

# SOUTH HILL BUSINESS & TECHNOLOGY CENTER LOBBIES AND COMMON AREA RENOVATIONS

## 1015 AND ~~1019~~ 39TH AVE SE PUYALLUP, WA 98374

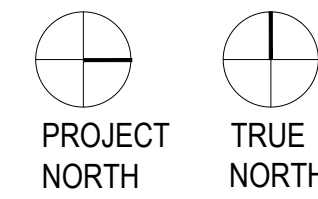
Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

### SITE MAP

SCALE: NTS



**PROJECT LOCATION**  
1019 AND 1015 39TH AVE SE PUYALLUP, WA 98374

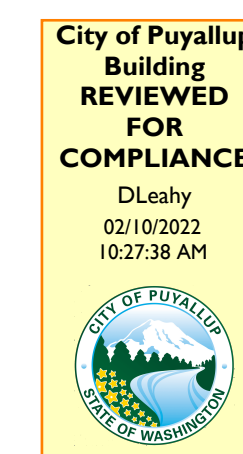


### LEGAL DESCRIPTION:

TAX PARCEL #: 0419034036  
LEGAL DESCRIPTION: Section 03 Township 19 Range 04 Quarter 42 LOT 1 OF BLA 2019-05-22-5002 DESC AS FOLL COM AT STONE MON AT S QTR COR OF SEC 3 WHICH MON IS N 86 DEG 31 MIN 42 SEC W 2621.06 FT FROM SE COR OF SD SEC TH S 86 DEG 31 MIN 42 SEC E 1310.53 FT TH N 00 DEG 13 MIN 45 SEC E 53.05 FT TO POB ON NLY RW OF 39TH AVENUE SE TH N 87 DEG 01 MIN 38 SEC W ALG SD NLY MAR 580.68 FT TH N 00 DEG 52 MIN 42 SEC E 677.52 FT TH N 89 DEG 59 MIN 36 MIN W 125.03 FT TH S 45 DEG 04 MIN 35 SEC W 283.07 FT TO PT OF CURVE OF A NON-TANG C TO R OF WHICH RAD PT LIES N 87 DEG 53 MIN 38 SEC W A RADIAL DIST OF 205 FT TH SLY ALG ARC THRU A C/A OF 33 DEG 00 MIN 39 SEC 118.11 FT TH S 32 DEG 19 MIN 16 SEC W 41.17 FT TH S 45 DEG 04 MIN 35 SEC W 113.76 FT TO A PT OF C TO L HAVING A RAD OF 254 FT & A C/A OF 18 DEG 36 MIN 33 TH SWLY ALG ARC 82.50 FT TH S 25 DEG 10 MIN 59 SEC W 11.39 FT TH S 19 DEG 13 MIN 48 SEC W 41.03 FT TH S 13 DEG 32 MIN 58 SEC W 10.80 FT TO PT OF CURVE OF A NON-TANG C TO L OF WHICH RAD PT LIES S 77 DEG 48 DEG 15 SEC A RADIAL DIST 254 FT TH SLY ALG ARC THRU A C/A OF 06 DEG 43 MIN 28 SEC 29.81 FT TH S 87 DEG 01 MIN 38 SEC E 27.68 FT TH S 02 MIN 58 MIN 22 SEC W 33.74 FT TH N 87 DEG 01 DEG 38 SEC W 28.12 FT TH S 03 DEG 27 MIN 46 DEG W 10.16 FT TH N 87 DEG 01 MIN 38 SEC W 59.99 FT TH S 47 DEG 58 MIN 22 SEC W 29.08 FT TH N 86 DEG 31 MIN 42 SEC W 12.85 FT TH N 00 DEG 00 MIN 24 SEC E 69.13 FT TH N 86 DEG 31 MIN 42 SEC W 58.60 FT TH S 45 DEG 04 MIN 35 SEC W 23.32 FT TH S 00 DEG 00 MIN 24 SEC W 55.66 FT TH N 86 DEG 31 MIN 42 SEC W 28.05 FT TO A PT ON W LI OF SE QTR OF SD SEC 3 TH N 00 DEG 00 MIN 24 SEC E ALG SD W LI 2556.43 FT TO A PT WHICH LIES S 00 DEG 00 MIN 24 SEC W 30.21 FT FROM CENT OF SD SEC 3 TH S 87 DEG 44 MIN 17 SEC E 515.29 FT TH S 00 DEG 00 MIN 36 SEC W 494.13 FT TH S 52 DEG 49 MIN 01 SEC E 202.91 FT TH S 37 DEG 10 MIN 59 SEC W 186.48 FT TH S 00 DEG 15 MIN 12 SEC E 225.75 FT TH S 89 DEG 59 MIN W 80.33 FT TH S 00 DEG 00 MIN 36 SEC W 489.96 FT TH N 89 MIN 59 MIN 00 SEC E 547.26 FT TH N 00 DEG 00 MIN 36 SEC E 815.64 FT TH N 89 DEG 59 MIN 00 SEC E 579.05 FT TH S 00 MIN 13 MIN 45 SEC W 1625.81 FT TH N 86 DEG 31 MIN 42 SEC W 295.47 FT TO SD N-S CENT LI OF SE QTR OF SD SEC 3 TH S 00 DEG 13 MIN 45 SEC W ALG SD N-S CENT LI 332.49 FT TO POB EASE OF REC OUT OF 04-19-03-4-031, 4-032 & 4-034 SEG 2019-0472 JP 05/30/19 JP

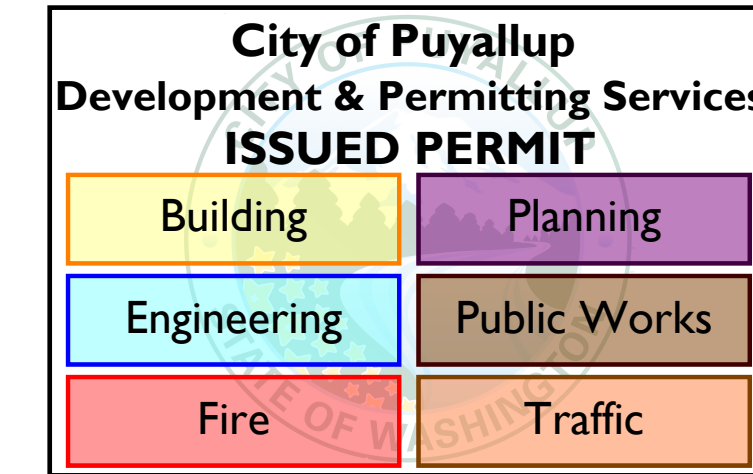
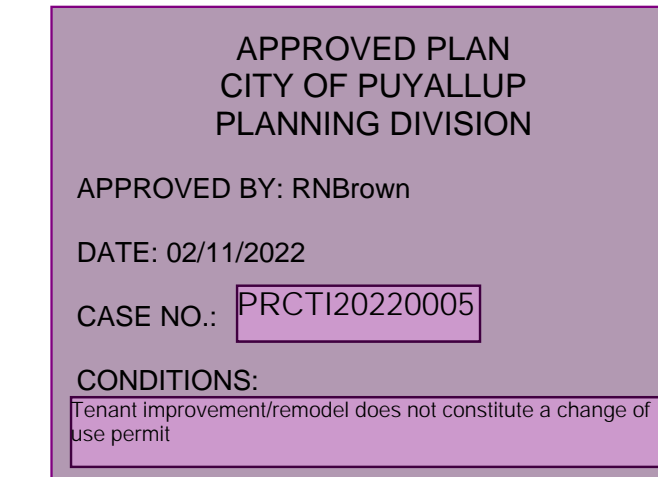
1015 BUILDING:  
TAX PARCEL #: 0419034038  
LEGAL DESCRIPTION: Section 03 Township 19 Range 04 Quarter 42 LOT 3 OF BLA 2019-05-22-5002 DESC AS FOLL COM AT STONE MON AT S QTR COR OF SEC 3 WHICH MON IS N 86 DEG 31 MIN 42 SEC W 2621.06 FT FROM SE COR OF SD SEC TH S 86 DEG 31 MIN 42 SEC E 1310.53 FT TH N 00 DEG 13 M RTSQQ:

### BUILDING PERMIT 2018 CODES



### DRAWING INDEX

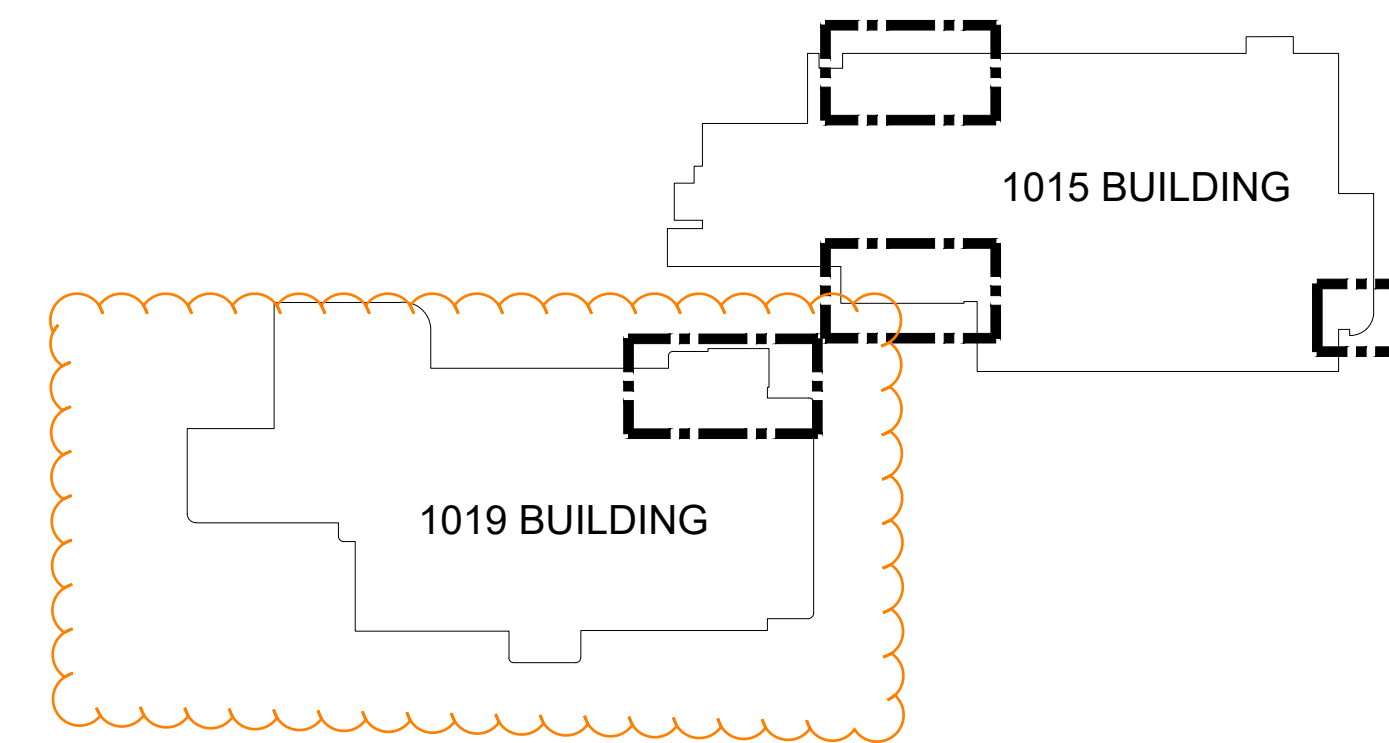
SHEET	NAME
ID-0.0	COVER SHEET
ID-0.1	GENERAL NOTES & SYMBOLS
ID-0.2	ACCESSIBILITY INFORMATION
ID-1.1	FLOOR, FINISH, AND RCP 1019 LOBBY LEVEL 1
ID-1.2	FLOOR, FINISH, AND RCP 1019 LOBBY LEVEL 2 AND INTERSTITIAL STAIR
ID-1.3	FLOOR, FINISH, AND RCP 1015 LOBBY LEVEL 1
ID-1.4	FLOOR, FINISH, AND RCP 1015 LOBBY LEVEL 2
ID-1.5	FLOOR, FINISH, AND RCP 1015 EAST AND SOUTHWEST LOBBIES LEVEL 1
ID-8.1	INTERIOR ELEVATIONS
ID-9.1	CONSTRUCTION DETAILS
ID-9.3	CASEWORK DETAILS
ID-10.0	FINISH LEGEND



### CODE INFORMATION:

PROJECT ADDRESS:	BUILDING CODE:	APPLICABLE EDITIONS OF BUILDING CODES:
1015 AND 1019 39TH AVE SE LOBBIES AND COMMON AREAS PUYALLUP, WA	2018 INTERNATIONAL BUILDING CODE (IBC), WAC 51 INCL. APPENDIX	2018 INTERNATIONAL BUILDING CODE (IBC), WAC 51 INCL. APPENDIX
CONSTRUCTION TYPE: LA SPRINKLERED	2018 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11	2018 INTERNATIONAL FIRE CODE, WAC 51-54
ZONE: MP - BUSINESS PARK	2018 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51	2018 WASHINGTON STATE ENERGY CODE (WSEC), WAC 51-11
OCCUPANCY: "B" BUSINESS	2020 NATIONAL ELECTRICAL CODE	2018 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51
	2018 UNIFORM PLUMBING CODE (UPC), WAC 51 INCL. APPENDIX	2020 NATIONAL ELECTRICAL CODE
	CITY OF PUYALLUP ZONING CODE	2018 UNIFORM PLUMBING CODE (UPC), WAC 51 INCL. APPENDIX
	PER ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	CITY OF PUYALLUP ZONING CODE
		2018 UNIFORM PLUMBING CODE (UPC), WAC 51 INCL. APPENDIX
		ZONING CODE
		ACCESSIBILITY CODE
		PER ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

### KEY PLAN



**Building 1019 is by a separate permit not covered under this permit number.**

### PROJECT DIRECTORY:

OWNER: BENAROYA COMPANIES 18300 CASCADE AVENUE SOUTH SUITE 220 SEATTLE, WA 98188 P. 425.440.6711	ARCHITECT: MZA ARCHITECTURE 752 108TH AVE NE SUITE 203 BELLEVUE, WA 98004 P. 206.890.1570
DAVE VRANIZAN DAVEV@BENAROYA.COM	MIA MARSHALL MIA.MARSHALL@MZA-US.COM
GENERAL CONTRACTOR: TBD	
DRAWN EE	REVIEWED MM
SCALE AS NOTED	DATE 12.23.2021
PROJECT NO. 21-003	
DRAWING NO. <b>ID-0.0</b>	

PROJECT NAME  
SHB&TC BUILDING  
LOBBIES AND COMMON  
AREA RENOVATIONS

PROJECT ADDRESS  
1015 AND 1019 39TH AVE SE  
PUYALLUP, WA 98374

CLIENT



PERMIT SET	12.23.2021
CD REVIEW SET	11.08.2021
REV. ISSUED	DATE

DRAWING STATUS

### PERMIT SET

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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M Z A

STAMP



DRAWING TITLE

### COVER SHEET

DRAWN EE	REVIEWED MM
SCALE AS NOTED	DATE 12.23.2021

PROJECT NO.  
21-003

DRAWING NO.

**ID-0.0**





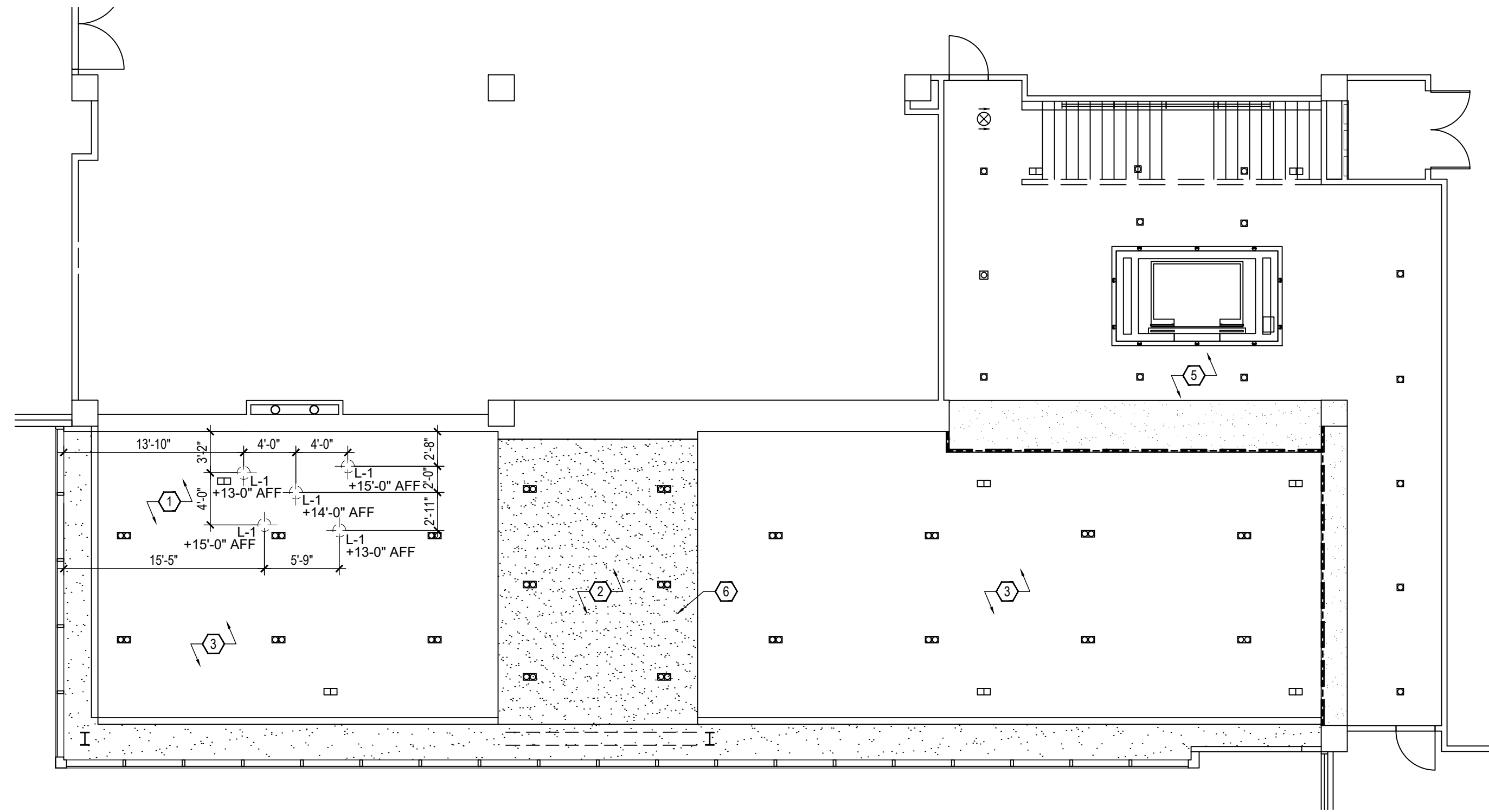






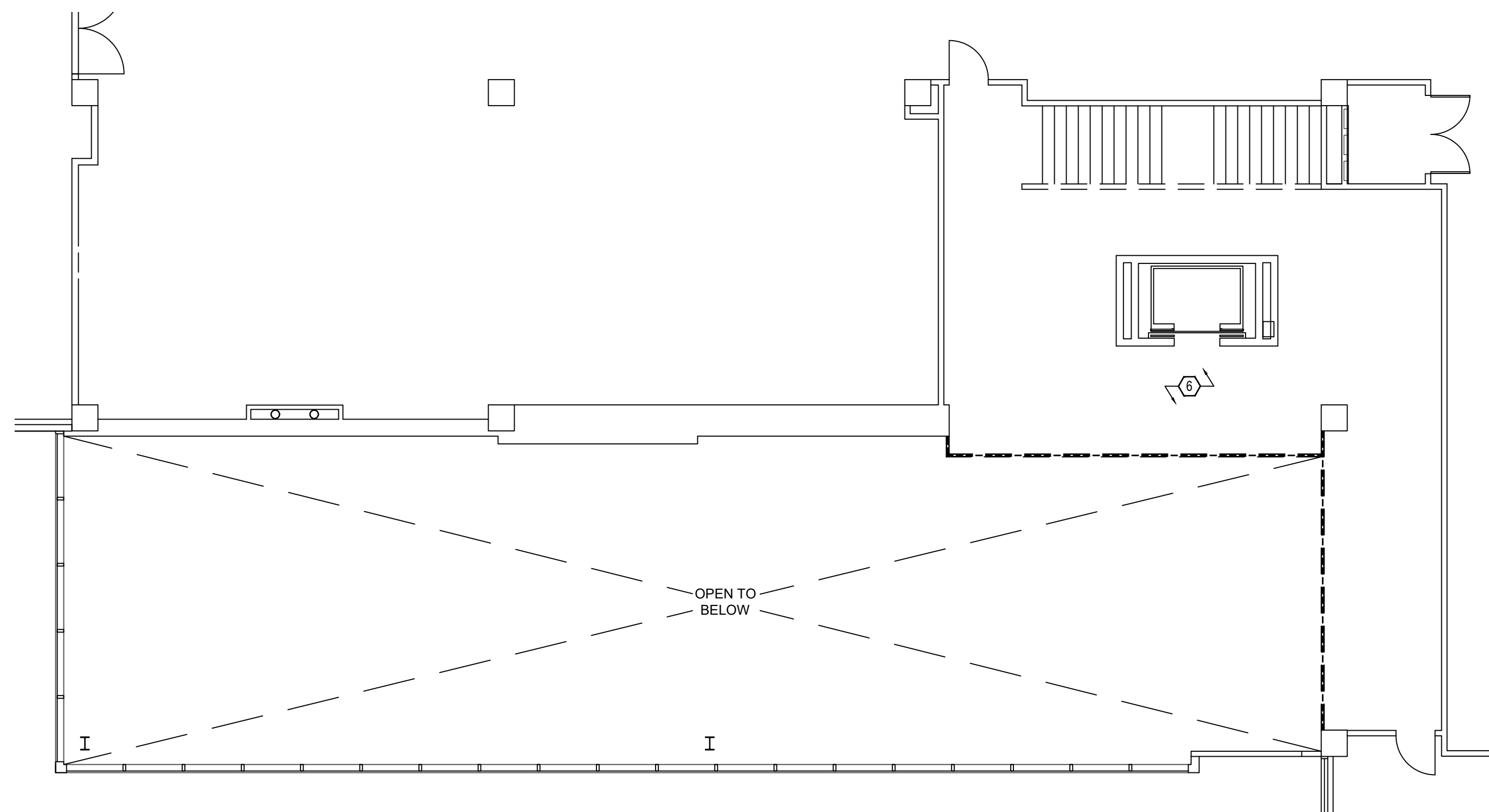
**City of Puyallup**  
**Development & Permitting Services**  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic



**2 REFLECTED CEILING PLAN | 1015 LEVEL 2**  
 SCALE: 1/8" = 1'-0"

1013.1 Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor or exit passageway is more than 100 feet (30 480 mm) or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign.



**1 FLOOR & FINISH PLAN | 1015 LEVEL 2**  
 SCALE: 1/8" = 1'-0"

**PARTITION LEGEND:**

EXISTING PARTITION/CONSTRUCTION TO REMAIN

**REFLECTED CEILING PLAN NOTES:**

- DAMAGED OR DISCOLORED SURFACES OF TILE ARE TO BE REPLACED, AND IN LIKE NEW CONDITION.
- FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, AND SEISMIC BRACING. ALL FIXTURES AND DEVICES TO BE UNDERWRITER'S LABORATORIES INC. (UL) LABELED.
- PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- CONTRACTOR TO VERIFY ALL PENDANT FIXTURE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE CEILINGS WHICH ARE REMOVED TO FACILITATE PLENUM SYSTEMS INSTALLATION.
- SWITCHES AND PLATES SHALL MATCH BUILDING STANDARD TYPE AND COLOR.
- ALL LAMP COLOR TEMPERATURES TO BE CONSISTENT WITHIN SIMILAR FIXTURE TYPES.

**FLOOR PLAN NOTES:**

- CONTRACTOR TO COMPLETE ALL BASE BUILDING CONSTRUCTION PER BUILDING STANDARDS. COORDINATE WITH BUILDING OWNER.
- CONTRACTOR TO REPAIR WINDOW SILLS, JAMBS, AND HEADS AS REQUIRED AT ALL PERIMETER WINDOWS IF AFFECTED BY DEMO AND NEW CONSTRUCTION.
- PROVIDE FIRE TREATED WOOD BLOCKING IN ALL NEW PARTITIONS WHERE REQUIRED FOR FURNITURE, SHELVING, MONITORS, AND MILLWORK INSTALLATION.
- AT NEW PARTITIONS: CONTRACTOR TO PROVIDE AND COORDINATE STUD SPACING WITH CRITICAL RECEPTACLE LOCATIONS.

**REFLECTED CEILING PLAN KEY NOTES:**

- RELOCATE EXISTING LIGHT FIXTURES AS NECESSARY TO ACCOMMODATE NEW PENDANT LOCATIONS.
- EXISTING CEILING AND LIGHTING IN THIS AREA TO REMAIN.
- OWNER TO REVIEW EXISTING LIGHT FIXTURES AND REPLACE LAMPS TO LED FIXTURES ONLY AS NEEDED IN EXISTING ACT CEILING.
- REPLACE EXISTING LIGHT FIXTURES IN THIS AREA WITH NEW L-4 FIXTURES. COORDINATE EXACT FIXTURES TO BE REPLACED (ONE-FOR-ONE) IN EXISTING ACT CEILING WITH BUILDING OWNER AND LIGHTING REP.
- REPAINT CEILING PT-3.

**REFLECTED CEILING PLAN LEGEND:**

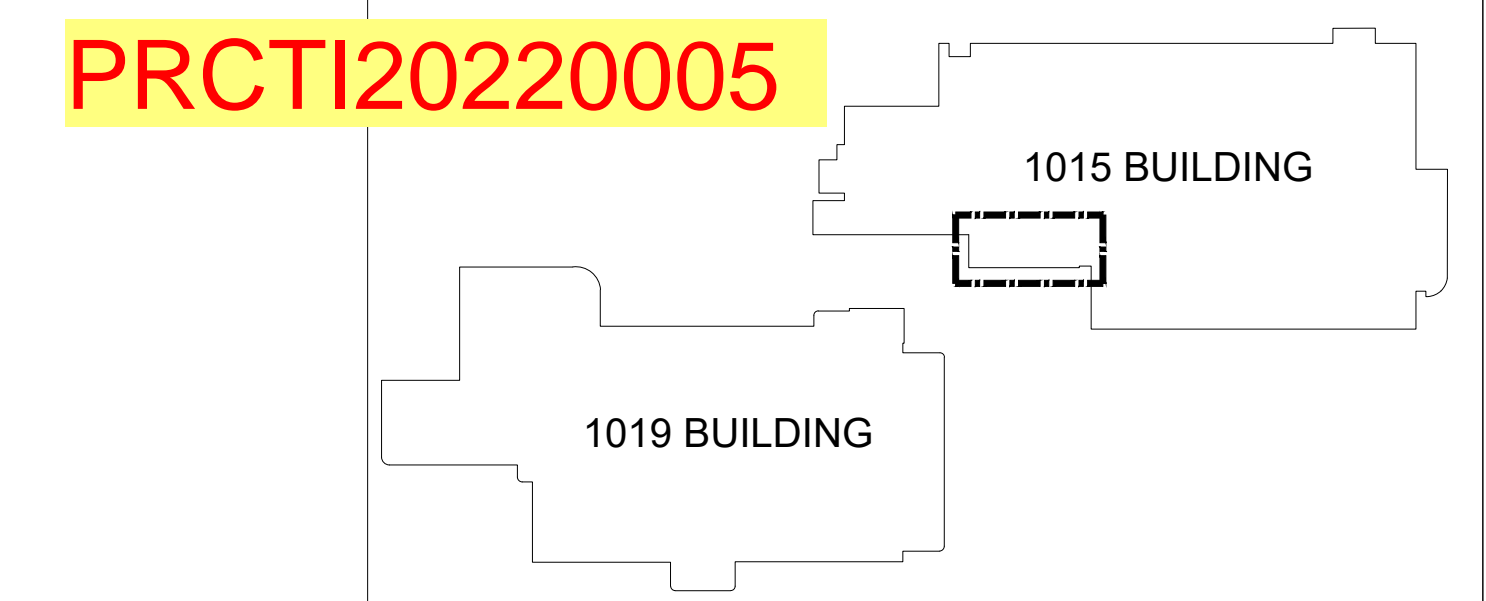
**L-1**  
 TYPE: PENDANT LIGHT FIXTURE  
 MANUFACTURER: BOVER  
 STYLE NAME: FORA 90 NATURAL WHITE-LIGHT BEIGE SHADE  
 STYLE NUMBER: 4030301U/P707C-4M  
 LAMP TYPE: LED  
 CONTACT: MELISSA MILLER MMILLER@PLSWA.COM  
 MOUNTING HEIGHTS NOTED ARE FROM FINISHED FLOOR TO BOTTOM OF PENDANT

**L-4**  
 NEW 6" APERTURE RECESSED FIXTURE  
 ELITE  
 HHR6-LED-2000L-DIM10-120-MD-35K-90-HH6-6501-W-WH  
 CONTACT: MELISSA MILLER MMILLER@PLSWA.COM

**FLOOR PLAN KEY NOTES:**

- EXISTING FLOORING IN THIS AREA TO REMAIN.

**KEY PLAN:**



PROJECT NAME  
 SHB&TC BUILDING  
 LOBBIES AND COMMON  
 AREA RENOVATIONS

PROJECT ADDRESS  
 1015 AND 1019 39TH AVE SE  
 PUYALLUP, WA 98374

CLIENT

PERMIT SET	12.23.2021
CD REVIEW SET	11.08.2021
REV.	ISSUED DATE

DRAWING STATUS

**PERMIT SET**

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STAMP

DRAWING TITLE

FLOOR, FINISH, AND RCP 1015 LOBBY LEVEL 2

DRAWN EE REVIEWED MM

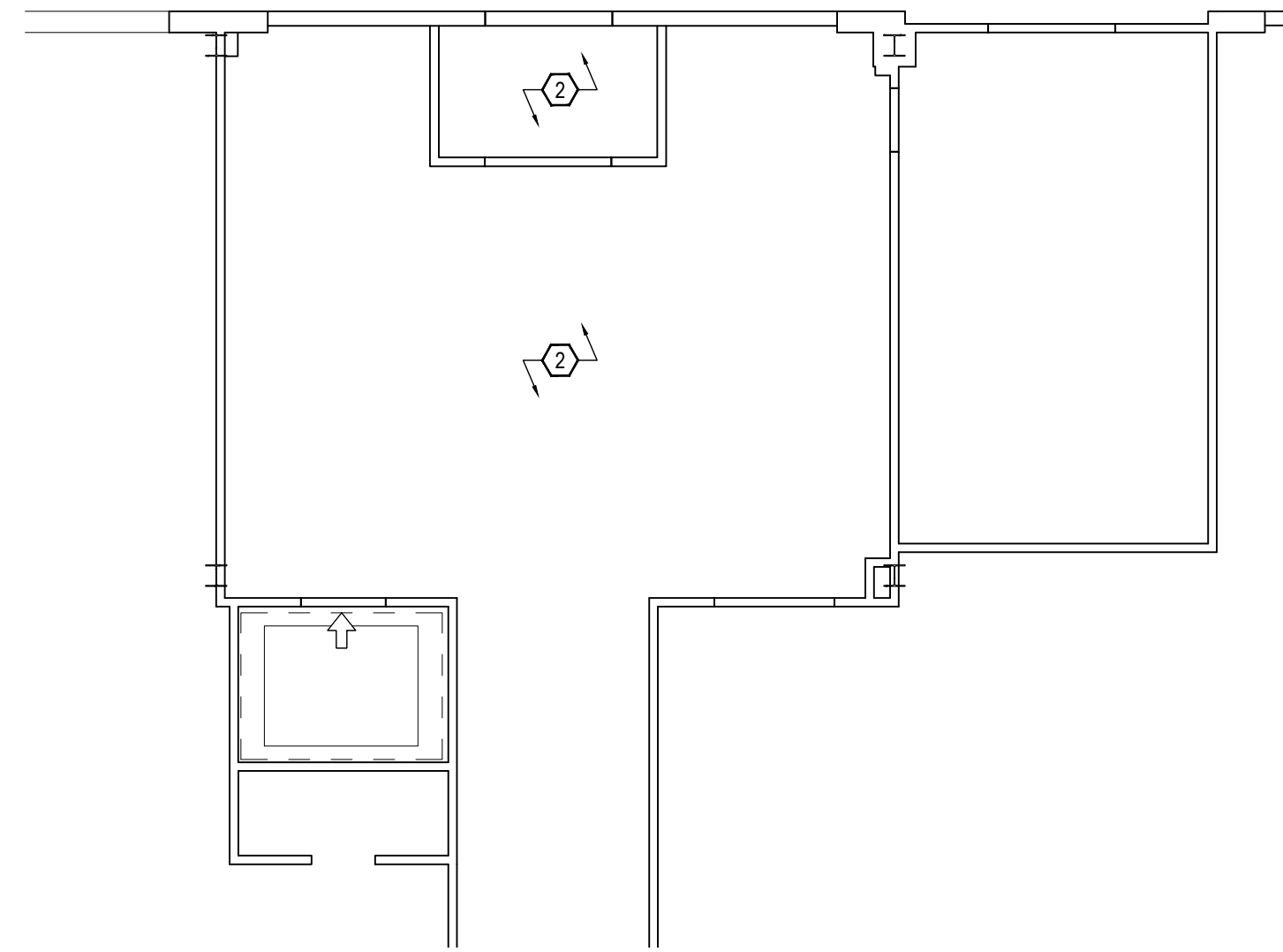
SCALE AS NOTED DATE 12.23.2021

PROJECT NO. 21-003

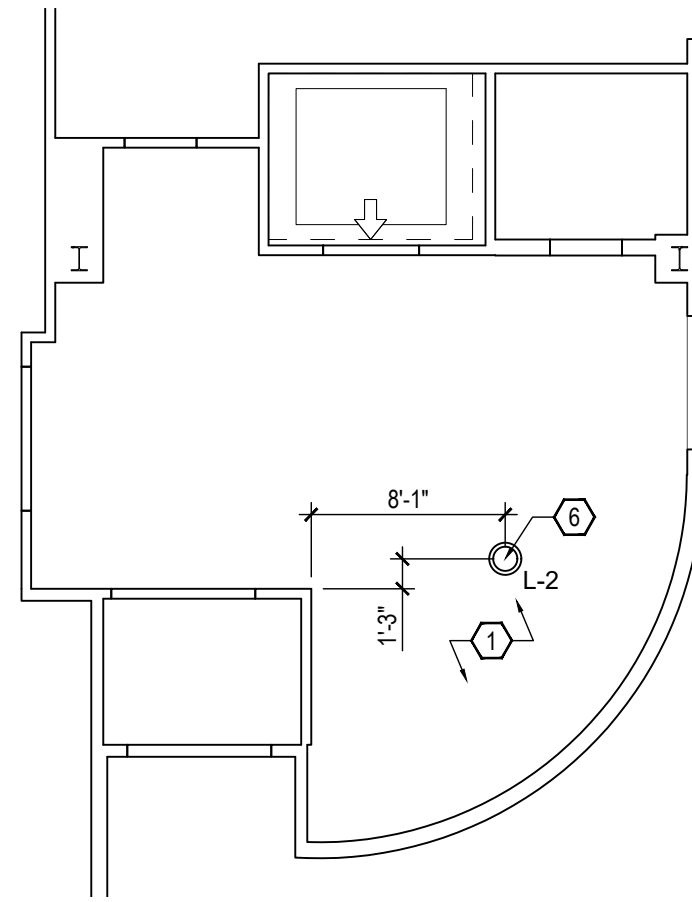
DRAWING NO. ID-1.4

**City of Puyallup**  
**Development & Permitting Services**  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

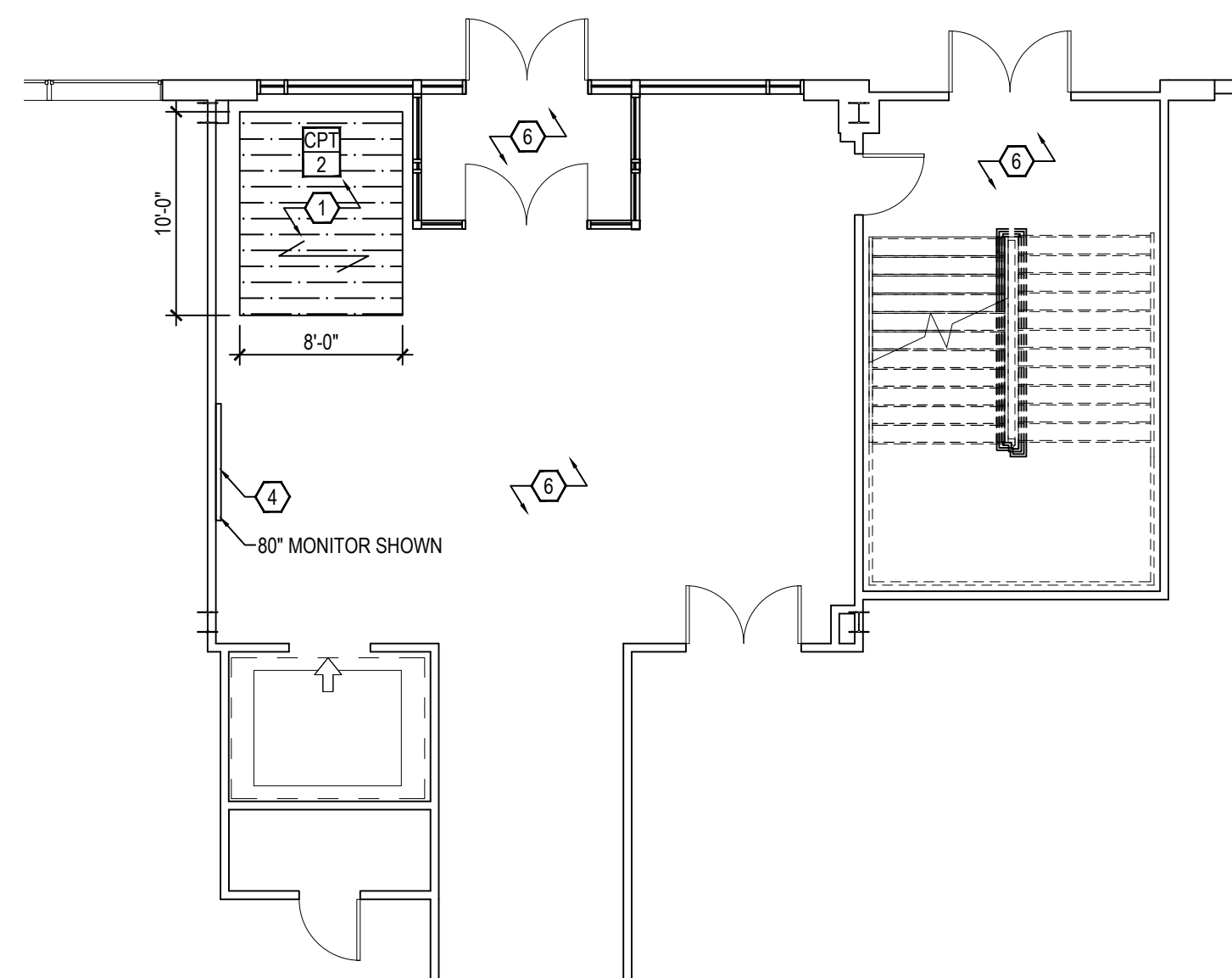


**2 REFLECTED CEILING PLAN | 1015 EAST LOBBY | LEVEL 1**  
 SCALE: 1/8" = 1'-0"

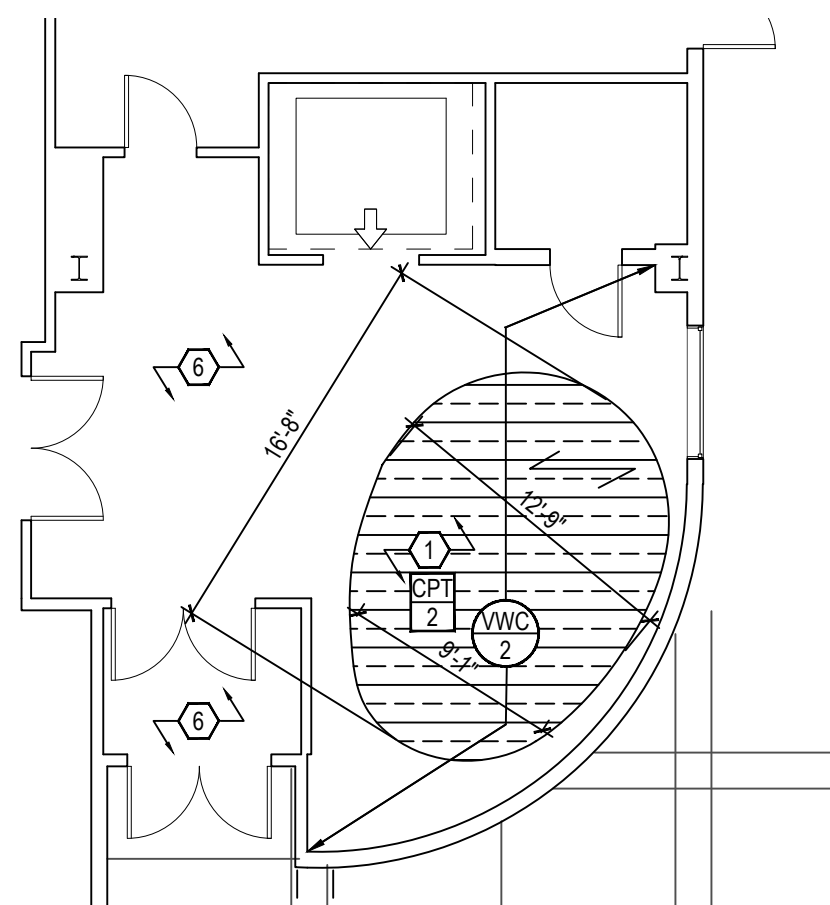


**4 REFLECTED CEILING PLAN | 1015 SOUTHWEST LOBBY | LEVEL 1**  
 SCALE: 1/8" = 1'-0"

1013.1 Exits and exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or the path of egress travel is not immediately visible to the occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor or exit passageway is more than 100 feet (30 480 mm) or the listed viewing distance for the sign, whichever is less, from the nearest visible exit sign.



**1 FLOOR & FINISH PLAN | 1015 EAST LOBBY | LEVEL 1**  
 SCALE: 1/8" = 1'-0"



**3 FLOOR & FINISH PLAN | 1015 SOUTHWEST LOBBY | LEVEL 1**  
 SCALE: 1/8" = 1'-0"

**PARTITION LEGEND:**

EXISTING PARTITION/CONSTRUCTION TO REMAIN

**REFLECTED CEILING PLAN NOTES:**

- DAMAGED OR DISCOLORED SURFACES OF TILE ARE TO BE REPLACED, AND IN LIKE NEW CONDITION.
- FURNISH AND INSTALL ALL FIXTURES, ASSOCIATED TRIM, LAMPS, AND SEISMIC BRACING. ALL FIXTURES AND DEVICES TO BE UNDERWRITER'S LABORATORIES INC. (UL) LABELED.
- PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- CONTRACTOR TO VERIFY ALL PENDANT FIXTURE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL REPAIR AND/OR REPLACE CEILING WHICH ARE REMOVED TO FACILITATE PLENUM SYSTEMS INSTALLATION.
- SWITCHES AND PLATES SHALL MATCH BUILDING STANDARD TYPE AND COLOR.
- ALL LAMP COLOR TEMPERATURES TO BE CONSISTENT WITHIN SIMILAR FIXTURE TYPES.

**FLOOR PLAN NOTES:**

- CONTRACTOR TO COMPLETE ALL BASE BUILDING CONSTRUCTION PER BUILDING STANDARDS. COORDINATE WITH BUILDING OWNER.
- CONTRACTOR TO REPAIR WINDOW SILLS, JAMBS, AND HEADS AS REQUIRED AT ALL PERIMETER WINDOWS IF AFFECTED BY DEMO AND NEW CONSTRUCTION.
- PROVIDE FIRE TREATED WOOD BLOCKING IN ALL NEW PARTITIONS WHERE REQUIRED FOR FURNITURE, SHELVING, MONITORS, AND MILLWORK INSTALLATION.
- AT NEW PARTITIONS: CONTRACTOR TO PROVIDE AND COORDINATE STUD SPACING WITH CRITICAL RECEPTACLE LOCATIONS.

**REFLECTED CEILING PLAN KEY NOTES:**

- RELOCATE EXISTING LIGHT FIXTURES AS NECESSARY IN EXISTING ACT CEILING TO ACCOMMODATE NEW PENDANT LOCATIONS.
- EXISTING ACT CEILING AND LIGHTING IN THIS AREA TO REMAIN.
- VERIFY MOUNTING HEIGHTS WITH DESIGNER. LOCATE EXACT PLACEMENT IN FIELD. COORDINATE WITH DESIGNER.

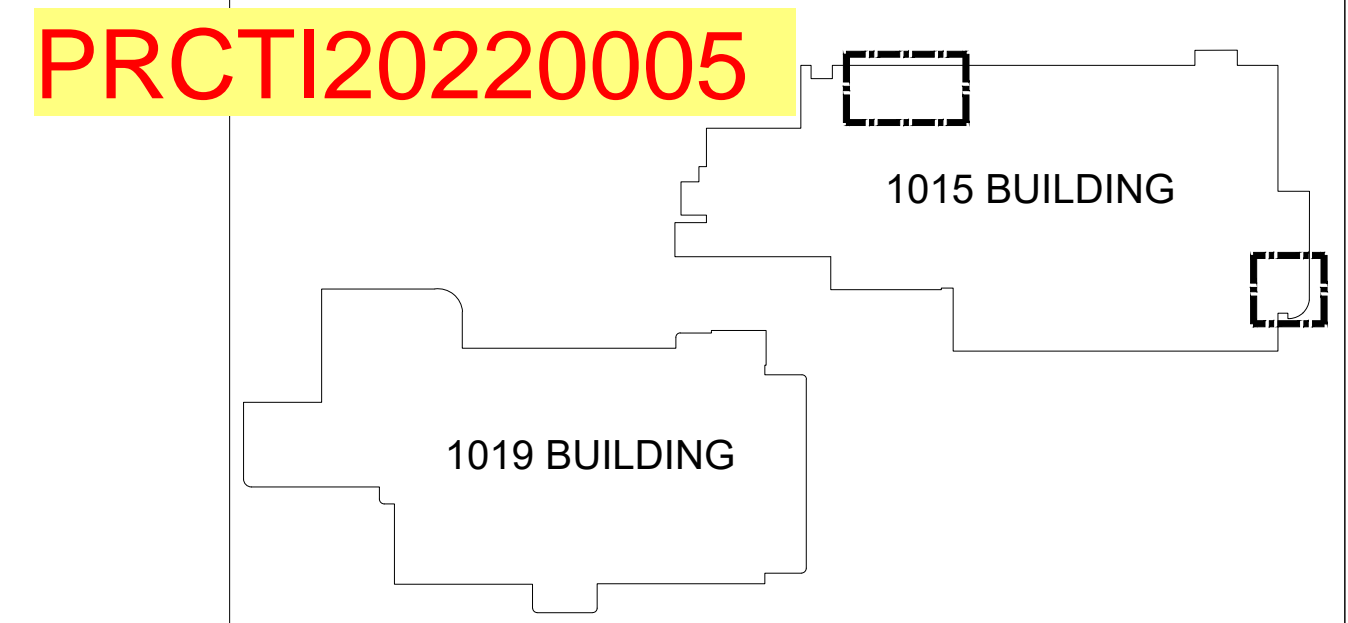
**REFLECTED CEILING PLAN LEGEND:**

TYPE: PENDANT LIGHT FIXTURE  
 MANUFACTURER: OCL  
 STYLE NAME: GLOWSTICK CLUSTER  
 STYLE NUMBER: GS1-P7CA-08-CR-BMP  
 LAMP TYPE: LED  
 FINISH: TBD

**FLOOR & FINISH PLAN KEY NOTES:**

- CUSTOM AREA RUG. REFER TO FLOOR PLAN FOR DIMENSIONS AND CUTTING INSTRUCTIONS. COORDINATE WITH DESIGNER. SURGED EDGING COLOR: TBD  
 BACKING: NON-SKID  
 CONTACT SUE PARSON FOR SPEC INFORMATION  
 SUE.PARSON@SHAWCONTRACT.COM
- PROVIDE BLOCKING AND POWER FOR WALL MOUNTED MONITOR CENTERED BEHIND TV. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION. COORDINATE EXACT MONITOR SIZE AND LOCATION WITH BUILDING OWNER AND DESIGNER.
- EXISTING FLOORING IN THIS AREA TO REMAIN.

**KEY PLAN:**



PROJECT NAME  
 SHB&TC BUILDING  
 LOBBIES AND COMMON  
 AREA RENOVATIONS

PROJECT ADDRESS  
 1015 AND 1019 39TH AVE SE  
 PUYALLUP, WA 98374

CLIENT



PERMIT SET	12.23.2021
CD REVIEW SET	11.08.2021
REV.	ISSUED DATE

DRAWING STATUS

**PERMIT SET**

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STAMP

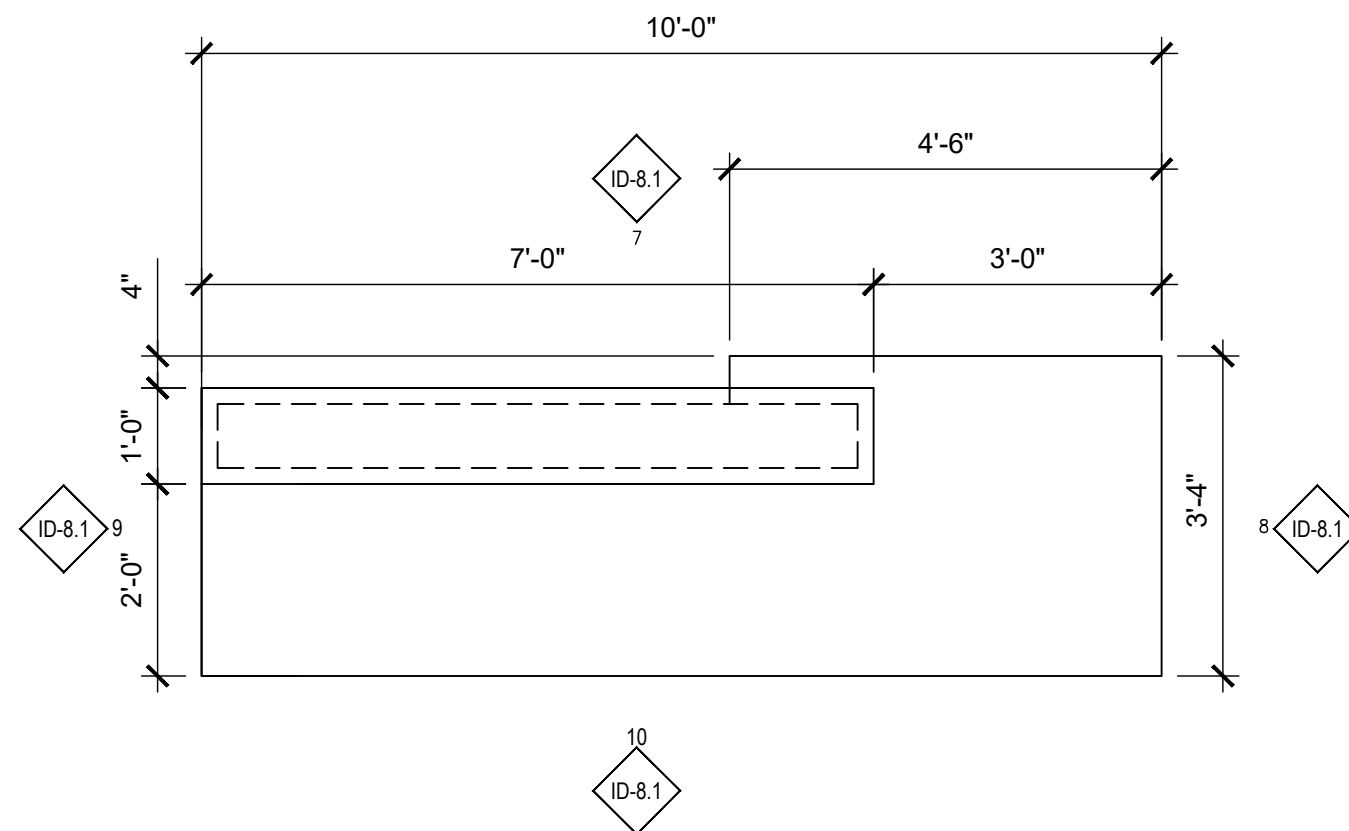


DRAWING TITLE  
 FLOOR, FINISH, AND  
 RCP 1015 EAST AND  
 SOUTHWEST LOBBIES  
 LEVEL 1

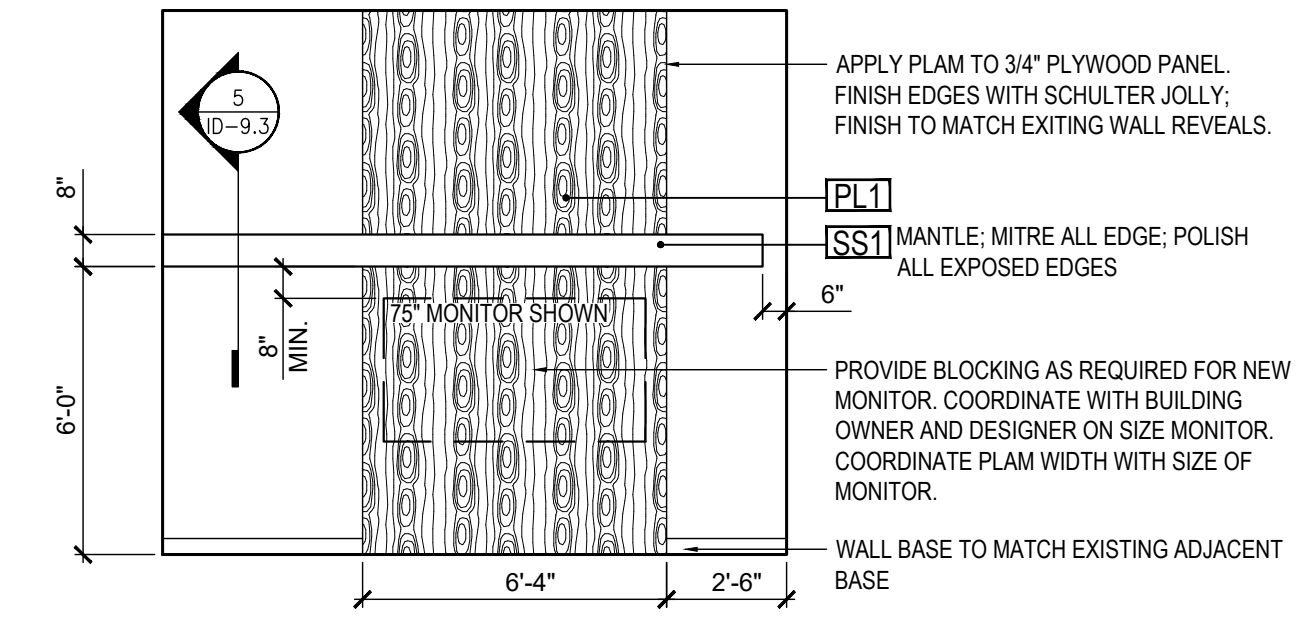
DRAWN EE	REVIEWED MM
SCALE AS NOTED	DATE 12.23.2021
PROJECT NO. 21-003	

DRAWING NO.  
**ID-1.5**

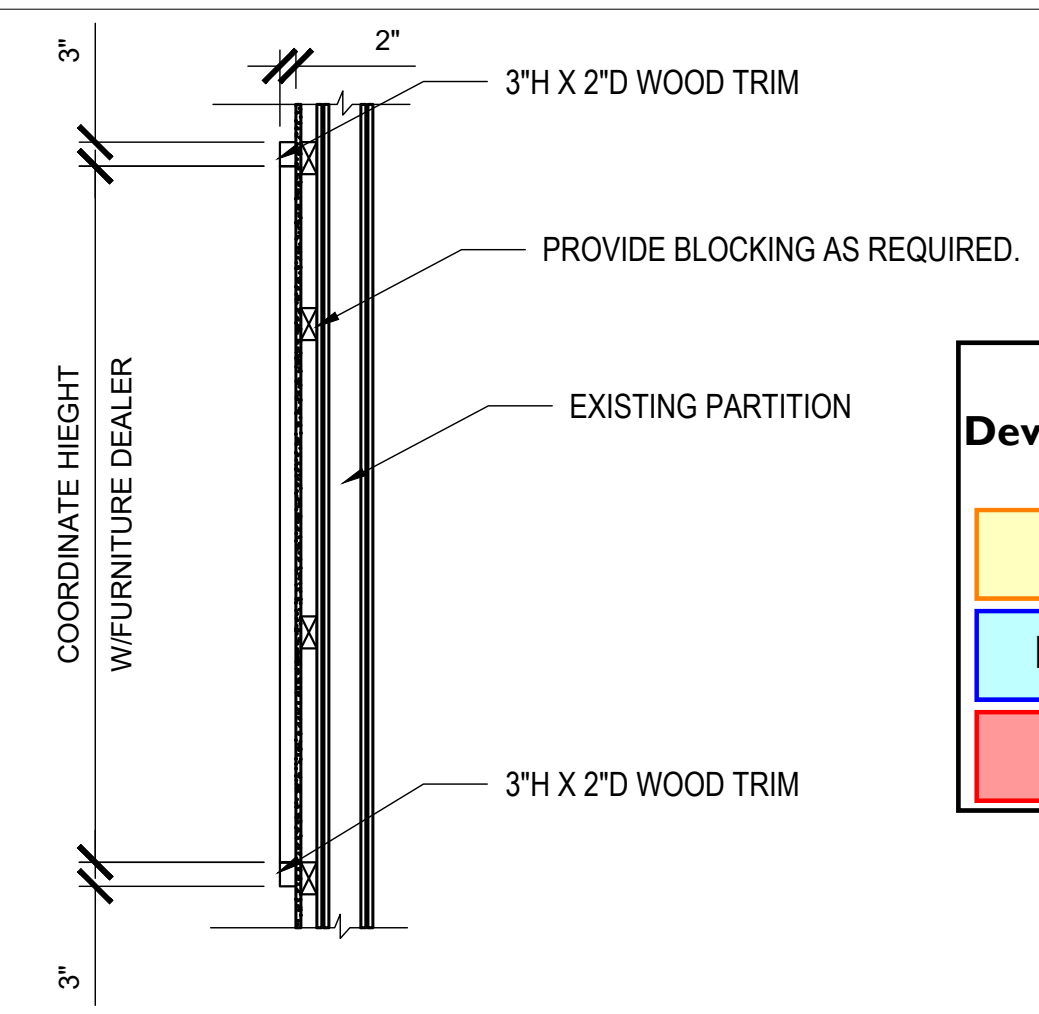




**1 SECURITY DESK ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



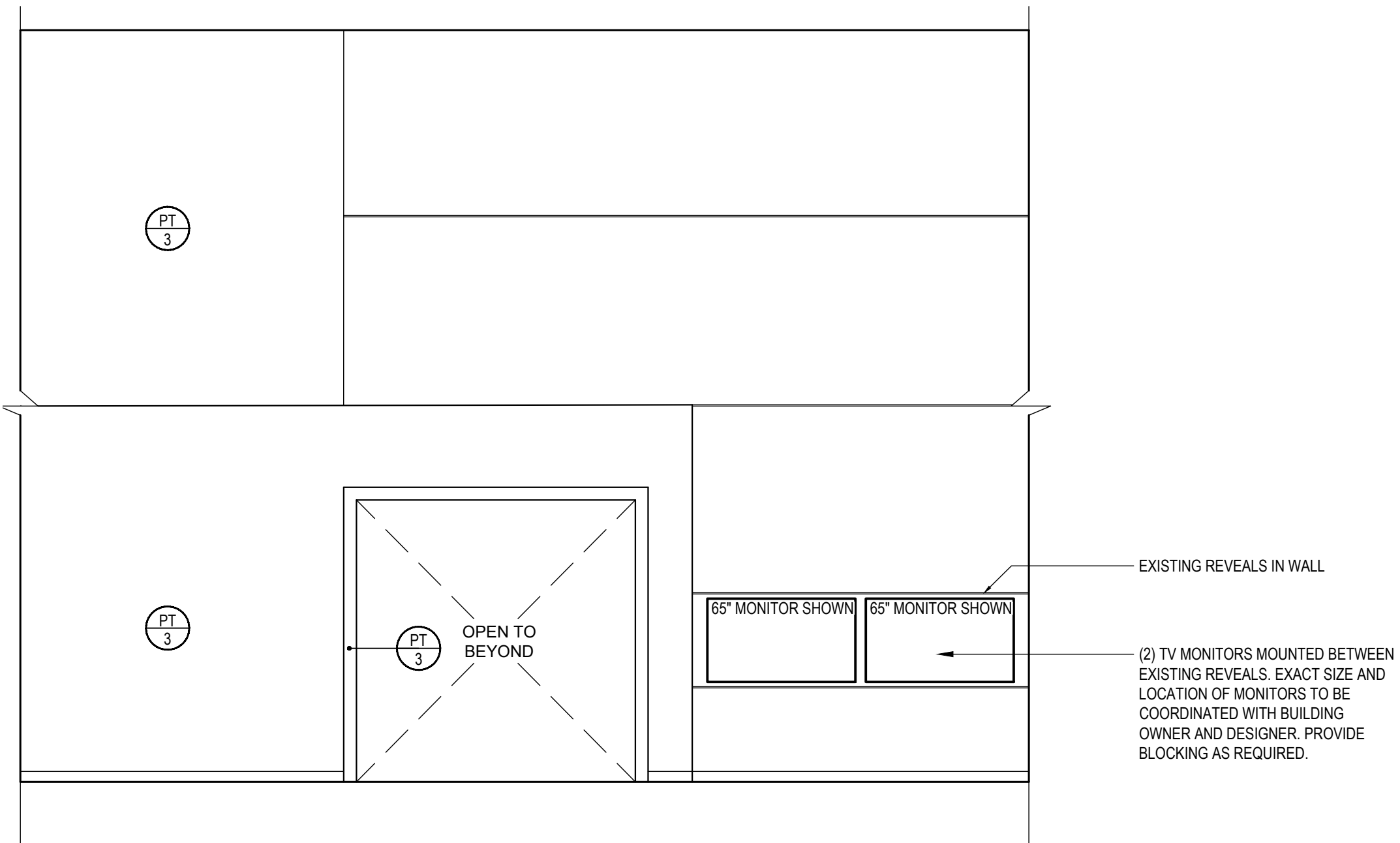
**2 MONITOR WALL ELEVATION**  
SCALE: 1/4" = 1'-0"



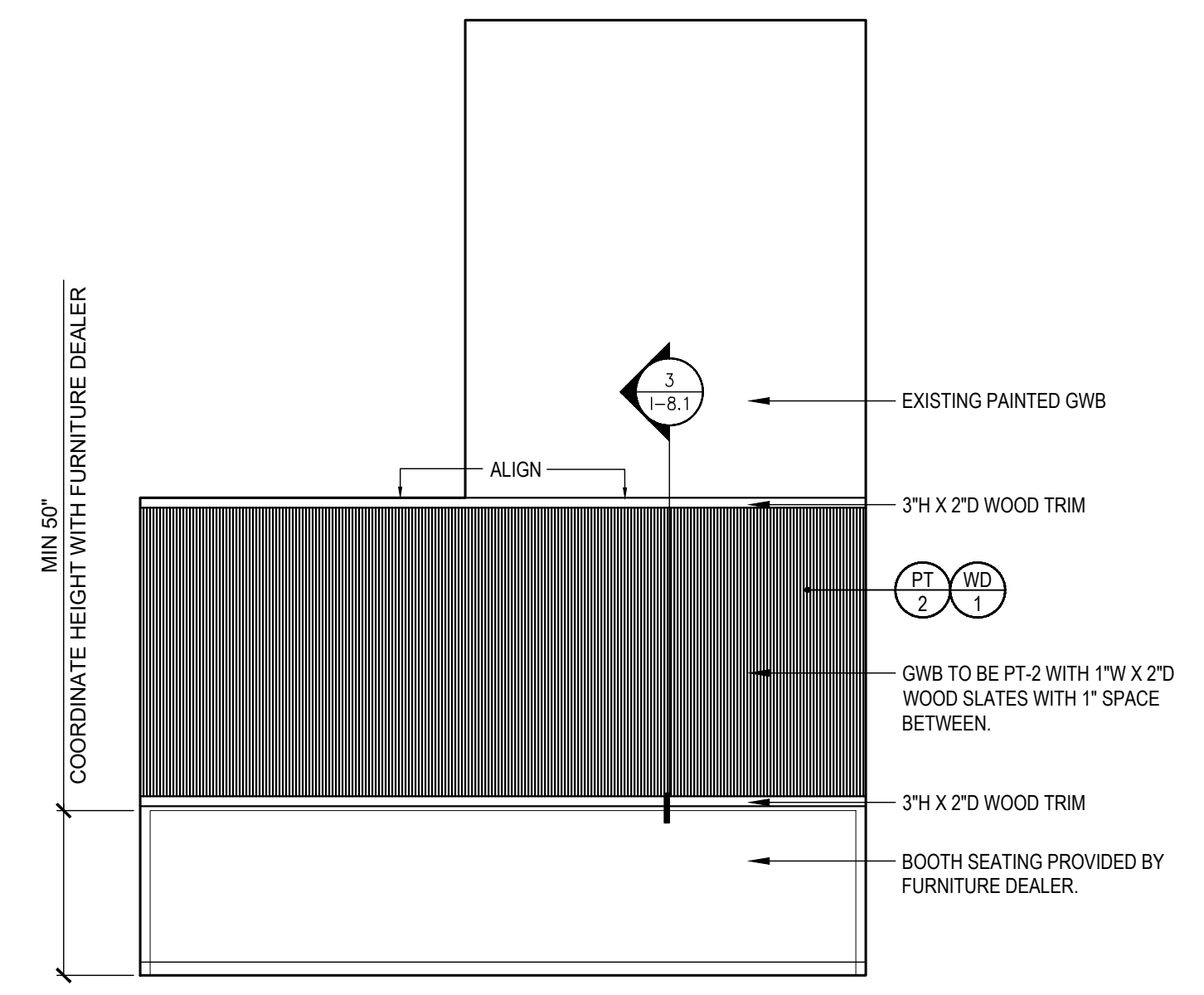
**3 WOOD SLAT ACCENT WALL SECTION**  
SCALE: 1/4" = 1'-0"

**City of Puyallup**  
Development & Permitting Services  
**ISSUED PERMIT**

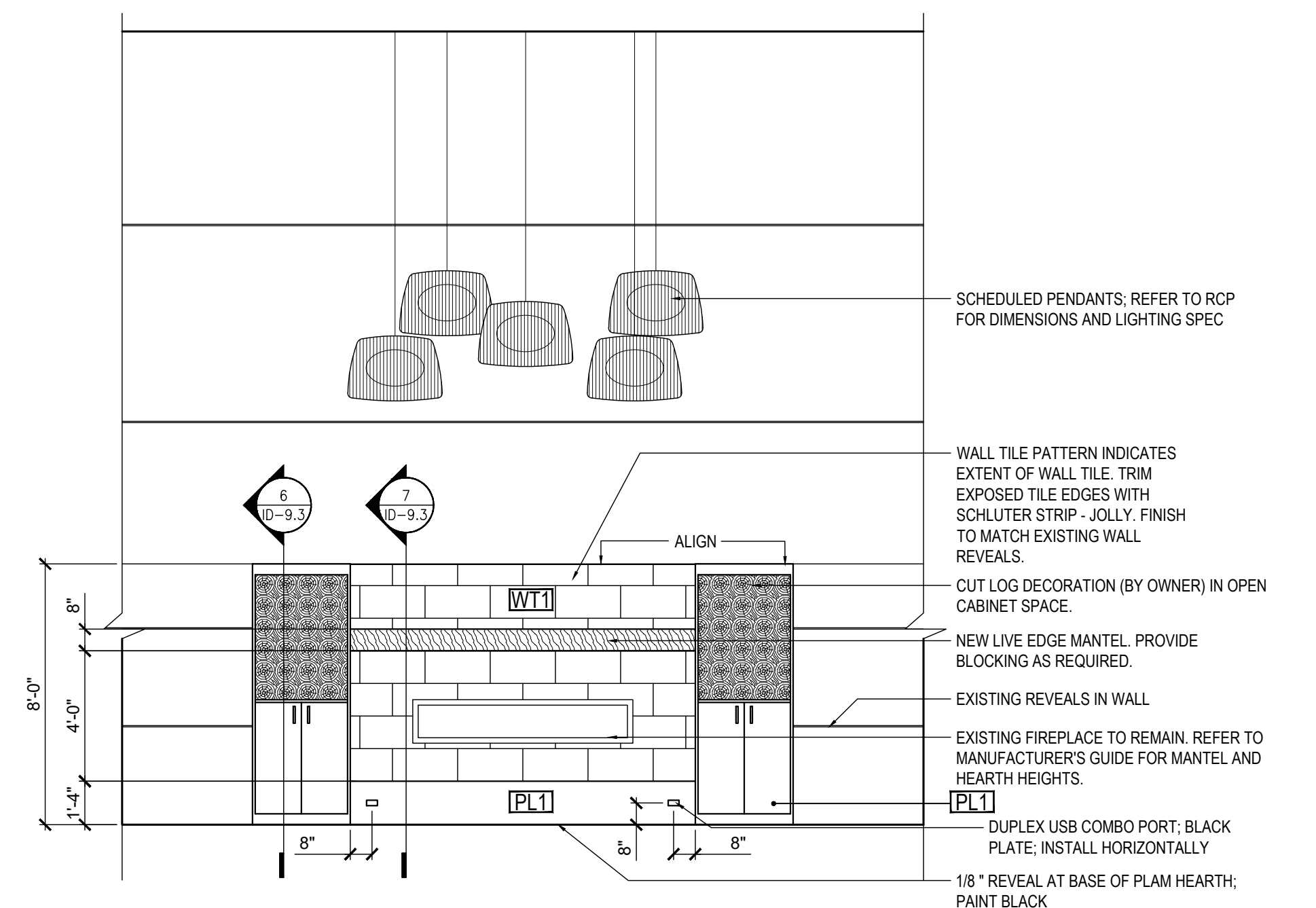
Building	Planning
Engineering	Public Works
Fire	Traffic



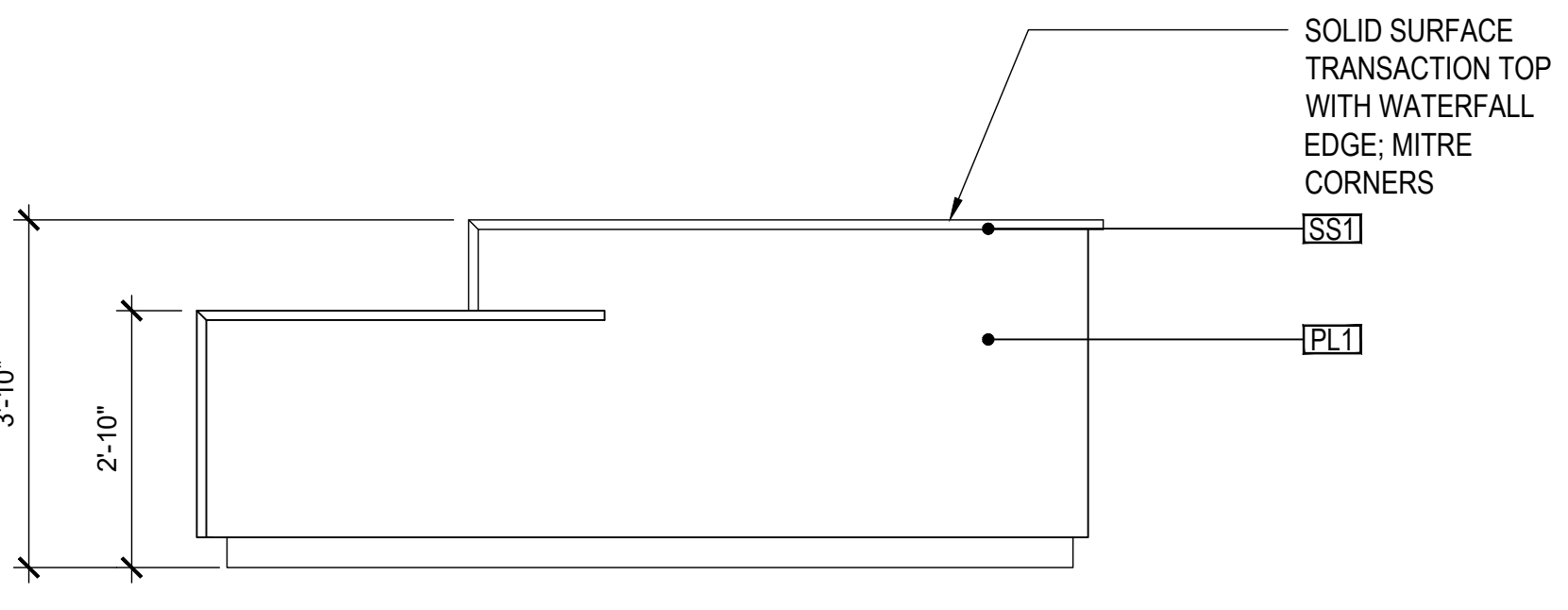
**4 PORTAL ELEVATION**  
SCALE: 1/4" = 1'-0"



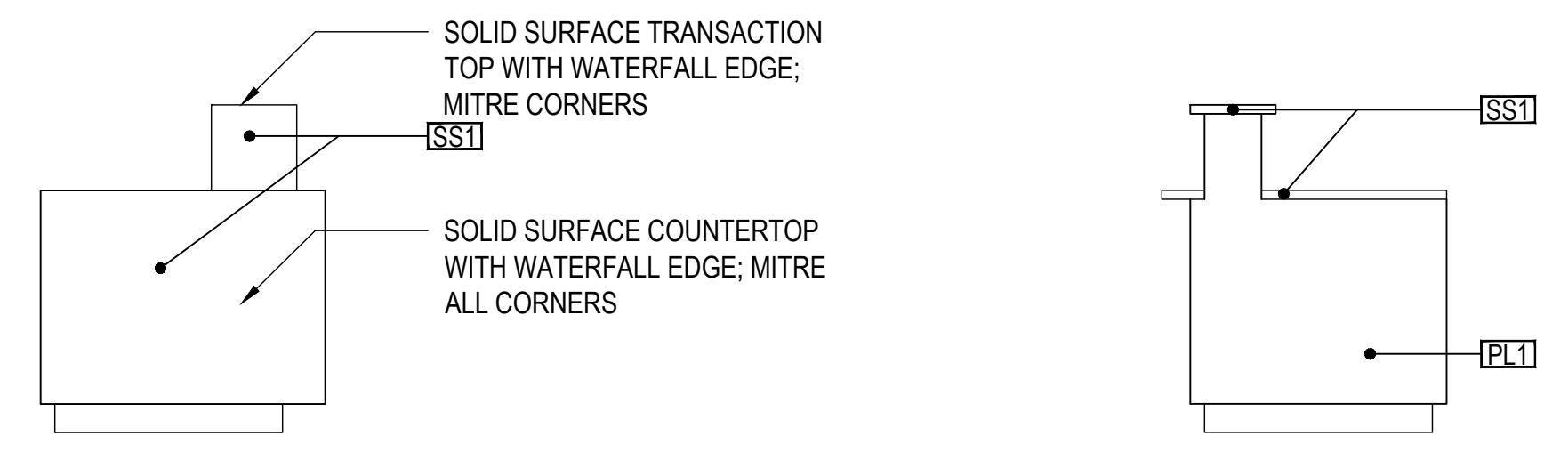
**5 WOOD SLAT ACCENT WALL ELEVATION**  
SCALE: 1/4" = 1'-0"



**6 FIREPLACE MILLWORK ELEVATION**  
SCALE: 1/4" = 1'-0"

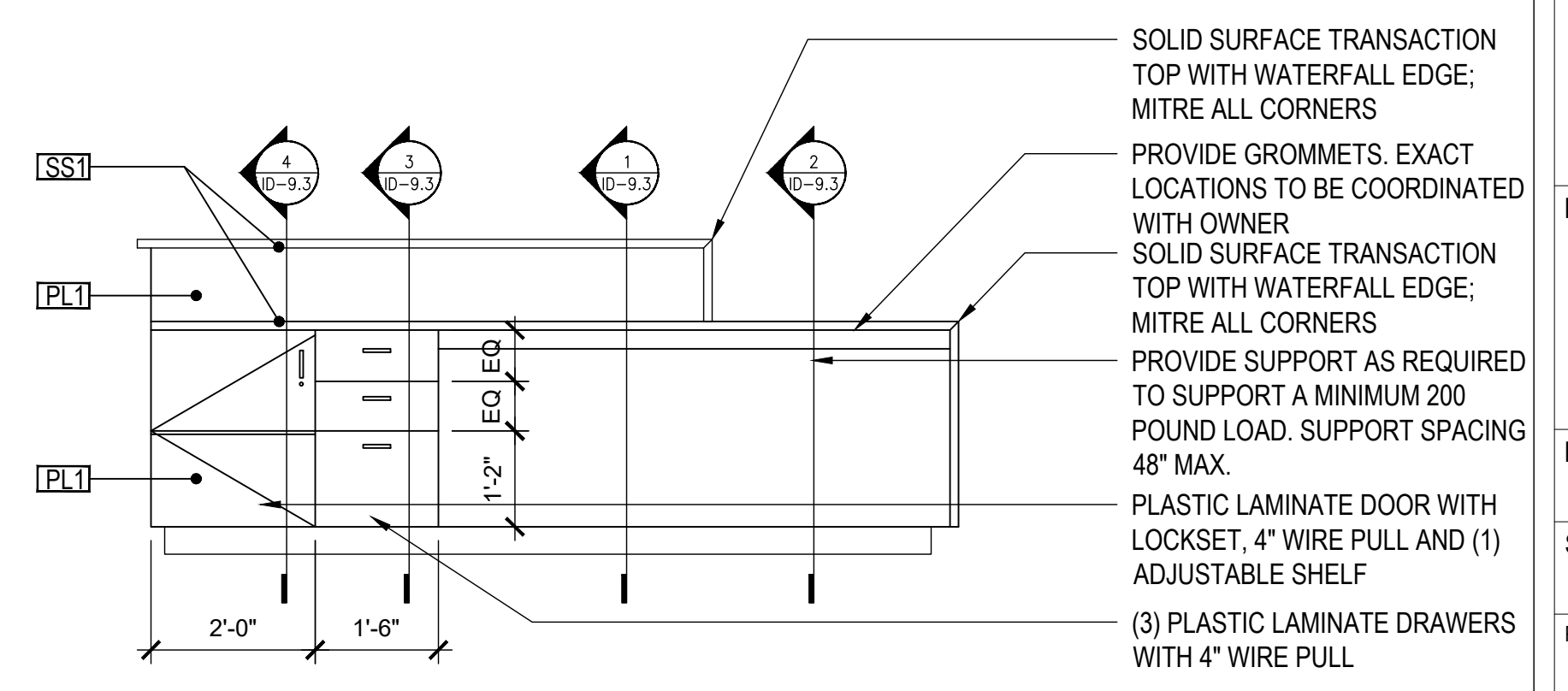


**7 SECURITY DESK FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"



**8 SECURITY DESK SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"

**9 SECURITY DESK SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"



**10 SECURITY DESK BACK ELEVATION**  
SCALE: 1/2" = 1'-0"

PROJECT NAME  
SHB&TC BUILDING LOBBIES AND COMMON AREA RENOVATIONS

PROJECT ADDRESS  
1015 AND 1019 39TH AVE SE PUYALLUP, WA 98374

CLIENT  
**Benaroya**

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**M Z A**

STAMP  
10010 REGISTERED ARCHITECT  
KEYS B. SUTTON  
STATE OF WASHINGTON

DRAWING TITLE  
**INTERIOR ELEVATIONS**

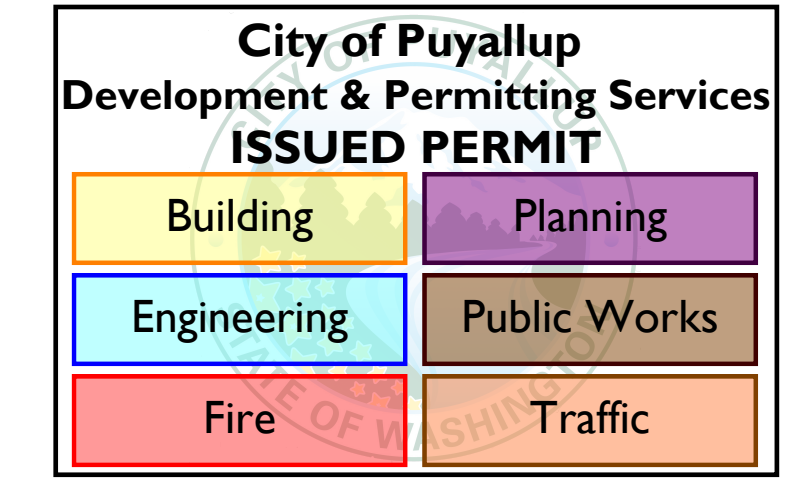
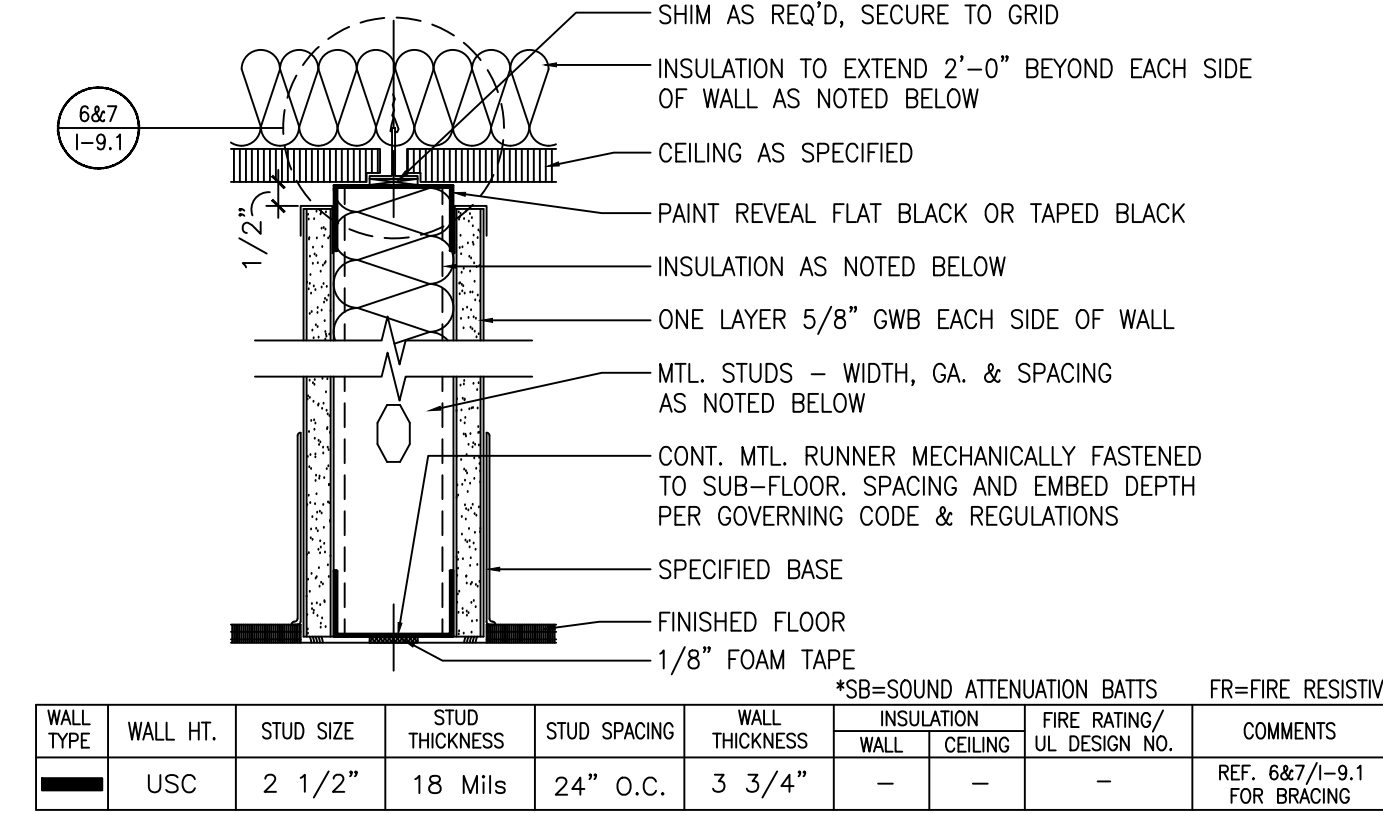
DRAWN EE	REVIEWED MM
SCALE AS NOTED	DATE 12.23.2021

PROJECT NO.  
21-003

DRAWING NO.  
**ID-8.1**

18 mils STUDS (25 GA)				30 mils STUDS (20 GA - DRYWALL)				33 mils STUDS (20 GA)			
STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT		STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT		STUD SIZE	STUD SPACING	LIMITING WALL HEIGHT	
		NON-COMPOSITE	COMPOSITE			NON-COMPOSITE	COMPOSITE-note 3			NON-COMPOSITE	COMPOSITE-note 3
162S125 (1-5/8")	12"	7'-8"	8'-10"	162S125 (1-5/8")	12"	9'-3"	9'-11"	162S125 (1-5/8")	12"	9'-6"	10'-4"
	16"	6'-11"	8'-4"		16"	8'-5"	9'-2"		16"	8'-8"	9'-8"
	24"	6'-1"	7'-11"		24"	7'-4"	8'-3"		24"	7'-7"	8'-9"
250S125 (2-1/2")	12"	10'-6"	11'-11"	250S125 (2-1/2")	12"	12'-9"	13'-2"	250S125 (2-1/2")	12"	13'-2"	13'-11"
	16"	9'-7"	11'-3"		16"	11'-7"	12'-1"		16"	12'-0"	12'-10"
	24"	8'-3"	10'-7"		24"	10'-2"	10'-9"		24"	10'-6"	11'-7"
362S125 3-5/8"	12"	14'-0"	15'-4"	362S125 3-5/8"	12"	17'-0"	17'-1"	362S125 3-5/8"	12"	17'-7"	17'-10"
	16"	12'-2"	14'-4"		16"	15'-6"	15'-8"		16"	16'-0"	16'-5"
	24"		13'-5"		24"	13'-6"	14'-0"		24"	14'-0"	14'-9"
400S125 (4")	12"		16'-5"	400S125 (4")	12"	18'-5"	19'-0"	400S125 (4")	12"	19'-0"	19'-11"
	16"		15'-4"		16"	16'-8"	17'-6"		16"	17'-3"	18'-4"
	24"		14'-2"		24"	14'-7"	15'-7"		24"	15'-1"	16'-5"
600S125 (6")	12"		22'-1"	600S125 (6")	12"	25'-2"	25'-6"	600S125 (6")	12"	26'-2"	26'-9"
	16"		19'-9"		16"	22'-11"	23'-2"		16"	23'-9"	24'-6"
	24"		16'-9"		24"	18'-11"	20'-3"		24"	20'-6"	21'-7"

- NON-BEARING WALL HEIGHT TABLE NOTES**
1. WALL HEIGHTS ARE BASED ON ALLOWABLE DEFLECTION OF L/240.
  2. WALLS ARE TO RECEIVE MINIMUM 1/2" GWB BOTH SIDES.
  3. IF WALL HEIGHT FOR COMPOSITE ACTION IS USED, GWB IS TO BE FASTENED WITH MINIMUM #6 SCREW AT 12" O.C.
  4. HEIGHTS ARE BASED ON THE SSMA CATALOG.
  5. TABLES ARE BASED ON 5 PSF LATERAL LOAD.
  6. TABLES TO BE USED FOR NON-BEARING NON-STRUCTURAL STUD WALLS ONLY.
  7. MATERIAL GAUGES ARE FOR REFERENCE ONLY.
  8. WHERE GWB DOES NOT EXTEND TO TOP OF STUDS USE LIMITING WALL HEIGHTS FOR NON COMPOSITE WALLS AND PROVIDE MECHANICAL BRACING OF STUD FLANGES PER SSMA STANDARDS.

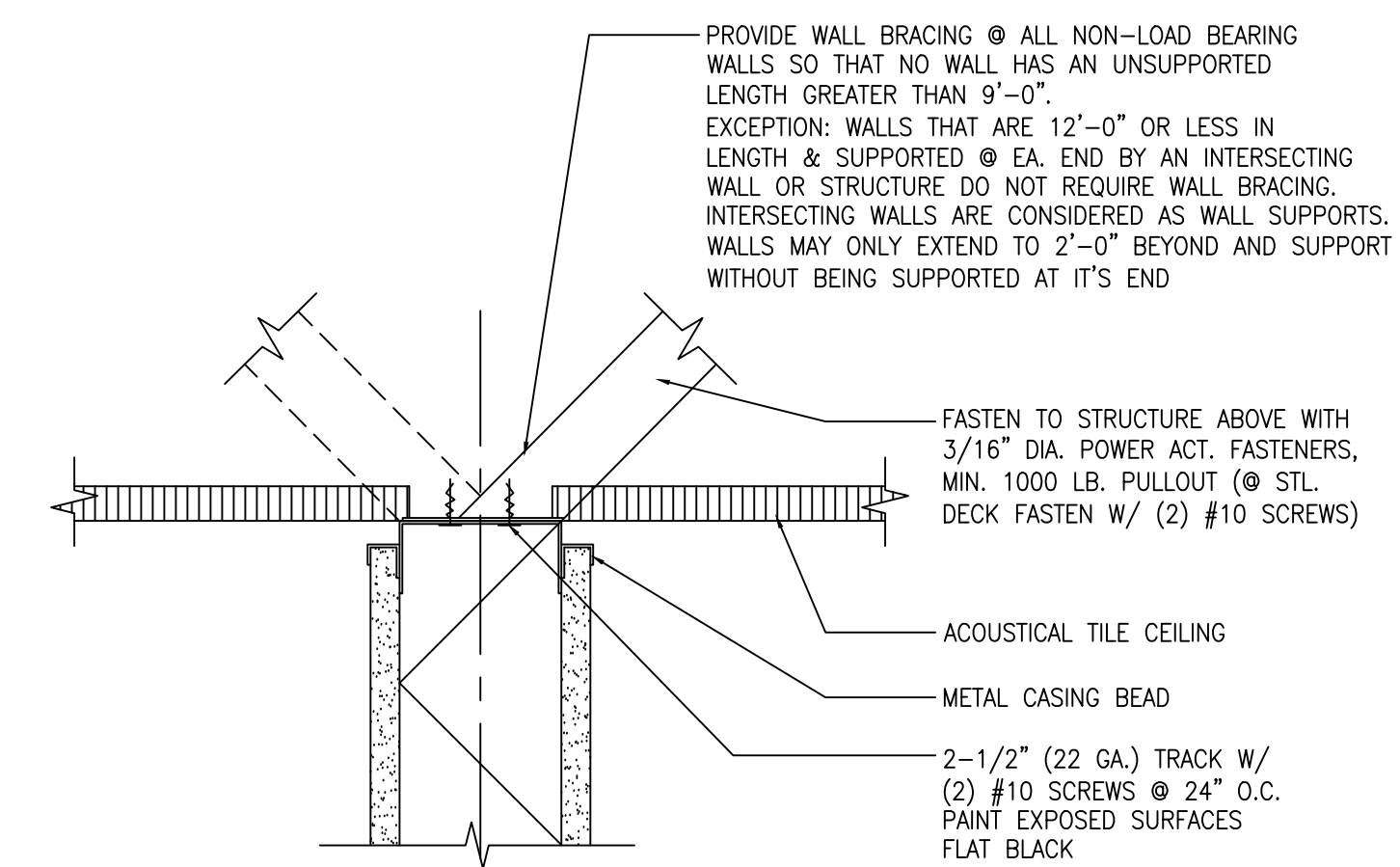


PROJECT NAME  
SHB&TC BUILDING LOBBIES AND COMMON AREA RENOVATIONS

PROJECT ADDRESS  
1015 AND 1019 39TH AVE SE PUYALLUP, WA 98374

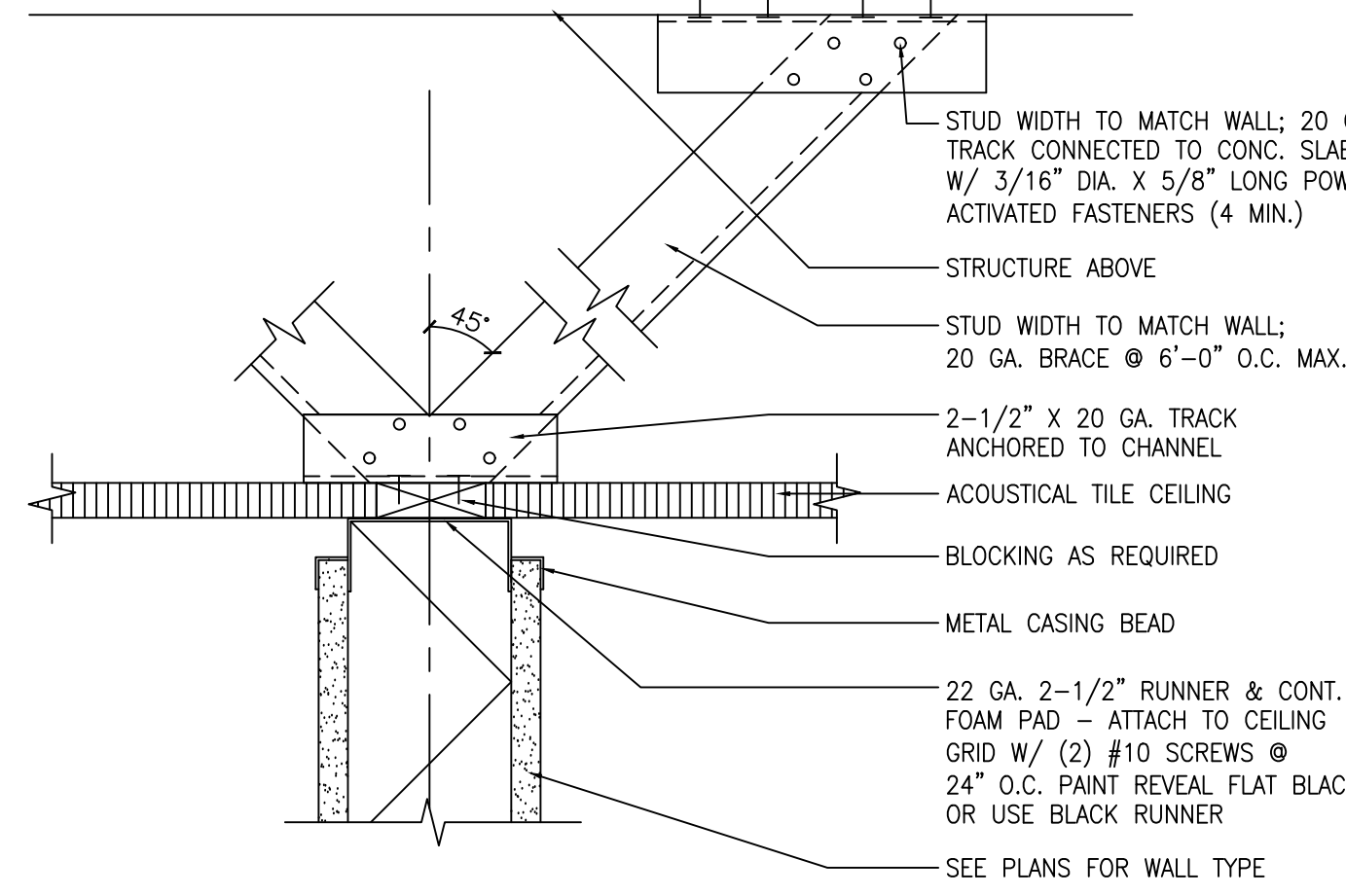


**1 NON-BEARING | NON-STRUCTURAL LIMITING WALL HEIGHT TABLES**  
SCALE: 3" = 1'-0"



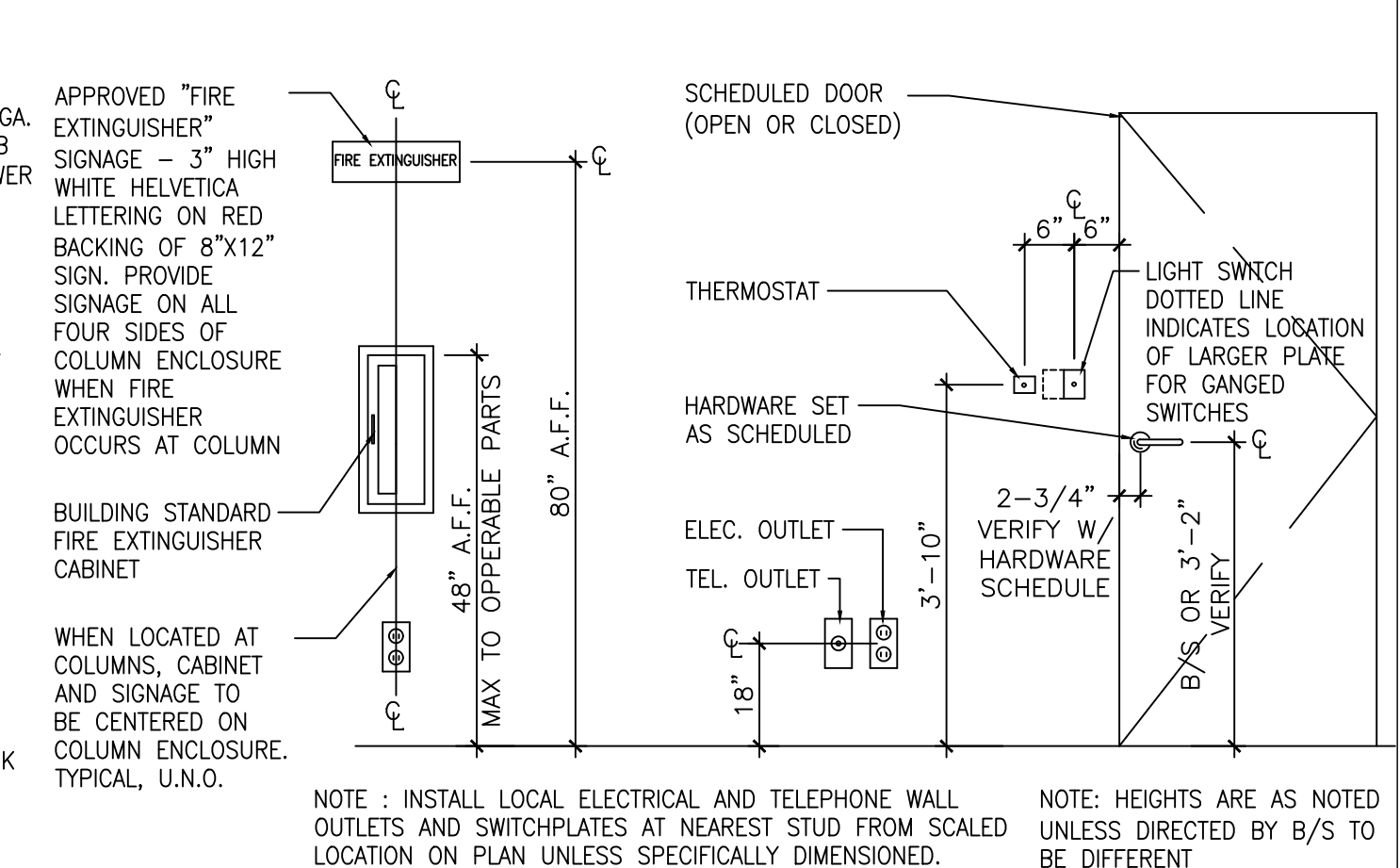
**6 PARTITION BRACING DETAIL**  
SCALE: 3" = 1'-0"

**3 GYP. CEILING HEIGHT PARTITION**  
SCALE: 3" = 1'-0"



**7 PARTITION BRACING DETAIL**  
SCALE: 3" = 1'-0"

**4 NOT USED**  
SCALE: 3" = 1'-0"



**8 TYPICAL MOUNTING HEIGHTS**  
SCALE: NTS

**5 NOT USED**  
SCALE: 3" = 1'-0"

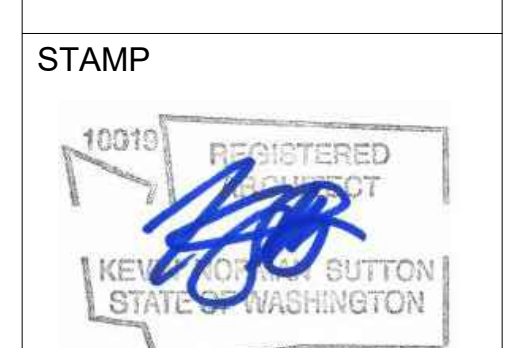
PERMIT SET	12.23.2021
CD REVIEW SET	11.08.2021
ISSUED	DATE

DRAWING STATUS

**PERMIT SET**

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



DRAWING TITLE

**CONSTRUCTION DETAILS**

DRAWN EE	REVIEWED MM
SCALE AS NOTED	DATE 12.23.2021

PROJECT NO.  
21-003

DRAWING NO.  
**ID-9.1**



