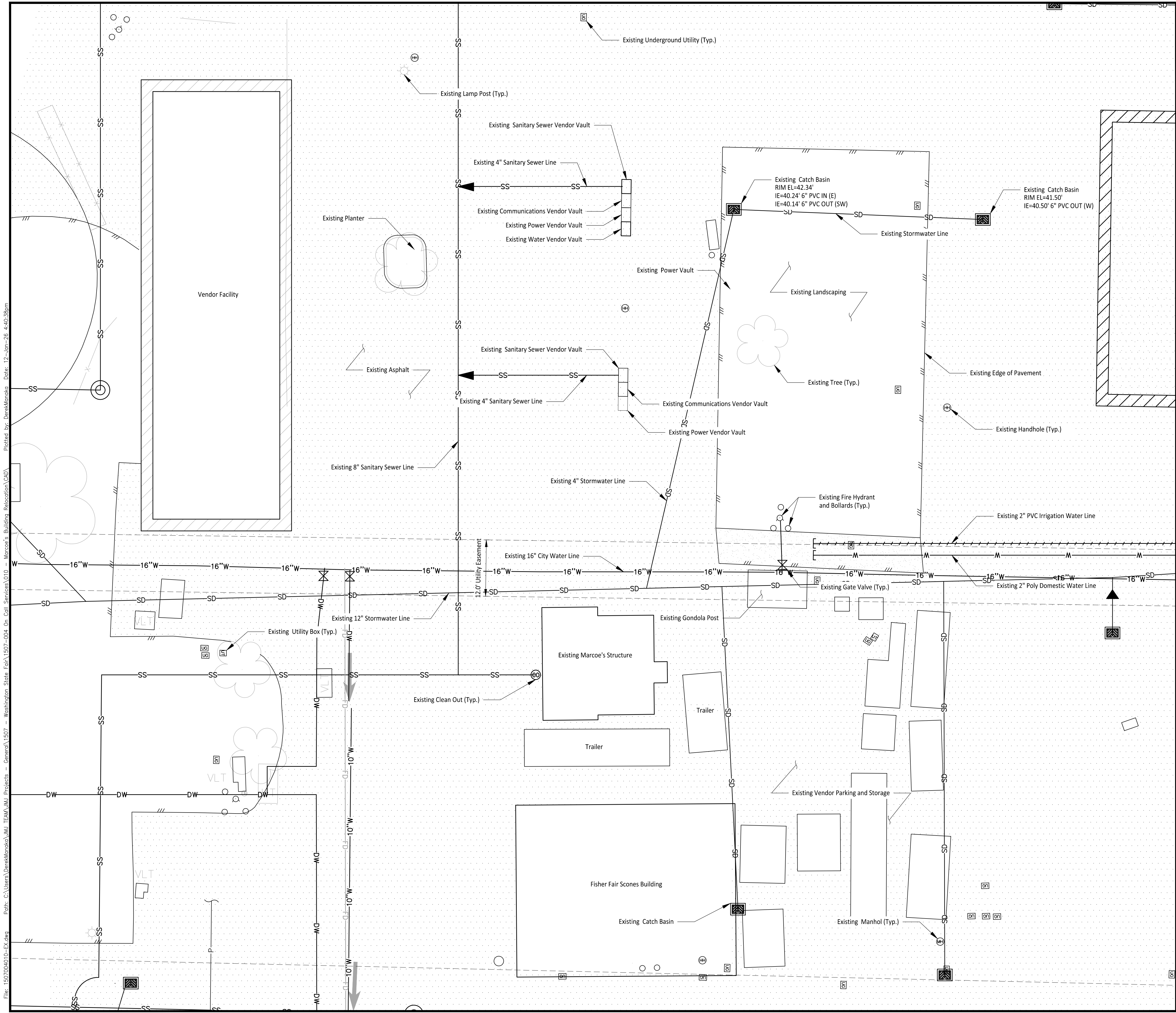
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SHEET NUMBER:

C1-101

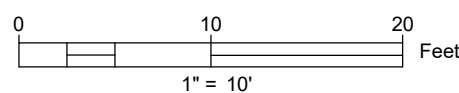
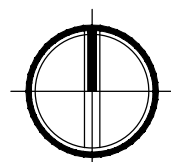
DWG.

OF



LEGEND

- Existing Asphalt
- Existing Gravel
- Stormwater Line
- Water Line
- Sanitary Sewer Line
- Fire Service Line
- Domestic Water Line
- Underground Power Line
- Irrigation Water Line
- Edge of Pavement
- Unknown Underground Utility
- Utility Box
- Manhole
- Handhole
- Catch Basin
- Clean Out
- Gate Valve
- Fire Hydrant



CALL TWO BUSINESS DAYS
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UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:

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STATE FAIR
PUYALLUP

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(253)841-5356

Architect:

Engineer:



JMJ Team
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Sumner, WA 98390
(206) 596-2020

Project:

Marcoe's Building
Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
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Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE

Existing Site Plan

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

JJ

SHEET NUMBER

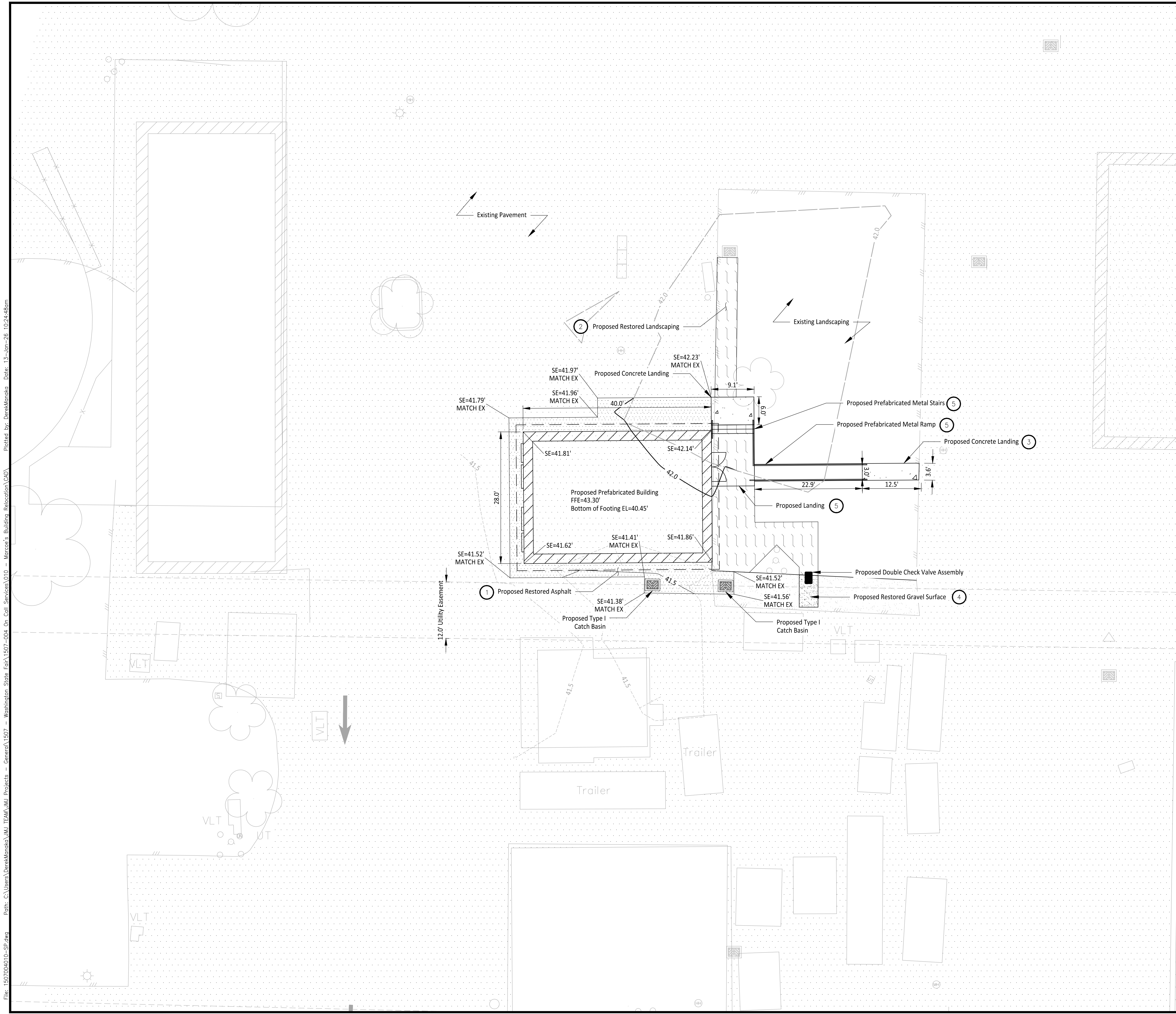
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DWG.

OF

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LEGEND

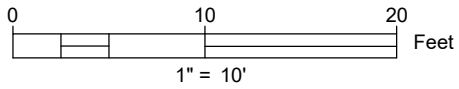
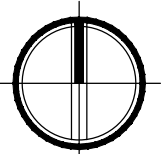
- Proposed Asphalt
- Proposed Landscaping
- Proposed Gravel
- Existing Gravel
- Existing Asphalt
- Roof Line
- Catch Basin
- Spot Elevation

CONSTRUCTION NOTES

- Restore Asphalt Pavement per Detail 2 on Sheet C2-303.
- Restore Landscaping per COP Standard Detail 01.02.08a on Sheet C2-303.
- Install Concrete Pavement per Detail 1 on Sheet C2-303.
- Restore Gravel Surfaces per Detail 3 on Sheet C2-303.
- Install Prefabricated Metal Ramp per Detail A on Sheet C2-201

Description ^a	Onsite	Offsite	Total
Existing Conditions			
Total Project Area ^b (ft²)	2,280-0.05 ac	0-0 ac	2,280-0.05 ac
Existing hard surface (ft²)	1,660-0.04 ac	0-0 ac	1,660-0.04 ac
Existing vegetation area (ft²)	620-0.01 ac	0-0 ac	620-0.01 ac
Proposed Conditions			
Total Project Area ^b (ft²)	2,280-0.05 ac	0-0 ac	2,280-0.05 ac
Amount of new hard surface (ft²)	90-0.00 ac	0-0 ac	90-0.00 ac
Amount of new pollution generating hard surface (PGHS) ^c (ft²)	0-0 ac	0-0 ac	0-0 ac
Amount of replaced hard surface (ft²)	1,660-0.04 ac	0-0 ac	1,660-0.04 ac
Amount of replaced PGHS ^c (ft²)	0-0 ac	0-0 ac	0-0 ac
Amount of new plus replaced hard surface (ft²)	1,750-0.04 ac	0-0 ac	1,750-0.04 ac
Amount of new + replaced PGHS (ft²)	0-0 ac	0-0 ac	0-0 ac
Amount of existing hard surfaces converted to vegetation (ft²)	0-0 ac	0-0 ac	0-0 ac
Amount of Land Disturbed (ft²)	2,280-0.05 ac	0-0 ac	2,280-0.05 ac
Vegetation to Lawn/Landscaped (acres)	0-0 ac	0-0 ac	0-0 ac
Native Vegetation to Pasture (acres)	0-0 ac	0-0 ac	0-0 ac
Existing hard surface to remain unaltered (ft²)	530-0.01 ac	0-0 ac	530-0.01 ac
Existing vegetation area to remain unaltered (ft²)	0-0 ac	0-0 ac	0-0 ac

^a All terms are defined in the 2019 Ecology Manual glossary.
^b The total project area in the existing condition should typically match the total project area in the proposed condition.
^c The "amount of new PGHS" should be part of or all of "amount of new hard surfaces"
^d The "amount of replaced PGHS" should be part of or all of the "amount of replaced hard surfaces"



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UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:

Washington
STATE FAIR
PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

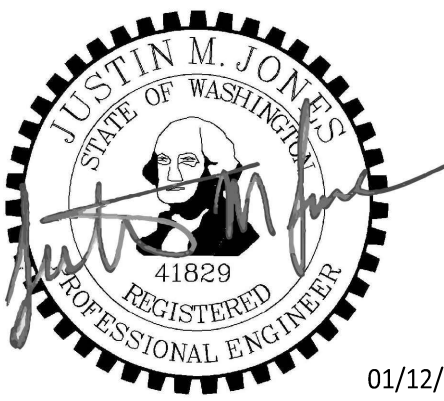
Project:

Marcoe's Building
Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE

Site Plan

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

JJ

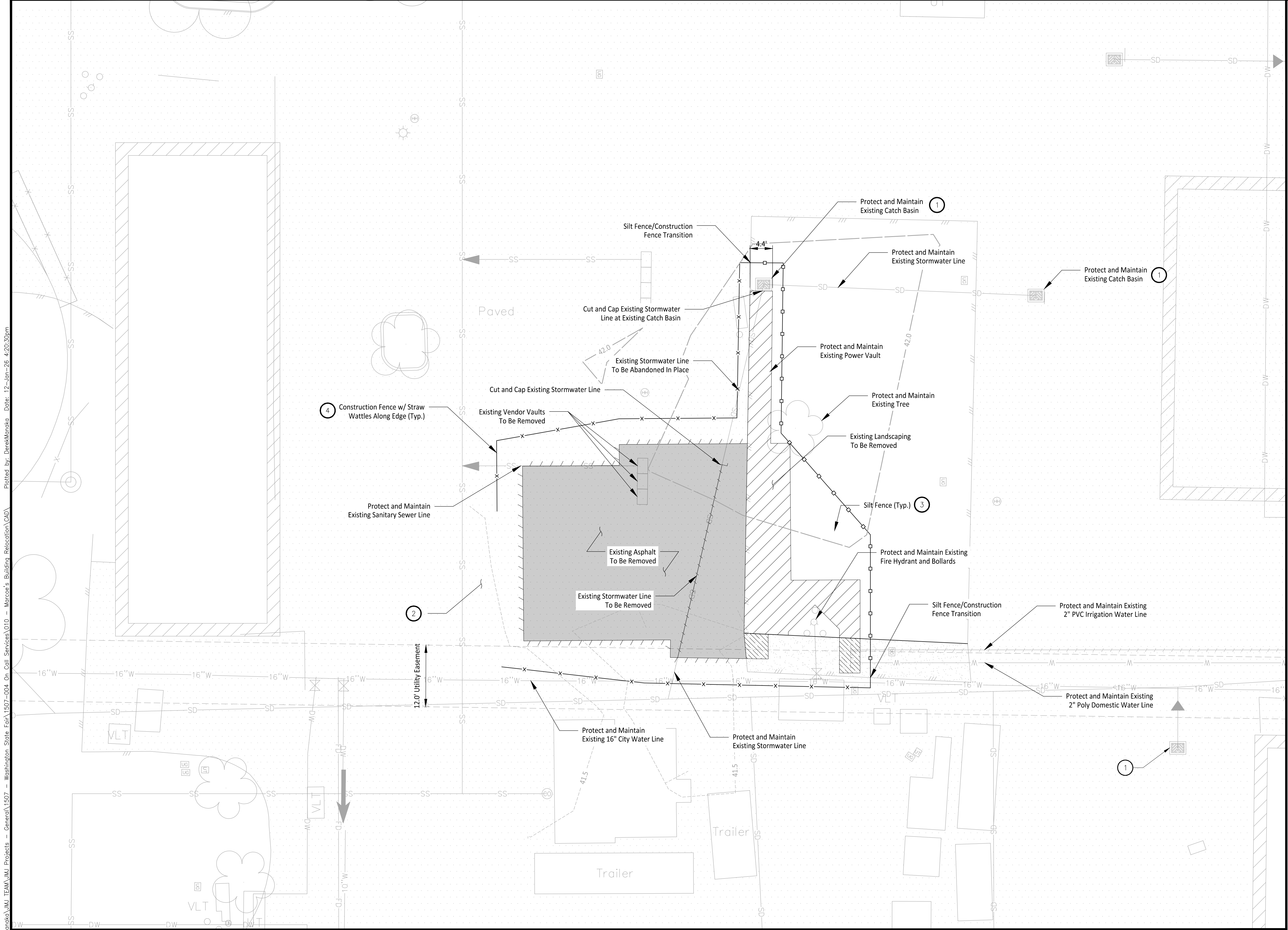
SHEET NUMBER

C1-202

DWG.

OF

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File: 1507004010-DWG.dwg



CONSTRUCTION SEQUENCE

- Obtain required permits and hold a preconstruction meeting with the City.
- Establish clearing and grading limits.
- Construct temporary construction entrance.
- Construct perimeter ditches, silt fences, and other erosion control devices as shown.
- Schedule an erosion control inspection with the City.
- Construct storm drainage retention/detention facilities. Provide emergency overflow as applicable.
- All ditches and swales as shown shall be provided to direct all surface water to baker tank as clearing and grading progresses. No uncontrolled surface water shall be allowed to leave the site at any time during the grading operations.
- Clearly state at what point grading activities can begin, usually only after all drainage and erosion control measures are in place.
- Identify erosion control measures which require regular maintenance.

CONSTRUCTION NOTES

- Maintain and install storm drain inlet protection in all existing catch basins within the project vicinity per WSDOT Standard Plan I-40.20-00 and storm drain barriers per City of Puyallup Standard Details 02.03.05 and 02.03.06.
- Existing asphalt drive aisle will be used as construction entrance. Contractor to ensure construction entrance be maintained free of sediments and debris. DOE BMP C106 Wheel Wash to be used as necessary.
- Install silt fence per City of Puyallup Standard Detail 02.03.02. Silt Fence to mark clearing limits in the field.
- Install straw wattles in accordance with DOE BMP 235 along High Visibility Fence and around excavation limits.

LEGEND

- | | |
|--|------------------------------------|
| | Existing Asphalt |
| | Existing Asphalt To Be Removed |
| | Existing Landscaping To Be Removed |
| | Existing Gravel To Be Removed |
| | Pavement Sawcut Line |
| | Construction Fence |
| | Silt Fence |

GENERAL NOTES

- Construct Pipe trench bedding and backfill as necessary per City of Puyallup Standard Detail 06.01.01.
- Install straw bale barriers, wattles, and other necessary TESC measures as required.
- Exposed soils shall be watered as necessary to prevent dust from leaving the site.
- All concrete handling and equipment washing shall be in accordance with Washington DOE BMP C151.
- Install high visibility construction fence where silt fence is not required as shown per DOE BMP C103.
- A CESCL shall be available on-site or on-call for the duration of construction operations.
- From April 1 to October 31 all disturbed areas at final grade & all exposed areas that are scheduled to remain unworked for 30+ days shall be stabilized within 10 days. From November 1 to March 31 all exposed soils at final grade shall be stabilized immediately using permanent or temporary measures. Exposed soils with an area +5,000 sqft that are scheduled to remain unworked for more than 24 hrs and exposed areas of less than 5,000 sqft that will remain unworked for more than 7 days shall be stabilized immediately. All disturbed areas which are not planned to be constructed on within 90 days from time of clearing & grading shall be revegetated with the native vegetation.
- All BMP's per City of Puyallup standards and protection CSWPPP.
- Contractor to install protection devices for trees proposed for retention

Owner/Developer:

**Washington
STATE FAIR**
PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:

**Marcoe's Building
Relocation**

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



01/12/26

REV	DATE	DESCRIPTION

SHEET TITLE

**Demolition and
TESC Plan**

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

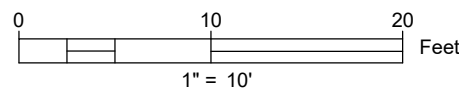
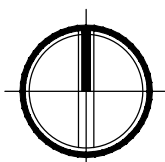
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SHEET NUMBER

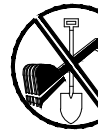
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DWG.

OF

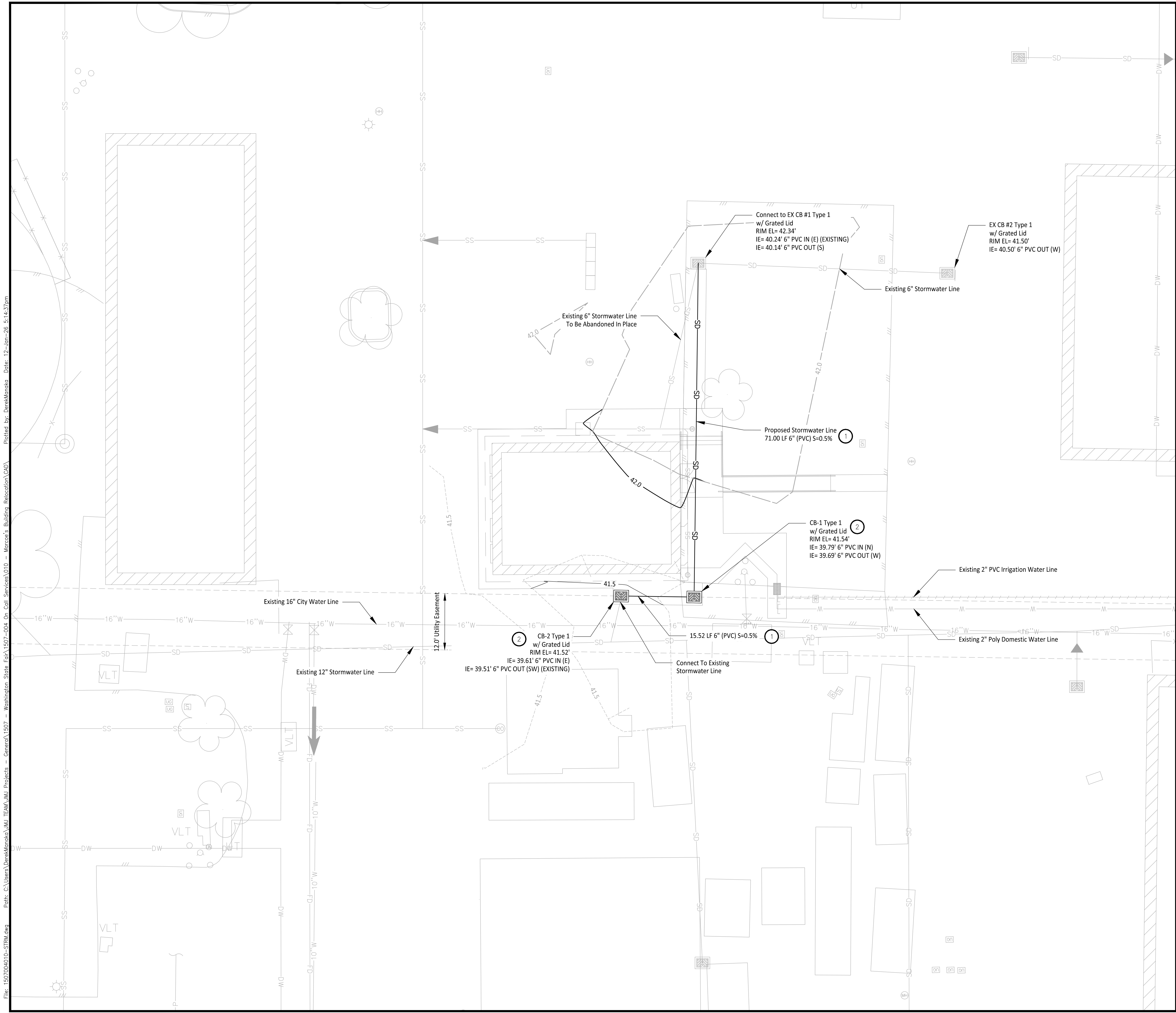


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UTILITIES UNDERGROUND LOCATION CENTER

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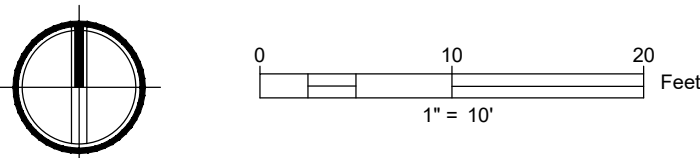


LEGEND

- Existing Asphalt
- Stormwater Line
- Water Line
- Irrigation Line
- Catch Basin
- Utility Cap
- Double Check Valve
- Fire Hydrant

CONSTRUCTION NOTES

- All Trenches to be excavated and filled per City of Puyallup Standard Detail 06.01.01 on Sheet C2-301
- Install Type I Catch Basin per City of Puyallup Standard Detail 02.01.02 on Sheet C2-301



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UTILITIES UNDERGROUND LOCATION CENTER

Owner/Developer:

**Washington
STATE FAIR**
PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

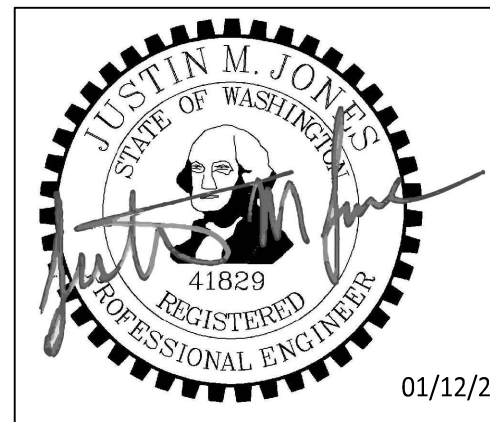
Project:

Marcoe's Building
Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE:

Composite
Stromwater Plan

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

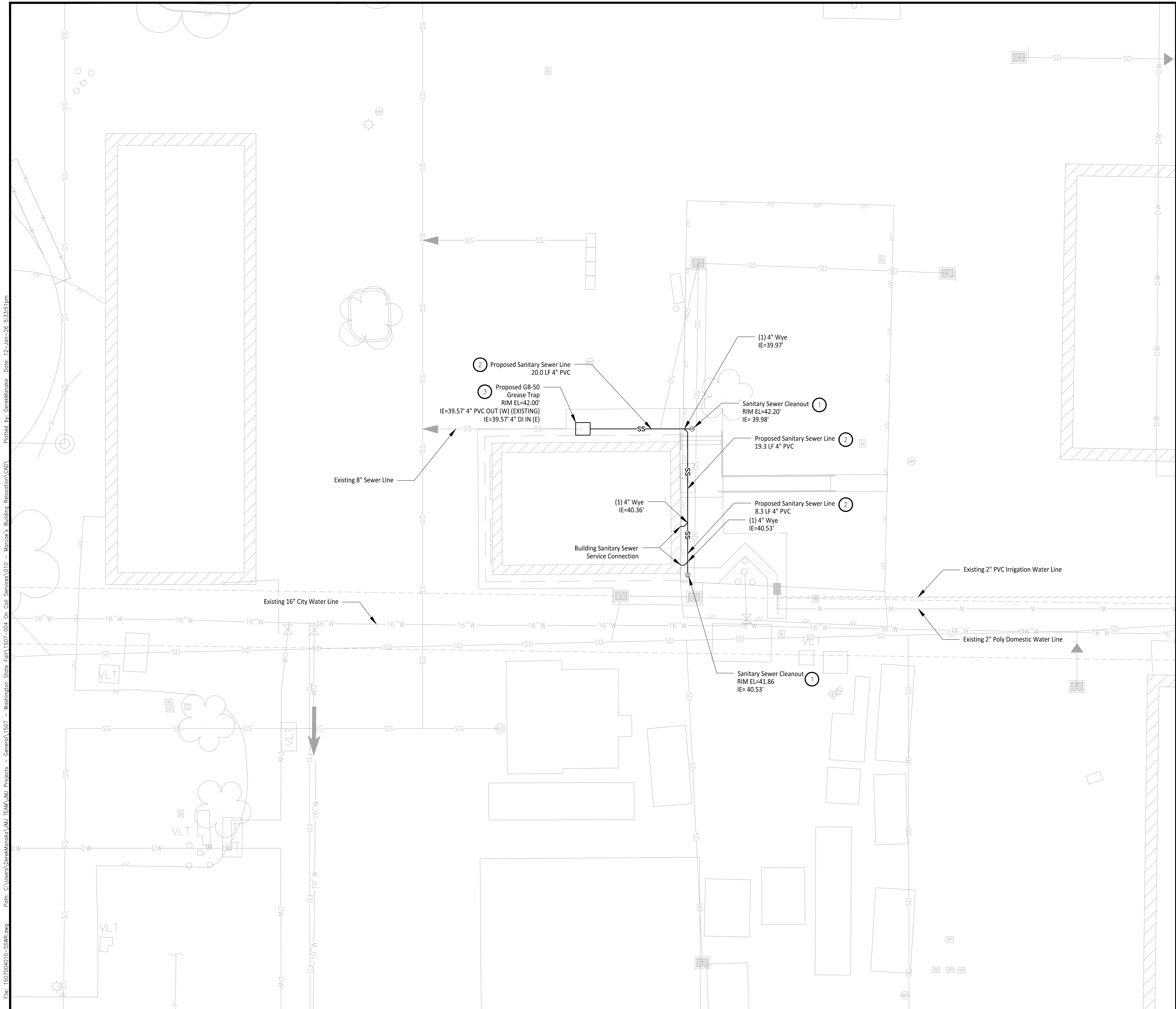
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

C2-101

DWG.

OF



LEGEND

- | | |
|---|--------------------|
|  | Stormwater Line |
|  | Water Line |
|  | Irrigation Line |
|  | Catch Basin |
|  | Utility Cap |
|  | Double Check Valve |
|  | Fire Hydrant |

CONSTRUCTION NOTES

1. Install Commercial Side Sewer Cleanout per City of Puyallup Standard Detail 04.03.04 on Sheet C2-301
2. All Trenches to be excavated and filled per City of Puyallup Standard Detail 06.01.01 on Sheet C2-301
3. Install GB-50 Grease Trap per Spec. Sheet on Sheet C2-301

Owner/Developer:

Washington
STATE FAIR

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineers:



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(206) 596-2020

Project:

Marcoe's Building Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
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[illegible]

SHEET TITLE

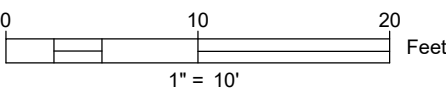
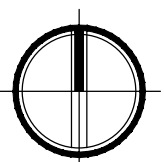
Composite Sewer Plan

PROJ. NO: 1507-004-010	
DATE: January 12, 2026	
DRAWN BY: AD	DESIGN BY: JJ

C2-102

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OF

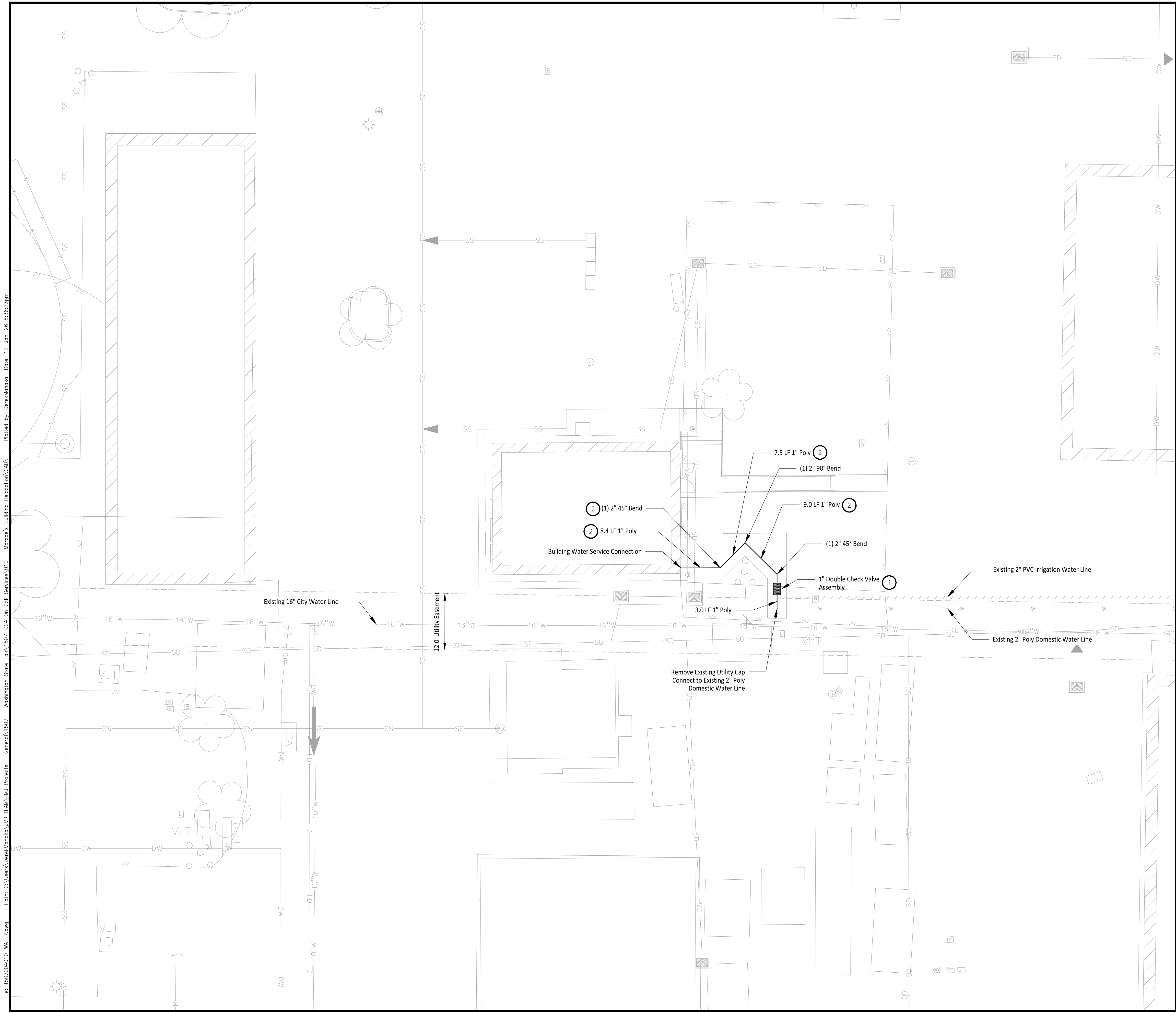


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UTILITIES UNDERGROUND LOCATION CENTER

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LEGEND

	Existing Asphalt
	Stormwater Line
	Water Line
	Irrigation Line
	Catch Basin
	Utility Cap
	Double Check Valve
	Fire Hydrant

#

CONSTRUCTION NOTES

1. Install 1" Double Check Valve Assembly per City of Puyallup Standard Detail 03.04.01 on Sheet C2-301
2. All Trenches to be excavated and filled per City of Puyallup Standard Detail 06.01.01 on Sheet C2-301

Owner/Developer:

**Washington
STATE FAIR**

PUYALLUP

Washington State Fair
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Puyallup, WA 98371
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Architect:

Engineer:



JMJ Team
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Sumner, WA 98390
(206) 596-2020

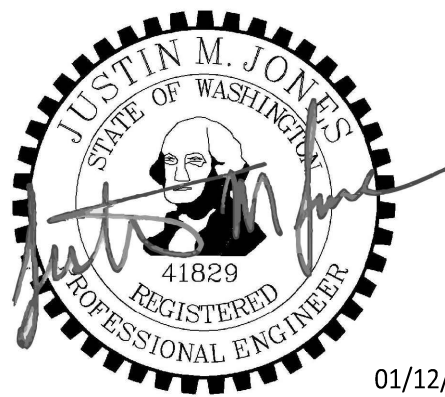
Project:

**Marcoe's Building
Relocation**

PRPF20251347

**ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY**

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE:

**Composite
Water Plan**

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

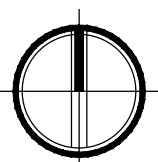
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SHEET NUMBER:

C2-103

DWG.

OF



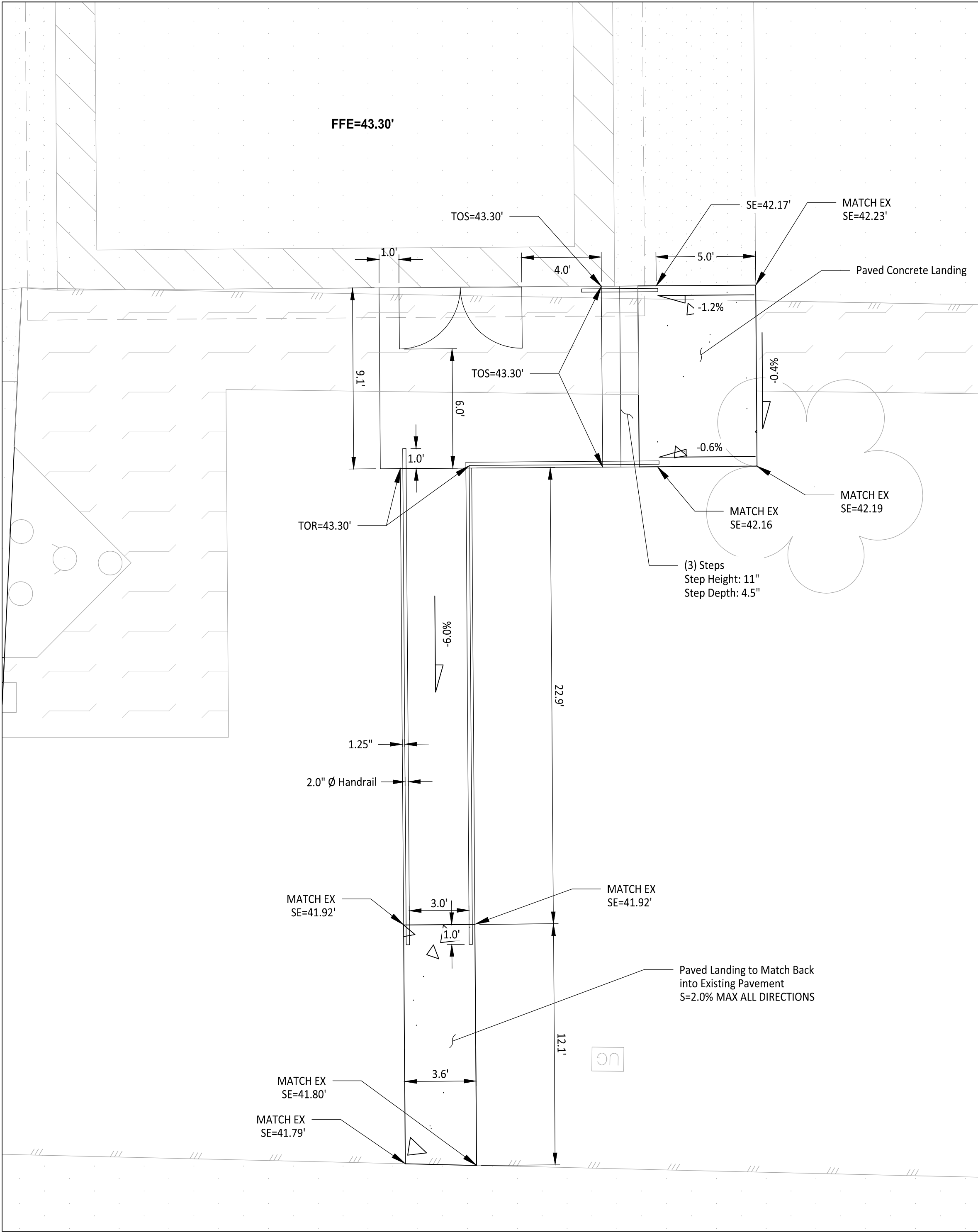
0 10 20
1" = 10' Feet



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UTILITIES UNDERGROUND LOCATION CENTER**

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PREFABRICATED RAMP DETAIL 1
1/4"=1'

Owner/Developer:

Washington
STATE FAIR
PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:

Marcoe's Building
Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE:

Ramp Detail

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY: AD

DESIGN BY: JJ

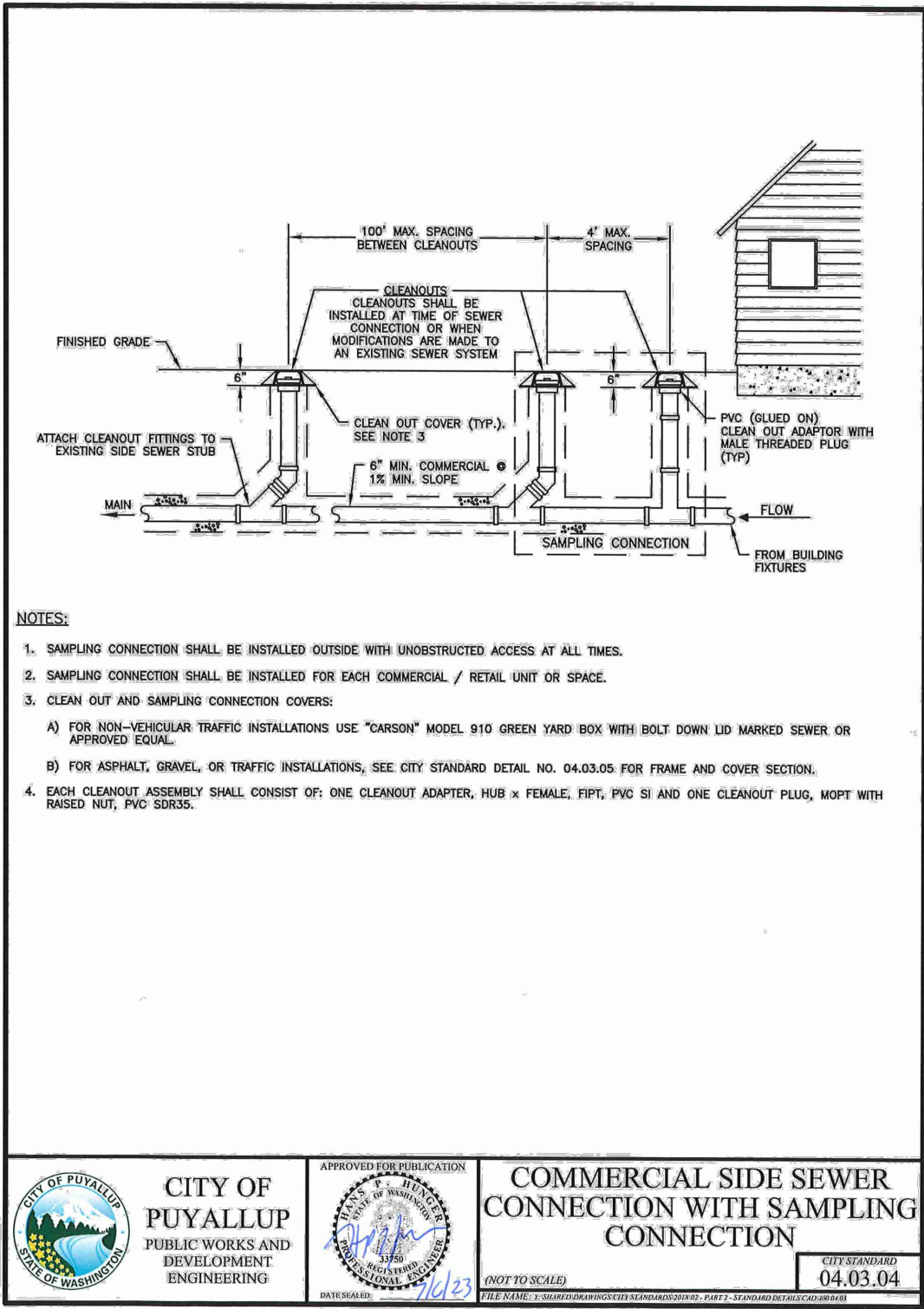
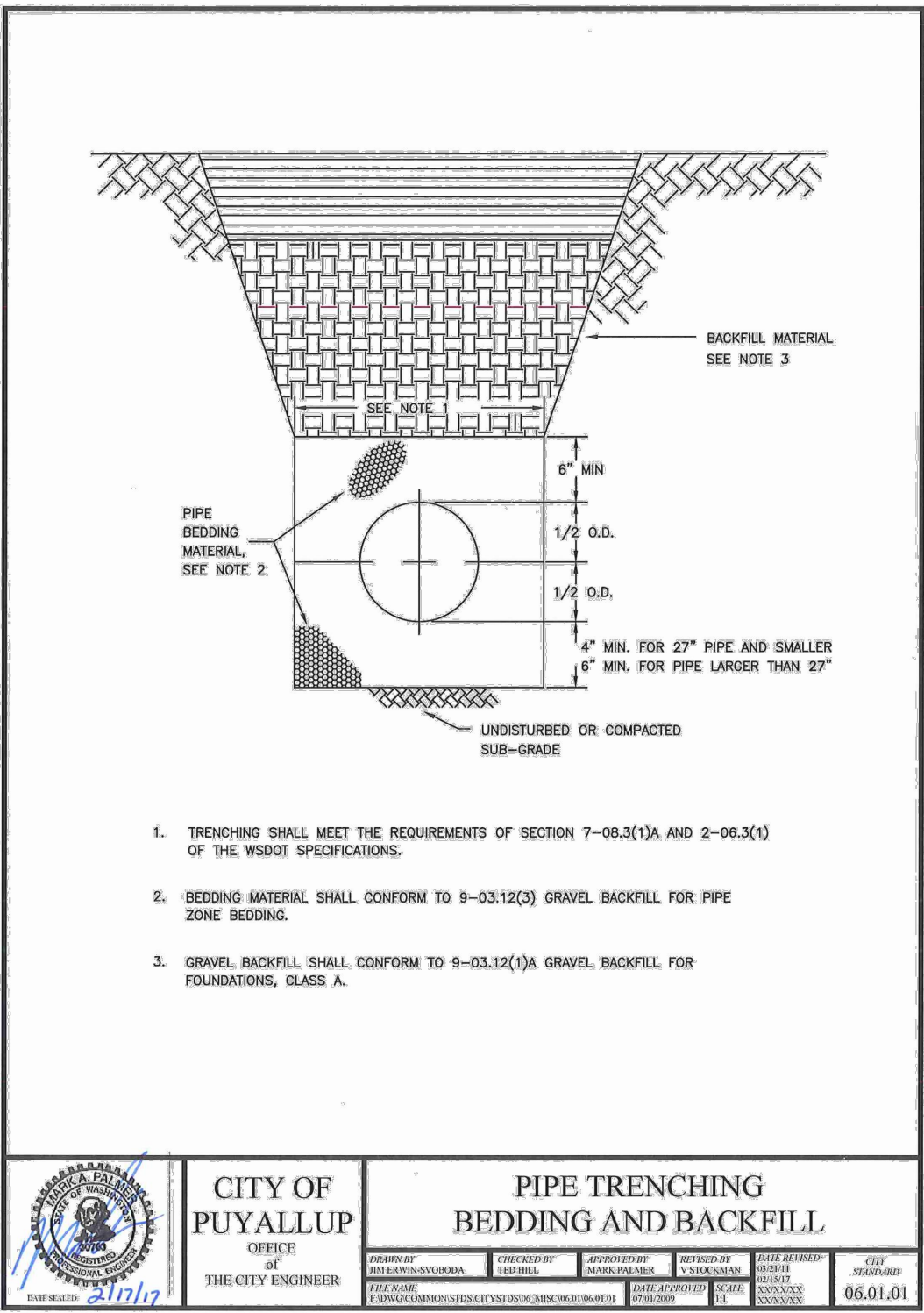
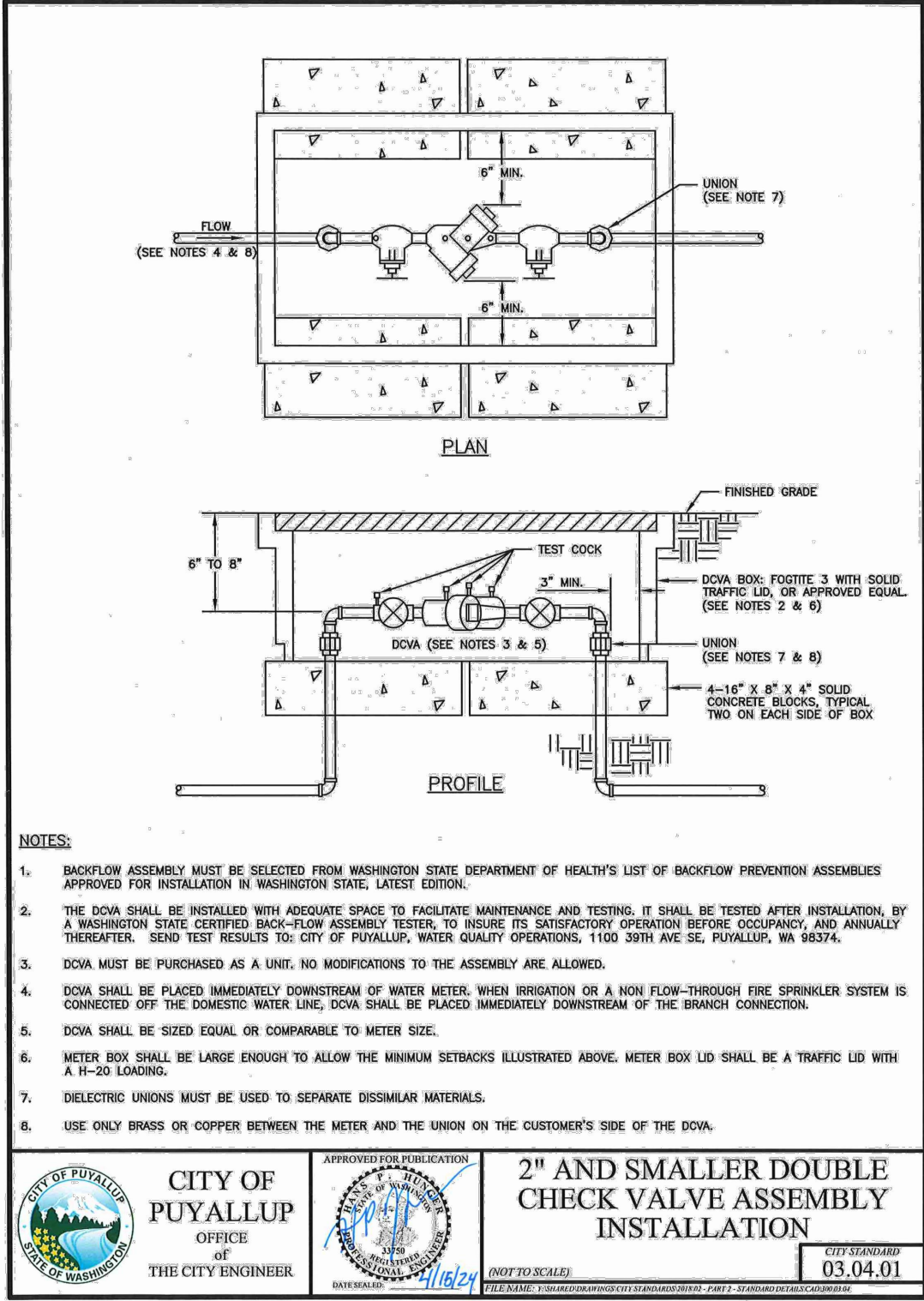
SHEET NUMBER:

C2-201

DWG.

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UTILITIES UNDERGROUND LOCATION CENTER

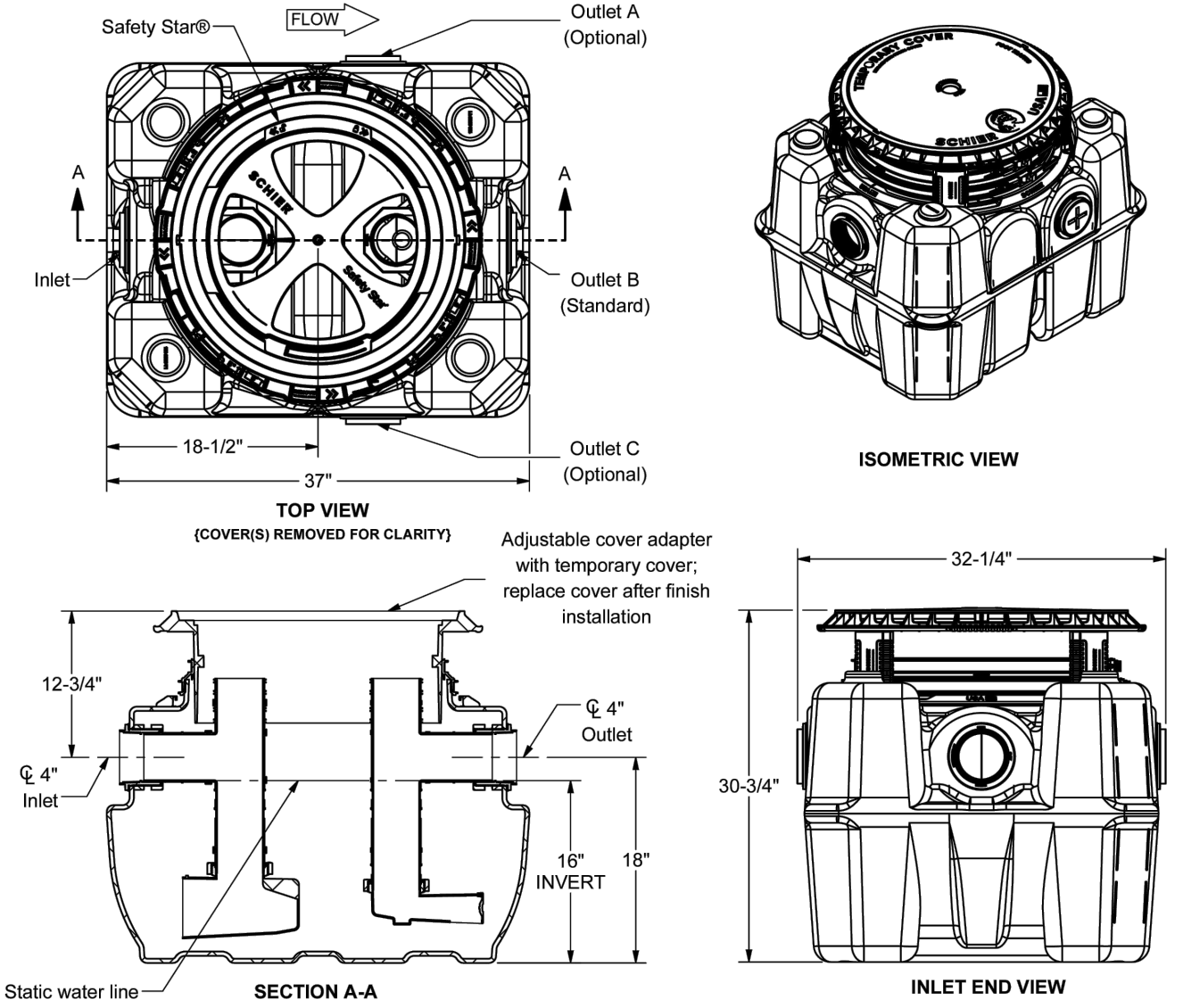


- SPECIFICATION NOTES**
- (1) 4" FPT Inlet/outlet with 4" plain and fittings
 - (2) Unit weight: 78 lbs. For wet weight, add 542 lbs. For traffic-rated cover(s), add 90 lbs per cover. For pedestrian cover(s), add 7 lbs per cover.
 - (3) Maximum operating temperature: 150° F continuous
 - (4) Liquid Capacity: 65 gal
Grease Capacity (50 GPM): 439 lbs (60 gal)
Grease Capacity (75 GPM): 287 lbs (43 gal)
Solids Capacity: 13 gal
 - (5) For gravity drainage applications only
 - (6) Do not use for pressure applications
 - (7) Cover placement allows full access to tank for proper maintenance
 - (8) Vent not required unless per local code
 - (9) Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping
 - (10) Integral air relief / Anti-siphon / Sampling access
 - (11) Cover adapters provide an adjustable height range of 5"
 - (12) Designed for below-grade, above-grade, indoor or outdoor installations
 - (13) Safety Star® (450 lbs load capacity) is an access restrictor built into each cover adapter to prevent accidental entry into tanks

CERTIFIED PERFORMANCE
Great Basin® hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

ENGINEER SPECIFICATION GUIDE
Schier Great Basin® grease interceptor model GB-50 shall be lifetime guaranteed and made in USA of seamless, molded polyethylene with minimum 3/8" uniform wall thickness. Interceptor shall be furnished for above or below grade installation with adjustable cover adapter, Safety Star® access restrictor built into each cover adapter, and three outlet options. This unit is certified for hydromechanical performance to ASME A112.14.3 (Type D) and CSA B481.1. Interceptor flow rate shall be 50 GPM or 75 GPM. Interceptor grease capacity shall be 439 lbs.

COVERS SOLD SEPARATELY
This unit is provided with temporary cover(s) intended for the duration of jobsite installation. Purchase one of the following finish covers.
• T24-GI (8044-000-01): Traffic-rated (AASHTO H-20) cast iron cover shall provide water/gas-tight seal and have a minimum of 16,000 lbs load capacity. For outdoor installation.
• P24-GI (8045-000-01): Pedestrian-rated poly cover shall provide water/gas-tight seal and have a minimum of 2,000 lbs load capacity. For indoor installation.



SPECIFICATION SHEET			
SCHIER 8455 Woodland Dr. Shawnee, KS 66218 tel: 913-951-3300 fax: 913-951-3399 schierproducts.com Made in the U.S.A.	MODEL NUMBER	GB-50	
	PART NUMBER	4025-300-01	
	DESCRIPTION	GB-50 GREASE INTERCEPTOR 50 GPM / 75 GPM, 4" PLAIN/FPT CONNECTIONS	
	DRAWN BY	C.FINCHAM	
DATE		05/20/2025	REV A ECO 00108
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Owner/Developer:

**Washington
STATE FAIR**

PUYALLUP

Washington State Fair
110 9th Ave SW
Puyallup, WA 98371
(253)841-5356

Architect:

Engineer:



JMI Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:

Marcoe's Building
Relocation

PRPF20251347

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE

Misc. Details

PROJ. NO: 1507-004-010

DATE: January 12, 2026

DRAWN BY: AD

DESIGN BY: JJ

SHEET NUMBER

C2-301

DWG.

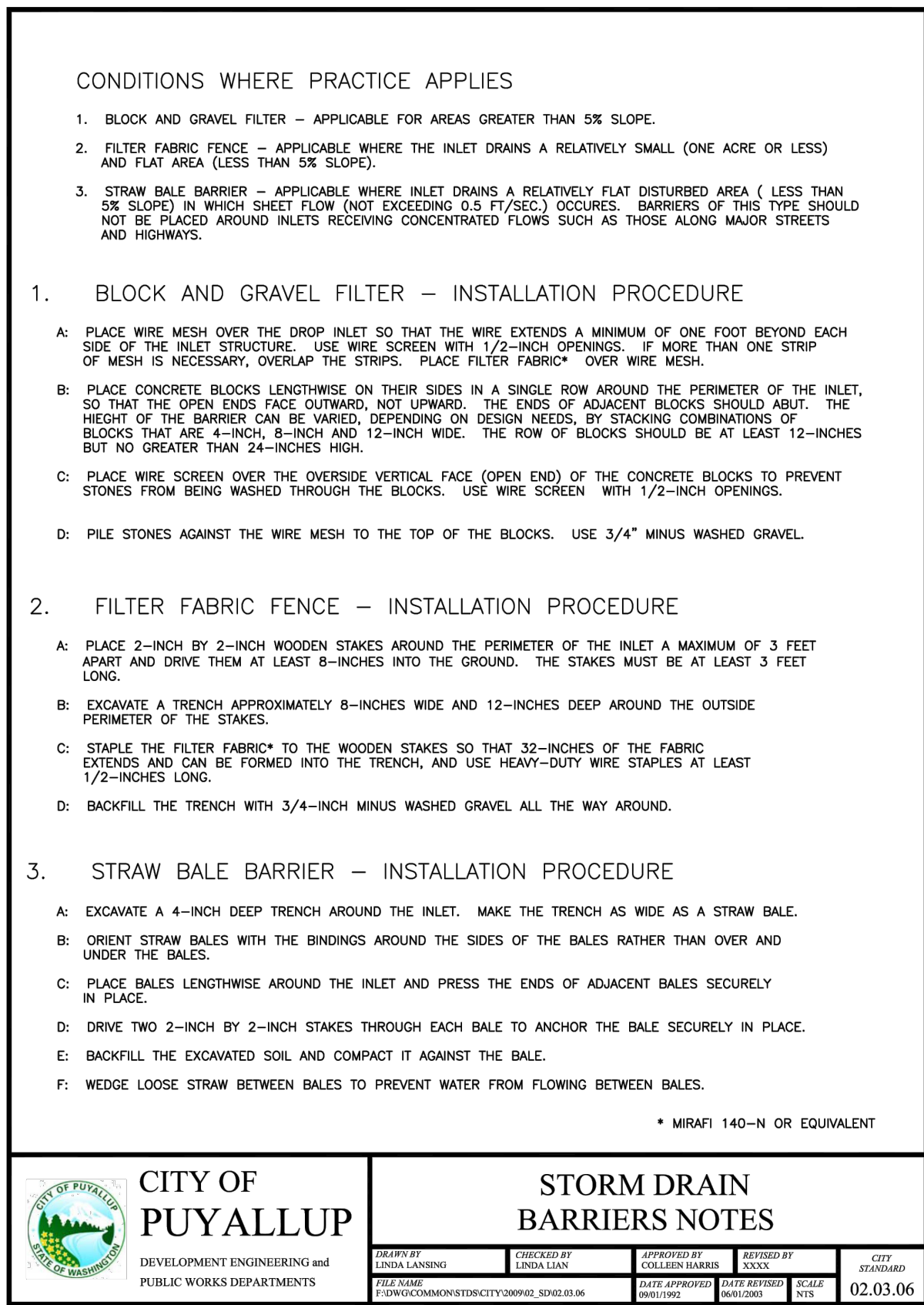
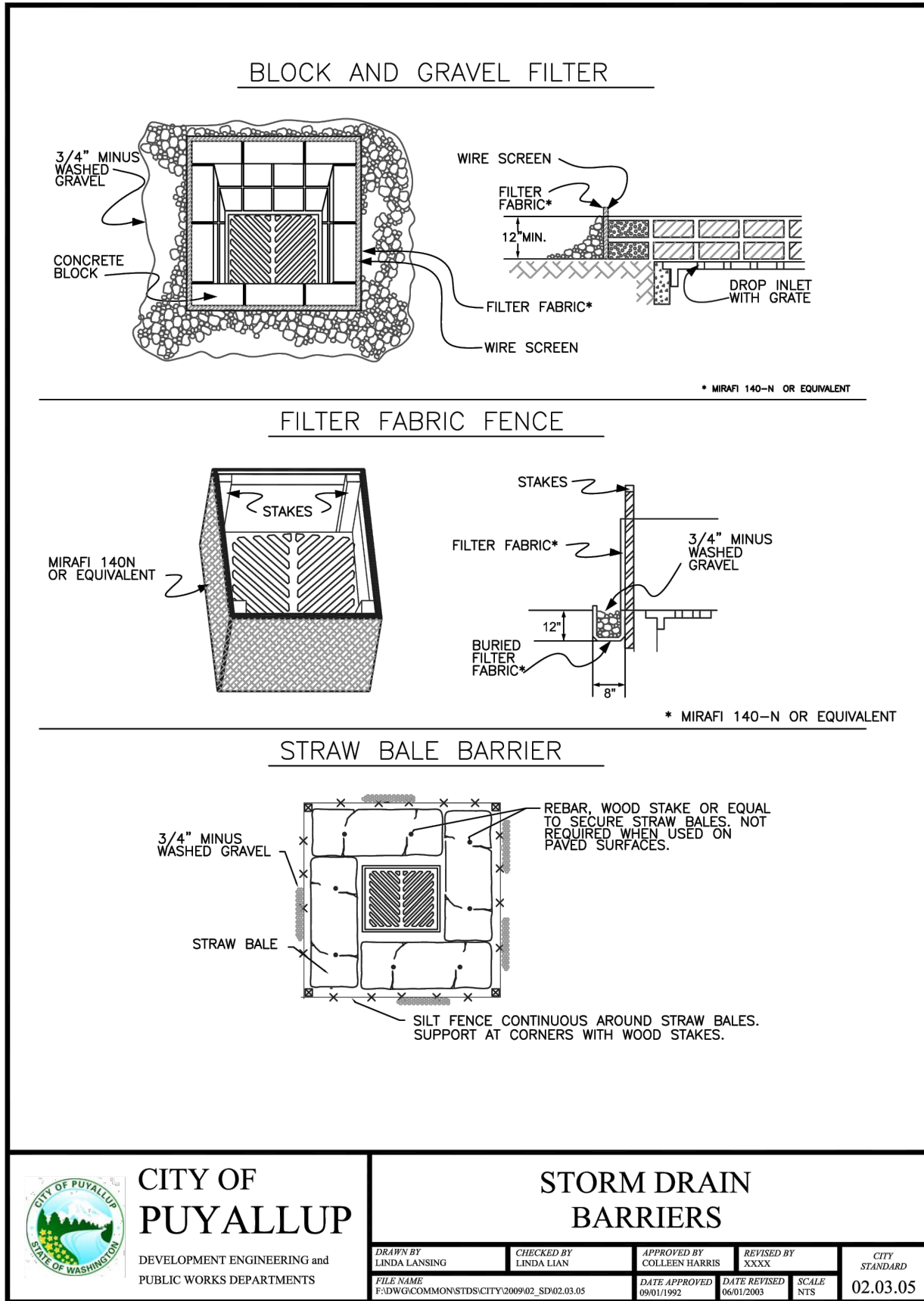
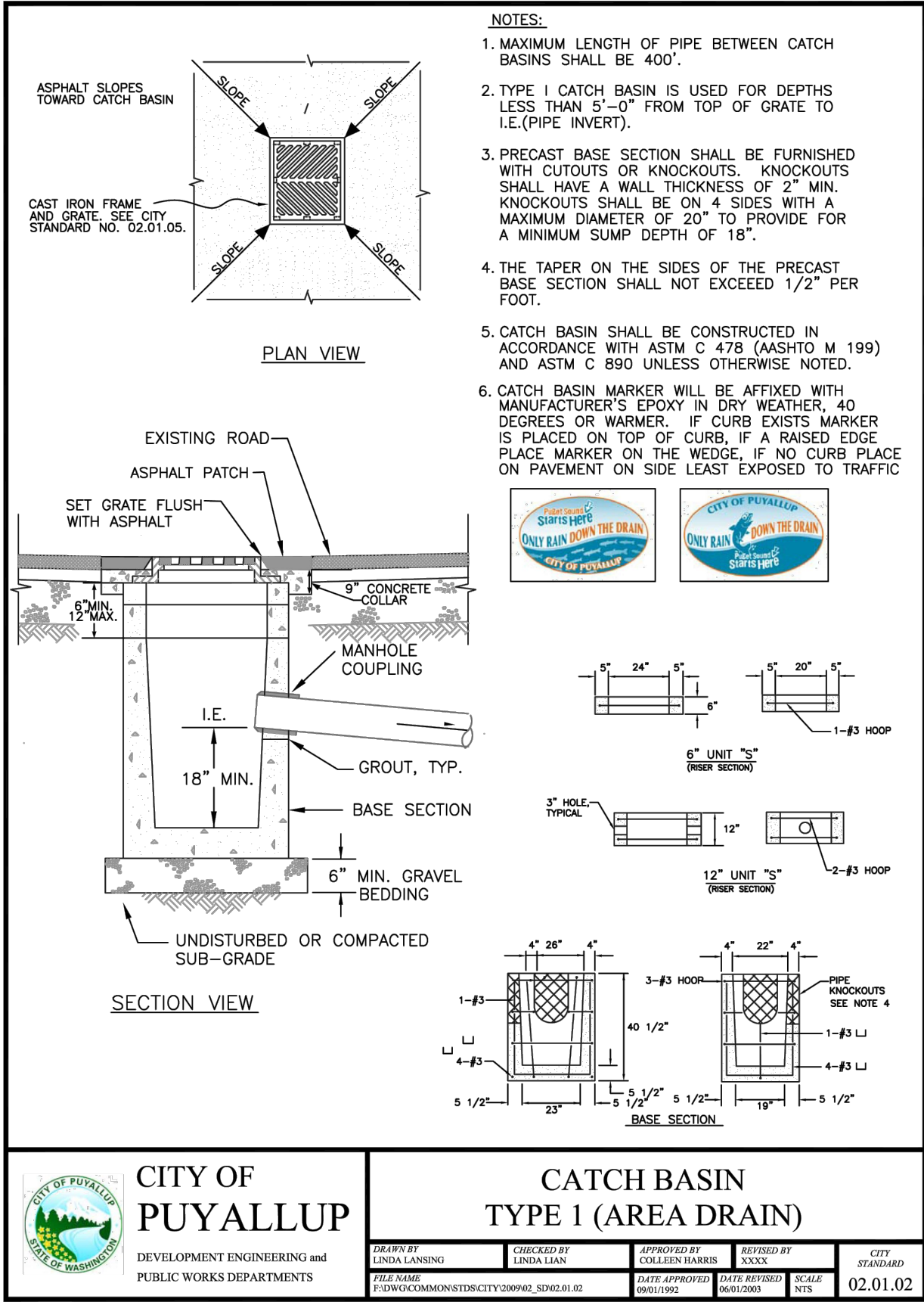
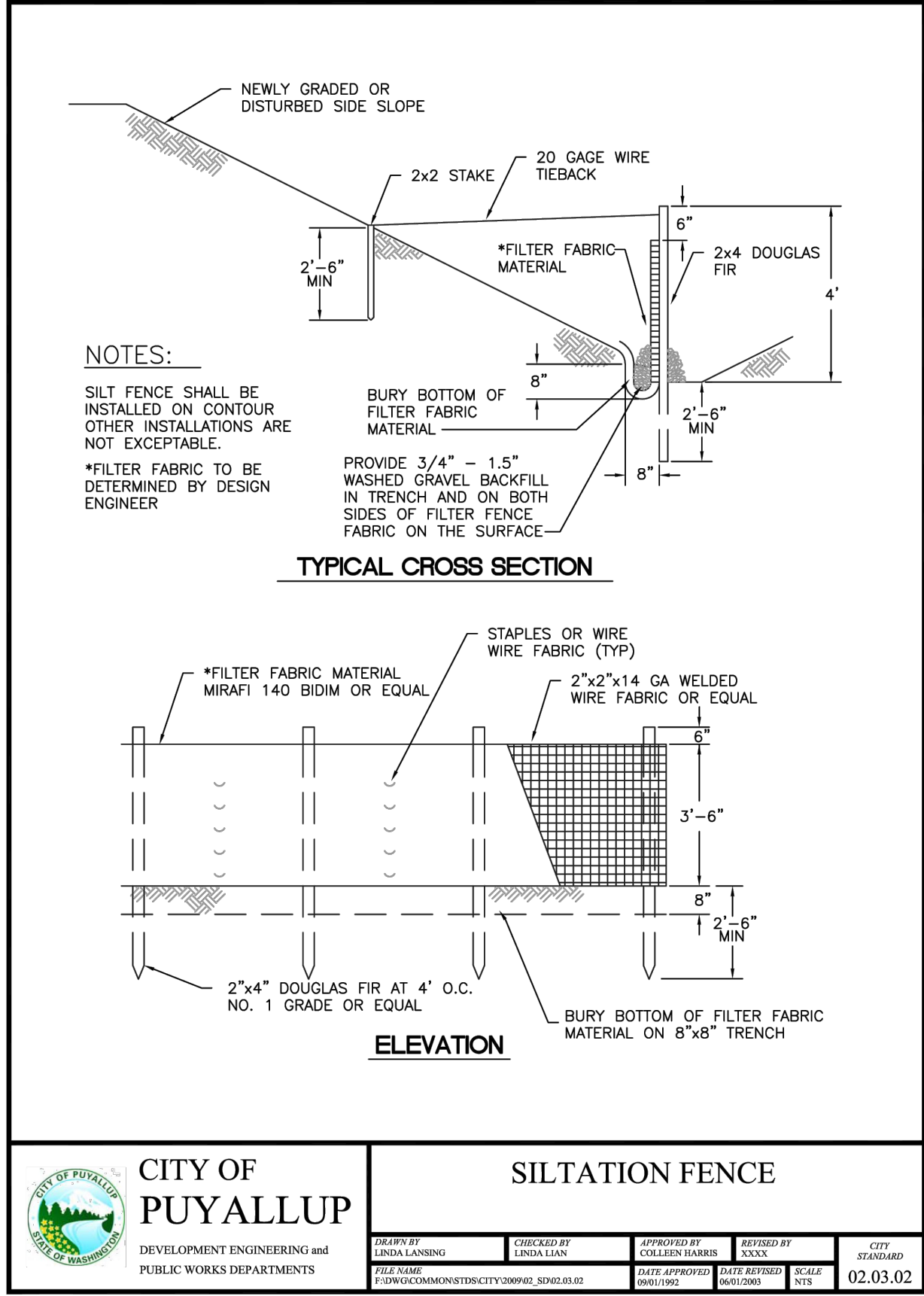
OF

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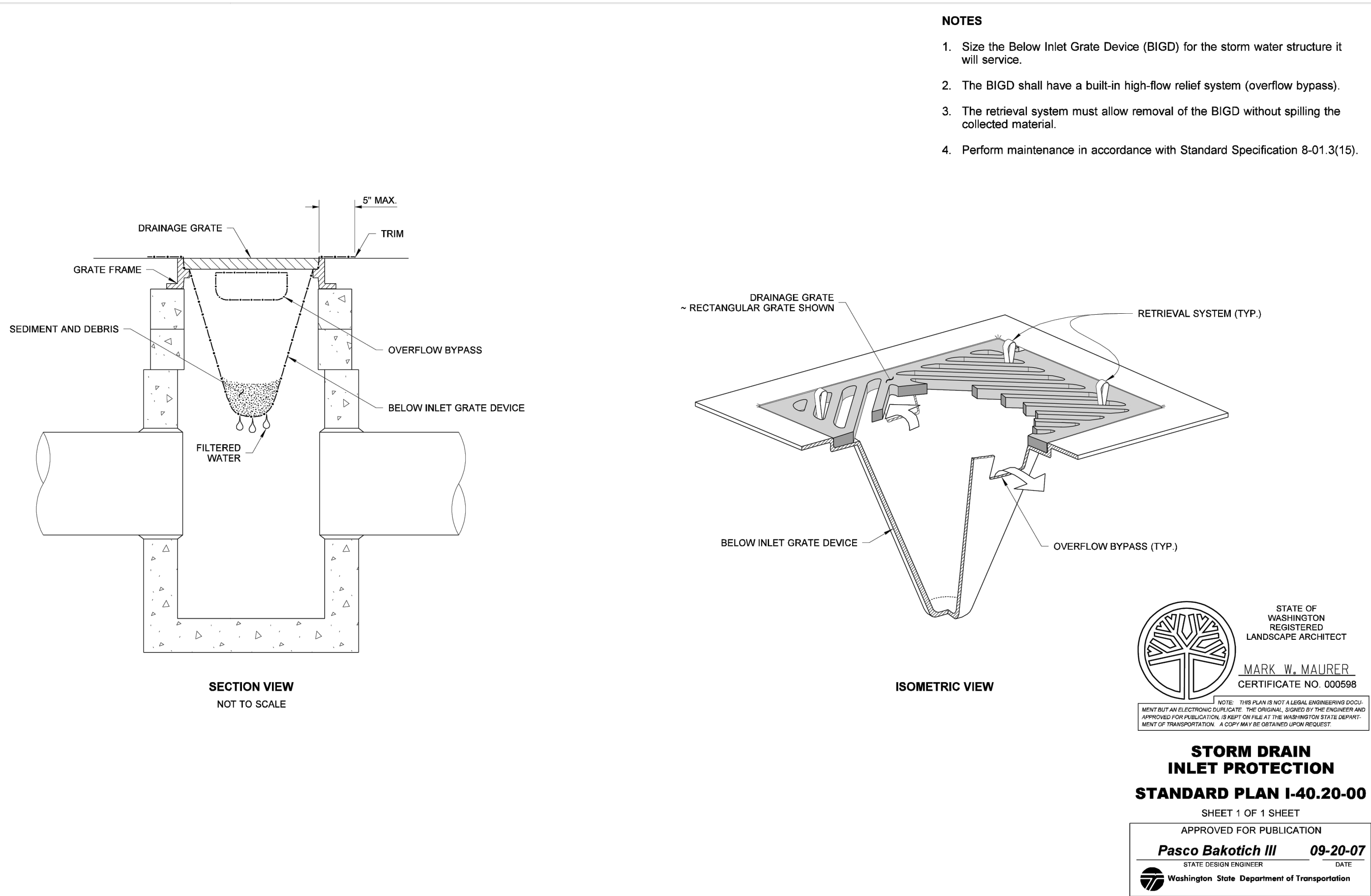


1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER

Plotted by: DerekMankala Date: 13-Jan-26 8:56:03am
Path: C:\Users\DerekMankala\OneDrive\Projects - General\1507 - Washington State Fair\1507-004 On Call Services\010 - Marcoe's Building Relocation\CAD
File: 1507004010-01.dwg



DRAWN BY: USA CYFORD



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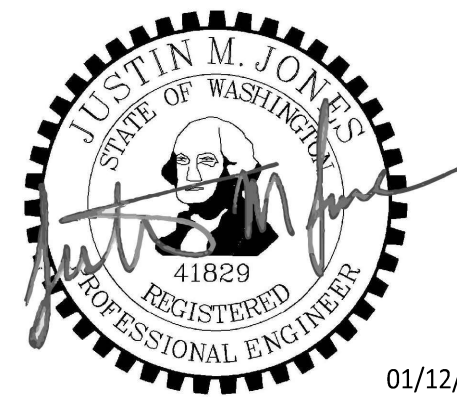
Project:

Marcoe's Building Relocation

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Building Permit



REV	DATE	DESCRIPTION

SHEET TITLE

Misc. Details

PROJ. NO.: 1507-004-010

DATE: January 12, 2026

DRAWN BY:

DESIGN BY:

AD

JJ

SHEET NUMBER

C2-302

DWG.

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