

After recording return to:

City Clerk
City of Puyallup
333 South Meridian
Puyallup, WA 98371

Document Title: Stormwater Outfall Management & BMP Facilities Agreement
Grantee: City of Puyallup
Grantor: PUYALLUP SCHOOL DISTRICT
Legal Description: EXHIBIT A
Complete Legal Description on 5 **Page of this Document**
Assessor's Tax Parcel or Account Numbers: 0419043117
Reference Number of Related Document(s): NONE

Stormwater Management & BMP Facilities Agreement

- A. Parties.** The parties to this agreement are Grantee City of Puyallup, a Washington State municipal corporation (City), and Grantor landowner PUYALLUP SCHOOL DISTRICT (Landowner).
- B. Property.** Landowner is the owner of certain real property (Property), which is legally described in this document and is located at the following address:
1501 39TH AVE SW, PUYALLUP, WA 98373.
- C. Development Plan & Stormwater Facilities.** The site, subdivision or other development plan (Plan) for the Property, specifically known, entitled or described as PUYALLUP SCHOOL DISTRICT CTE & GLAD PORTABLES (E-20-0549), provides for detention, retention, treatment or management of stormwater that is associated with the Property through the use of identified stormwater facilities or best management practices (collectively, Stormwater Facilities). Upon approval of the Plan by the City, the Plan shall be incorporated herein by this reference. In accordance with the Plan, Landowner shall adequately construct, operate, use, maintain and repair the Stormwater Facilities.

D. Agreement. On the terms and conditions set forth herein, the City and Landowner agree as follows:

1. The Stormwater Facilities shall be constructed, operated, used, maintained and repaired by Landowner in accordance with the requirements of the Plan, and any other applicable law or regulation.
2. Landowner (which expressly includes its agents, successors and assigns, including any homeowners association) shall adequately and properly operate, use, maintain and repair the Stormwater Facilities as described in the maintenance and operations manual, which is on file with the City, and may be attached and recorded herewith as Exhibit B. This duty extends to all associated pipes and channels, as well as all structures, improvements, and vegetation that are provided to control the quantity and quality of the stormwater. Adequate maintenance shall mean maintenance that is sufficient to keep the Stormwater Facilities in good working order and operating so as to satisfy the design and performance standards of the Plan.
3. Landowner shall regularly inspect the Stormwater Facilities and shall submit an inspection report to the City at least once a year on a date prescribed by the City. The purpose of the inspection(s) is to ensure that the Stormwater Facilities are safe and functioning properly. The scope of the inspection shall include the entire Stormwater Facilities, including but not limited to, berms, outlet structures, pond areas, access roads, and so forth. Deficiencies and any performance or other related issues shall be noted by Landowner in the inspection report. The annual report shall be in a form and include content as prescribed from time to time by the City. An example copy of the report form may be attached hereto as Exhibit B.
4. Landowner hereby grants permission to the City to enter upon the Property to inspect the Stormwater Facilities. Except in case of emergency, the City shall provide Landowner with at least forty-eight (48) hours written notice prior to entering on to the Property. Landowner shall be entitled to have a representative accompany the City during such inspection. The City shall provide Landowner with copies of written inspection reports.
5. If Landowner fails to adequately and properly operate, use, maintain or repair the Stormwater Facilities, the City shall notify Landowner in writing and provide Landowner with a reasonable opportunity to cure. If Landowner fails to timely cure, then the City may enter upon the Property and remedy the issue(s) identified in the notice and those reasonably related thereto; Furthermore, if the City performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like while remedying the identified issues, the City may charge the cost of the remedy to Landowner, and Landowner shall promptly pay the costs to the City. Notwithstanding the foregoing, the City shall be under no obligation to inspect, maintain or repair the Stormwater Facilities.
6. Landowner shall defend, indemnify and hold the City, its officers, officials, employees and volunteers harmless from any and all claims, injuries, damages, losses or suits including attorney fees, arising out of or in connection with activities or operations, performed by Landowner, or on Landowner's behalf, that relate to the Stormwater Facilities and the subject matter of this agreement, except for injuries and damages caused by the negligence of the City.

- E. Covenant.** The terms and provisions of this agreement constitute a covenant, which is subject to the following: This covenant is an equitable covenant. It touches and concerns the land that is described as the Property herein. The parties intend that this covenant shall bind the parties' successor and assigns. This covenant shall run with the land that is described as the Property herein, and shall bind whoever has possession of the land, in whole or in part, without regard to whether the possessor has title, or has succeeded to the same estate that granting parties have or had. Possessors shall include, but are not limited to, leasehold tenants, contract purchasers, subtenants, and adverse possessors. This covenant shall run with the land even in the absence of the transfer of some interest in land, other than the covenant itself, between Landowner and the City. This covenant shall not be governed by the mutuality rule. The burden of the covenant can run independently from the benefit of the covenant, and the benefit need not run. The benefit may be in gross or personal to Landowner or the City. Landowner waives its right to assert any defenses to the enforcement of this covenant, including, but not limited to, the change of neighborhood doctrine, laches, estoppel, balancing of hardships, and abandonment. If Landowner breaches any term of this covenant and agreement, then all remedies in equity and at law, including, but not limited to, injunctions, mandamus, declaratory judgments, and damages, shall be available to the City.
- F. Governing Law & Venue.** This agreement shall be governed by and construed in accordance with the laws of the State of Washington. The venue for any action that arises from or out of this instrument shall be the Pierce County Superior Court.

<signature page to follow>

Dated: _____

Grantor

DocuSigned by:

Hans Hunger

1D7EB0CED83045D...

Dated: 7/8/2021

Grantee: City of Puyallup, Accepted by:
Hans Hunger, PE (City Engineer)

DocuSigned by:

Joseph N Beck

EF5BA5DC2E5544B...

Dated: 7/8/2021

Approved as to form:
Joseph N. Beck (City Attorney)

STATE OF _____)

)

-ss

COUNTY OF _____)

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and on _____ said person acknowledged that he or she signed this instrument, on oath stated that he or she was authorized to execute the instrument and acknowledged it as the _____ of _____ to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: _____

Printed Name: _____
Notary Public, State of _____
My appointment expires: _____

Exhibit A

Legal taken from S&H Job Number 17793
Topographic and boundary Survey

LEGAL DESCRIPTION

THE LAND IN THE COUNTY OF PIERCE, STATE OF WASHINGTON,
DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST
QUARTER AND THE WEST HALF OF THE WEST HALF OF THE EAST HALF
OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION
4, TOWNSHIP 19 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN;

EXCEPT THE FOLLOWING DESCRIBED PROPERTY:
BEGINNING 30 FEET NORTH AND 15 FEET EAST OF THE SOUTHWEST
CORNER OF SAID SECTION 4;
THENCE NORTH 553.14 FEET;
THENCE EAST 315 FEET;
THENCE SOUTH 553.14 FEET;
THENCE WEST 315 FEET TO THE POINT OF BEGINNING;

ALSO EXCEPT THE FOLLOWING DESCRIBED PROPERTY:
BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 4;
THENCE NORTH 00°04'25" EAST ALONG THE WEST LINE OF SAID SECTION
A DISTANCE OF 1148.90 FEET TO THE TRUE
POINT OF BEGINNING;
THENCE NORTH 89°07'39" EAST A DISTANCE OF 162.00 FEET;
THENCE NORTH 00°04'25" EAST A DISTANCE OF 148.00 FEET;
THENCE SOUTH 89°07'39" WEST A DISTANCE OF 162.00 FEET TO THE
WEST LINE OF SAID SECTION;
THENCE SOUTH 00°04'25" WEST 148.00 FEET ALONG THE WEST LINE OF
SAID SECTION TO THE POINT OF BEGINNING;
EXCEPT 86TH AVENUE EAST RESERVED FOR COUNTY ROAD (ALSO
KNOWN AS 17TH STREET S.W.);

ALSO EXCEPT THAT PORTION THEREOF CONVEYED TO THE STATE OF
WASHINGTON BY INSTRUMENTS RECORDED UNDER
RECORDING NUMBERS 2227151, 2239840, 9407070774 AND
9407070775;

ALSO EXCEPT THE SOUTHERLY 30 FEET THEREOF FOR 39TH AVENUE
S.W. (ALSO KNOWN AS 112TH STREET EAST);
SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF
WASHINGTON.

Exhibit B

**PUYALLUP SCHOOL DISTRICT CTE & GLAD PORTABLES
OPERATION & MAINTENANCE MANUAL**

Puyallup School District

CTE & GLAD Portables Operation & Maintenance Manual

Prepared for:

**Puyallup School District
323 12th Street NW
Puyallup, WA 98371**

**Contact: Frankie Topasna
Phone: (253) 841-8461**

Prepared by:



**Sitts & Hill Engineers, Inc.
4815 Center Street
Tacoma, Washington 98409**

**Contact: Rick Hand
Phone: (253) 474-9449**

July 2021

Job Number 18,980

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

EXECUTIVE SUMMARY

I hereby state that this Operation and Maintenance Manual for the **Puyallup School District CTE & GLAD Portable Project** has been prepared by me or under my supervision and meets the standards or care and expertise which is usual and customary in this community for professional engineers. I understand that the City of Puyallup does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities prepared by me.

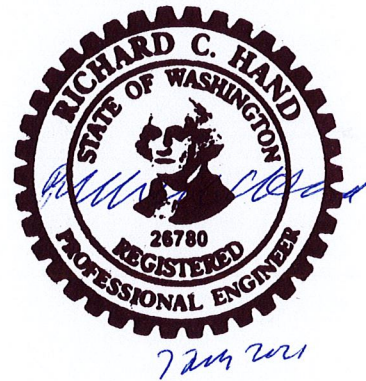


TABLE OF CONTENTS

| | |
|---|----------|
| EXECUTIVE SUMMARY | 1 |
| TABLE OF CONTENTS | 2 |
| 1 Purpose | 3 |
| 2 Permanent Facilities Description | 3 |
| 3 Discussions of Maintenance | 4 |
| 4 Maintenance Frequency | 5 |
| 5 Annual Cost of Maintenance | 5 |
| 6 Appendices | 6 |
| 6.1 Appendix A - Maintenance Checklist | 6 |
| 6.2 Appendix B – Grading & Drainage Plans | 12 |
| 6.3 Appendix C – Inspection and Maintenance Forms | 22 |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

1 Purpose

The purpose of the manual is provide guidelines for the maintaining of the on-site storm drainage system as part of the Puyallup School District CTE & GLAD Portable project. The improvements are located on parcel 04190343117. The project site is located at 1501 39th Ave SW, Puyallup, WA 98373.

The storm utility improvements include:

- Type 1 Catch Basin
- Roof Drain Piping
- Dispersion Trench

Each component of the system shall be maintained in good condition for the whole system to function properly.

Operations and maintenance of the storm drainage system will be the responsibility of the Puyallup School District:

Puyallup School District
Maintenance Department
Phillip Anderson, Director of Maintenance
323 12th Street NW
Puyallup, WA 98371

2 Permanent Facilities Description

The storm drainage system is designed to collect the portable roof runoff for dispersion. The runoff from the portable roofs will be collected by roof gutters and conveyed by roof downspouts and roof drain piping to the dispersion trench for disposal. Runoff from other surfaces (AC pavement, concrete sidewalks, building ramps and landings, gravel and grass) will continue to infiltrate onsite to underlying soils. See Appendix B – Grading and Drainage Plans for facility details.

*Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual***3 Discussions of Maintenance**

Buildup of sediment, debris, vegetation, or trash that impedes the stormwater runoff flows may cause problems for the storm drainage system. As a result, proper care must be taken to keep drainage components operational and prevent the system from not functioning properly.

Required maintenance or Best Management Practice (BMPs):

| BMP ID # | BMP Description | Required BMP |
|-----------------|------------------------|--|
| 1 | Building Roof Gutter | Verify building roof gutters are clean and free of debris. Clean out debris as required. |
| 2 | Roof Drain Pipelines | Verify conveyance pipelines function properly. Jet clean or flush out roof drain pipelines that become plugged through the system cleanouts. |
| 3 | Catch Basin | Verify sump cleanliness. A “vactor” truck, or other approved means, should be used to clean catch basin sumps. Sediment removed for the sump shall be disposed of at an approved off-site facility. |
| 4 | Dispersion Trench | Verify satisfactory performance. The top of the dispersion trench consist of washed rock and shall remain as such. The notch board on the east side of the dispersion trench acts as stormwater overflow and need to remain clear at all times. Do not cover the dispersion trench surfacing with soils, vegetation, or debris. |
| 5 | Landscaping | Maintain landscaping adjacent to the dispersion trench in a neat and clean condition. Do not use toxic or poisonous products to maintain landscaping. |

The applicable maintenance checklists are included in this manual for review during routine maintenance inspections, see Appendix A – Maintenance Checklist.

*Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual***4 Maintenance Frequency**

All facilities shall be inspected and maintained according to Section 3 Discussion of Maintenance requirements. Facilities shall be inspected annually, monthly, or after any significant storm event where the precipitation is greater than one inch in 24 hours. Record all maintenance activities utilizing the Inspection and Maintenance Form provided in Appendix C – Inspection and Maintenance Forms. It is recommended that the maintenance checklist be kept in a log book or binder onsite for documentation and review purposes. Submit documented activities annually to the City of Puyallup address listed on the bottom of the Inspection and Maintenance Form.

When deficiencies are noted, the problems are to be corrected as soon as possible. Any spills of hazardous material (e.g. fuel, lubricant, herbicide, etc.) will be cleaned up immediately and reported to the Division of Emergency Management (1-800-258-5990). Contaminated material will be disposed of properly.

Any questions about the existence of a problem should be directed to a Professional Engineer.

5 Annual Cost of Maintenance

Annual maintenance cost for the storm drainage system will include the cleaning of the catch basin, dispersion trench, and conveyance piping and vegetation maintenance. Approximate annual cost for each storm elements are outline below:

| Facility | Quantity | Unit Cost | Total Cost |
|----------------------------------|-----------------|------------------|-------------------|
| Catch Basin | 1 | \$250 | \$250 |
| Dispersion Trench | 30 LF | \$10 | \$300 |
| Roof Drain Piping (as needed) | Lump Sum | \$350 | \$350 |
| Vegetation | Lump Sum | \$800 | \$800 |
| Total | | | \$1,700 |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

6 Appendices

6.1 Appendix A - Maintenance Checklist

Dispersion Trench

| Frequency | Drainage System Feature | Date | | | | Problem | Conditions to Check For | Conditions That Should Exist |
|-----------|-------------------------|------|--|--|--|----------------------------|---|--|
| | | | | | | | | |
| Monthly | General | | | | | Contaminants and Pollution | Any evidence of oil, gasoline, contaminants or other pollutants in or around facility | Remove. (Coordinate removal and cleanup with local water quality response agency). |
| Monthly | General | | | | | Drainage Slow | Drainage Trench - decreased capacity that indicates slow drainage | Clean perforated drain pipe. Do not allow removed sediment and water to discharge back into the storm sewer. |
| Monthly | General | | | | | Sediment & Debris | Sediment depth is greater than 20% of pipe diameter. | Clean pipe and remove material. |
| Monthly | General | | | | | Trash & Debris | Trash or debris which is located immediately in front of the catch basin opening or is blocking inletting capacity of the basin by more than 10%. | No Trash or debris located immediately in front of catch basin or on grate opening. |
| Monthly | General | | | | | Trash & Debris | Trash or debris (in the basin) that exceeds 60 percent of the sump depth as measured from the bottom of basin to invert of the lowest pipe into or out of the basin, but in no case less than a minimum of six inches clearance from the debris | No trash or debris in the trench. |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

| | | | | | | | | |
|----------------|---------|--|--|--|--|----------------|--|---|
| | | | | | | | surface to the invert of the lowest pipe. | |
| Monthly | General | | | | | Trash & Debris | Trash or debris in any inlet or outlet pipe blocking more than 1/3 of its height. | Inlet and outlet pipes free of trash or debris. |
| Monthly | General | | | | | Trash & Debris | Dead animals or vegetation that could generate odors that could cause complaints or dangerous gases (e.g., methane). | No dead animals or vegetation present within the catch basin. |
| Monthly | General | | | | | Trash & Debris | Vegetation, soil stockpiles or some form of cover over the dispersion trench. | Remove all vegetation, stockpiles and debris from top of dispersion trench. |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

Catch Basins

| Frequency | Drainage System Feature | Dates | | | Problem | Conditions to Check For | Conditions That Should Exist |
|-----------------------------|-------------------------|-------|--|--|--|--|---|
| | | | | | | | |
| Annually | General | | | | "Dump no pollutants" Stencil or stamp not visible | Stencil or stamp should be visible and easily read | Warning signs (e.g., "Dump No Waste-Drains to Stream") shall be painted or embossed on or adjacent to all storm drain inlets. |
| Monthly, Severe Storm Event | General | | | | Trash & Debris | Trash or debris which is located immediately in front of the catch basin opening or is blocking inletting capacity of the basin by more than 10% | No trash or debris located immediately front of catch basin or grate opening. |
| Monthly | General | | | | Trash & Debris | Trash or debris (in the basin) that exceeds 60% of the sump depth as measured from the bottom of basin to invert of the lowest pipe into or out of the basin, but in no case less than a minimum of six inches clearance from the debris surface to the invert of the lowest pipe. | No trash or debris in the catch basin. |
| Monthly | General | | | | Trash & Debris | Trash or debris in any inlet or outlet pipe blocking more than 1/3 of its height. | Inlet and outlet pipes free of trash or debris. |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

| | | | | | | | |
|----------|---------|--|--|--|---|---|--|
| Monthly | General | | | | Trash & Debris | Dead animals or vegetation that could cause complaints or dangerous gases (e.g., methane). | No dead animals or vegetation present within the catch basin. |
| Monthly | General | | | | Sediment | Sediment (in the basin) that exceeds 60 percent of the sump depth as measured from the bottom of the basin to invert of the lowest pipe into or out of the basin, but in no case less than a minimum six inch clearance from the sediment surface to the invert of the lowest pipe. | No sediment in the catch basin. |
| Annually | General | | | | Structure Damage to Frame and/or Top Slab | Top slab has holes larger than 2 square inches or cracks wider than ¼ inch (Intent is to make sure no material is running into basin). | Top slab is free of holes and cracks |
| Annually | General | | | | Structure Damage to Frame and/or Top Slab | Frame not sitting flush on top slab, i.e., separation of more than ¾ inch of the frame from the top of the slab. Frame is not securely attached. | Frame is sitting flush on the riser rings or top slab and firmly attached. |
| Annually | General | | | | Fractures or Cracks in basin Walls/Bottom | Maintenance person judges that structure is unsound. | Basin replaced or repaired to design standards. |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

| | | | | | | | |
|----------|-------------------|--|--|--|--|---|---|
| Annually | General | | | | Fractures or Crack in Basin Walls/Bottom | Grout fillet has separated or cracked wider than ½ inch and longer than 1 foot at the joint of any inlet/outlet pipe or any evidence of soil particles entering the catch basin through cracks. | Pipe is regouted and secure at basin wall. |
| Annually | General | | | | Settlement/ Misalignment | If failure of basin has created a safety function, or design problem. | Basin replaced or repaired to design standards. |
| Monthly | General | | | | Vegetation | Vegetation growing across and blocking more than 10% of the basin opening. | No vegetation blocking opening to basin. |
| Monthly | General | | | | Vegetation | Vegetation growing in inlet/ outlet of pipe joints that are more than six inches tall and less than six inches apart. | No vegetation or root growth present. |
| Monthly | General | | | | Contamination and Pollution | Any evidence oil, gasoline, contaminants or other pollutants (Coordinate removal/cleanup with local water quality response agency). | No contaminants or pollutants present. |
| Annually | Catch Basin Cover | | | | Locking Mechanism Not Working | Mechanism cannot be opened by one maintenance person with proper tools. Bolts into frame | Mechanism opens with proper tools. |

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

| | | | | | | | | |
|-----------------------------|-------------------|--|--|--|--|---------------------------|---|--|
| | | | | | | | have less than 1/2 inch of thread. | |
| Annually | Catch Basin Cover | | | | | Cover Difficult to Remove | One maintenance person cannot remove lid after applying normal lifting pressure. (Intent is keep cover from sealing off access to maintenance.) | Cover can be removed by one maintenance person. |
| Annually | Ladder | | | | | Ladder rungs Unsafe | Ladder is unsafe due to missing rungs, not securely attached to basin wall, misalignment, rust, cracks, or sharp edges | Ladder meets design standards and allows maintenance person safe access. |
| Annually | Grates | | | | | Grate Opening Unsafe | Grate with opening wider than 7/8 inch. | Grate opening meets design standards. |
| Annually | Grates | | | | | Trash and Debris | Trash and debris that is blocking more than 20% of grate surface inletting capacity. | Grate free of trash and debris. |
| Monthly, Severe Storm Event | Grates | | | | | Damaged or Missing | Grate missing or broken member(s) of the grate. | Grate is in place and meets design standards |

6.2 Appendix B – Grading & Drainage Plans

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

SW 1/4, SECTION 4, TOWNSHIP 19N, RANGE 4E, W.M.

PUYALLUP SCHOOL DISTRICT CTE AND GLAD PORTABLES

1501 39TH AVE SW PUYALLUP, WA 98373

APPROVED
BY: METLAND METLAND WATER COMPANY
DATE: _____
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS AS DETERMINED BY THE WATER PEROVEROR.

APPROVED
BY: CITY OF PUYALLUP DEVELOPMENT SERVICES
DATE: _____
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

CITY OF PUYALLUP CIVIL PERMIT NUMBER 20-00009
Call 811
two business days before you dig

PROJECT INFORMATION:

SITE ADDRESS: 1501 39TH AVE SW, PUYALLUP, WA 98373
 PARCEL NO.: 049848117 (0330 ADRES)
 ZONING: PF (PUBLIC FACILITIES)
 OWNER CONTACT: PUYALLUP SCHOOL DISTRICT NO. 3
 323 12TH ST NW
 PUYALLUP, WA 98371
 LAND USE: PUYALLUP SCHOOL DISTRICT SUPPORT OPERATIONS
 100-YEAR FLOODPLAIN: N/A – ZONE 'V' PER FEMA MAP PANEL NUMBERS 520020341E
 SCOPE OF WORK: INSTALLATION OF TWO PORTABLE BUILDINGS (ONE PORTABLE=36'x24' FOOTPRINT, 8,35'x24' ROOF AREA)
 NEW IMPERVIOUS SURFACE: PORTABLE BUILDING (ROOF AREA) = 1,976 S.F.
 STAIRS, RAMPS, AND LANDINGS = 279 S.F.
 CONCRETE SIDEWALK = 24 S.F.
 NEW ASPHALT PAVEMENT = 792 S.F.
 EXISTING ASPHALT PAVEMENT = 789 S.F. (PREVIOUSLY CONSTRUCTED)
 TOTAL = 4,132 S.F.
 ESTIMATED EARTHWORK: 0 CY CUT
 56 CY FILL
(FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL PERFORM INDEPENDENT CALCULATIONS FOR BIDDING PURPOSES.)

PREPARED FOR:

PUYALLUP SCHOOL DISTRICT NO. 3

323 12TH ST NW
 PUYALLUP, WA 98371
 CONTACT: MR. FRANKIE TOPASNA, (253) 435-6646

PREPARED BY:

**SITTS & HILL
ENGINEERS, INC.**

CIVIL ■ STRUCTURAL ■ SURVEYING

4815 CENTER STREET, TACOMA, WA 98409 (253) 474-9449 FAX (253) 474-0153
 CONTACT: RICK HAND, P.E.

INDEX OF DRAWINGS:

| DRAWING NO. | SHEET NO. | TITLE - DESCRIPTION |
|-------------|----------------|--|
| C0.0 | SHEET 01 OF 09 | COVER SHEET |
| C0.1 | SHEET 02 OF 09 | GENERAL NOTES |
| C1.0 | SHEET 03 OF 09 | DEMOLITION AND TESC PLAN |
| C1.1 | SHEET 04 OF 09 | DEMOLITION AND TESC PLAN |
| C2.0 | SHEET 05 OF 09 | SURFACING, LAYOUT, GRADING AND DRAINAGE PLAN |
| C2.1 | SHEET 06 OF 09 | SURFACING, LAYOUT, GRADING AND DRAINAGE PLAN |
| C3.0 | SHEET 07 OF 09 | WATER UTILITY PLAN |
| C4.0 | SHEET 08 OF 09 | DETAILS |
| C4.1 | SHEET 09 OF 09 | DETAILS |

RECORD DRAWING
BEFORE DRAWING INFORMATION IS PROVIDED BY STREAMLINE GENERAL CONTRACTORS, LLC. RECORD DRAWING INFORMATION WAS REVIEWED BY R. HAND OF SITTS & HILL ENGINEERS AND THE INSTALLATION SUBSTANTIALLY CONFORMS TO APPROVED PLANS.

OVERALL SITE PLAN:

VICINITY MAP:

PROJECT: PUYALLUP SCHOOL DISTRICT
PSD ADMIN PORTABLE
 1501 39TH AVE SW, PUYALLUP, WA 98373

11-03-2020 PERMIT SET
 10-14-2021 REVISED PERMIT SET
 05-21-2021 RECORD DRAWING

10090200
 20118-00-00

COVER SHEET

BCRA
 CIVIL 01 OF 09

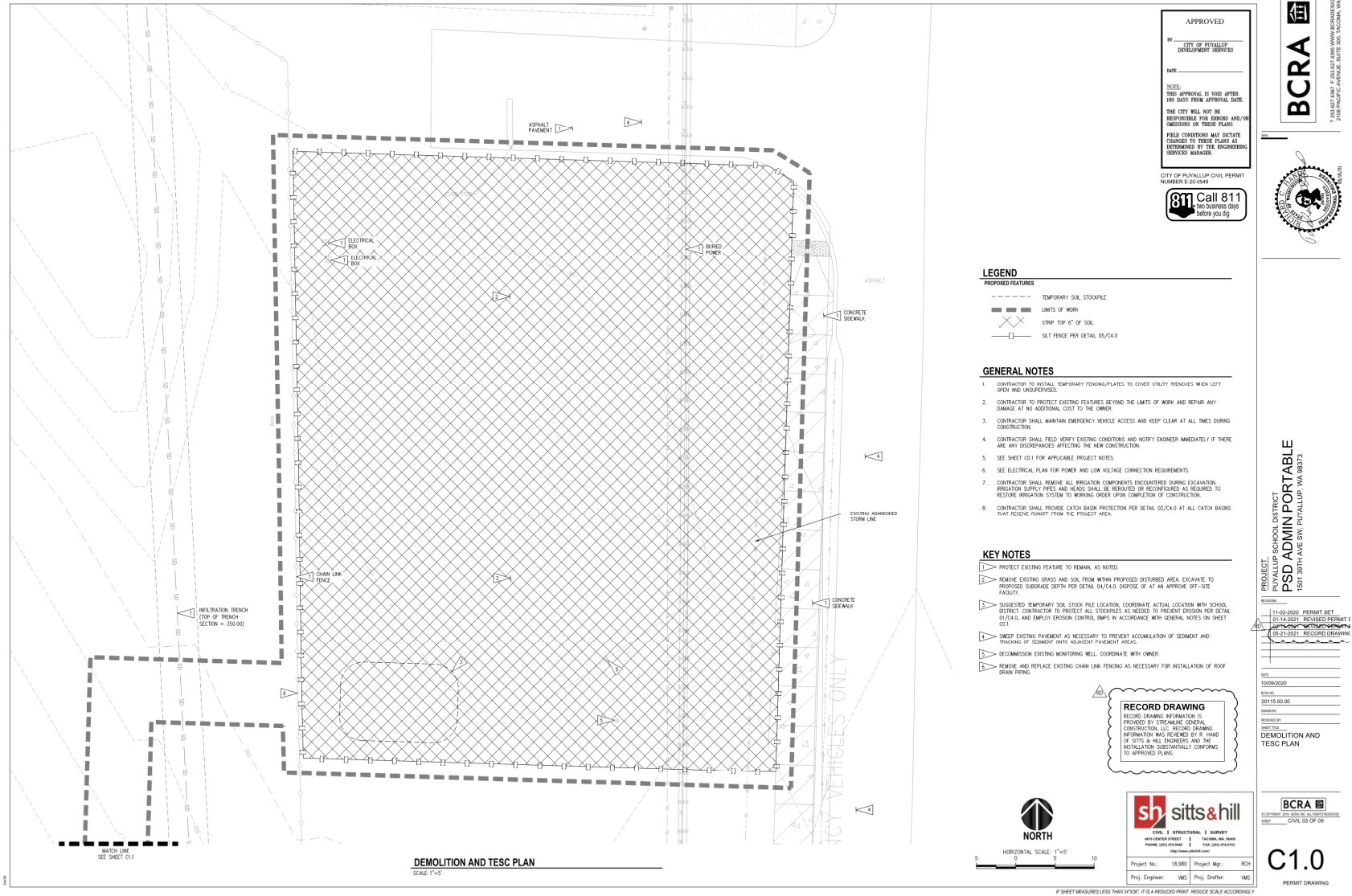
C0.0
PERMIT DRAWING

sh sitts & hill
CIVIL, STRUCTURAL, & SURVEY
 4815 CENTER STREET | TACOMA, WA 98409
 PHONE: (253) 474-9449
 WWW: WWW.SITTSANDHILL.COM

Project No.: 18.060 Project Mgr.: RCH
 Proj. Engineer: WGS Proj. Drafter: WGS

IF SHEET MEASURES LESS THAN ABOVE, IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual



APPROVED

BY: CITY OF PUYALLUP DEVELOPMENT SERVICES

DATE:

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

CITY OF PUYALLUP CIVIL PERMIT NUMBER E-200548

811 Call 811
Two business days before you dig



LEGEND

- PROPOSED FEATURES**
- TEMPORARY SOIL STOCKPILE
 - LIMITS OF WORK
 - STRIP TOP 6" OF SOIL
 - SILT FENCE PER DETAIL 05/C4.0

GENERAL NOTES

1. CONTRACTOR TO INSTALL TEMPORARY FENCING/PLATES TO COVER UTILITY TRENCHES WHEN LEFT OPEN AND UNOCCUPIED.
2. CONTRACTOR TO PROTECT EXISTING FEATURES BEYOND THE LIMITS OF WORK AND REPAIR ANY DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR SHALL MAINTAIN EMERGENCY VEHICLE ACCESS AND KEEP CLEAR AT ALL TIMES DURING CONSTRUCTION.
4. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES AFFECTING THE NEW CONSTRUCTION.
5. SEE SHEET 05.1 FOR APPLICABLE PROJECT NOTES.
6. SEE ELECTRICAL PLAN FOR POWER AND LOW VOLTAGE CONNECTION REQUIREMENTS.
7. CONTRACTOR SHALL REMOVE ALL IRRIGATION COMPONENTS ENCLOSED DURING EXCAVATION. IRRIGATION SUPPLY PIPES AND HEADS SHALL BE REMOVED OR RECONFIGURED AS REQUIRED TO RESTORE IRRIGATION SYSTEM TO WORKING ORDER UPON COMPLETION OF CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE CATCH BASIN PROTECTION PER DETAIL 05/C4.0 AT ALL CATCH BASINS THAT RECEIVE RUNOFF FROM THE PROJECT AREA.

KEY NOTES

- ▷ PROTECT EXISTING FEATURE TO REMAIN, AS NOTED.
- ▷ REMOVE EXISTING GRASS AND SOIL FROM WITHIN PROPOSED DISTURBED AREA. EXCAVATE TO PROPOSED SUBGRADE DEPTH PER DETAIL 04/C4.0. DISPOSE OF AT AN APPROVE OFF-SITE FACILITY.
- ▷ SUGGESTED TEMPORARY SOIL STOCK PILE LOCATION. COORDINATE ACTUAL LOCATION WITH SCHOOL DISTRICT. CONTRACTOR TO PROTECT ALL STOCKPILES AS NEEDED TO PREVENT EROSION PER DETAIL 05/C4.0, AND EMPLOY EROSION CONTROL BMPs IN ACCORDANCE WITH GENERAL NOTES ON SHEET 05.1.
- ▷ SHEEP EXISTING PAVEMENT AS NECESSARY TO PREVENT ACCUMULATION OF SEDIMENT AND TRACKING OF SEDIMENT ONTO ADJACENT PAVEMENT AREAS.
- ▷ DECOMMISSION EXISTING MONITORING WELL. COORDINATE WITH OWNER.
- ▷ REMOVE AND REPLACE EXISTING CHAIN LINK FENCING AS NECESSARY FOR INSTALLATION OF ROOF DRAIN PIPING.

RECORD DRAWING

RECORD DRAWING INFORMATION IS PROVIDED BY CHICAGANE GENERAL CONSTRUCTION, LLC. RECORD DRAWING INFORMATION WAS REVIEWED BY A BOARD OF CIVIL ENGINEERS AND THE INSTALLATION SUBSTANTIALLY CONFORMS TO APPROVED PLANS.



sh **sitts & hill**

CIVIL, STRUCTURAL & SURVEY

300 CENTER STREET PUYALLUP, WA 98470
PHONE (253) 874-2446 FAX (253) 874-2145
WWW.SH-SITTSANDHILL.COM

Project No. 18-880 Project Mgr.: RCH
Proj. Engineer: VMS Proj. Drafter: VMS

PROJECT: PUYALLUP SCHOOL DISTRICT PSD ADMIN PORTABLE 1501 38TH AVE SW, PUYALLUP, WA 98473

11-02-2020 PERMIT SET
01-14-2021 REVISED PERMIT SET
02-23-2021 RECORD DRAWING

DATE: 10/09/2020
SCALE: 20115.00.00
DRAWN BY: CHICANE
CHECKED BY: CHICANE

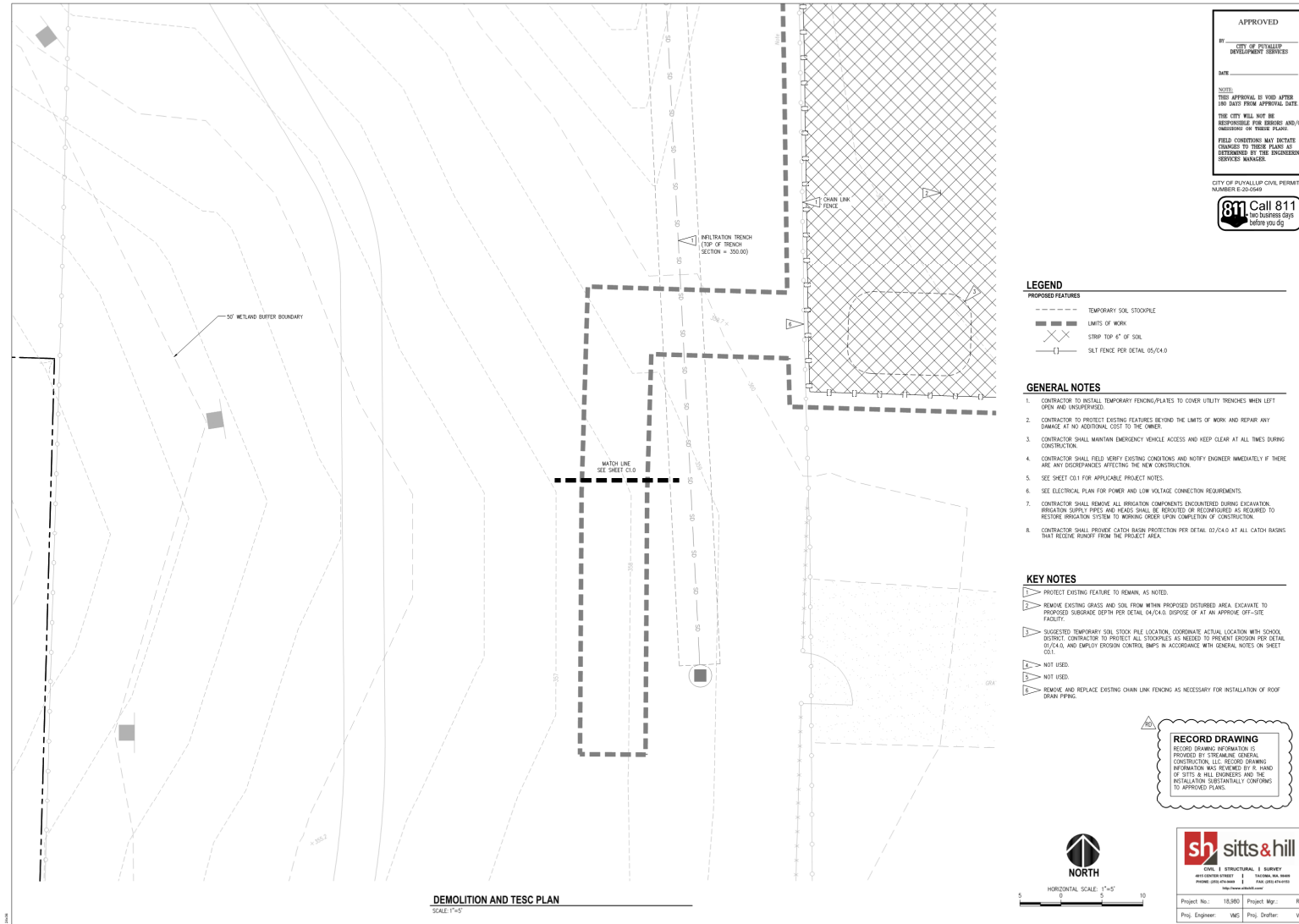
DEMOLITION AND TESC PLAN



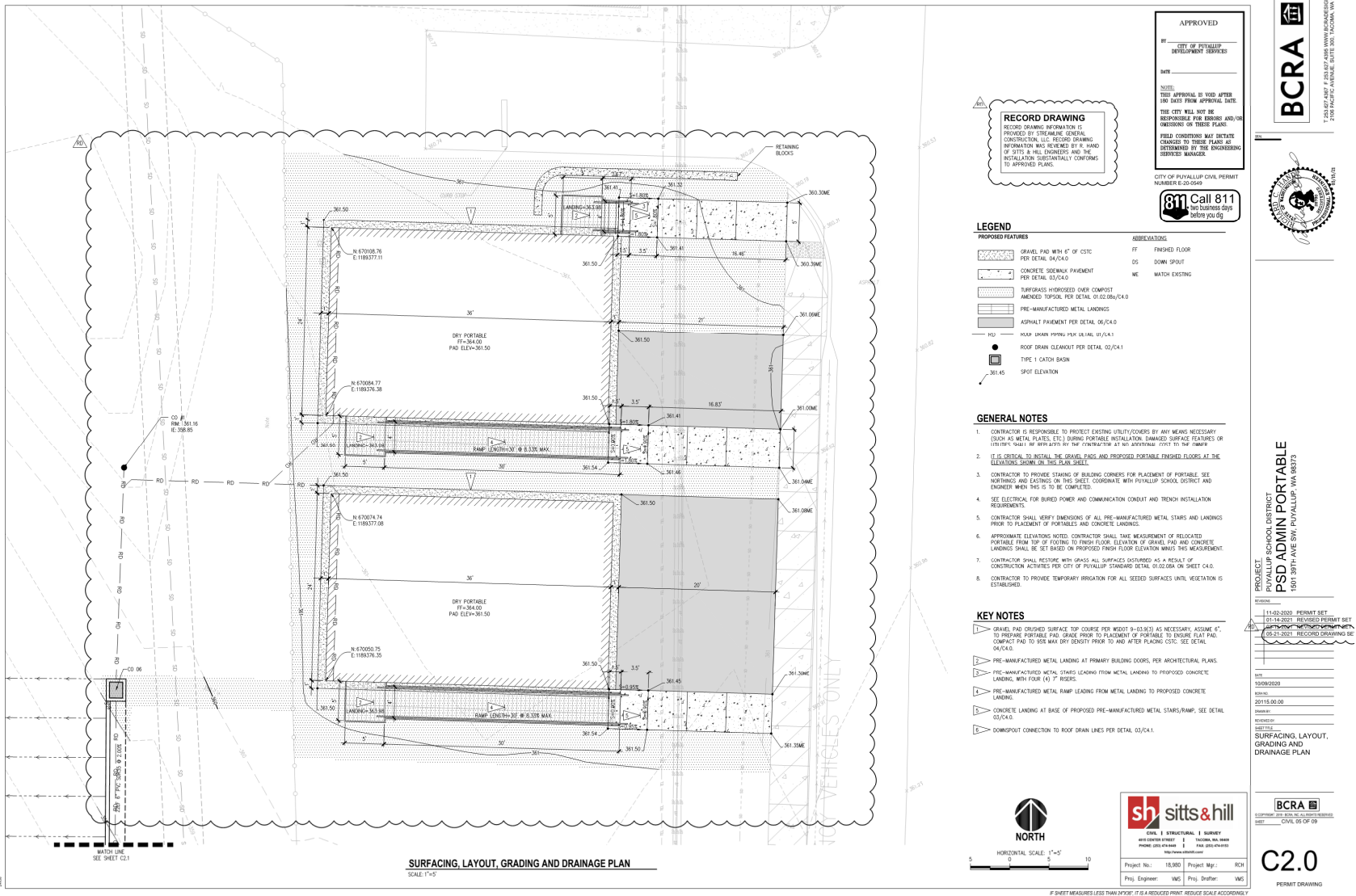
C1.0

PERMIT DRAWING

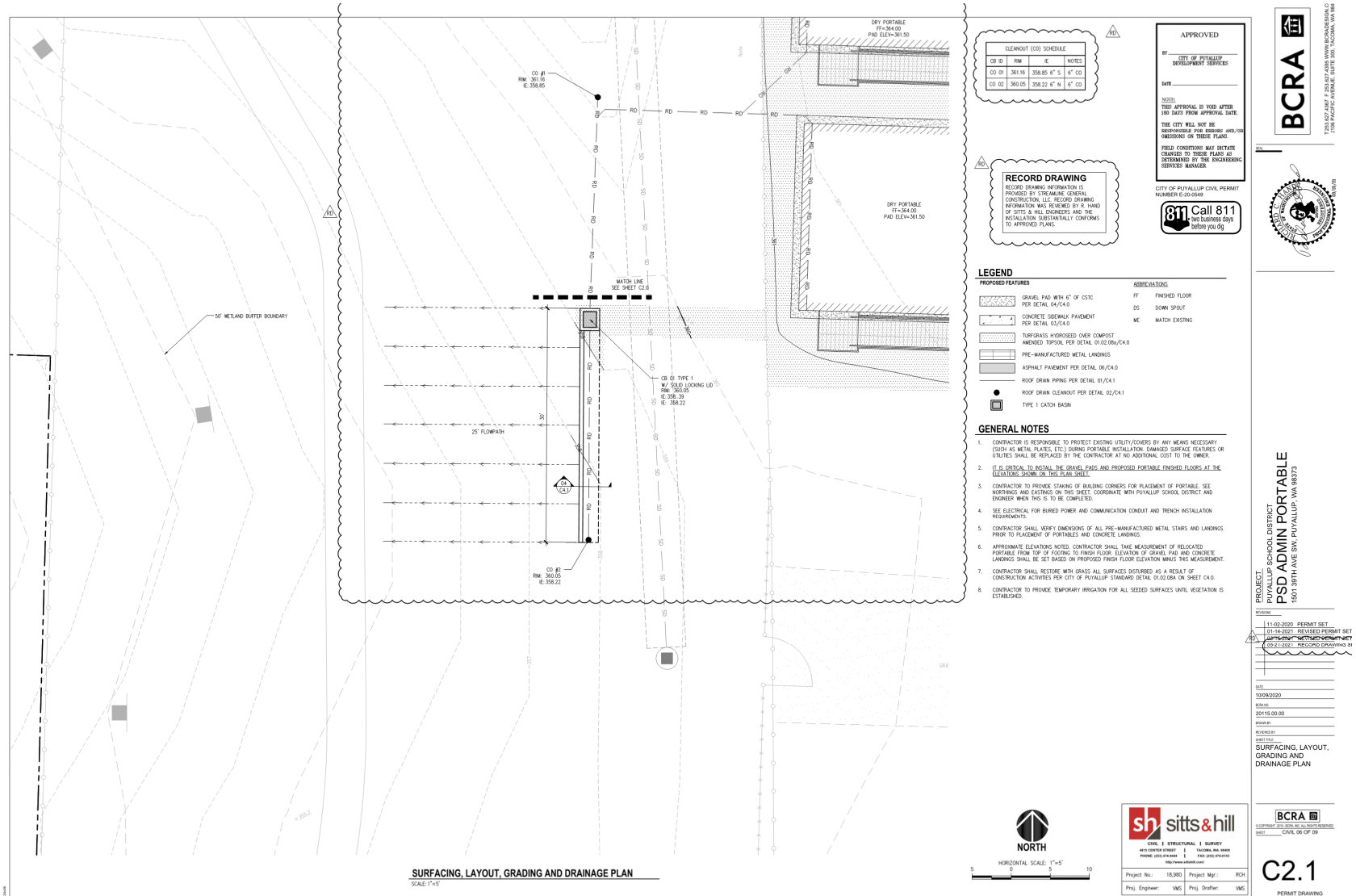
Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual



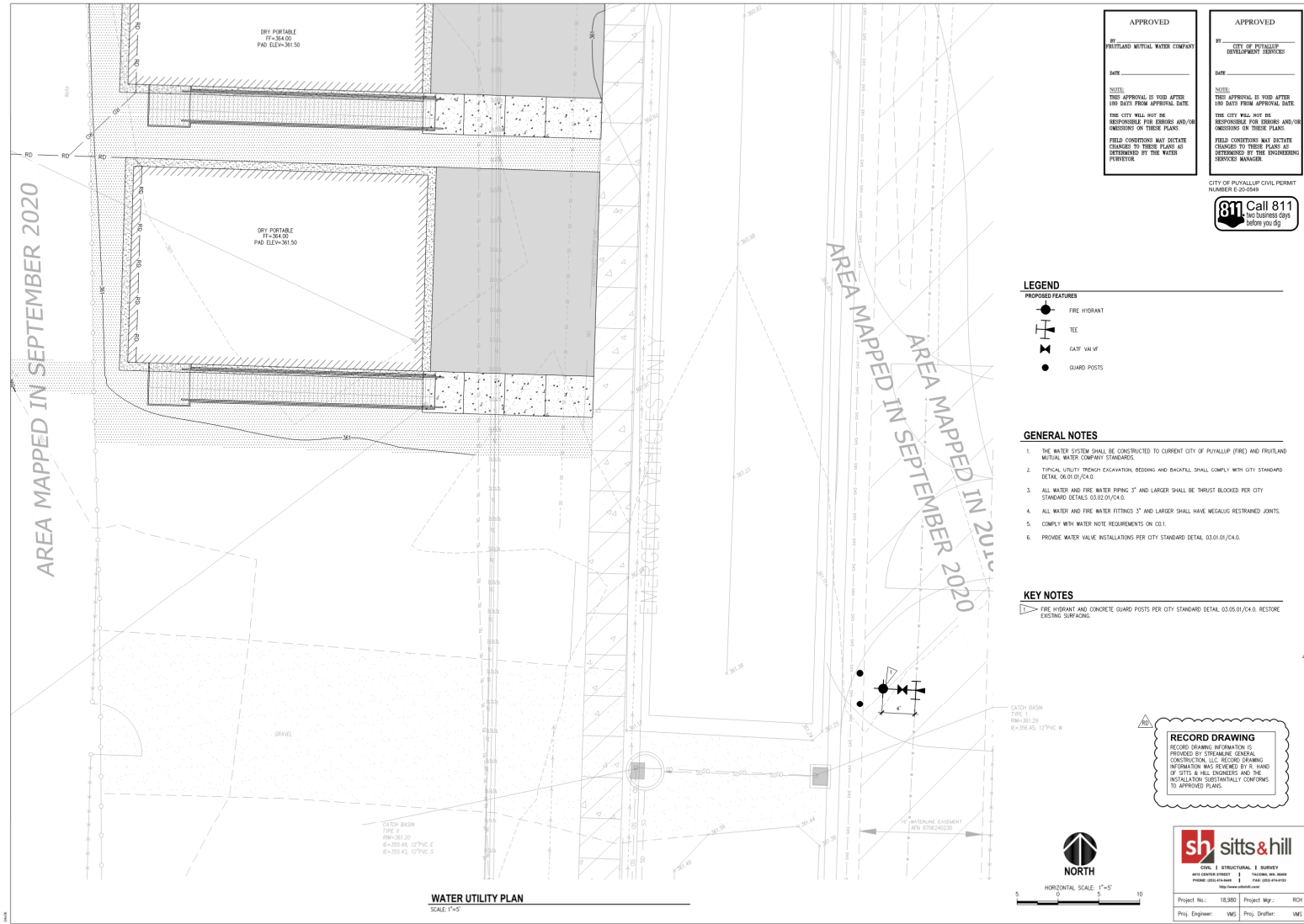
Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual



Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual



Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual



Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

01 PLASTIC COVERING DETAIL
SCALE: N.T.S.

ISOMETRIC VIEW
SECTION A-A
OVERLAP DETAIL

02 CATCH BASIN PROTECTION
SCALE: N.T.S.

ELEVATION
TYPICAL CROSS-SECTION

03 CONCRETE WALK SECTION
SCALE: N.T.S.

CONTRACTION JOINT DETAIL
EXPANSION JOINT DETAIL

04 GRAVEL PAD DETAIL
SCALE: N.T.S.

GRAVEL PAD DETAIL

05 SILT FENCE DETAIL
SCALE: N.T.S.

ELEVATION
TYPICAL CROSS-SECTION

06 LIGHT DUTY ASPHALT PAVEMENT
SCALE: N.T.S.

SECTION NEW

PIPE TRENCHING BEDDING AND BACKFILL

SOIL AMENDMENT AND DEPTH

FIRE HYDRANT ASSEMBLY

RECORD DRAWING

APPROVED
BY PORTLAND MUTUAL WATER COMPANY
DATE: _____
NOTE: THIS APPROVAL IS VOID AFTER 300 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY dictate CHANGES TO THESE PLANS AS DETERMINED BY THE WATER PURVEYOR.

APPROVED
BY CITY OF PUYALLUP DEVELOPMENT SERVICES
DATE: _____
NOTE: THIS APPROVAL IS VOID AFTER 300 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY dictate CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.



PROJECT: CTE & GLAD PORTABLES
PSD ADMIN PORTABLE
1001 SUTTER AVENUE, PUYALLUP, WA 98070

11-02-2020 PERMIT SET
01-14-2021 REVISED PERMIT SET
03-22-2021 RECORD DRAWING SET

DATE: 10/09/2020
TIME: 20:15:00.00
USER: [redacted]
PROJECT: [redacted]
DETAILS



BCRA
CIVIL SERVICE
1001 SUTTER AVENUE, PUYALLUP, WA 98070

C4.0
PERMIT DRAWING

* IF SHEET MEASURES LESS THAN 11X17, IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

WATER VALVES AND MAINS

CITY OF PUYALLUP OFFICE OF THE CITY ENGINEER

03.02.01-1

NOTE: DRAWINGS DEPICT BLOCK LOCATION, NOT SIZE. FOR SIZE SEE NOTES 3, 4, 5, AND CITY STD. 03.02.01-3

HORIZONTAL THRUST BLOCKING

CITY OF PUYALLUP OFFICE OF THE CITY ENGINEER

03.02.01-4

VERTICAL THRUST BLOCKING

CITY OF PUYALLUP OFFICE OF THE CITY ENGINEER

03.02.01-2

TABLE 1: CONCRETE BLOCKING FOR VERTICAL BENDS

| DIAMETER (INCHES) | PIPE WALL THICKNESS (INCHES) | CONCRETE BLOCKING SIZE (INCHES) | MIN. CONCRETE STRENGTH (PSI) | MIN. CONCRETE COVER (INCHES) | MIN. CONCRETE CURVE RADIUS (INCHES) | MIN. CONCRETE CURVE LENGTH (INCHES) | MIN. CONCRETE CURVE ANGLE (DEGREES) |
|-------------------|------------------------------|---------------------------------|------------------------------|------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| 4" | 200 | 28" x 28" x 12" | 3,500 | 1.5" | 3/8" | 17" | |
| 6" | 200 | 36" x 36" x 14" | 3,500 | 1.5" | 3/8" | 17" | |
| 8" | 200 | 44" x 44" x 16" | 3,500 | 1.5" | 3/8" | 17" | |
| 10" | 200 | 52" x 52" x 18" | 3,500 | 1.5" | 3/8" | 17" | |
| 12" | 200 | 60" x 60" x 20" | 3,500 | 1.5" | 3/8" | 17" | |
| 14" | 200 | 68" x 68" x 22" | 3,500 | 1.5" | 3/8" | 17" | |
| 16" | 200 | 76" x 76" x 24" | 3,500 | 1.5" | 3/8" | 17" | |

TABLE 2: THRUST AT FITTINGS AT 200 PSI

| SIZE | PIPE WALL THICKNESS (INCHES) | A | B | C | D | E | F |
|------|------------------------------|-------|-------|-------|-------|-------|-------|
| 4" | 200 | 1.147 | 1.406 | 1.665 | 1.924 | 2.183 | 2.442 |
| 6" | 200 | 1.720 | 2.150 | 2.580 | 3.010 | 3.440 | 3.870 |
| 8" | 200 | 2.293 | 2.823 | 3.353 | 3.783 | 4.213 | 4.643 |
| 10" | 200 | 2.866 | 3.396 | 3.926 | 4.356 | 4.786 | 5.216 |
| 12" | 200 | 3.439 | 3.969 | 4.499 | 4.929 | 5.359 | 5.789 |
| 14" | 200 | 4.012 | 4.542 | 5.072 | 5.502 | 5.932 | 6.362 |
| 16" | 200 | 4.585 | 5.115 | 5.645 | 6.075 | 6.505 | 6.935 |

TABLE 3: BEARING VALUE OF SOIL

| SOIL TYPE | SAFE BEARING VALUE (PSF) |
|----------------------------|--------------------------|
| MOOR PEAT ETC. | 0 |
| SOFT CLAY/SILT/CLAYEY SILT | 1,000 |
| SAND | 3,000 |
| SAND AND GRAVEL | 5,000 |
| GRAVEL AND GRAVEL | 10,000 |
| GRAVEL | 15,000 |

THRUST BLOCKING TABLE

CITY OF PUYALLUP OFFICE OF THE CITY ENGINEER

03.02.01-3

01 PIPE ZONE BEDDING AND BACKFILL

SCALE: N.T.S.

02 6" STORM DRAIN CLEAN-OUT

SCALE: N.T.S.

03 PORTABLE DOWNSPOUT ASSEMBLY

SCALE: N.T.S.

RECORD DRAWING

PROVIDED BY STREAMLINE GENERAL CONSTRUCTION, INC. RECORD DRAWING INFORMATION WAS REVIEWED BY R. HAND OF CITY ENGINEER AND THE INSTALLATION SUBSTANTIALLY CONFORMS TO APPROVED PLANS.

sh sitts & hill

CONSTRUCTION SURVEY AND CENTER POINT TACOMA, WA 98408

Project No: 16,980 Project Mgr: RCH
 Pkg Engineer: WJC Pkg Drafter: WMS

BCRA

1500 30TH AVE SW, PUYALLUP, WA 98473

PSD ADMIN PORTABLE

1500 30TH AVE SW, PUYALLUP, WA 98473

11-02-2020 PERMIT SET
 01-14-2021 REVISED PERMIT SET
 05-21-2021 RECORD DRAWING SET

DATE: 10/09/2020
 TIME: 20:15:00.00
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 DETAILS

BCRA

C4.1

PERMIT DRAWING

6.3 Appendix C – Inspection and Maintenance Forms

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

Annual Inspection Report
City of Puyallup - Stormwater BMP Facilities Inspection and Maintenance Log

Facility Name PSD South Hill Logistics Support Campus CTE & GLAD Portables CITY PERMIT NUMBER E-20-0549
 Address 1501 39th Ave SW, Puyallup, WA 98373
 Begin Date June 2021 End Date _____

| Date | BMP ID# | BMP Facility Description | Inspected by: | Cause for Inspection | Exceptions Noted | Comments and Actions Taken |
|------|---------|--------------------------|---------------|----------------------|------------------|----------------------------|
| | 1 | Building Roof Gutters | | | | |
| | 2 | Roof Drain Pipelines | | | | |
| | 3 | Catch Basins | | | | |
| | 4 | Dispersion Trench | | | | |
| | 5 | Landscaping | | | | |
| | | | | | | |

Instructions:

Record all inspections and maintenance for all treatment BMPs on this form. Use additional log sheets and/or attach extended comments or documentation as necessary. Submit a copy of the completed log with the Annual Independent Inspectors' Report to the City, and start a new log at that time.

BMP ID# — Always use ID# from the Operation and Maintenance Manual.

Inspected by — Note all inspections and maintenance on this form, including the required independent annual inspection.

Cause for inspection — Note if the inspection is routine, pre-rainy-season, post-storm, annual, or in response to a noted problem or complaint.

Exceptions noted — Note any condition that requires correction or indicates a need for maintenance.

Comments and actions taken — Describe any maintenance done and need for follow-up.

Return Form to: Stormwater Engineer/City of Puyallup
 333 South Meridian
 Puyallup, WA 98371

Puyallup School District – CTE & GLAD Portables Operation and Maintenance Manual

Annual Inspection Report
City of Puyallup - Stormwater BMP Facilities Inspection and Maintenance Log

CITY PERMIT
NUMBER E-20-0549

Facility Name **PSD South Hill Logistics Support Campus CTE & GLAD Portables**

| Date | BMP ID# | BMP Facility Description | Inspected by: | Cause for Inspection | Exceptions Noted | Comments and Actions Taken |
|-------------|----------------|---------------------------------|----------------------|-----------------------------|-------------------------|-----------------------------------|
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