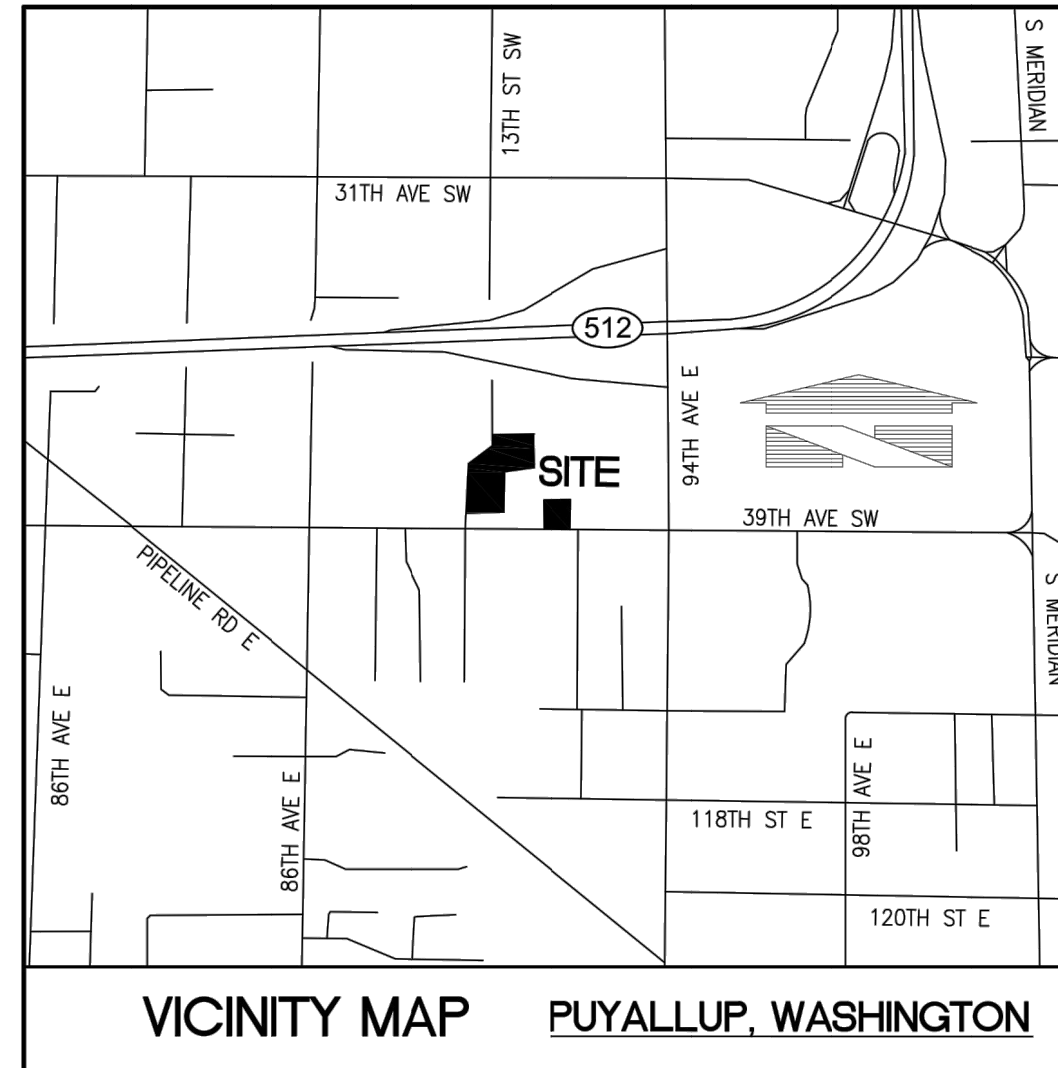




# LIMITED ADA TOPOGRAPHIC SURVEY



VICINITY MAP PUYALLUP, WASHINGTON

## LEGEND

(NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)

- SURVEY MONUMENT (AS NOTED)
- SECTION CORNER (AS NOTED)
- △ SET REBAR/CAP (AS NOTED)
- △ FOUND REBAR/CAP (AS NOTED)
- △ SET 2"x2" HUB/TACK LINE STAKE
- △ MAG/WASHER OR LEAD/TACK (AS NOTED)
- BENCHMARK
- LUMINAIRE (LUM.)
- YARD LIGHT
- ORNAMENTAL LIGHT
- TRAFFIC SIGNAL LIGHTS
- POWER METER
- POWER POLE
- JUNCTION BOX (AS NOTED)
- SIGNAL JBOX
- TELEPHONE MANHOLE
- CATCH BASIN (CB)
- STORM MANHOLE (SDMH)
- SANITARY SEWER MANHOLE (SSMH)
- CLEANOUT (AS NOTED)
- GAS METER
- GAS VALVE
- WATER VALVE (WV)
- FAUCET
- FIRE HYDRANT(H) / CONNECTION(FDC)
- WATER MANHOLE
- WATER METER
- BLOW-OFF / AIRVAC
- MONITOR WELL
- SIGN
- IRRIGATION SPRINKLER
- DIRECTIONAL ARROW
- HANDICAP
- CHAIN LINK FENCE
- WOOD FENCE
- HOODWARE FENCE
- SILT FENCE
- METAL/IRON FENCE
- GUARD RAIL/CABLE FENCE
- WATER LINE
- GAS LINE
- STEAM LINE
- TELEPHONE LINE (OH) OR (UG)
- POWER LINE (OH) OR (UG)
- STORM LINE
- SEWER LINE
- ROCKERY
- KEYSTONE WALL
- DECIDUOUS TREE
- CONIFEROUS TREE
- TREE DRUPLINE
- CONCRETE
- GRAVEL/SAND (AS NOTED)
- ASPHALT
- BUILDING LINE

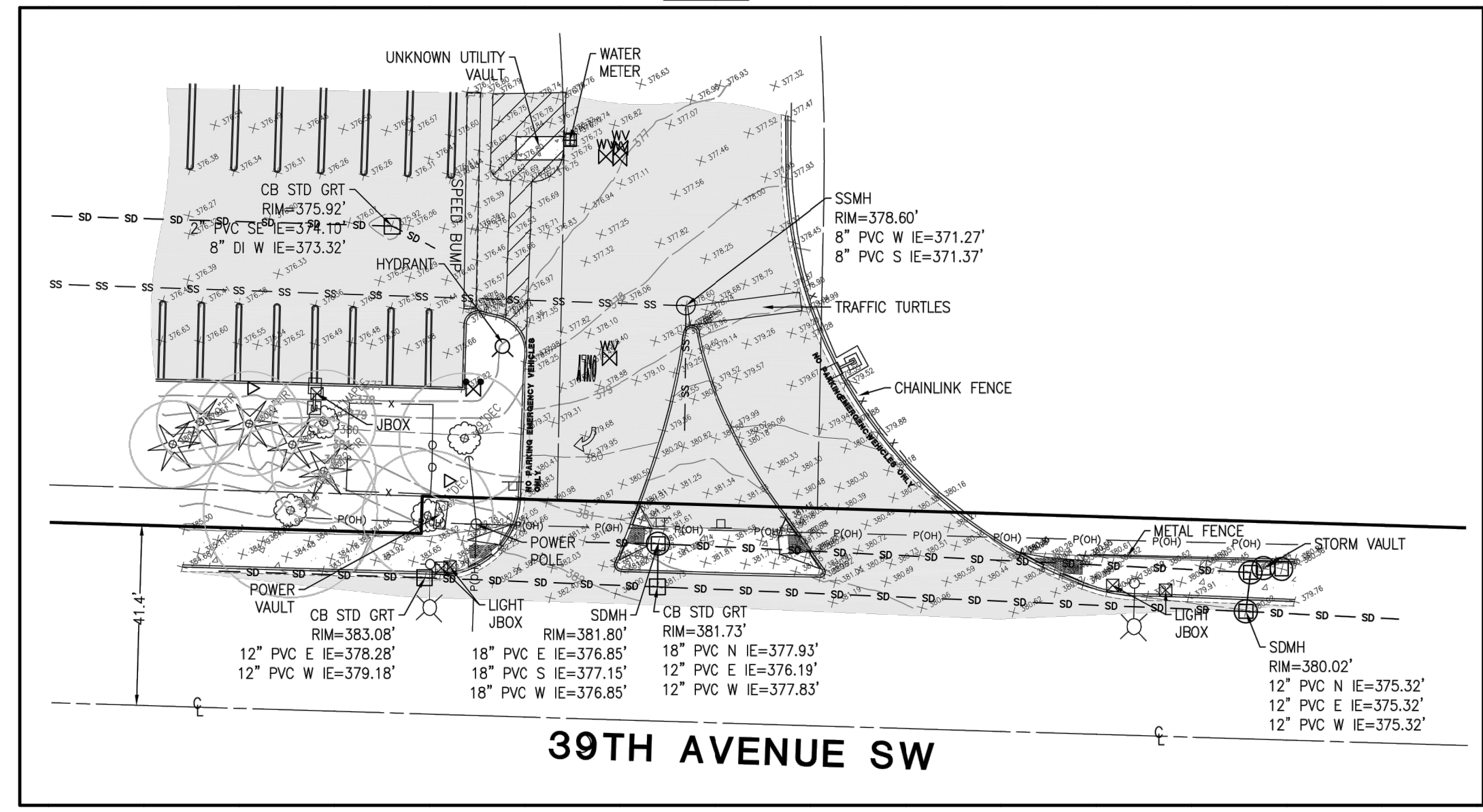
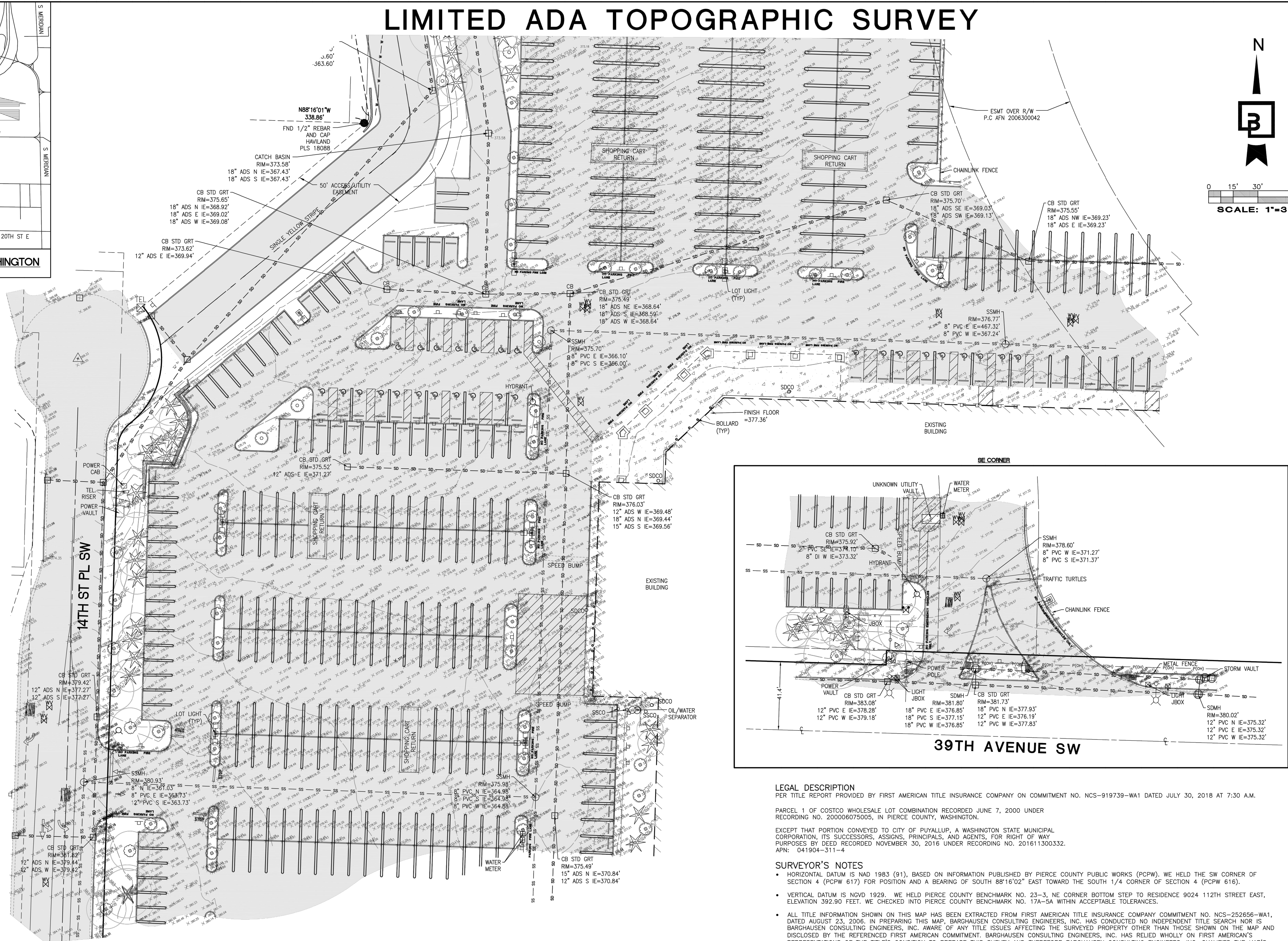
- (R) REFERENCE SURVEYS
- (OH) OVERHEAD
- (UG) UNDERGROUND
- (TYP) TYPICAL
- (C) CALCULATED
- (M) MEASURED
- (DL) DRUPLINE RADIUS
- (X) TREE

### SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY UPON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND CORRECTLY REFLECTS THE CONDITIONS OF THIS SITE AS OF THE DATE OF THE FIELD SURVEY.

*Brian D. Gillooly*  
BRIAN D. GILLOOLY, P.E.  
WASHINGTON REGISTRATION NO. 46315  
BGILLOOLY@BARGHAUSEN.COM

02/03/20  
DATE



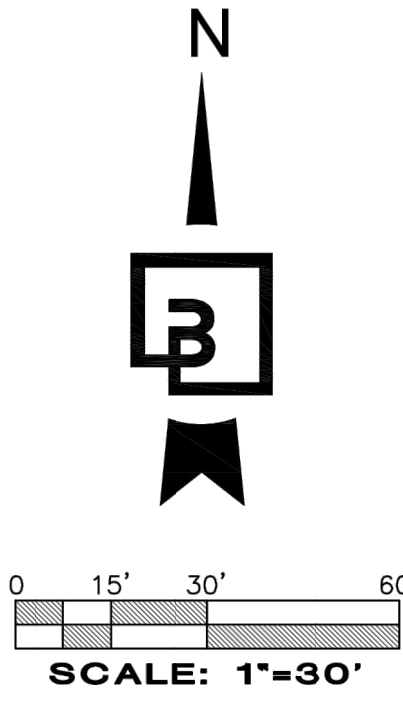
### LEGAL DESCRIPTION

PER TITLE REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY ON COMMITMENT NO. NCS-919739-WA1 DATED JULY 30, 2018 AT 7:30 A.M.  
PARCEL 1 OF COSTCO WHOLESALE LOT COMBINATION RECORDED JUNE 7, 2000 UNDER RECORDING NO. 200006075005, IN PIERCE COUNTY, WASHINGTON.  
EXCEPT THAT PORTION CONVEYED TO CITY OF PUYALLUP, A WASHINGTON STATE MUNICIPAL CORPORATION, ITS SUCCESSORS, AGENTS, PRINCIPALS, AND AGENTS, FOR RIGHT OF WAY PURPOSES BY DEED RECORDED NOVEMBER 30, 2016 UNDER RECORDING NO. 201611300332.  
APN: 041904-311-4

### SURVEYOR'S NOTES

- HORIZONTAL DATUM IS NAD 1983 (91), BASED ON INFORMATION PUBLISHED BY PIERCE COUNTY PUBLIC WORKS (PCPW). WE HELD THE SW CORNER OF SECTION 4 (PCPW 6173) FOR POSITION AND A BEARING OF SOUTH 89°16'02" EAST TOWARD THE SOUTH 1/4 CORNER OF SECTION 4 (PCPW 616).
- VERTICAL DATUM IS NVD 1929. WE HELD PIERCE COUNTY BENCHMARK NO. 23-3, NE CORNER BOTTOM STEP TO RESIDENCE 6024 112TH STREET EAST, ELEVATION 392.90 FEET. WE CHECKED INTO PIERCE COUNTY BENCHMARK NO. 17A-SA WITHIN ACCEPTABLE TOLERANCES.
- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-252658-WA1, DATED AUGUST 23, 2006. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED FIRST AMERICAN COMMITMENT. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON FIRST AMERICAN'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- TAX PARCEL NUMBER ON THE SUBJECT PROPERTY IS: 041904-311-4.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JANUARY 24, 2020. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECORDED FOR THIS PROJECT IN APRIL, 1999.
- ALL DISTANCES ARE IN FEET (U.S. SURVEY FEET).
- SITE ADDRESS: 1201 39TH AVE SW, PUYALLUP WA
- PARKING STALL COUNT  
REGULAR STALLS: 715  
HANDICAP STALLS: 27  
TOTAL: 742
- THIS IS A FIELD TRAVERSE SURVEY. A TOPCON GT ROBOTIC TOTAL STATION WAS USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL INSTRUMENTS AND EQUIPMENT HAVE BEEN MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURERS' SPECIFICATIONS.

**APPROVED**  
BY: *[Signature]*  
CITY OF PUYALLUP  
DEVELOPMENT SERVICES  
DATE: 02/19/2021  
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.  
FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER



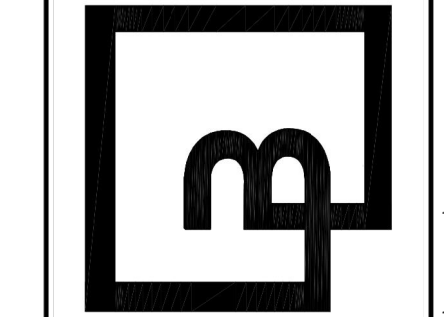
Job Number: 12865  
Sheet: 6  
C2.0

For: COSTCO WHOLESALE

Scale: Horizontal 1"=30'  
Vertical

Designed: [Blank]  
Drawn: [Blank]  
Checked: [Blank]  
Approved: [Blank]  
Date: 1/22/20

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



# DEMOLITION AND EROSION CONTROL PLAN

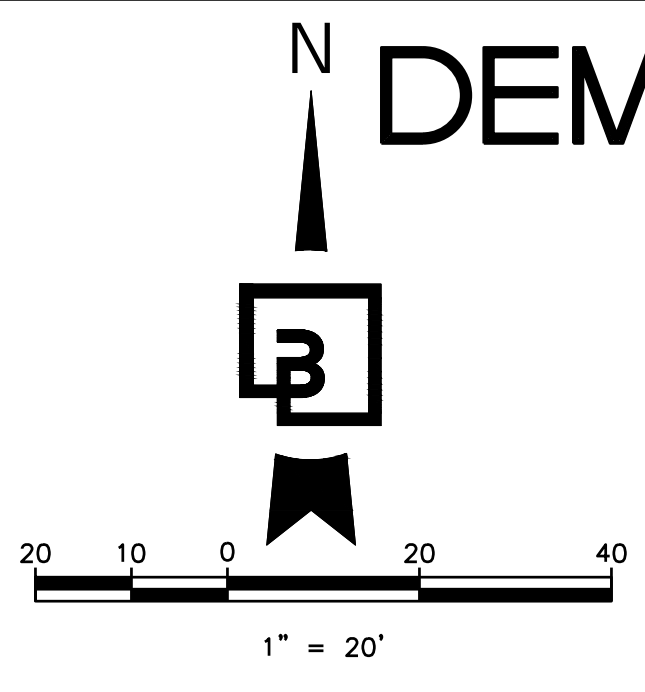
## COSTCO WHOLESALE ON-SITE ADA IMPROVEMENTS

### 1201 39TH AVENUE SW, PUYALLUP, WA 98373

### COSTCO FACILITY #660

### SW $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SEC 4, T19N, R4E

### APN# 041904-311-4



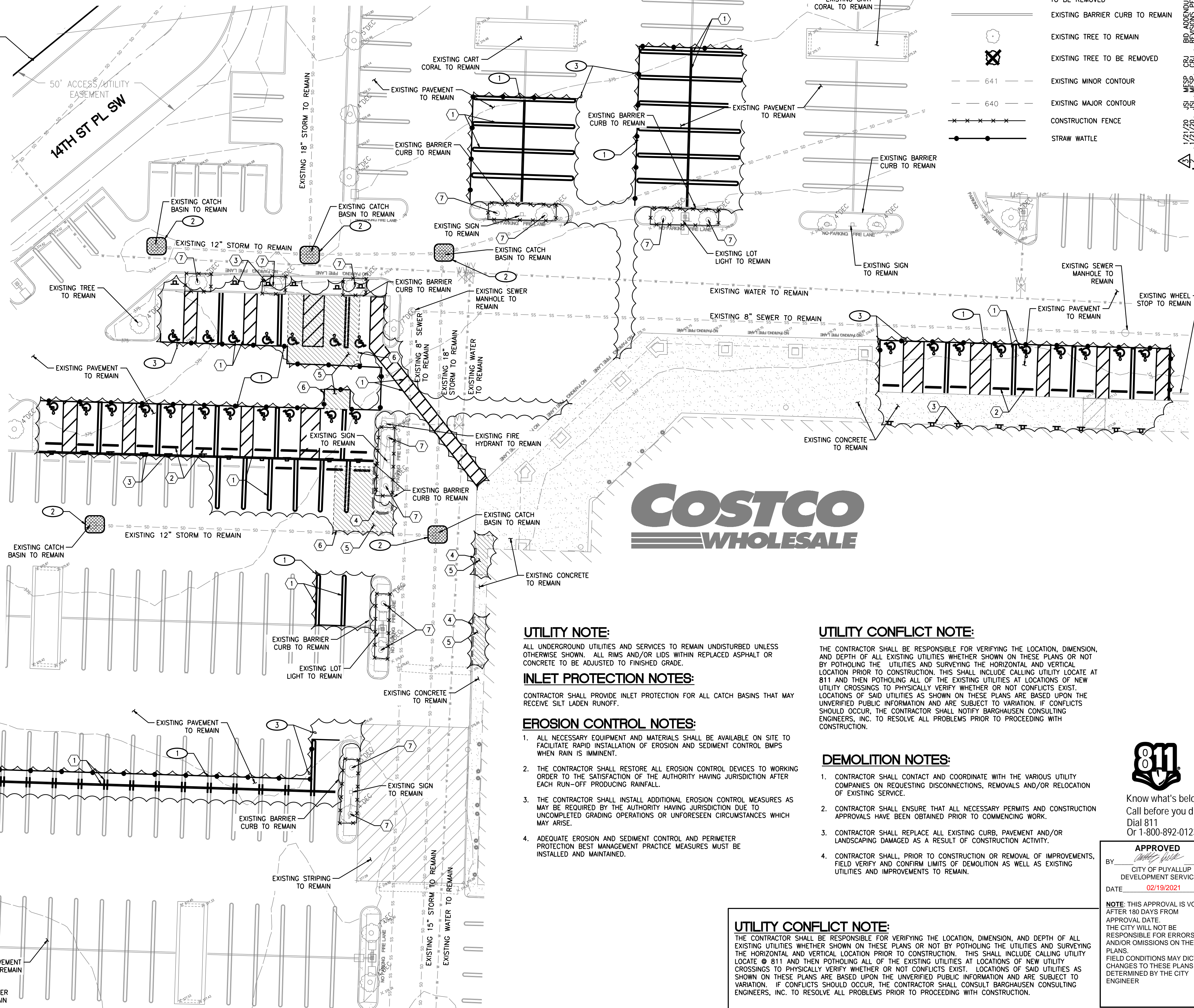
**TESC LEGEND**

	FULL DEPTH PAVEMENT REMOVAL
	PROPOSED INLET PROTECTION
	PROPERTY LINE
	SAWCUT LINE
	LIMITS OF DISTURBANCE
	EXISTING BARRIER CURB TO BE REMOVED
	EXISTING BARRIER CURB TO REMAIN
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	CONSTRUCTION FENCE
	STRAW WATTLE

- EROSION CONTROL NOTES:**
- CONTRACTOR TO INSTALL STRAW WATTLE AROUND PERIMETER OF WORK AREA AS NECESSARY TO PREVENT SILT-LADEN RUNOFF FROM LEAVING WORK AREA, AND AS DIRECTED BY CITY INSPECTOR. SEE DETAIL 1 SHEET C3.1.
  - CONTRACTOR TO INSTALL TEMPORARY INLET PROTECTION AT ALL EXISTING AND PROPOSED CATCH BASINS AS NECESSARY TO PREVENT SILT-LADEN WATER FROM ENTERING STORM DRAINAGE SYSTEM. COORDINATE PLACEMENT WITH PROPERTY OWNERS AND AS DIRECTED BY CITY INSPECTOR. SEE DETAIL 2 SHEET C3.1.
  - APPROXIMATE LIMITS OF DISTURBANCE.

- DEMOLITION CALLOUTS:**
- EXISTING PAINT MARKING TO BE REMOVED. CONTRACTOR TO SANDBLAST PAVEMENT TO REMOVE EXISTING PAINT STRIPING (TYP.).
  - EXISTING WHEEL STOP TO BE REMOVED AND DISPOSED OF OFF-SITE (TYP.).
  - EXISTING ADA SIGN TO BE REMOVED AND DISPOSED OF OFF-SITE (TYP.).
  - EXISTING BARRIER CURB TO BE REMOVED AND DISPOSED OF OFF-SITE.
  - EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF OFF-SITE.
  - PROPOSED SAWCUT (TYP.) WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT. PROVIDE LAP JOINT PER DETAIL 3 SHEET C3.1.
  - EXISTING TREE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION. SEE DETAIL 4 AND 5 ON SHEET C3.1.
  - EXISTING TREE TO BE REMOVED AND DISPOSED OF OFF-SITE.
  - EXISTING STOP SIGN TO BE RELOCATED.
  - EXISTING FIRE LANE SIGN TO BE RELOCATED.

- CONSTRUCTION SEQUENCE:**
- HOLD A PRECONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
  - ESTABLISH CLEARING AND GRADING LIMITS.
  - CONSTRUCT PERIMETER SILT FENCES, AND OTHER EROSION CONTROL DEVICES AS SHOWN.
  - CONSTRUCT PROTECTION DEVICES FOR CRITICAL AREAS AND SIGNIFICANT TREES PROPOSED FOR RETENTION.
  - SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
  - AFTER ALL DRAINAGE AND EROSION CONTROL MEASURES ARE IN PLACE AND NOTIFY SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING GRADING ACTIVITIES.
  - ALL EROSION CONTROL MEASURES INCLUDING AND NOT LIMITED TO SILT FENCE AND INLET PROTECTION SHALL BE CHECKED DAILY TO ENSURE PROPER EROSION AND SEDIMENT CONTROL AND MAINTAINED AS NECESSARY.



**UTILITY NOTE:**  
ALL UNDERGROUND UTILITIES AND SERVICES TO REMAIN UNDISTURBED UNLESS OTHERWISE SHOWN. ALL RIMS AND/OR LOS WITHIN REPLACED ASPHALT OR CONCRETE TO BE ADJUSTED TO FINISHED GRADE.

**INLET PROTECTION NOTES:**  
CONTRACTOR SHALL PROVIDE INLET PROTECTION FOR ALL CATCH BASINS THAT MAY RECEIVE SILT-LADEN RUNOFF.

- EROSION CONTROL NOTES:**
- ALL NECESSARY EQUIPMENT AND MATERIALS SHALL BE AVAILABLE ON SITE TO FACILITATE RAPID INSTALLATION OF EROSION AND SEDIMENT CONTROL BMPS WHEN RAIN IS IMMINENT.
  - THE CONTRACTOR SHALL RESTORE ALL EROSION CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AFTER EACH RUN-OFF PRODUCING RAINFALL.
  - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES WHICH MAY ARISE.
  - ADEQUATE EROSION AND SEDIMENT CONTROL AND PERIMETER PROTECTION BEST MANAGEMENT PRACTICE MEASURES MUST BE INSTALLED AND MAINTAINED.

**UTILITY CONFLICT NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

- DEMOLITION NOTES:**
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH THE VARIOUS UTILITY COMPANIES ON REQUESTING DISCONNECTIONS, REMOVALS AND/OR RELOCATION OF EXISTING SERVICE.
  - CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND CONSTRUCTION APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
  - CONTRACTOR SHALL REPLACE ALL EXISTING CURB, PAVEMENT AND/OR LANDSCAPING DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY.
  - CONTRACTOR SHALL, PRIOR TO CONSTRUCTION OR REMOVAL OF IMPROVEMENTS, FIELD VERIFY AND CONFIRM LIMITS OF DEMOLITION AS WELL AS EXISTING UTILITIES AND IMPROVEMENTS TO REMAIN.

**UTILITY CONFLICT NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



Know what's below.  
Call before you dig.  
Dial 811  
Or 1-800-892-0123

**APPROVED**  
BY:   
CITY OF PUYALLUP  
DEVELOPMENT SERVICES  
DATE: 02/19/2021

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER.

**Title:** DEMOLITION AND EROSION CONTROL PLAN  
1201 39TH AVENUE SW PUYALLUP, WA 98373  
COSTCO ON-SITE ADA UPGRADES  
COSTCO LOCATION #660

**For:**   
COSTCO WHOLESALE  
999 LAKE DRIVE  
ISSAQUAH, WA 98027



Scale: Horizontal 1" = 20', Vertical N/A  
Designed: JSL, JSE, JSP  
Drawn: JSE, JSP  
Checked: JSE, JSP  
Approved: JSL  
Date: 2/23/20

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)

Job Number: 12865  
Sheet: 6  
C3.0 of 6

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# EROSION CONTROL NOTES AND DETAILS

## COSTCO WHOLESALE ON-SITE ADA IMPROVEMENTS

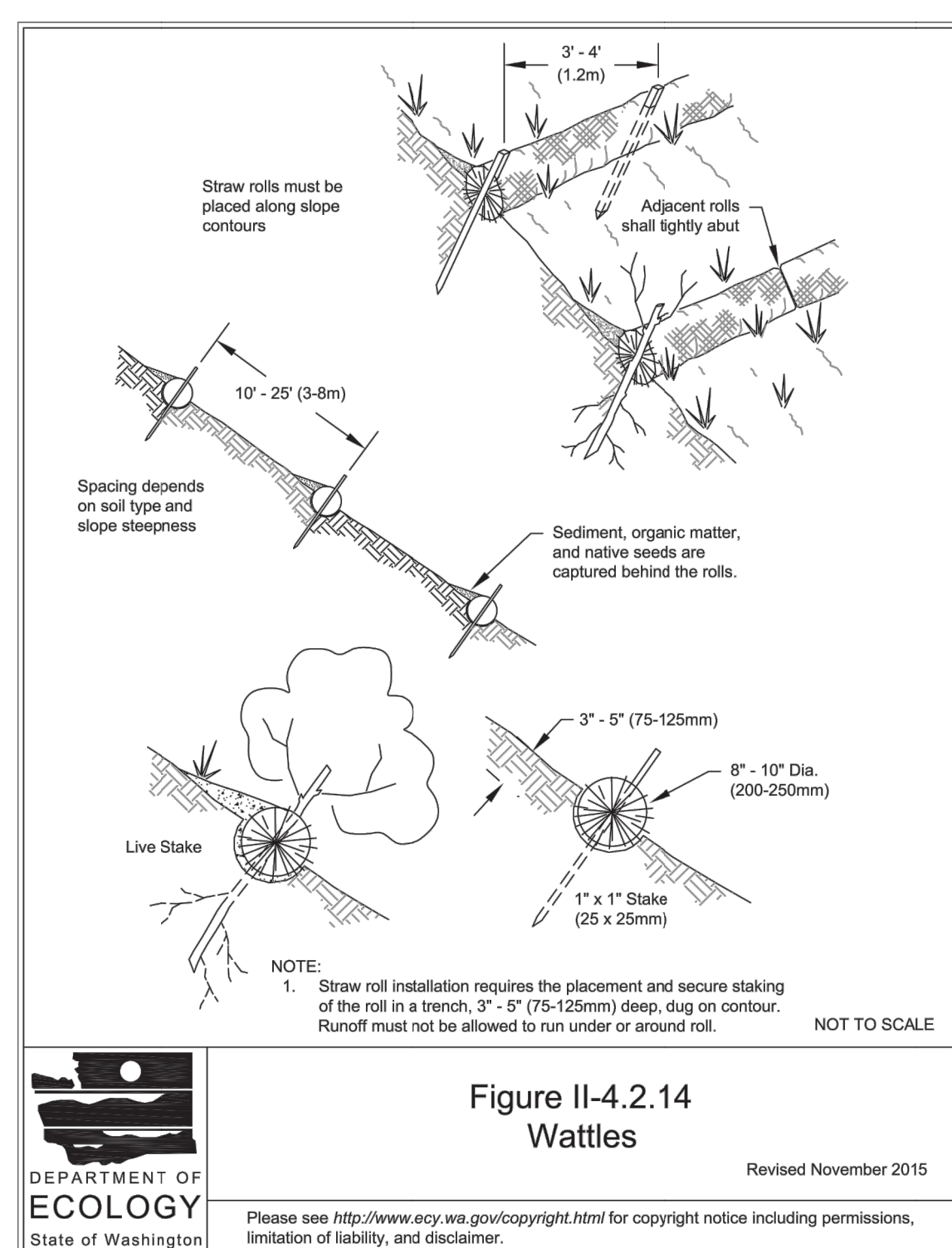
### 1201 39TH AVENUE SW, PUYALLUP, WA 98373

#### COSTCO FACILITY #660

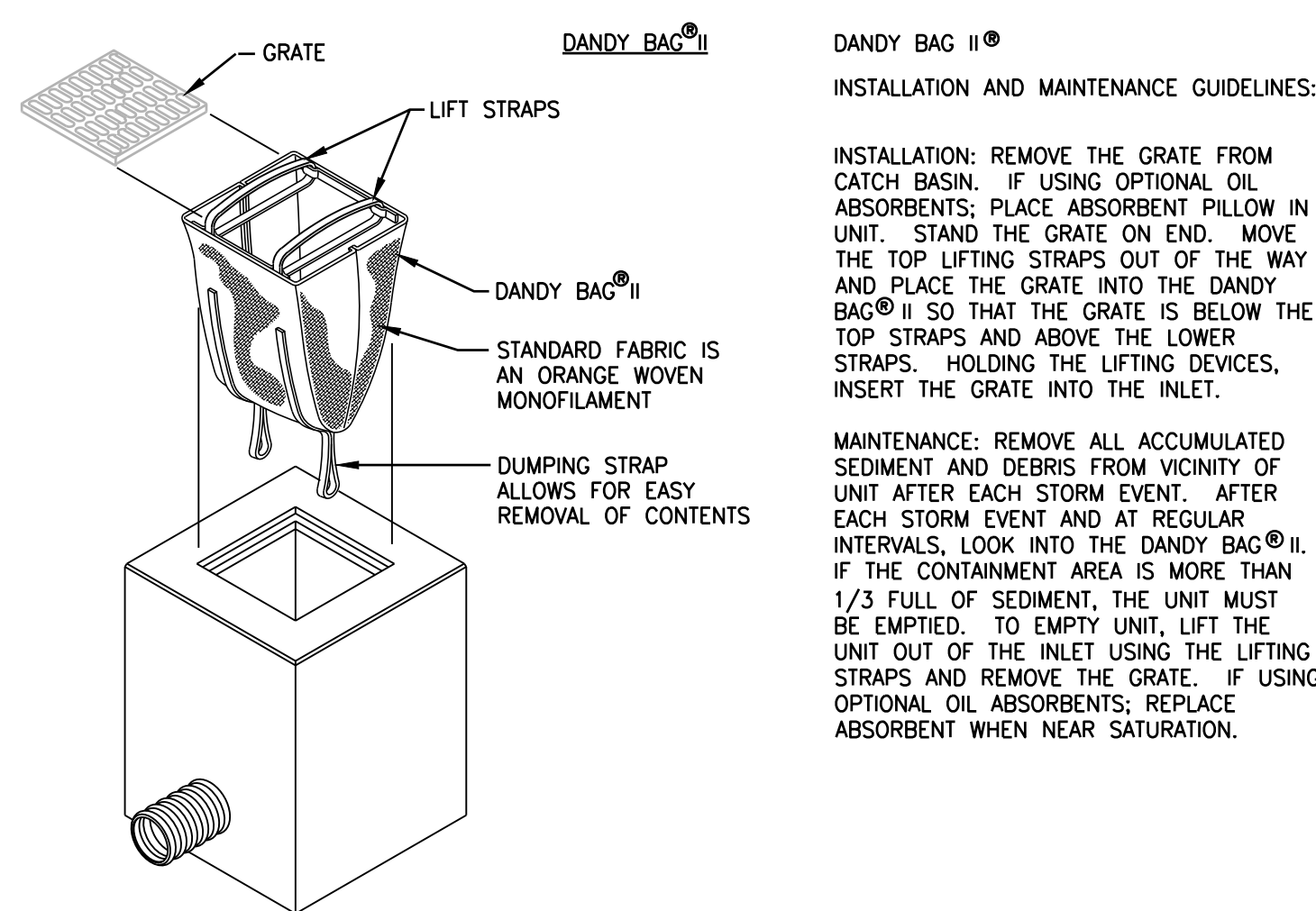
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#### APN# 041904-311-4

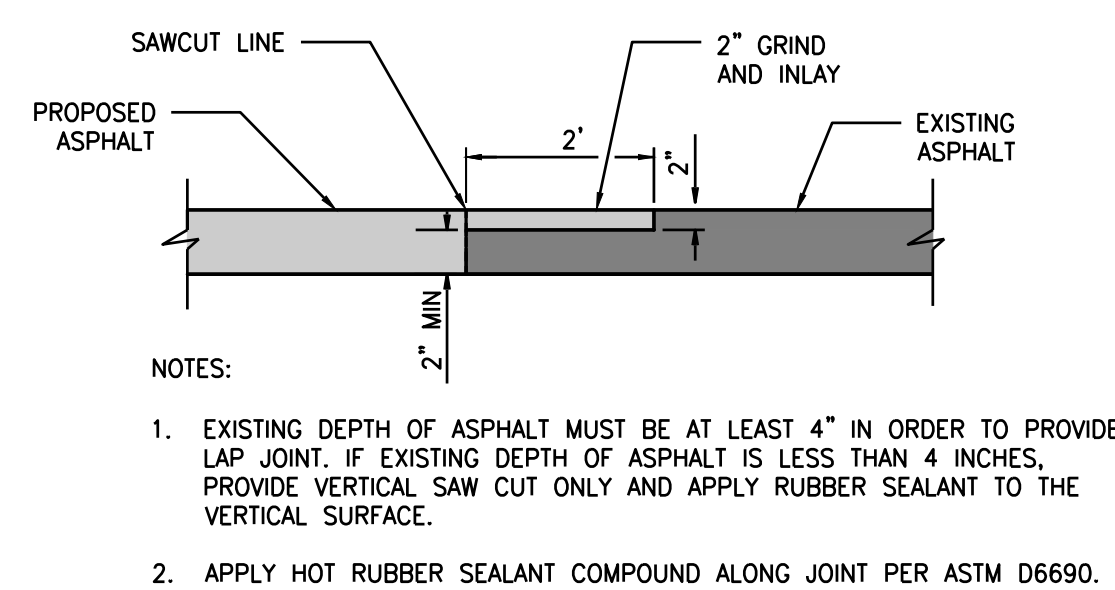
Figure II-4.2.14 Wattles



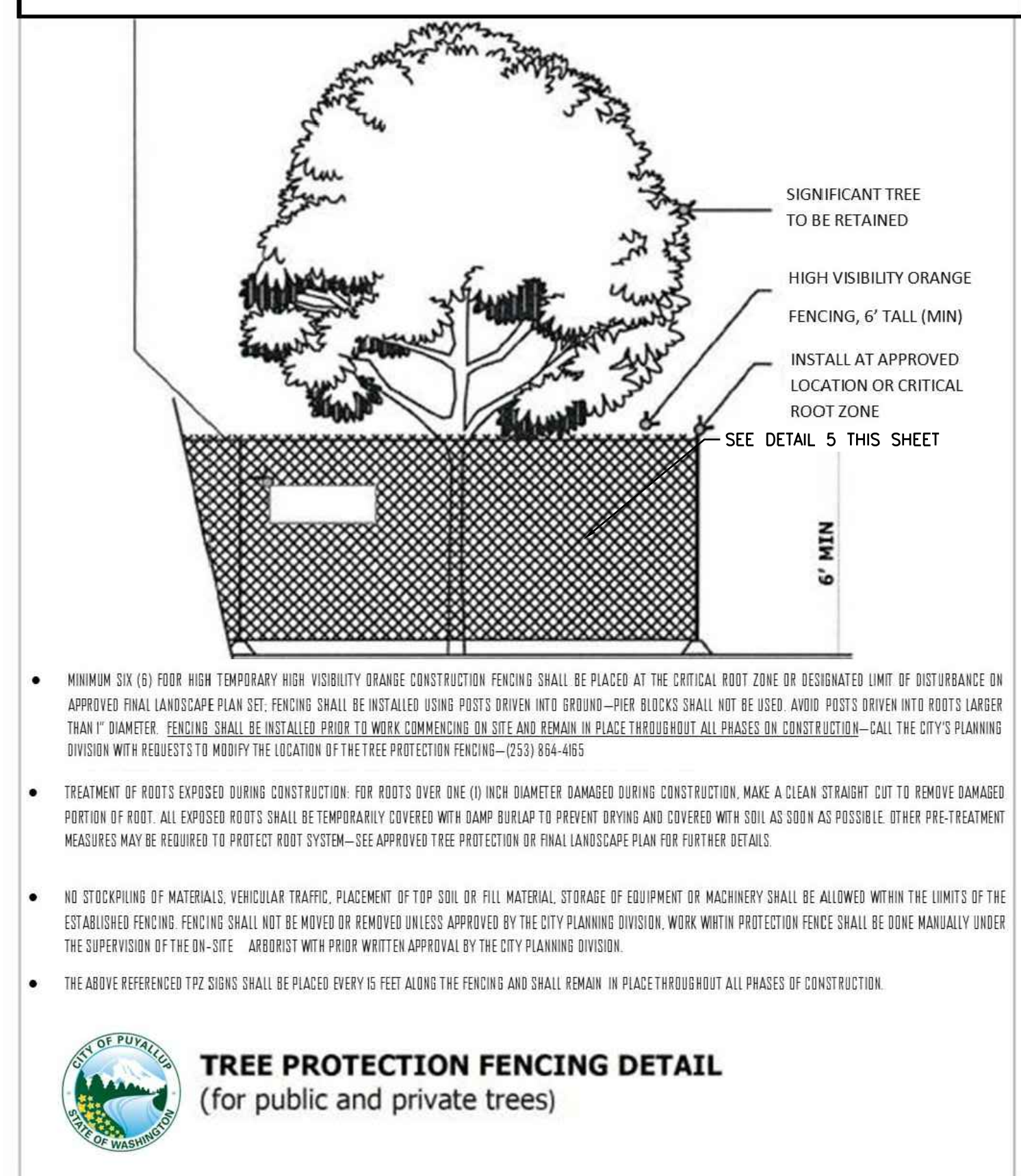
2014 Stormwater Management Manual for Western Washington  
 Volume II - Chapter 4 - Page 378



INLET PROTECTION  
 NOT TO SCALE

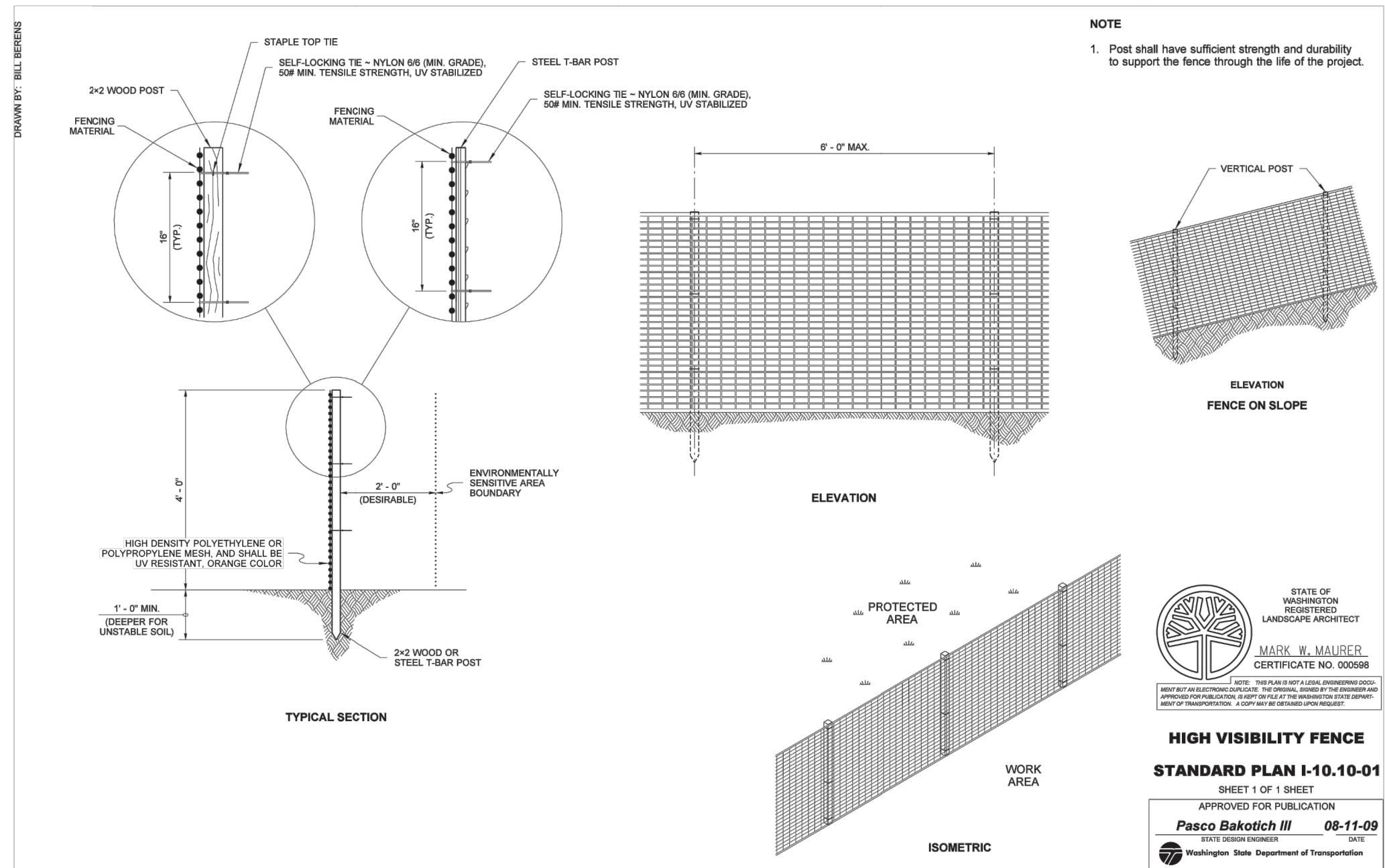


**TREE PROTECTION ZONE (TPZ)**  
 NO ENTRY, NO GRADE CHANGES, STORAGE/STOCKPILING OF MATERIALS OR EQUIPMENT, PLACEMENT OF FILL OR TOP SOIL, TRENCHING OR VEHICULAR/FOOT TRAFFIC PERMITTED WITHIN THE TPZ. THIS TREE BARRIER SHALL NOT BE REMOVED WITHOUT AUTHORIZATION FROM PUYALLUP PLANNING DEPARTMENT—SUBJECT TO FINES AND ENFORCEMENT ACTION BY THE CITY—TO REPORT VIOLATIONS OR FOR MORE INFORMATION—CALL (253) 864-4165



TREE PROTECTION  
 NOT TO SCALE

STRAW WATTLE  
 NOT TO SCALE



CONSTRUCTION FENCE  
 NOT TO SCALE

### CITY OF PUYALLUP EROSION CONTROL NOTES:

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY. UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED, THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS OCCUR, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL THE SITE DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

### HAULING/SILTATION CONTROL NOTES:

- PUBLIC STREETS ARE TO BE KEPT CLEAN OF DIRT AND DEBRIS GENERATED BY WORK. CLEANUP SHALL BE BY SWEEPING AND/OR OTHER APPROVED METHODS ON A DAILY BASIS.
- CONTRACTOR SHALL PROVIDE SILT BAGS OR OTHER SILTATION CONTROL MEASURES ON EXISTING CATCH BASIN(S) IN PROXIMITY OF WORK WHICH HAVE POTENTIAL TO RECEIVE SURFACE RUNOFF FROM THE WORK AREA OR ANY LOCATIONS THAT MAY BE DESIGNATED BY THE AUTHORITY HAVING JURISDICTION DURING THE COURSE OF THE WORK.
- EFFORTS SHALL BE MADE DURING CONSTRUCTION ACTIVITIES TO STABILIZE ALL DISTURBED AREAS AS QUICKLY AS POSSIBLE TO MINIMIZE EROSION.
- ITEMS FOR DEMOLITION ARE DEPICTED PER DESIGN DRAWINGS. CONTRACTOR TO VERIFY AND LOCATE ANY ITEMS FOR DEMOLITION PRIOR TO START OF CONSTRUCTION AND NOTIFY BARGHAUSEN CONSULTING ENGINEERS, INC. IMMEDIATELY OF ANY DISCREPANCIES.
- CONTRACTOR TO REVIEW AS-BUILT DRAWINGS IN PROJECT AREA AND REMOVE AND/OR RELOCATE ANY SITE APPURTENANCES IN PROJECT AREA THAT IMPACT THE PROJECT.

### DUST CONTROL NOTES:

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- WATER OR COVER STOCKPILES OF DEBRIS, SOIL, SAND OR OTHER MATERIALS THAT CAN BE BLOWN BY THE WIND.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEDBOARD.
- SWEEP DAILY (PREFERABLY WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP STREETS DAILY (PREFERABLY WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.

### SITE PLAN NOTE:

PRIOR TO SAWCUTTING ANY ASPHALT/CONCRETE OR COMMENCING WITH ANY DEMOLITION ACTIVITY, COORDINATE AND VERIFY EXTENT OF NECESSARY DEMOLITION WITH GRADING AND SITE PLAN. IT MAY BE NECESSARY TO REMOVE MORE PAVEMENT/CURSING THAN IS SHOWN TO MEET ADA REQUIREMENTS.

### STAGING AREA NOTE:

CONTRACTOR TO COORDINATE WITH ARCHITECT, COSTCO CONSTRUCTION PROJECT MANAGER AND WAREHOUSE MANAGER TO DETERMINE APPROPRIATE STAGING AREA. STAGING AREA TO COMPLY WITH COSTCO PROPERTY MANAGEMENT STAGING REQUIREMENTS.

### SURVEY MONUMENT PROTECTION NOTE:

CONTRACTOR SHALL FIELD LOCATE ALL MONUMENTS WITHIN THE AREA OF DISTURBANCE PRIOR TO CONSTRUCTION AND PROTECT FROM DISTURBANCE/DESTRUCTION TO THE MAXIMUM EXTENT FEASIBLE. IF IT IS NECESSARY TO REMOVE OR REPLACE A MONUMENT DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION HAVING AUTHORITY (RCW 58.24.040) AND BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES PRIOR TO DISTURBANCE. DESTRUCTION, OR RELOCATION (WAC 332-120). APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR AND MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES  
 PUBLIC LAND SURVEY OFFICE  
 1111 WASHINGTON STREET S.E.  
 P.O. BOX 47060  
 OLYMPIA, WASHINGTON 98504-7060  
 (206) 902-1190

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED THAT ARE ABLE TO BE REPLACED, SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

### UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE LOCATION AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

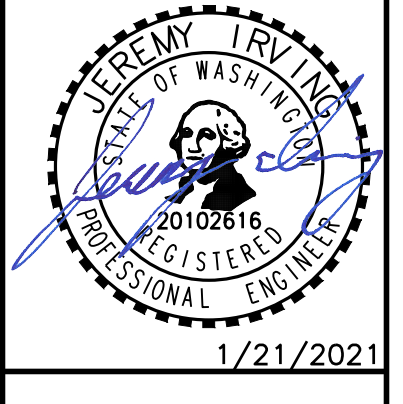
Revision

No.	Date	By	Appr.
1	1/21/2021	CSJ	CSJ
2	9/21/2021	CSJ	CSJ
3	12/11/2021	CSJ	CSJ

BR. ADRIAN BARKHAUSEN  
 CITY PLANNING DIVISION  
 PERMIT SUBMITTAL

**File:**  
**EROSION CONTROL NOTES AND DETAILS**  
 1201 39TH AVENUE SW PUYALLUP, WA 98373  
 COSTCO ON-SITE ADA UPGRADES  
 COSTCO LOCATION #660

**Costco Wholesale**  
 COSTCO WHOLESALE  
 999 LAKE DRIVE  
 ISSAQUAH, WA 98027



Scale:

Horizontal	N/A
Vertical	N/A

Designed by: CSJ  
 Drawn by: CSJ  
 Checked by: CSJ  
 Approved by: CSJ  
 Date: 1/21/2021

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
[barghausen.com](http://barghausen.com)



Job Number: 12865  
 Sheet: 6  
 C3.1 of 6

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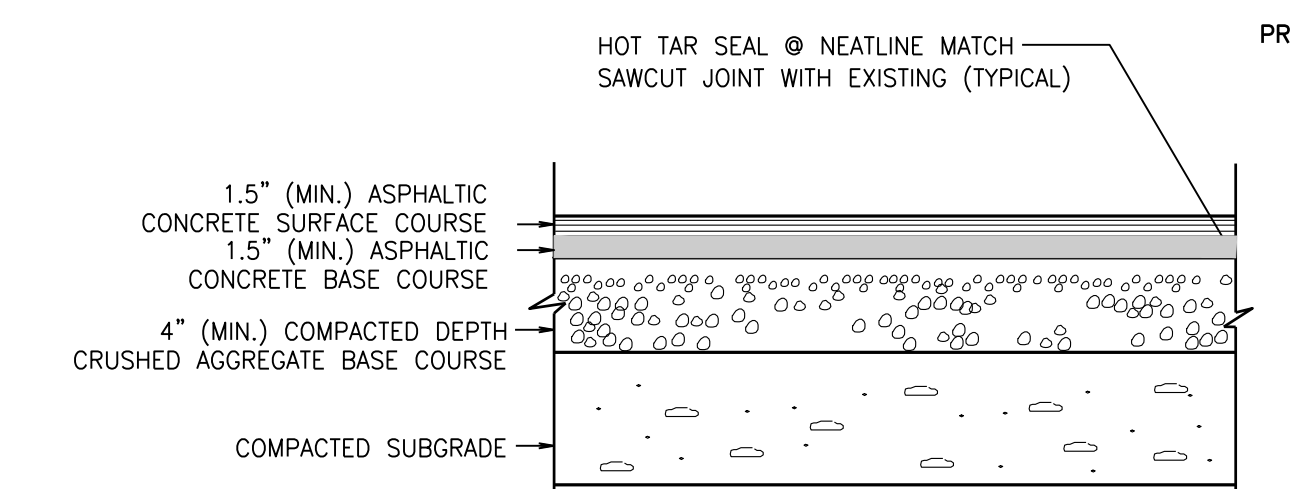
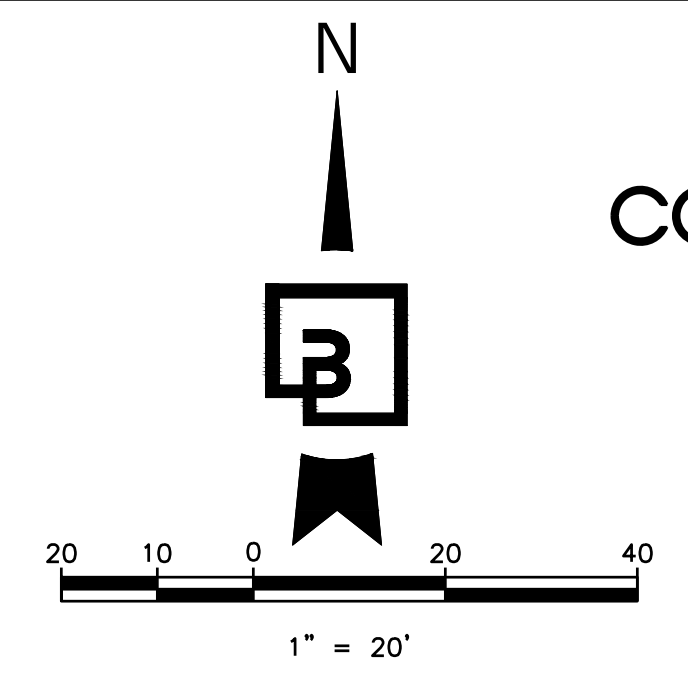
**APPROVED**  
 BY: [Signature]  
 CITY OF PUYALLUP  
 DEVELOPMENT SERVICES  
 DATE: 02/19/2021

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER

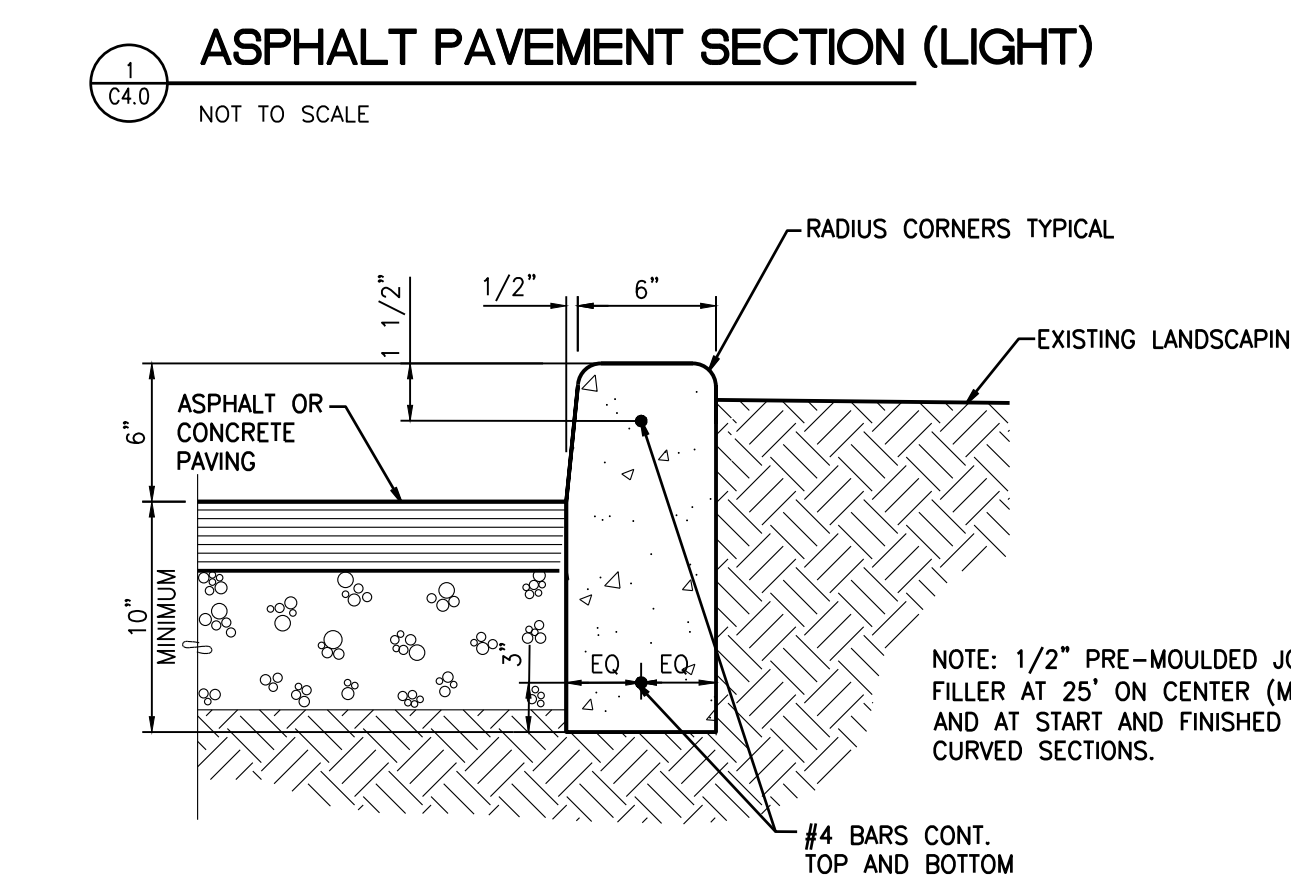
# SITE PLAN

## COSTCO WHOLESALE ON-SITE ADA IMPROVEMENTS

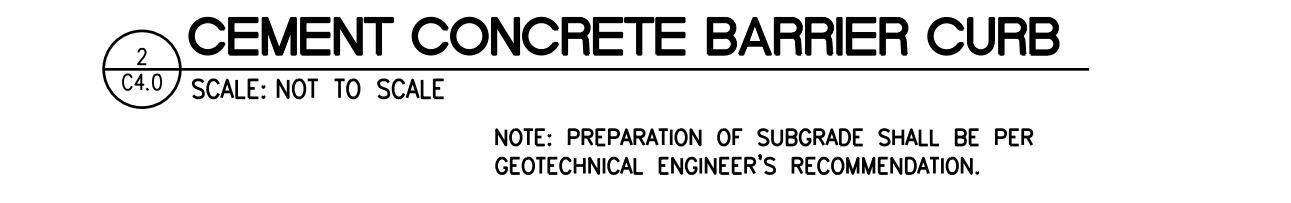
1201 39TH AVENUE SW, PUYALLUP, WA 98373  
COSTCO FACILITY #660  
SW $\frac{1}{4}$  OF THE SW $\frac{1}{4}$  OF SEC 4, T19N, R4E  
APN# 041904-311-4



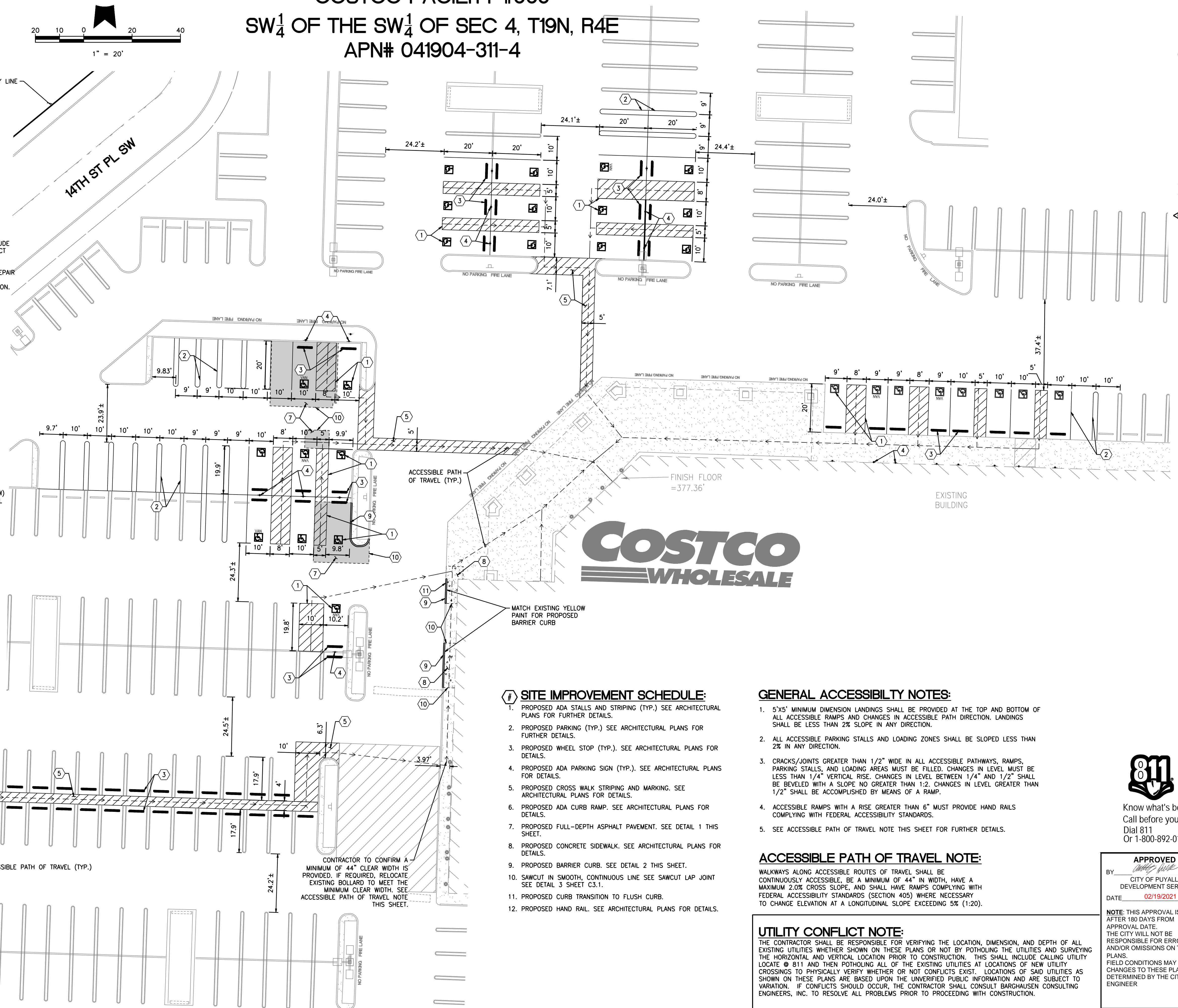
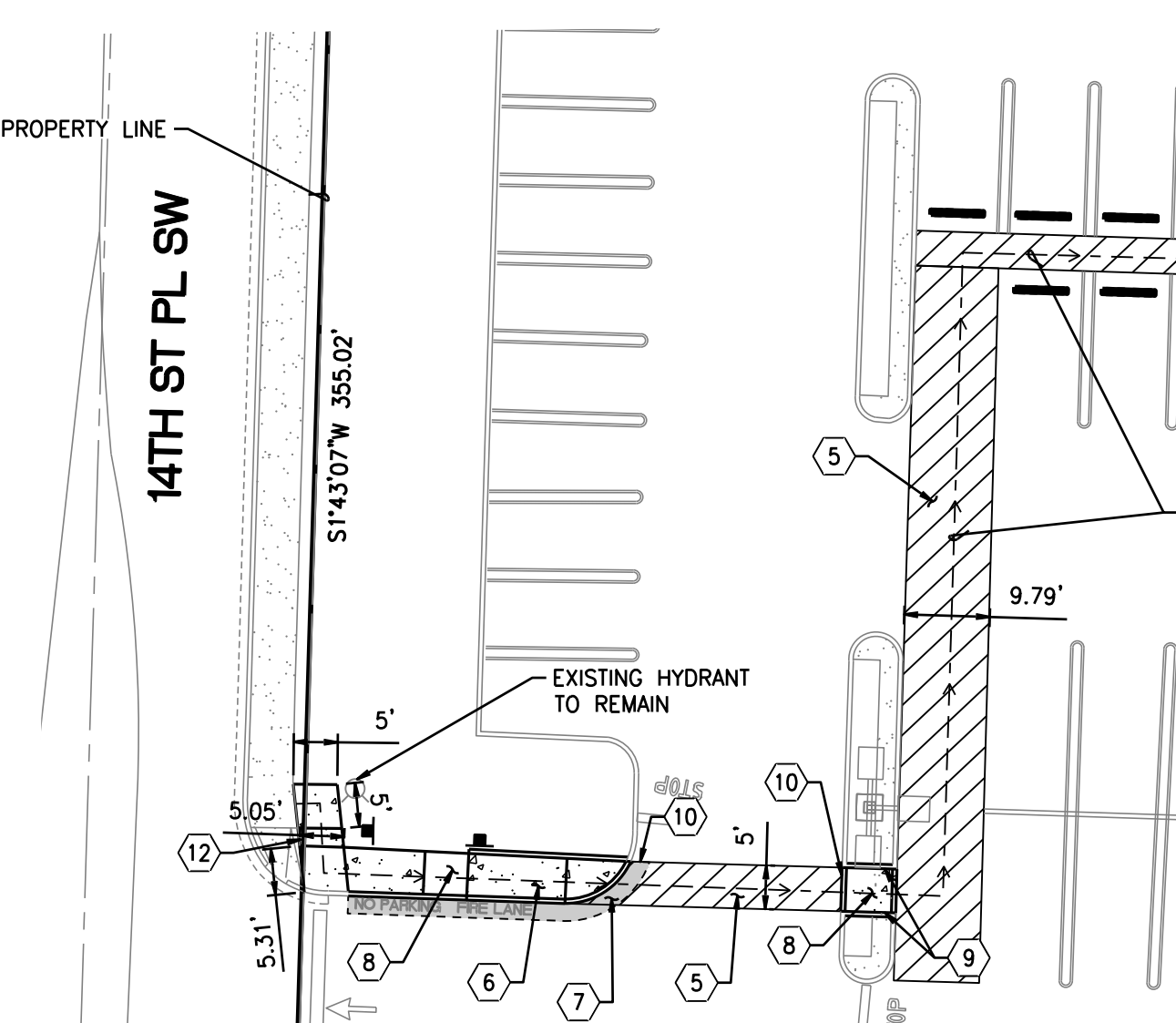
- NOTES:**
1. A.C. PAVEMENT SPECIFICATION SHALL BE APPROVED BY SOILS ENGINEER.
  2. PREPARATION OF SUBGRADE SHALL BE PER PROCEDURES OUTLINED IN THE SOILS REPORT.
  3. CONTRACTOR SHALL INCLUDE A LUMP SUM FOR ASPHALT SURFACE SEAL COAT. CONTRACTOR SHALL INCLUDE APPLICATION METHOD AND RATE, PRODUCT SUBMITTAL AND A UNIT PRICE BID IN ACCORDANCE WITH PROJECT SPECIFICATIONS. CONTRACTOR SHALL PROVIDE A DUSTING OF SAND WHERE EXCESS EMULSION CAUSES ASPHALT PICK-UP OR SLIPPERY SURFACE. CONTRACTOR SHALL REMOVE EXISTING VEGETATION FROM ALL CRACKS AND JOINTS. SAND BLAST OR AIR BLAST, APPLY WEED KILLER AND HOT TAR SEAL, PATCH AND REPAIR PAVEMENT FAILURES, ALL PRIOR TO APPLICATION OF SEAL COAT. FIELD VERIFY LIMITS OF SEAL COAT IN AREAS OF NEW STRIPING, PATCHES AND CONFIRM WITH PROJECT MANAGER PRIOR TO PREP. AND APPLICATION.



- NOTES:**
1. PROVIDE WEAKENED PLAIN JOINT EVERY 10'. EXPANSION JOINT EVERY 50' AND @ THE START AND FINISH OF ALL CURVED SECTIONS.
  2. PAINT CURBS WHERE NOTED ON ARCH. SITE PLAN.
  3. PREPARATION OF SUBGRADE SHALL BE PER PER COSTCO STANDARD SPECIFICATIONS PROCEDURES OR AS OUTLINED IN THE LATEST EDITION OF THE SOILS REPORT.
  4. CONCRETE SHALL BE Type II or V AND SHALL BE 560-C-3250.



- NOTE:** PREPARATION OF SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATION.



- 4 SITE IMPROVEMENT SCHEDULE:**
1. PROPOSED ADA STALLS AND STRIPING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
  2. PROPOSED PARKING (TYP.) SEE ARCHITECTURAL PLANS FOR FURTHER DETAILS.
  3. PROPOSED WHEEL STOP (TYP.). SEE ARCHITECTURAL PLANS FOR DETAILS.
  4. PROPOSED ADA PARKING SIGN (TYP.). SEE ARCHITECTURAL PLANS FOR DETAILS.
  5. PROPOSED CROSS WALK STRIPING AND MARKING. SEE ARCHITECTURAL PLANS FOR DETAILS.
  6. PROPOSED ADA CURB RAMP. SEE ARCHITECTURAL PLANS FOR DETAILS.
  7. PROPOSED FULL-DEPTH ASPHALT PAVEMENT. SEE DETAIL 1 THIS SHEET.
  8. PROPOSED CONCRETE SIDEWALK. SEE ARCHITECTURAL PLANS FOR DETAILS.
  9. PROPOSED BARRIER CURB. SEE DETAIL 2 THIS SHEET.
  10. SAWCUT IN SMOOTH, CONTINUOUS LINE SEE SAWCUT LAP JOINT SEE DETAIL 3 SHEET (3.1).
  11. PROPOSED CURB TRANSITION TO FLUSH CURB.
  12. PROPOSED HAND RAIL. SEE ARCHITECTURAL PLANS FOR DETAILS.

- GENERAL ACCESSIBILITY NOTES:**
1. 5'x5' MINIMUM DIMENSION LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL ACCESSIBLE RAMPS AND CHANGES IN ACCESSIBLE PATH DIRECTION. LANDINGS SHALL BE LESS THAN 2% SLOPE IN ANY DIRECTION.
  2. ALL ACCESSIBLE PARKING STALLS AND LOADING ZONES SHALL BE SLOPED LESS THAN 2% IN ANY DIRECTION.
  3. CRACKS/JOINTS GREATER THAN 1/2" WIDE IN ALL ACCESSIBLE PATHWAYS, RAMPS, PARKING STALLS, AND LOADING AREAS MUST BE FILLED. CHANGES IN LEVEL MUST BE LESS THAN 1/4" VERTICAL RISE. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP.
  4. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6" MUST PROVIDE HAND RAILS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS.
  5. SEE ACCESSIBLE PATH OF TRAVEL NOTE THIS SHEET FOR FURTHER DETAILS.

**ACCESSIBLE PATH OF TRAVEL NOTE:**  
WALKWAYS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, BE A MINIMUM OF 44" IN WIDTH, HAVE A MAXIMUM 2.0% CROSS SLOPE, AND SHALL HAVE RAMPS COMPLYING WITH FEDERAL ACCESSIBILITY STANDARDS (SECTION 405) WHERE NECESSARY TO CHANGE ELEVATION AT A LONGITUDINAL SLOPE EXCEEDING 5% (1:20).

**UTILITY CONFLICT NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING LOCATE @ 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

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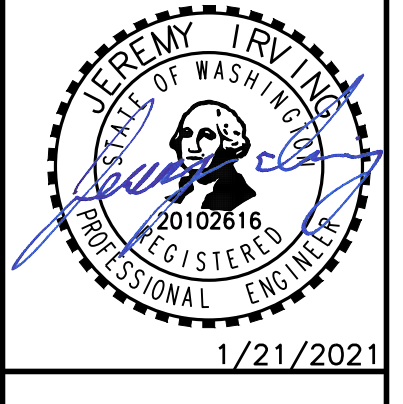
**APPROVED**  
BY: [Signature]  
CITY OF PUYALLUP  
DEVELOPMENT SERVICES  
DATE: 02/19/2021

**NOTE:** THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER.

No.	Date	By	Appr.	Revision
1	1/21/2021	JSL	JSL	BRG APPROVED CITY COMMENTS DATED 12/11/20
2	9/21/2021	JSL	JSL	MESEP PERMIT SUBMITTAL

**Title:** SITE PLAN  
**1201 39TH AVENUE SW PUYALLUP, WA 98373**  
**COSTCO ON-SITE ADA UPGRADES**  
**COSTCO LOCATION #660**

**For:** Costco Wholesale  
**COSTCO WHOLESALE**  
**999 LAKE DRIVE**  
**ISSAQUAH, WA 98027**



Scale:	Horizontal: 1" = 20'	Vertical: N/A
Designed: JSL	Drawn: JSL	Checked: JSL
Approved: JSL	MESEP: JSL	Approved: JSL
Date: 2/2/20		

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 barghausen.com

Job Number: 12865  
Sheet: C4.0 of 6

# GRADING PLAN

## COSTCO WHOLESAL ON-SITE ADA IMPROVEMENTS

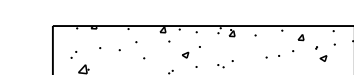
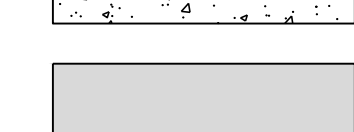
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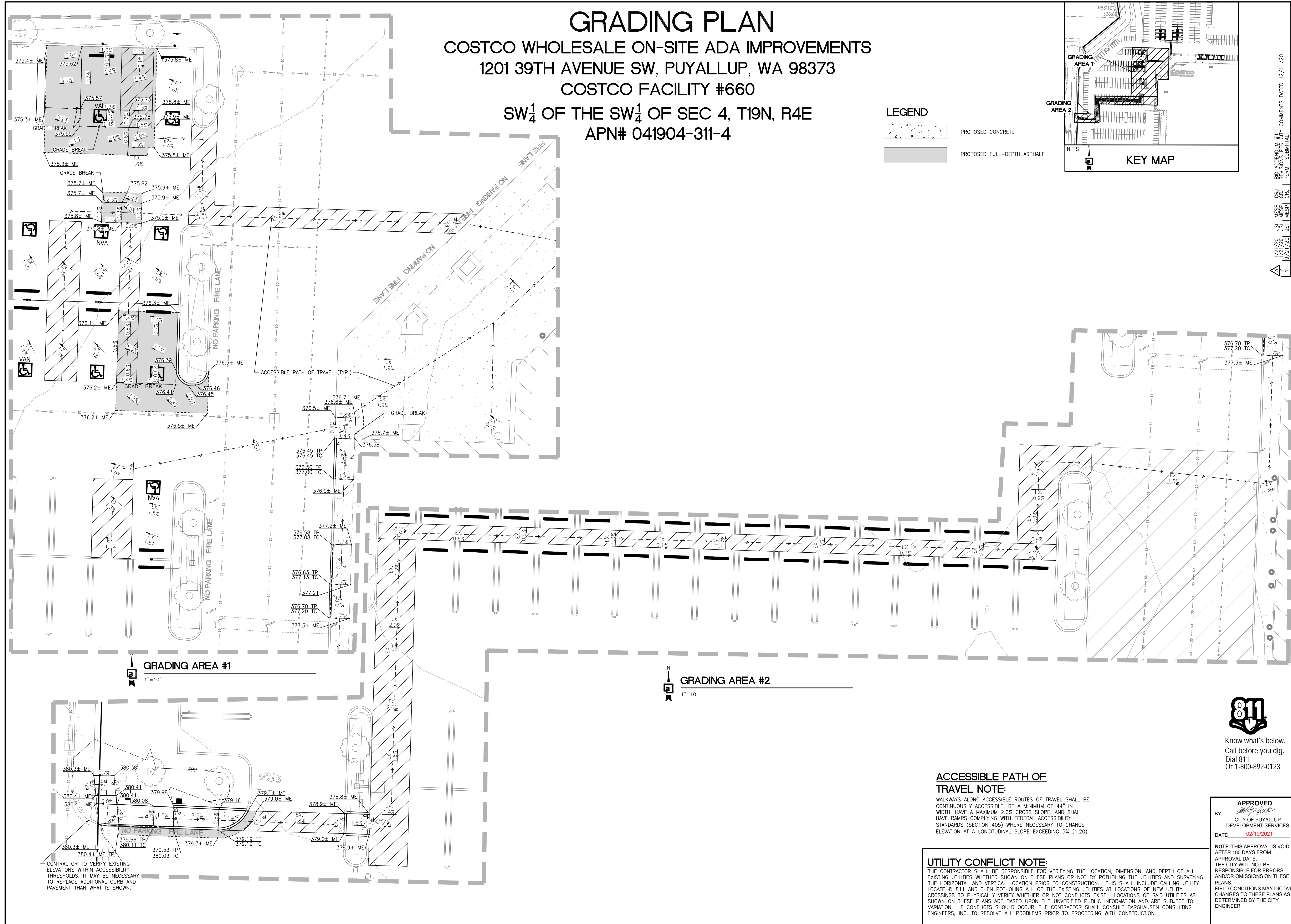
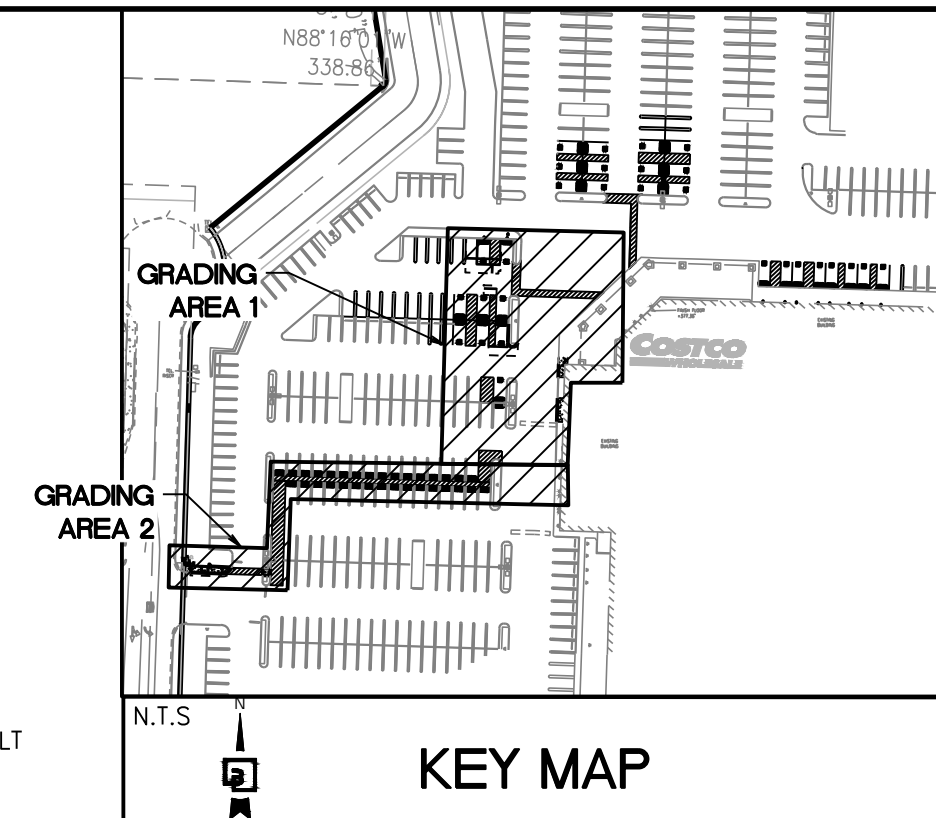
#### COSTCO FACILITY #660

#### SW<sub>4</sub> OF THE SW<sub>4</sub> OF SEC 4, T19N, R4E

#### APN# 041904-311-4

#### LEGEND

-  PROPOSED CONCRETE
-  PROPOSED FULL-DEPTH ASPHALT



**ACCESSIBLE PATH OF TRAVEL NOTE:**  
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**APPROVED**

BY: *[Signature]*  
 CITY OF PUYALLUP  
 DEVELOPMENT SERVICES

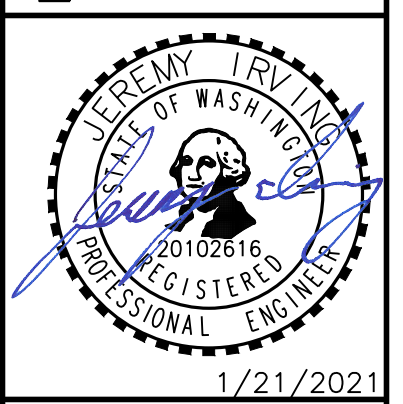
DATE: 02/18/2021

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.  
 THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.  
 FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER

No.	Date	By	Appr.	Revision
1	1/21/2021	JSL	CSJ	BRO. APPROVAL CITY COMMENTS DATED 12/11/20 PERMIT SUBMITTAL
2	9/21/2021	JSL	CSJ	MESP
3	9/21/2021	JSL	CSJ	MESP

**Title:** GRADING PLAN  
**1201 39TH AVENUE SW PUYALLUP, WA 98373**  
**COSTCO ON-SITE ADA UPGRADES**  
**COSTCO LOCATION #660**

**For:**   
**COSTCO WHOLESAL**  
**999 LAKE DRIVE**  
**ISSAQUAH, WA 98027**



Scale:  
 Horizontal 1" = 10'  
 Vertical N/A

Designed: JSL  
 Drawn: JSL  
 Checked: MESP  
 Approved: CSJ  
 Date: 2/2/20

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)

Job Number: **12865**  
 Sheet: **6**  
 of **6**  
 C5.0

CONTRACTOR TO VERIFY EXISTING ELEVATIONS WITHIN ACCESSIBILITY THRESHOLDS. IT MAY BE NECESSARY TO REPLACE ADDITIONAL CURB AND PAVEMENT THAN WHAT IS SHOWN.

# COSTCO WHOLESALE

1201 39TH AVENUE SW  
PUYALLUP, WA 98373



PUYALLUP, WA  
#660

1201 39TH AVENUE SW  
PUYALLUP, WA 98373

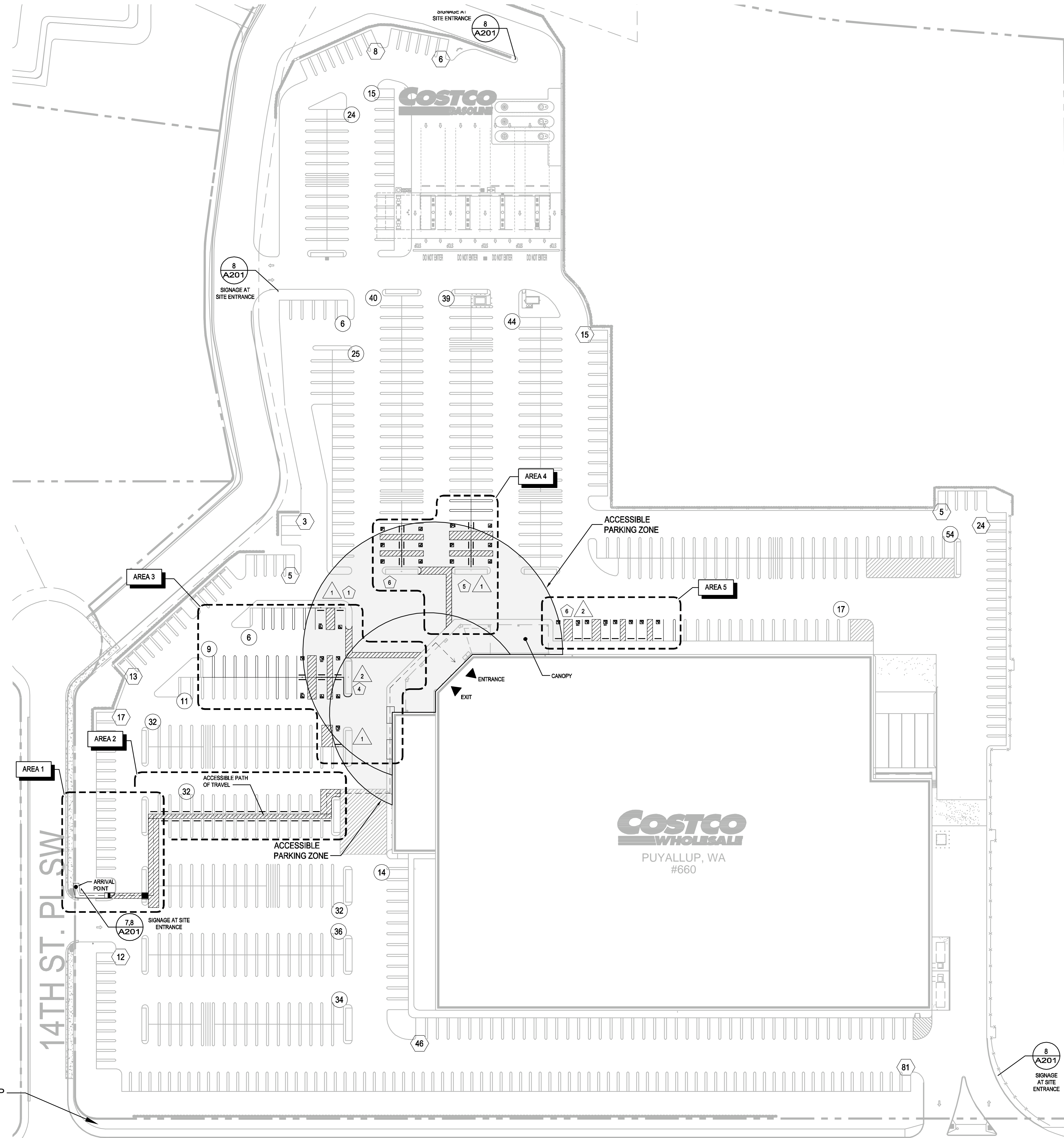
COSTCO  
WHOLESALE  
CORPORATION

999 LAKE DRIVE  
ISSAQUAH, WA 98027  
T: 425.313.8100  
www.costco.com

1101 Second Ave, Ste 100  
Seattle, WA 98101  
206.962.6500  
MG2.com



PERMIT SET



SITE PLAN  
SCALE: 1"=50'

39TH AVENUE S.W.

## PROJECT DATA

CLIENT:	COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027	PARKING DATA:	PARKING PROVIDED: 10' WIDE STALLS 480 STALLS 9' WIDE STALLS 236 STALLS ACCESSIBLE STALLS 27 STALLS TOTAL PARKING 742 STALLS
PROJECT ADDRESS:	1201 39TH AVENUE SW PUYALLUP, WA 98373		
ZONING:	"ML" "CB"	PROPOSED PARKING PROVIDED:	10' WIDE STALLS 455 STALLS 9' WIDE STALLS 250 STALLS ACCESSIBLE STALLS 22 STALLS VAN ACCESSIBLE STALLS 7 STALLS TOTAL PARKING 734 STALLS
SITE AREA:	25.47 ACRES (1,109,728 S.F.)		
JURISDICTION:	CITY OF PUYALLUP	NO. OF STALLS PER 1000 S.F. OF BUILDING AREA:	4.97 STALLS
TYPE OF CONST:	TYPE V - SPRINKLERED	REQUIRED ACCESSIBLE PARKING	2% OF STALLS PROVIDED TO BE ACCESSIBLE .02 X 734 = 15 ACCESSIBLE STALLS REQUIRED 1 OUT OF 6 TO BE VAN ACCESSIBLE (3 REQUIRED, 7 PROVIDED)
SETBACKS:	FRONT 100'	JURISDICTIONAL PARKING	1 STALL / 300 S.F. REQUIRED: 496 STALLS
BOUNDARIES INFORMATION:	THIS PLAN HAS BEEN PREPARED BY USING MULVANNY ARCHITECTS SITE PLAN DATED SEPTEMBER 1999.		
BUILDING DATA:			
BUILDING AREA	143,463 S.F.		
TIRE CENTER	5,200 S.F.		
TOTAL BUILDING	148,663 S.F.		
NOTES:	EXISTING CONDITIONS TO BE FIELD VERIFIED.		

## PROJECT DIRECTORY

OWNER:	COSTCO WHOLESALE 999 LAKE DRIVE ISSAQUAH, WA 98027 t: 425.313.8100
ARCHITECT:	MG2 CORPORATION 1101 SECOND AVENUE SUITE 100 SEATTLE, WA 98101 t: 206.962.6500 f: 206.962.6499 PROJECT MANAGER: DEE MARTINEZ
CIVIL ENGINEER:	BARGHAUSEN CONSULTING ENGINEERS, INC. 18215 72ND AVENUE SOUTH KENT, WA 98032 t: 425.251.6222

## DRAWING INDEX

ARCHITECTURAL	CIVIL	COVER SHEET
TS101 TITLE SHEET & SITE PLAN	C1.0	LIMITED ADA TOPOGRAPHIC SURVEY
A101 ENLARGED DEMO SITE PLAN	C2.0	DEMOLITION AND EROSION CONTROL PLAN
A102 ENLARGED NEW SITE PLAN	C3.0	EROSION CONTROL NOTES AND DETAILS
A201 SITE DETAILS	C4.0	SITE PLAN
	C5.0	GRADING PLAN

## CODE SUMMARY

2015 INTERNATIONAL BUILDING CODE	CONSTRUCTION TYPE: V-B; FULLY SPRINKLERED
2015 INTERNATIONAL MECHANICAL CODE	OCCUPANCY GROUP: MERCANTILE
2015 UNIFORM PLUMBING CODE	
2015 INTERNATIONAL FIRE CODE	
2015 WASHINGTON STATE ENERGY CODE	
2015 NFPA STANDARD 72	
2015 NFPA STANDARD 13, 13-D, AND 13-R	
2015 WASHINGTON STATE AMENDMENTS WAC 51-50 AND RCW 19.27 & 70.92	

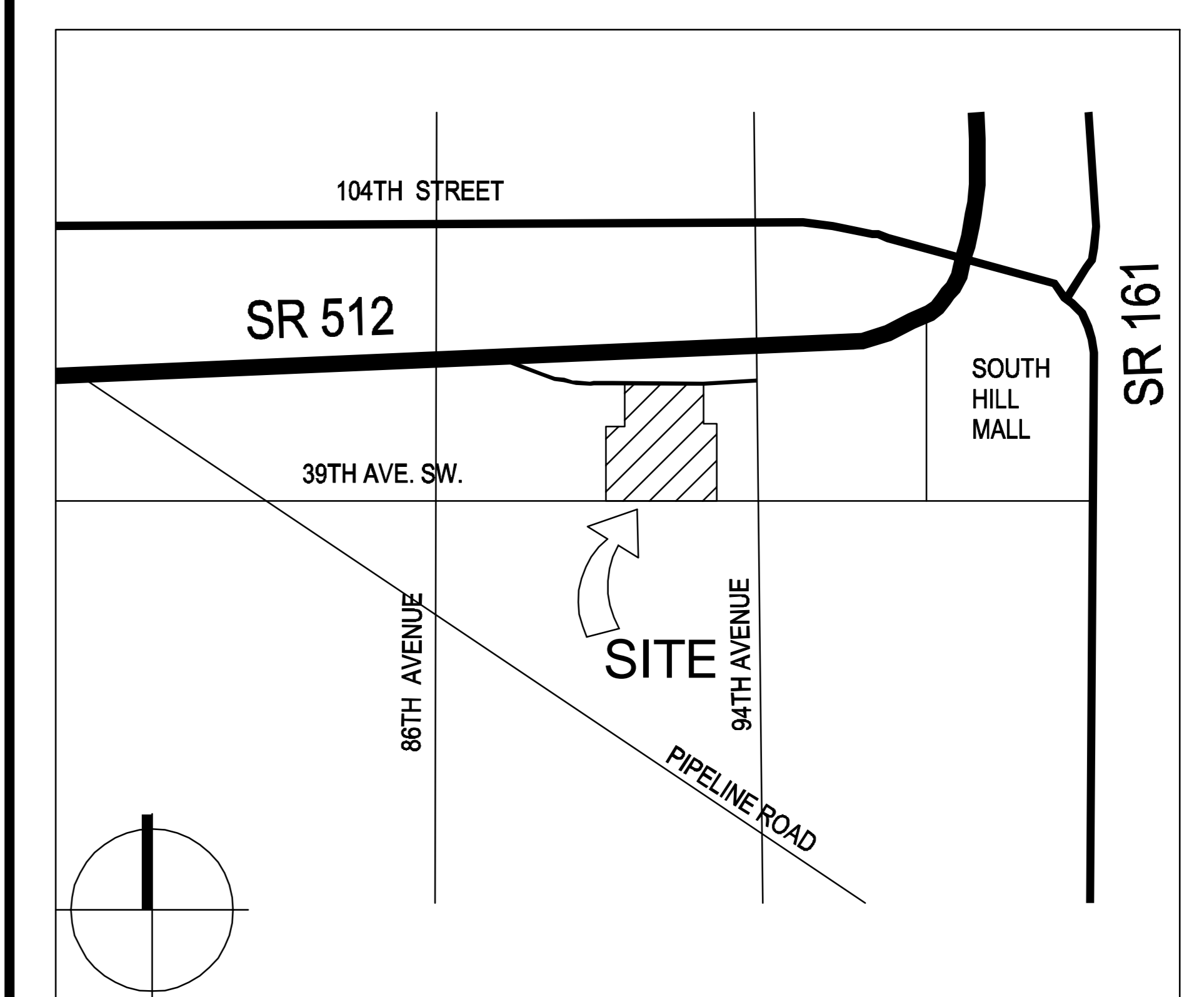
## PROJECT DESCRIPTION

PARKING AND SITE UPGRADE FOR ADA COMPLIANCE.

## SCOPE OF WORK

REMOVE SELECT EXISTING STRIPING, REMOVE AND RECONSTRUCT EXISTING PAVEMENT PER CIVIL. PROVIDE NEW ON-SITE SIDEWALK, STRIPING, AND PARKING SYMBOLS. INSTALL NEW WHEEL STOPS, SIGN POSTS, AND ACCESSIBLE SIGNS.

## VICINITY MAP



**Reviewed for Building Code Compliance**

Building Division

Building Permit No. \_\_\_\_\_

Date of Review **4/26/2021**

Subject to IBC, State amendments and referenced standards.  
IBC 1101.2 Design.  
Buildings and facilities shall be designed and constructed to be accessible in accordance with this code and ICC A117.1.

RUSSELL H. HAZZARD, ARCHITECT

8079 REGISTERED ARCHITECT  
RUSSELL H. HAZZARD  
STATE OF WASHINGTON

01/27/2021

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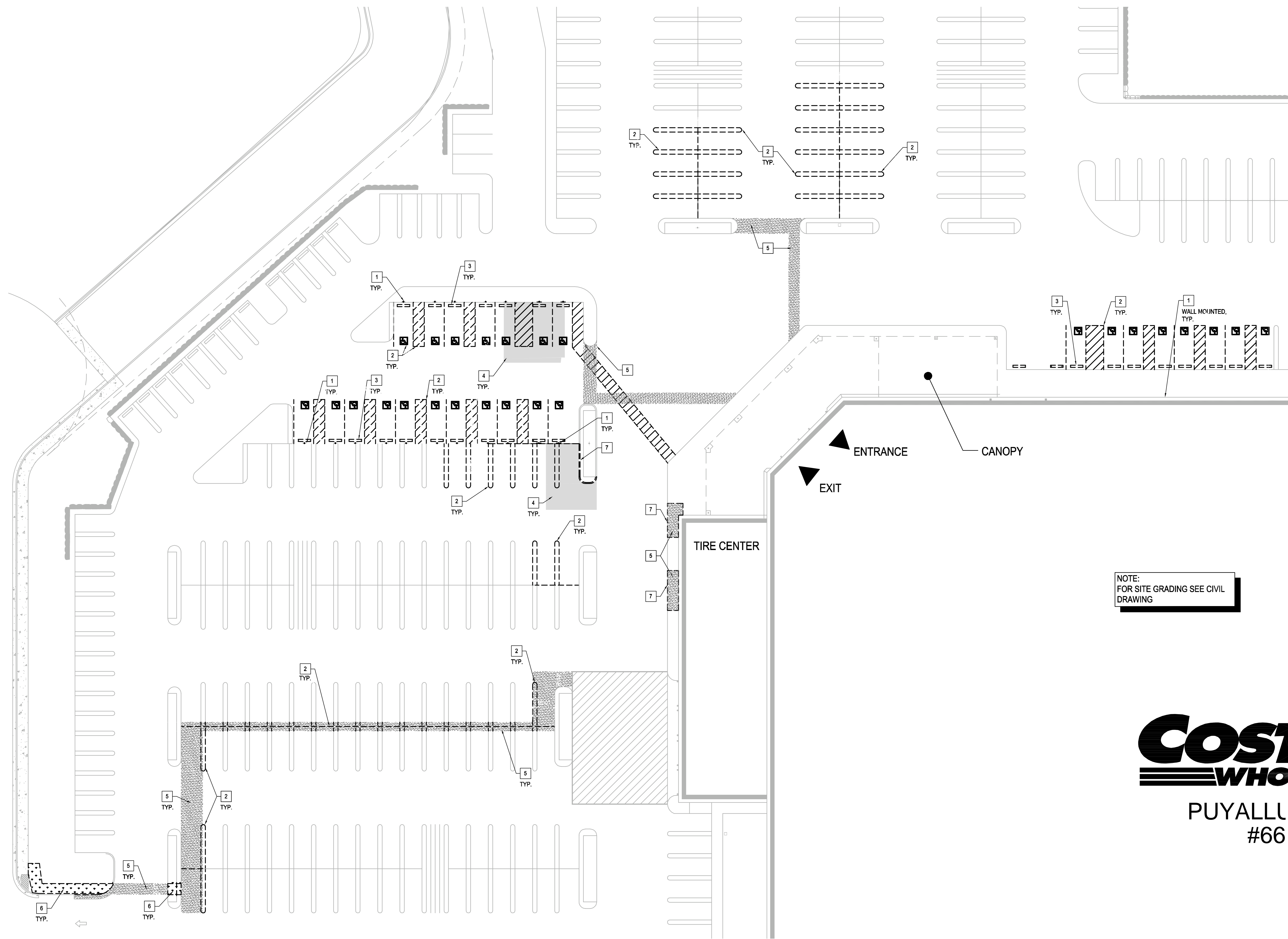
DATE	DESCRIPTION
10/13/20	PERMIT SET
1 01/15/20	CITY REVISION COMMENT

98-5080-19  
PM: DEE MARTINEZ  
DRAWN: SP, BO

TITLE SHEET & SITE PLAN

TS101

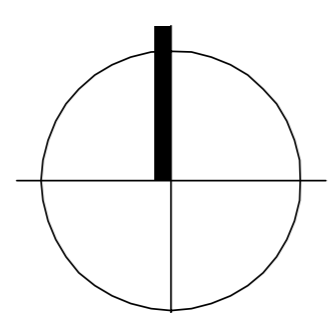
E:\OUT\B\BEN\GALVAN - DATE\TIME: 01/20/21 11:48 AM - E:\E\MM\SE\LEU\DRG\DCOSTCO\98359848.PU\A\A1.SITE\UPGRADE\F01\_CADD\0303\_CONSTR\DCOSTCO\98359848\_P1.DWG



NOTE:  
FOR SITE GRADING SEE CIVIL  
DRAWING

**COS**  
**WHO**  
**PUYALLU**  
**#66**

**1** ENLARGED DEMO PLAN  
 SCALE: 1"=20'



DEMOLITION KEYNOTES	
1	REMOVE POST AND / OR SIGN. SALVAGE COMPLIANT ACCESSIBLE SIGNAGE FOR RE-USE.
2	SANDBLAST REMOVE STRIPES AND MARKINGS
3	REMOVE WHEELSTOP
4	SHADED AREA EXCEEDS MAX SLOPE OF 2% IN ALL DIRECTIONS AND PAVING CHANGES GREATER THAN 14". PAVEMENT MODIFICATION PER CIVIL DRAWINGS.
5	SHADED AREA EXCEEDS MAX RUNNING SLOPE OF 5%, MAX CROSS SLOPE OF 2% AND PAVING CHANGES GREATER THAN 14". PAVEMENT MODIFICATION PER CIVIL DRAWINGS.
6	REMOVE SELECT AREA OF LANDSCAPING AS REQUIRED FOR NEW WORK.
7	REMOVE SELECT PORTION OF CONCRETE CURB AS REQUIRED FOR NEW WORK.

LEGEND	
EXISTING	
DEMOLITION	
APPROXIMATE AREA OF EXISTING PAVING TO BE MODIFIED OR CONFIRMED TO NOT EXCEED 2% SLOPE IN ALL DIRECTIONS AND MODIFIED OR CONFIRMED FOR CODE COMPLIANT LEVEL CHANGES AND GAPS PER CIVIL PLAN	
APPROXIMATE AREA OF EXISTING PAVING TO BE MODIFIED OR CONFIRMED TO NOT EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE AND MODIFIED OR CONFIRMED FOR CODE COMPLIANT LEVEL CHANGES AND GAPS	

RUSSELL H. HAZZARD, ARCHITECT

8878 REGISTERED ARCHITECT  
  
 RUSSELL H. HAZZARD  
 STATE OF WASHINGTON  
 01/27/2021

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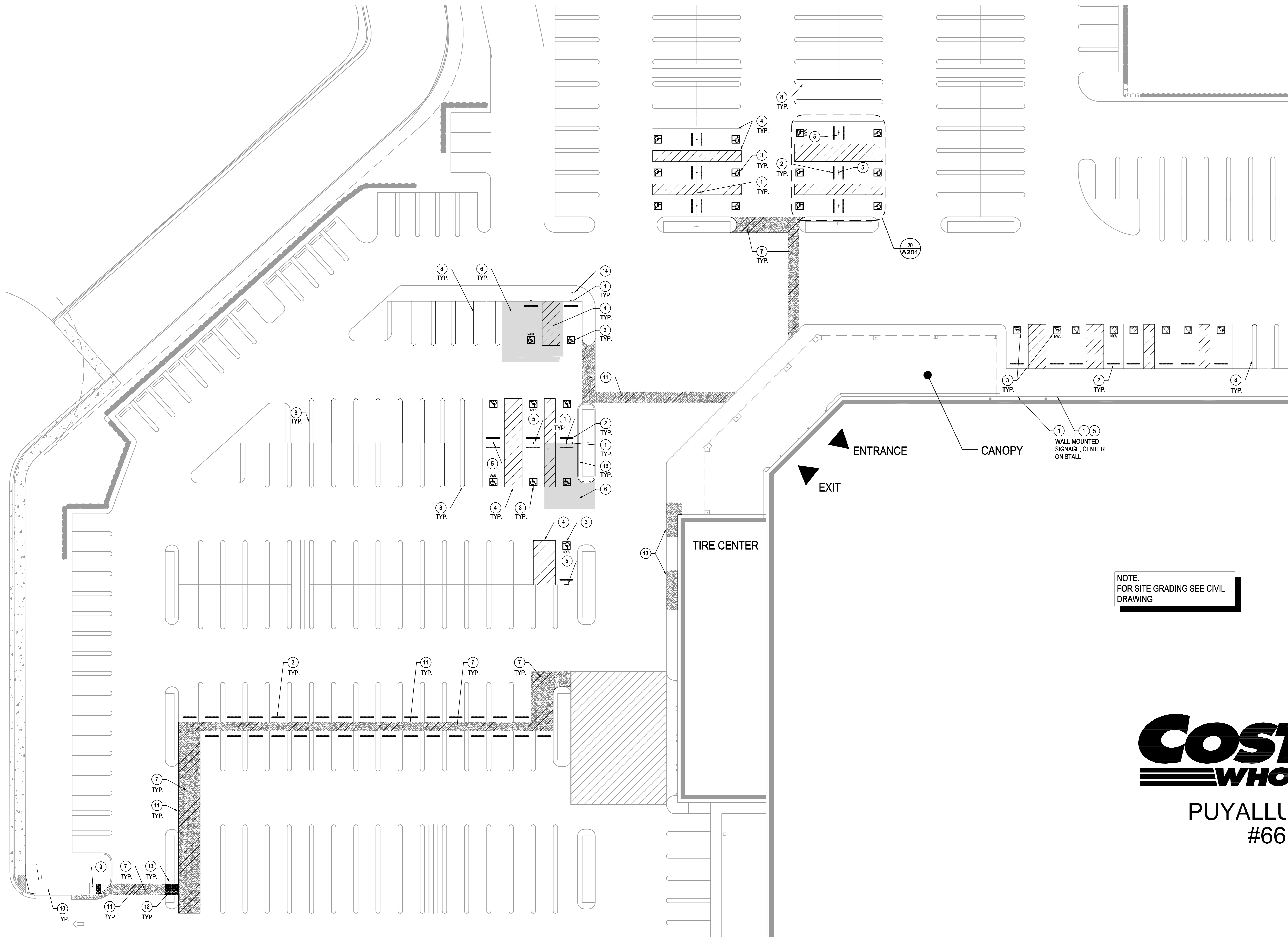
DATE	DESCRIPTION
10/13/20	PERMIT SET
1	01/15/20 CITY REVISION COMMENT

98-5080-19  
 PM: DEE MARTINEZ  
 DRAWN:

**ENLARGED DEMO**  
**SITE PLAN**

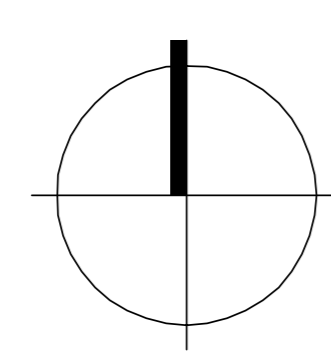
A101





PUYALLUP  
#66

**1 ENLARGED SITE PLAN**  
SCALE: 1"=20'



**KEYNOTES**

- 1 PROVIDE NEW POST AND NEW / RELOCATED PARKING SIGN AT 60" MIN. HT ABOVE GROUND SURFACE. REFER TO DETAIL (18 / A201)
- 2 PROVIDE NEW WHEEL STOP PER DETAILS (14 / A201)
- 3 PROVIDE NEW SYMBOL PER DETAIL (17 / A201)
- 4 PROVIDE NEW STRIPING PER PLAN. REFER TO DETAIL (19 / A201)
- 5 DESIGNATED VAN ACCESSIBLE STALL. RELOCATE OR PROVIDE VAN ACCESS SIGN PER DETAIL SIM, (18 / A201)
- 6 SHADED AREA EXCEEDS 2% MAX SLOPE IN ALL DIRECTIONS. PAVEMENT MODIFICATIONS PER CIVIL DRAWINGS. GRIND OR FILL AS REQUIRED TO ACHIEVE 1/4" MAX VERTICAL RISE. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" MUST BE BEVELED AT 1:2 OR LESS
- 7 SHADED AREA EXCEEDS 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE. PAVEMENT MODIFICATIONS PER CIVIL DRAWINGS. GRIND OR FILL AS REQUIRED TO ACHIEVE 1/4" MAX VERTICAL RISE. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" MUST BE BEVELED AT 1:2 OR LESS. ACCESSIBLE ROUTE SHALL BE A MINIMUM 48" CLEAR
- 8 NEW STRIPING FOR PARKING. MATCH EXISTING CONDITIONS
- 9 PROVIDE NEW CURB RAMP TO COMPLY WITH DETAIL (11 / A201)
- 10 MODIFY CONCRETE CURBED LANDSCAPE ISLAND TO PROVIDE CUT-THROUGH ON-SITE WALK LEVEL WITH ASPHALT. WALK TO ACCOMMODATE 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE PER CIVIL. GRIND OR FILL AS REQUIRED TO ACHIEVE 1/4" MAX VERTICAL RISE. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" MUST BE BEVELED AT 1:2 OR LESS. RELOCATE EXISTING LANDSCAPING AS REQUIRED. PROVIDE DETECTABLE WARNINGS WHERE PEDESTRIANS WOULD CROSS VEHICULAR WAY. REFER TO DETAILS (9 / SD201), (10 / SD201) AND (12 / A201).
- 11 PROVIDE NEW WHITE STRIPING ALONG ACCESSIBLE ROUTE. REFER TO DETAIL (19 / SD201). MODIFY ASPHALT ALONG ACCESSIBLE ROUTE NOT TO EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE AND NO CHANGE IN LEVEL GREATER THAN 1/4" AND GAP NO GREATER THAN 1/2" WIDE
- 12 PROVIDE DETECTABLE WARNING. REFER TO DETAIL (12 / A201)
- 13 PROVIDE NEW CONCRETE CURB. REFER TO CIVIL DRAWINGS FOR DETAIL
- 14 PROVIDE NEW POST AND NEW "NO PARKING" SIGN AT 60" MIN. HT ABOVE GROUND SURFACE. REFER TO DETAIL (13 / A201).

**LEGEND**

EXISTING	_____
NEW	_____
APPROXIMATE AREA OF EXISTING PAVING TO BE MODIFIED OR CONFIRMED TO NOT EXCEED 2% SLOPE IN ALL DIRECTIONS AND MODIFIED OR CONFIRMED FOR CODE COMPLIANT LEVEL CHANGES AND GAPS PER CIVIL PLAN	
APPROXIMATE AREA OF EXISTING PAVING TO BE MODIFIED OR CONFIRMED TO NOT EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE AND MODIFIED OR CONFIRMED FOR CODE COMPLIANT LEVEL CHANGES AND GAPS	

RUSSELL H. HAZZARD, ARCHITECT



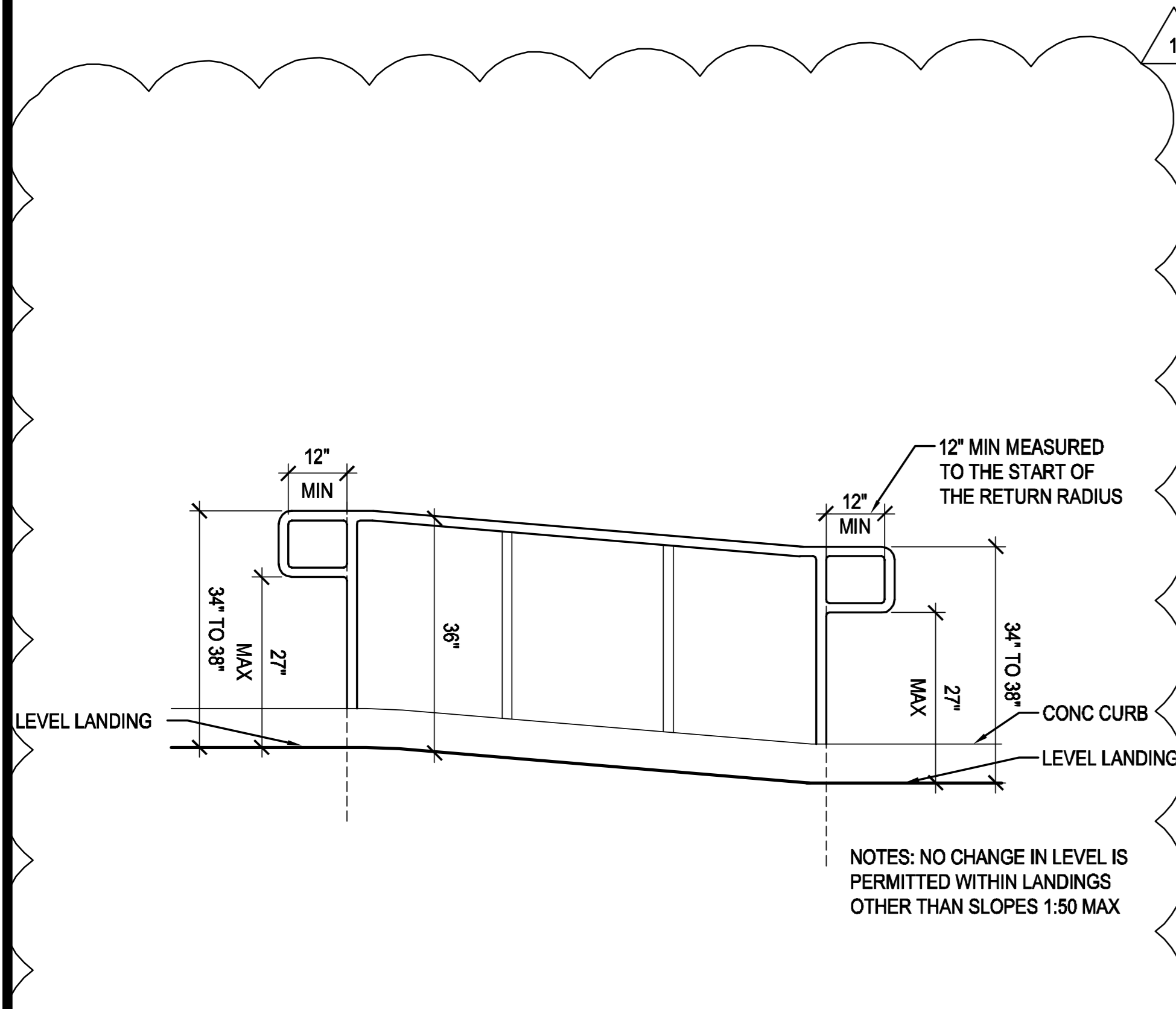
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DATE	DESCRIPTION
10/13/20	PERMIT SET
1 01/15/20	CITY REVISION COMMENT

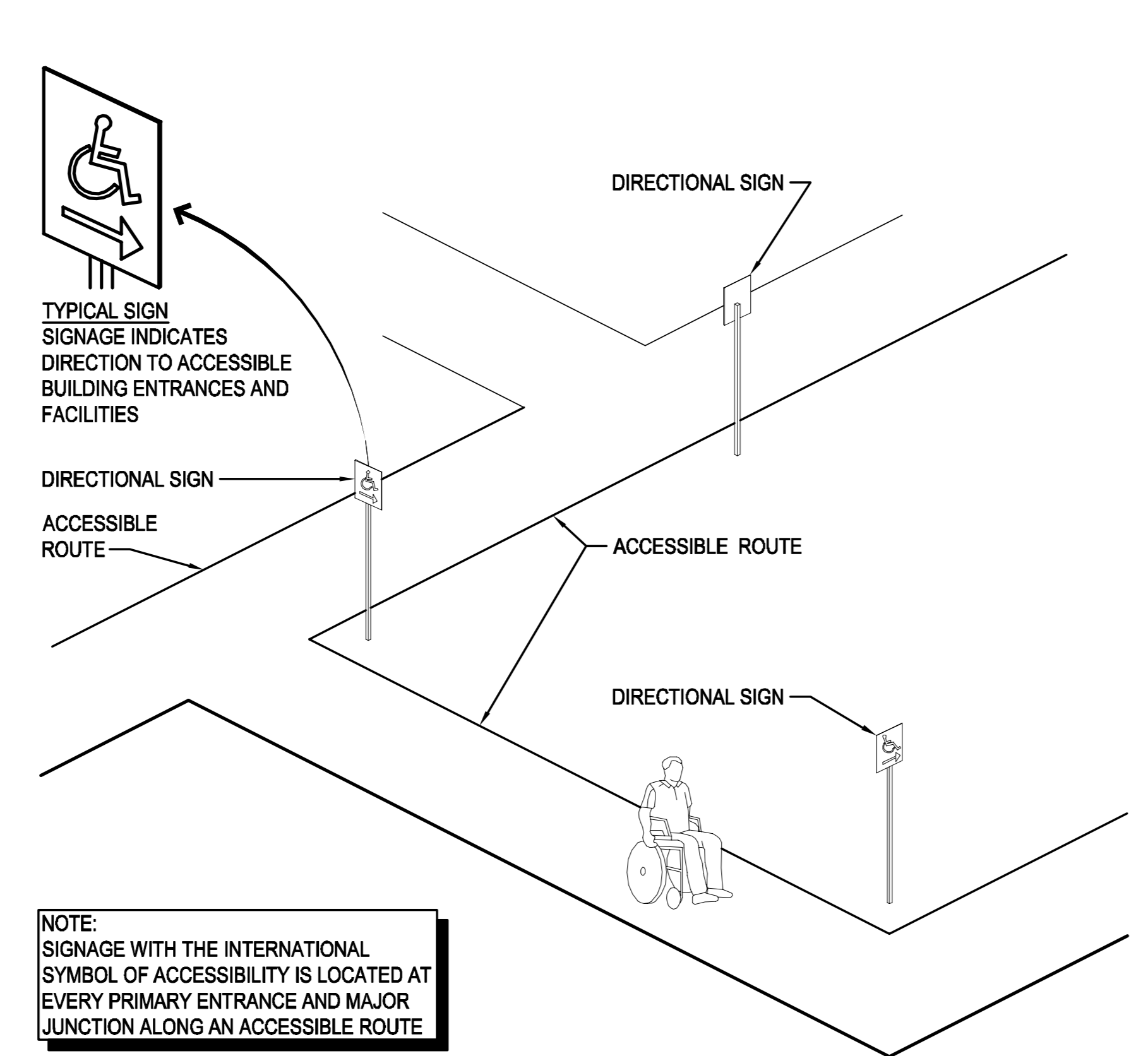
98-5080-19  
PM: DEE MARTINEZ  
DRAWN:

ENLARGED NEW  
SITE PLAN

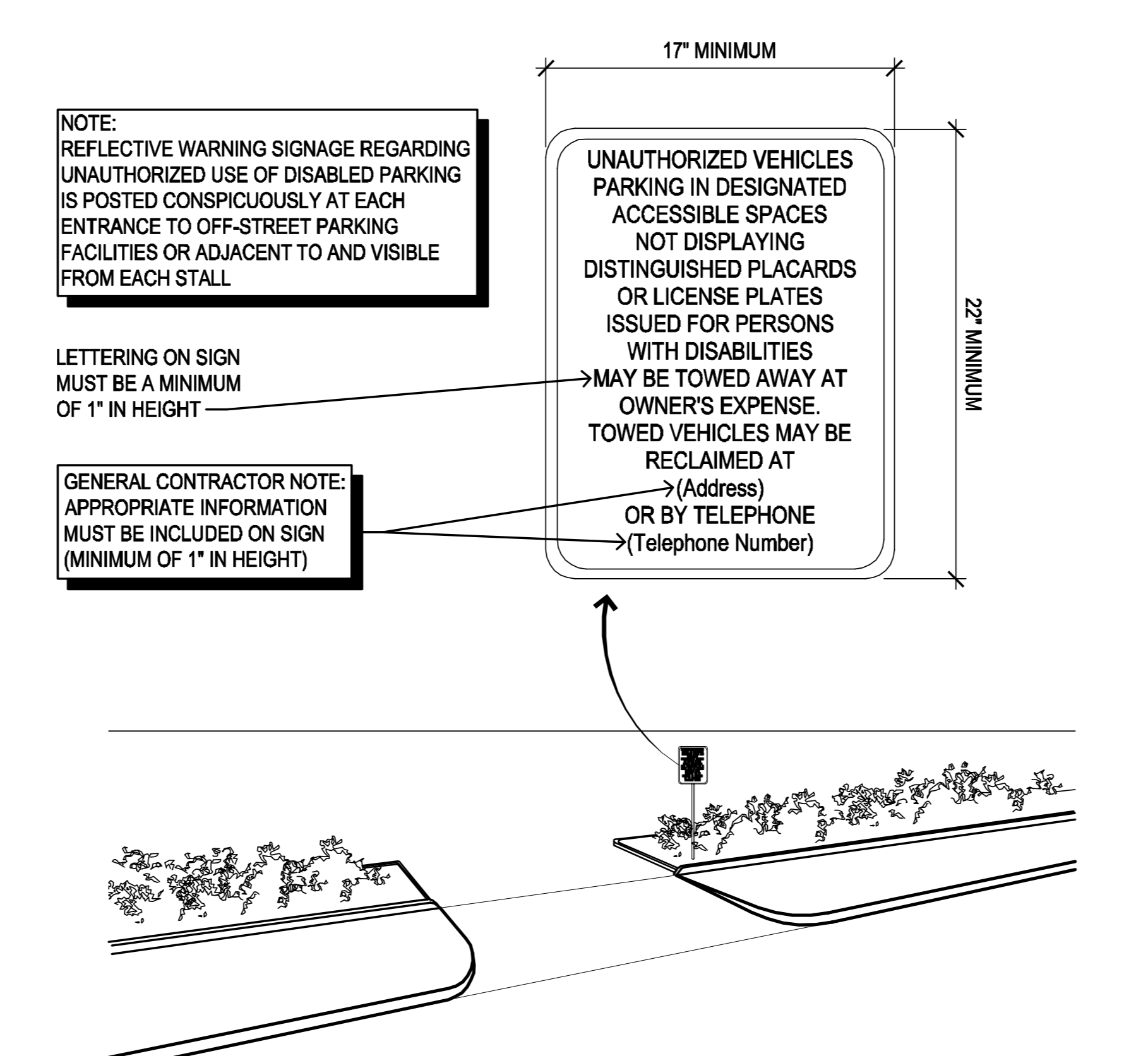
A102



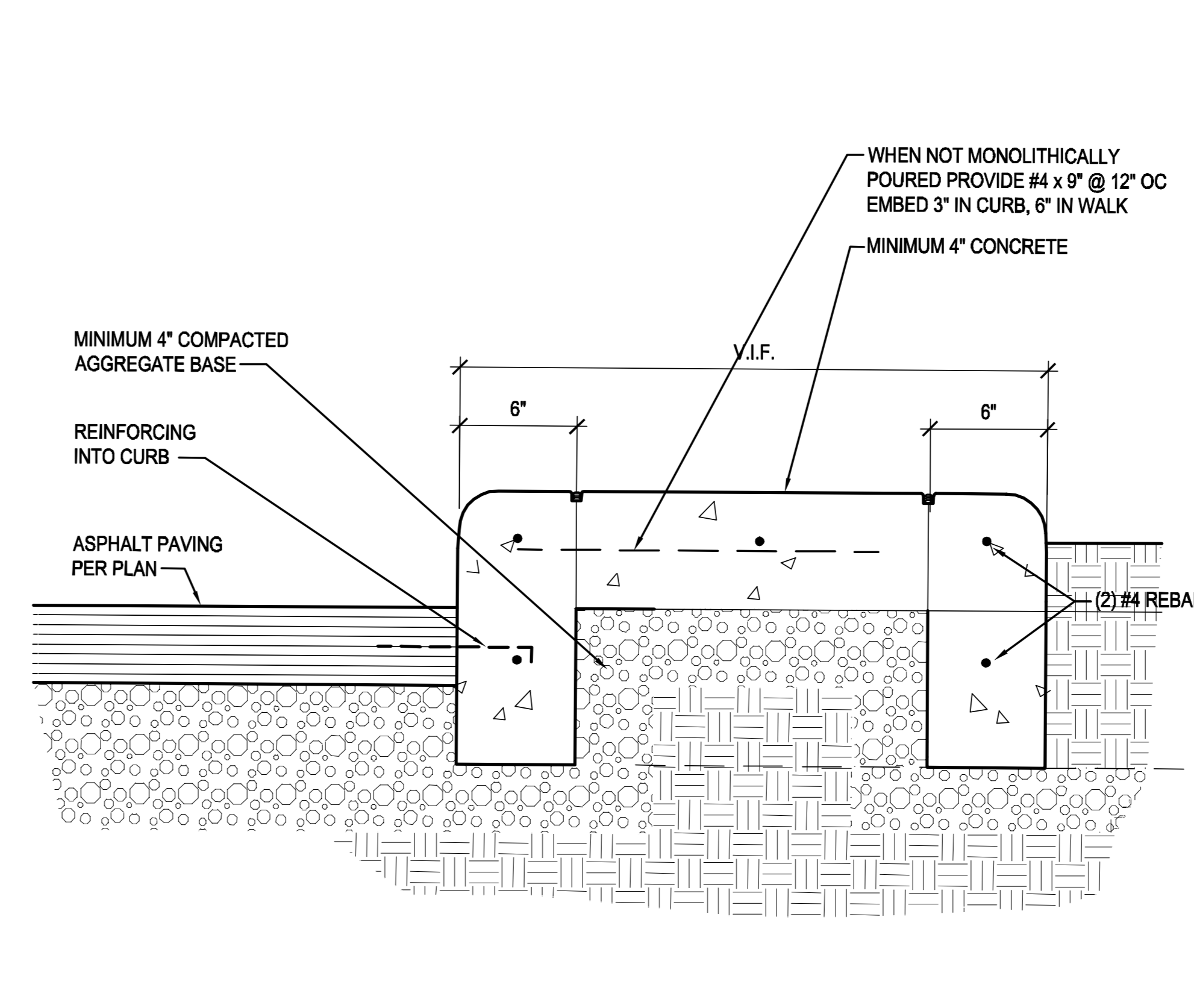
**6 HANDRAIL AT WALK RAMP**  
SCALE: 1/2" = 1'-0" 0914



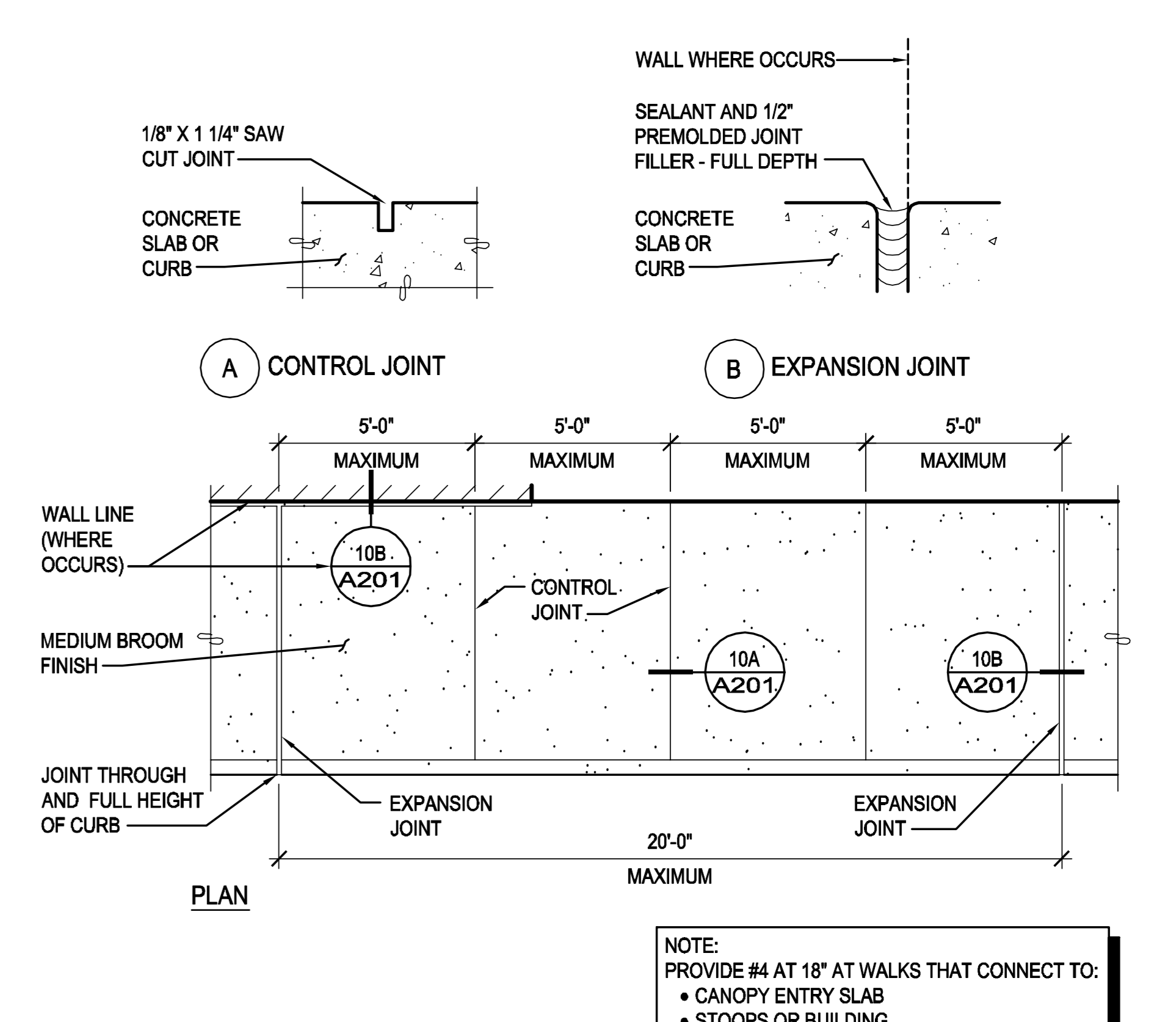
**7 SIGNAGE AT ACCESSIBLE ROUTE**  
SCALE: NOT TO SCALE 0108



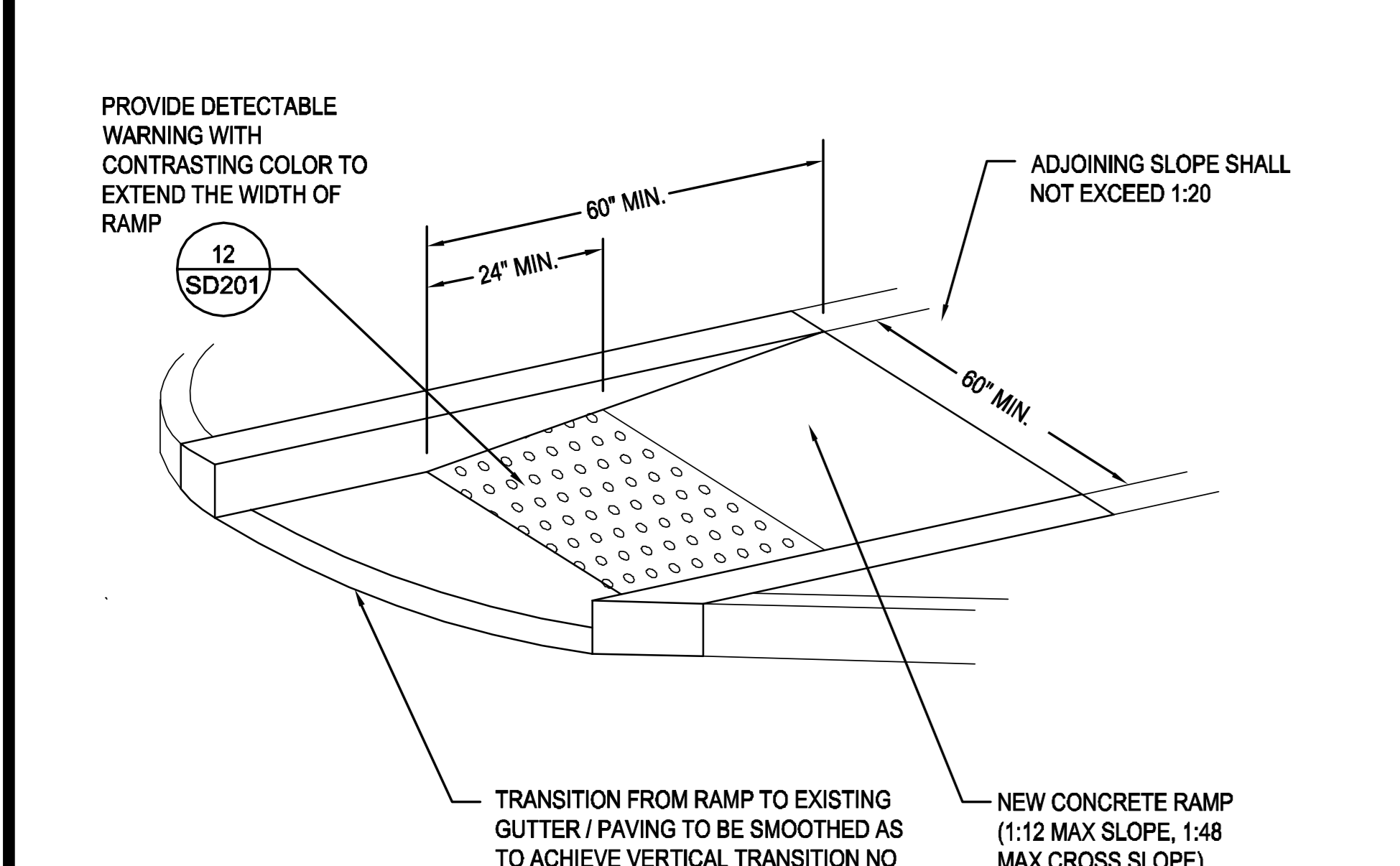
**8 SIGNAGE AT SITE ENTRANCE**  
SCALE: NOT TO SCALE 0512



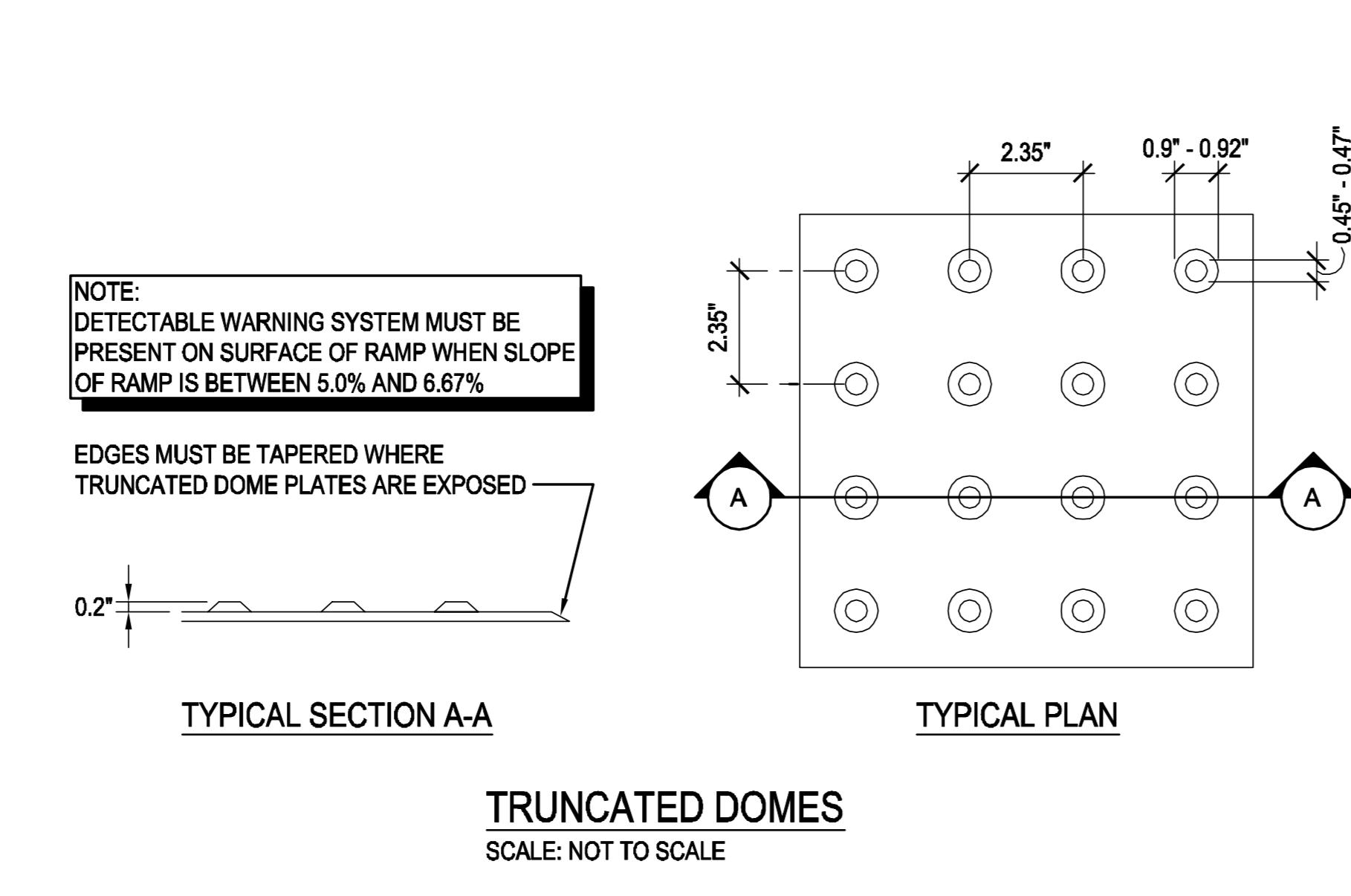
**9 SIDEWALK SECTION**  
SCALE: 1-1/2" = 1'-0" 1117



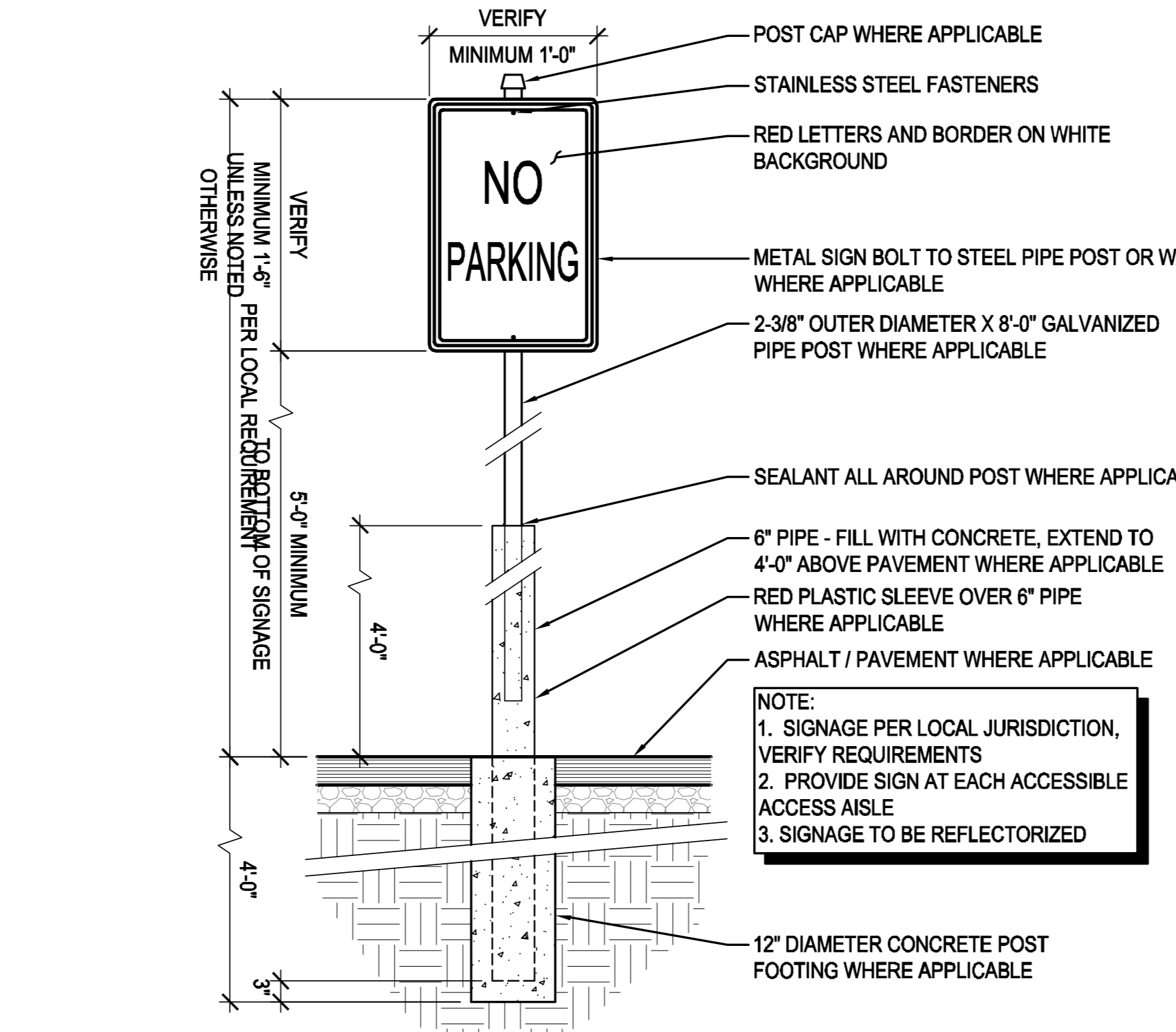
**10 ON-SITE WALKS**  
SCALE: NOT TO SCALE 1117



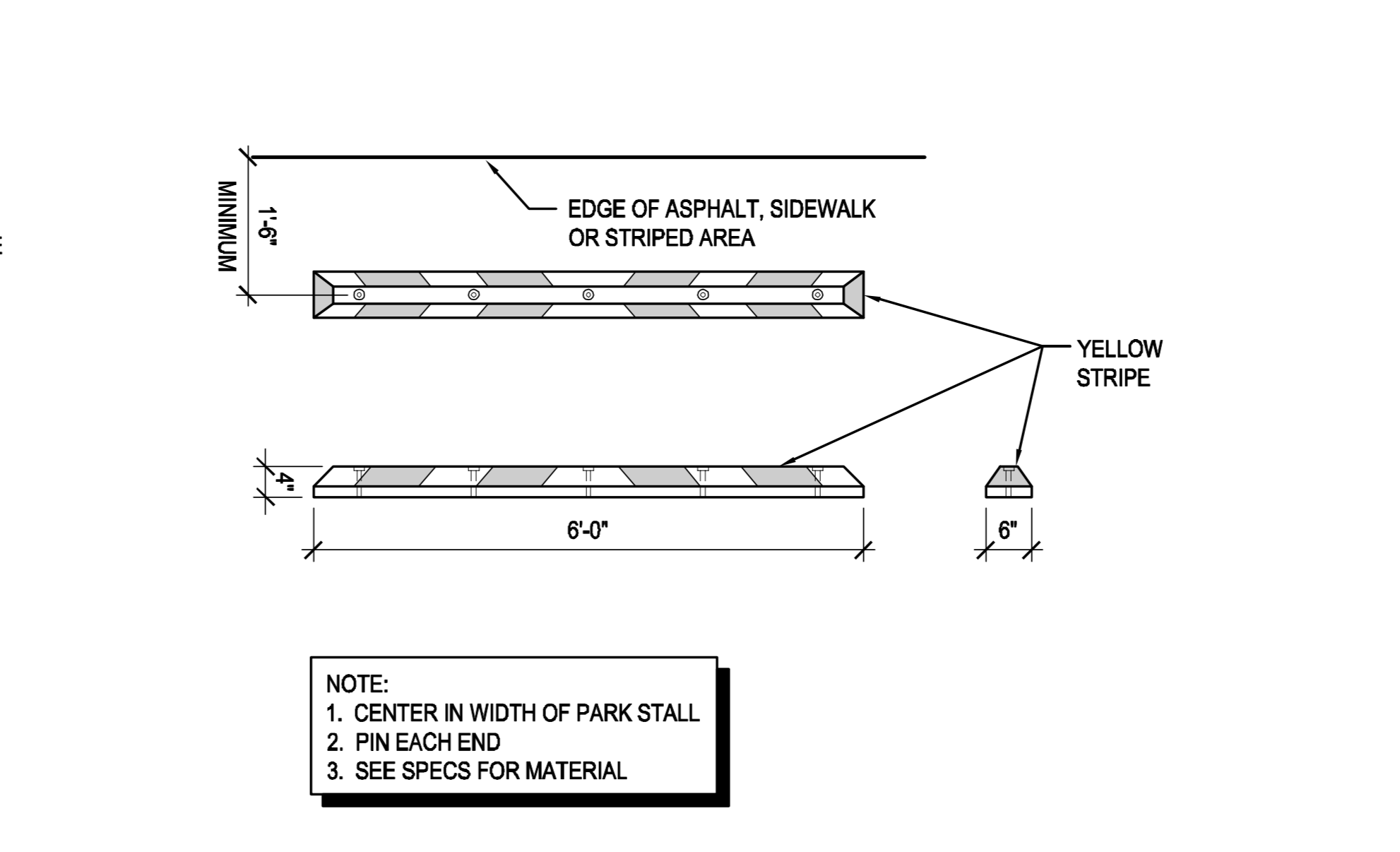
**11 RAMP**  
SCALE: NOT TO SCALE



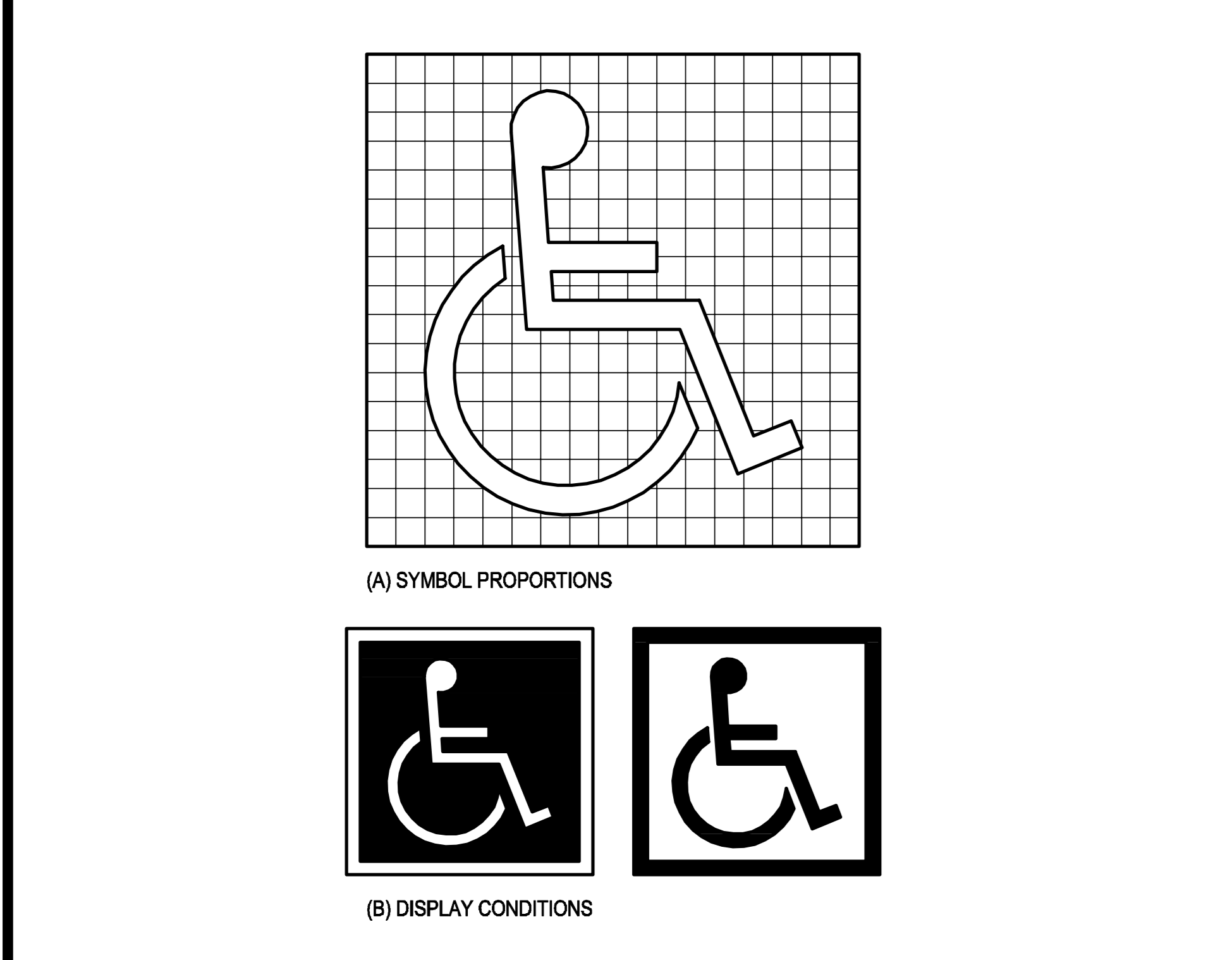
**12 TRUNCATED DOME**  
SCALE: 3" = 1'-0"



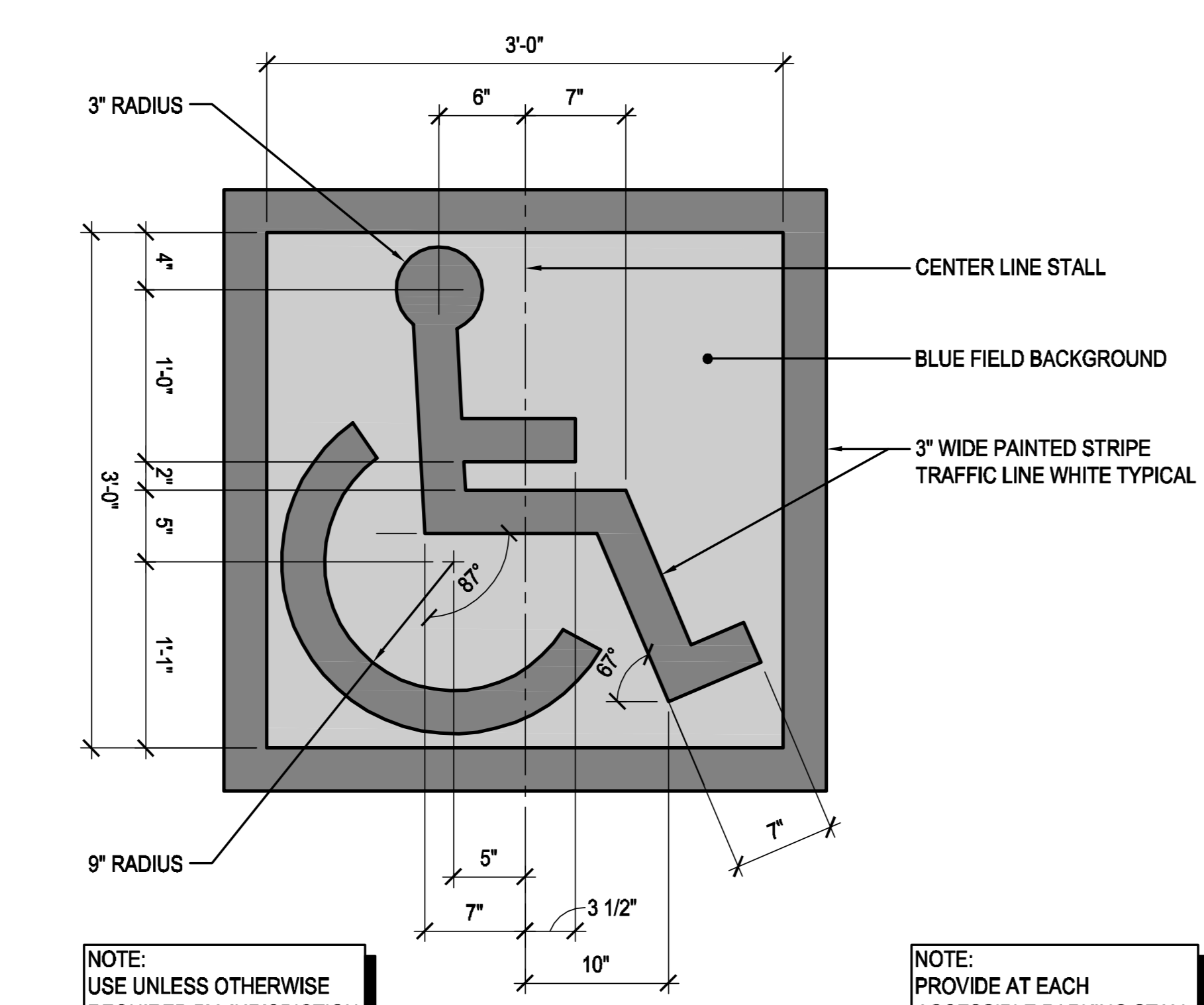
**13 ADA ACCESS AISLE SIGN**  
SCALE: 1/2" = 1'-0"



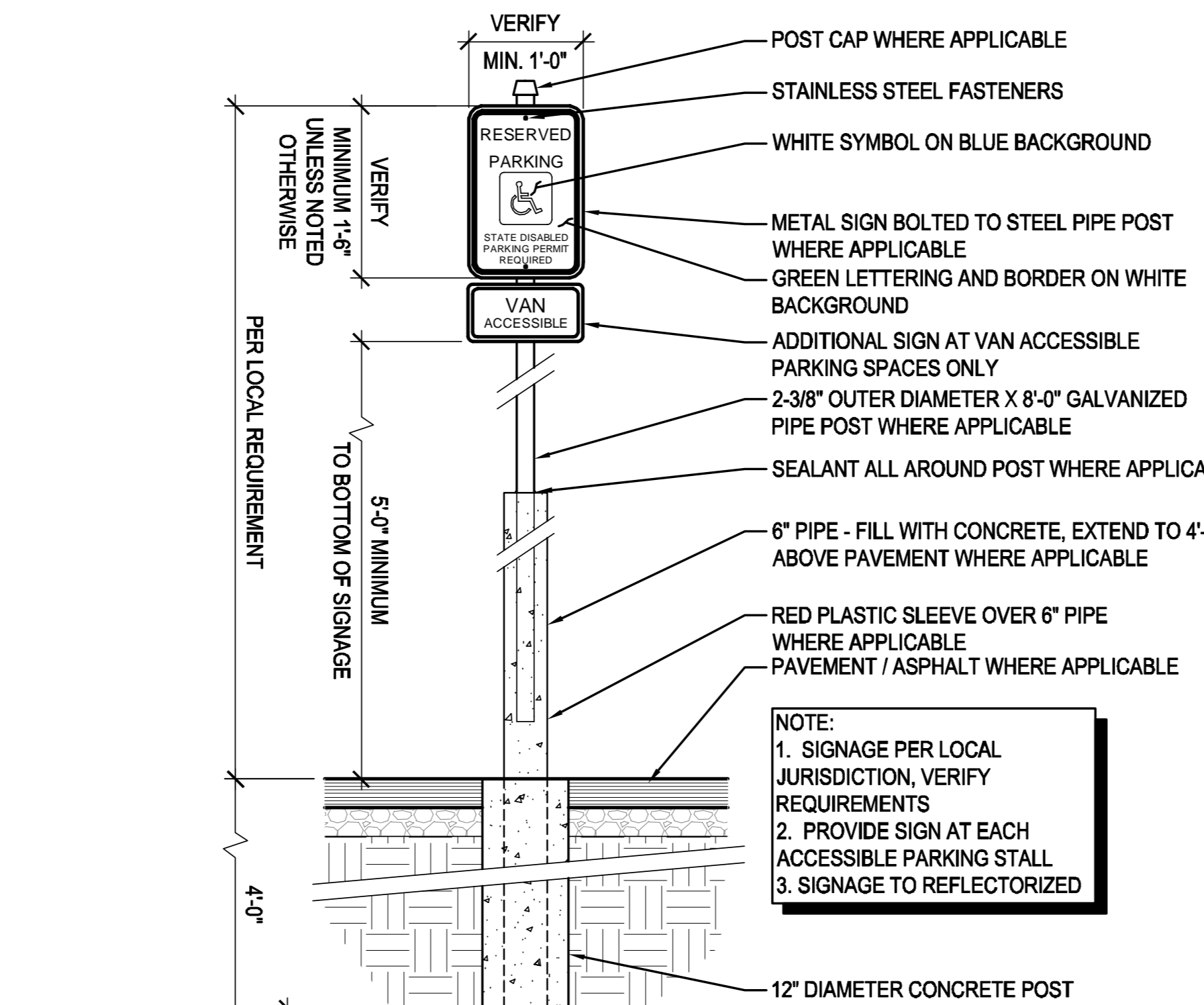
**14 WHEEL STOP**  
SCALE: 1/2" = 1'-0" 0616



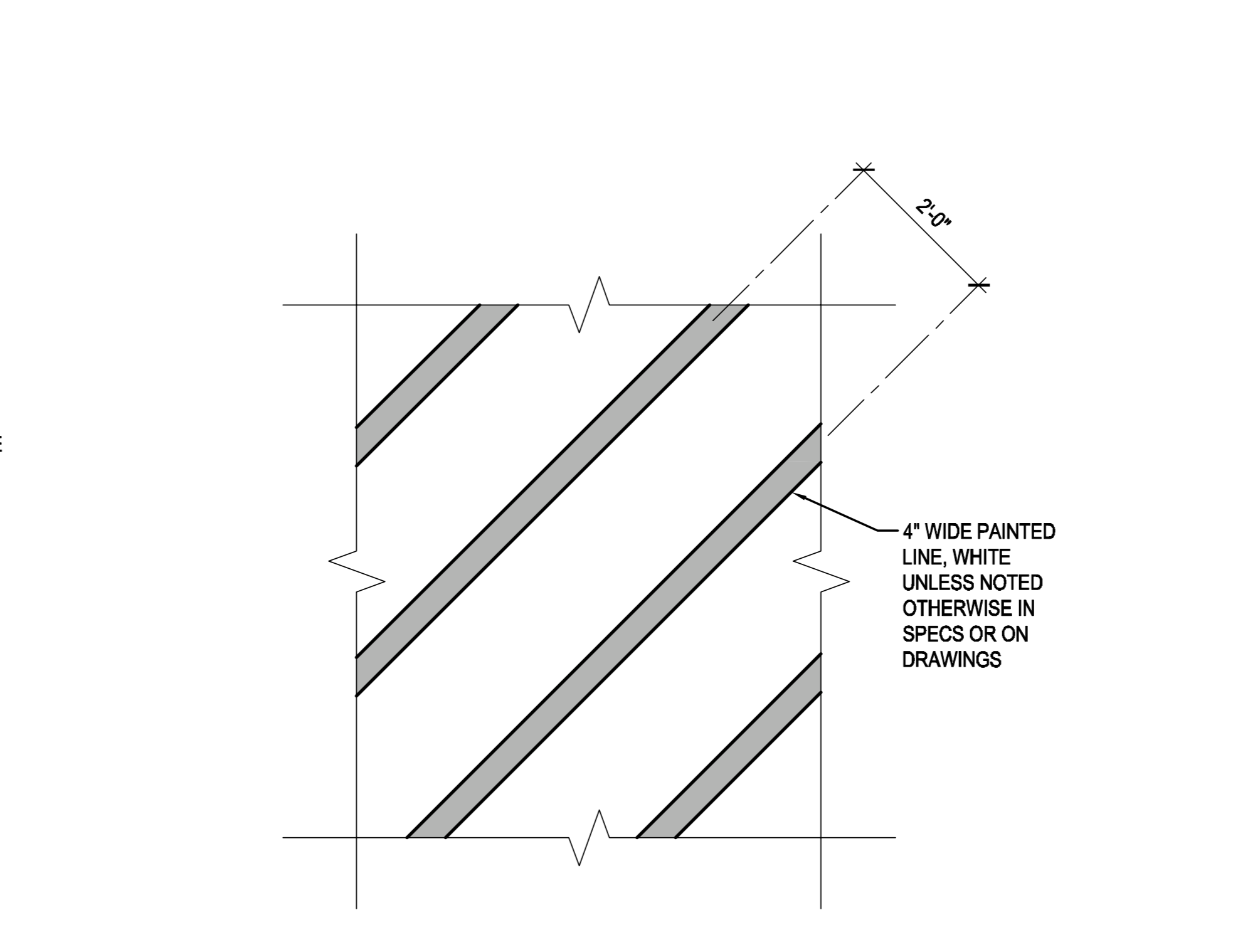
**16 INTERNATIONAL ACCESSIBILITY SYMBOL**  
SCALE: 1" = 1" 0104



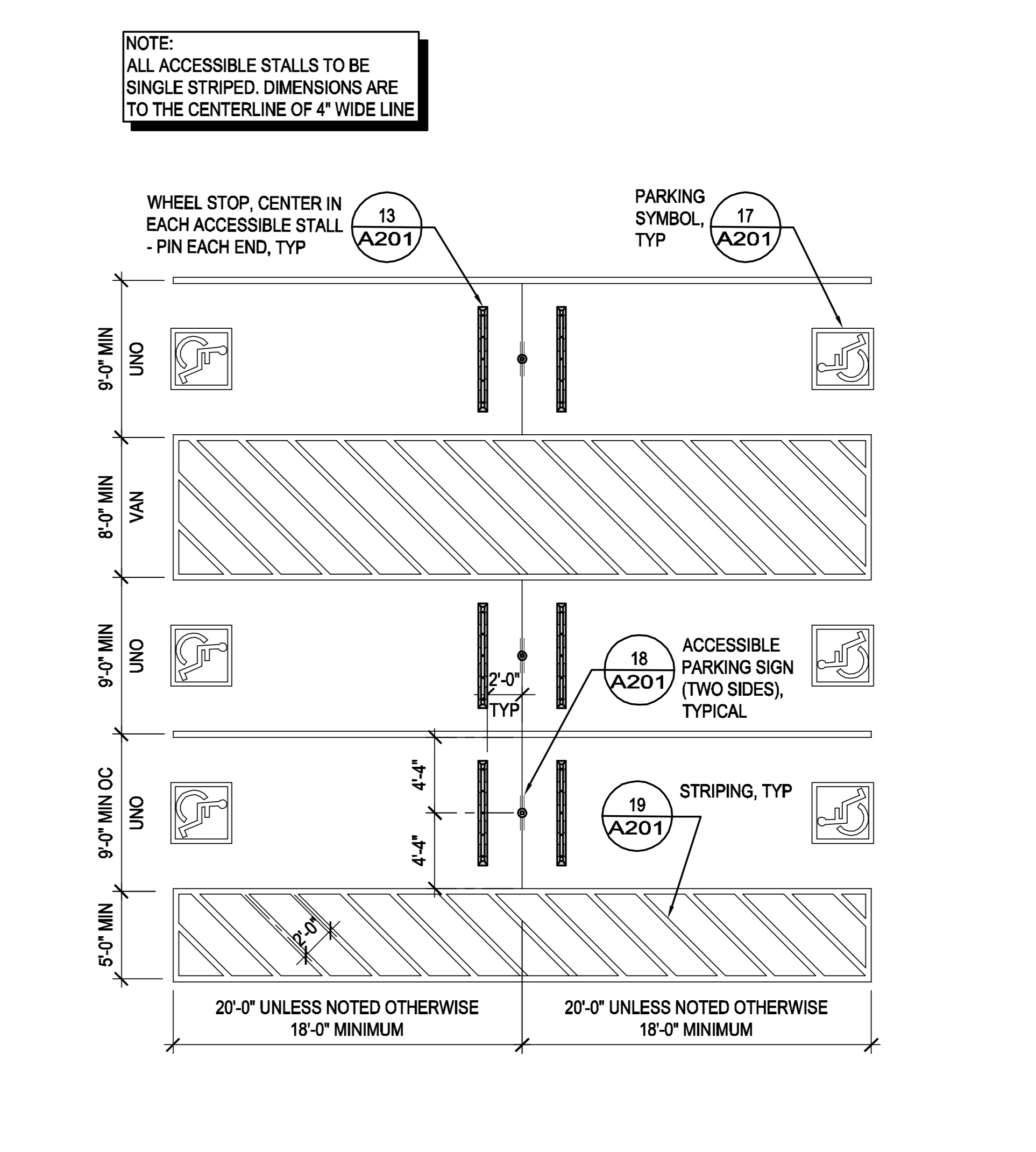
**17 ACCESSIBLE PARKING SYMBOL**  
SCALE: 1" = 1'-0" 0514



**18 ADA ACCESSIBLE PARKING SIGN**  
SCALE: 1/2" = 1'-0"



**19 PAINTED STRIPE**  
SCALE: 1/2" = 1'-0" 0515



**20 ACCESSIBLE PARKING STALLS - HEAD TO HEAD**  
SCALE: 1/8" = 1'-0" 1217

RUSSELL H. HAZZARD, ARCHITECT

8079 REGISTERED ARCHITECT  
RUSSELL H. HAZZARD  
STATE OF WASHINGTON  
01/27/2021

DATE	DESCRIPTION
10/13/20	PERMIT SET
1 01/15/20	CITY REVISION COMMENT

98-5080-19  
PM: DEE MARTINEZ  
DRAWN: JS, BO

SITE DETAILS

A201