

PROJECT
**MERIDIAN POINTE APARTMENTS
 RESIDENTIAL UNIT REHABILITATION**
 407 VALLEY AVE. N.E.
 PUYALLUP, WA 98372
COVER SHEET

#	DATE	DESC.

APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.:	1922
ISSUE DATE:	09/14/2021
REVISED:	
DRAWN BY:	BM
SHEET	

MERIDIAN POINTE APARTMENTS RESIDENTIAL UNIT REHABILITATION

407 VALLEY AVE. N.E. PUYALLUP, WA 98372

ABBREVIATIONS	ABBREVIATIONS
AB ANCHOR BOLT	MAT MATERIAL
ACOUS ACOUSTIC	MAX MAXIMUM
ACT ACOUSTICAL CEILING TILE	MECH MECHANICAL
AFF ABOVE FINISHED FLOOR	MED MEDICINE
ALUM ALUMINUM	MET METAL
ARCH ARCHITECTURAL	MET STD METAL STUD
AT ACOUSTIC TILE	MFR MANUFACTURER
AUTO AUTOMATIC	MIN MINIMUM
BITUM BITUMINOUS	MISC MISCELLANEOUS
BL BORROWED LIGHT	ML METAL LATH
BLDG BUILDING	MTD MOUNTED
BLK BLOCK	MW MILLWORK
BM BEAM	N NORTH
BOT BOTTOM	NIC NOT IN CONTRACT
CAB CABINET	NO NUMBER
CC CUBICLE CURTAIN	NOM NOMINAL
CEM CEMENT	NTS NOT TO SCALE
CG CORNER GUARD	O2 OXYGEN
CJ CONTROL JOINT	OC ON CENTER
CL CENTER LINE	OD OUTSIDE DIAMETER
CLG CEILING	OH OPPOSITE HAND
CLOS CLOSET	OPNG OPENING
CLR CLEAR	PL PLATE
CMU CONCRETE MASONRY UNIT	PLAS PLASTIC LAMINATE
CO CASED OPENING	PLAS PLASTER
COL COLUMN	PLMB PLUMBING
CONC CONCRETE	PTN PARTITION
CONT CONTINUOUS	R RUBBER
CONTR CONTRACT OR CONTRACTOR	RAD RADIUS
CSS CLINICAL SERVICE SINK	RD ROOF DRAIN
CT CERAMIC TILE	RECP RECEPTACLE
CTR COUNTER	REF REFERENCE
CTR COUNTER FLASH	REFRIG REFRIGERATOR
FLASH FLASH	REINF REINFORCE
DET DETAIL	REOD REQUIRED
DIA DIAMETER	RESIL RESILIENT
DIM DIMENSION	REV REVISION
DIS DISPENSER	RM ROOM
DN DOWN	S SLIDE
DWG DRAWING	S/S SERVICE SINK
EA EACH	SC SOLID CORE
EJ EXPANSION JOINT	SCH SCHEDULE
EL ELEVATION	SECT SECTION
ELEC ELECTRIC	SERV SERVICE
ELEV ELEVATOR	SHT SHEET
EQ EQUAL	SIM SIMILAR
EQUIP EQUIPMENT	SL SLIDING
EXIST EXISTING	SM SHEET METAL
FD FLOOR DRAIN	SNK SINK
FDN FOUNDATION	SPEC SPECIFICATIONS
FEC FIRE EXTINGUISHER CABINET	SQ SQUARE
FHC FIRE HOSE CABINET	SS STAINLESS STEEL
FHV FIRE HOSE VALVE	STD STANDARD
FIN FINISH	STL STEEL
FL FLOOR	STORE STORAGE
FLASH FLASHING	STR STRUCTURAL
FR FRAME	SUSP SUSPEND
FT FEET OR FOOT	T/C TOP OF CURB
FTG FOOTING	TB TACKBOARD
FURR FURRING	TEL TELEPHONE
GA GAUGE	THK THICK
GALV GALVANIZED	TK THICKNESS
GL GLASS	TOIL TOILET
GYP BD GYPSUM BOARD	TRANS TRANSFORMER
HC HOLLOW CORE	TV TELEVISION
HFS HALF FULL SIZE	TYP TYPICAL
HM HOLLOW METAL	UL UNDERWRITERS LABORATORIES
HORIZ HORIZONTAL	UNO UNLESS OTHERWISE NOTED
HT HEIGHT	V VINYL
HTG HEATING	VB VIEW BOXES
ID INSIDE DIAMETER	VCT VINYL COMPOSITION TILE
IN INCH	VERT VERTICAL
INCL INCLUDED	VEST VESTIBULE
INFO INFORMATION	VIF VERIFY IN FIELD
INSUL INSULATION	W WIDTH
INT INTERIOR	W / WITH
JC JANITOR CLOSET	W / O WITHOUT
JT JOINT	WC WHEELCHAIR
LAM LAMINATED	WC WATER CLOSET
LAT LAY-IN ACOUSTICAL TILE	WD WOOD
LAV LAVATORY	WP WATERPROOF
LK LOCKERS	WT WEIGHT
MAS MASONRY	WWF WIELDED WIRE FABRIC

PROJECT INFORMATION

PROJECT SCOPE	UNIT REHABILITATION
PARCEL NUMBER:	0420222056, 0420222055, 0420226014, 0420226015, 0420226016, 0420222051, 0420226013
PROJECT LOCATION	407 VALLEY AVE N.E., PUYALLUP, WA 98372
SITE ZONING	RM-20; HIGH DENSITY MULTI-FAMILY RESIDENTIAL
ZONING JURISDICTION	CITY OF PUYALLUP
SITE USE	R-2, TYPE VB
LANDSCAPE CATEGORY	
SET BACK - FRONTAGE:	N/A
SET BACK - SIDE:	N/A
SET BACK - REAR:	N/A
SITE AREA	N/A
LOT COVERAGE TOTAL	N/A
IMPERVIOUS SURFACE COVERAGE	N/A
UNIT DENSITY	N/A
BUILDING HEIGHT LIMIT PER ZONING	N/A

SCOPE OF WORK:

THE SCOPE OF WORK COMPRISES OF THE REMOVAL AND REPLACEMENT OF EXISTING APPLIANCES, FIXTURES AND FLOORING THROUGHOUT. THE FOLLOWING ITEMS INCLUDE:

- 1) REMOVE AND REPLACE EXISTING GRAY POLY WATER LINES WITH WIRSBO/PEX PIPING WITHIN THE UNITS. ALL NEW HOT WATER LINES TO BE INSULATED. DRYWALL REMOVAL WHERE GRAY POLY WATER LINES ARE LOCATED AND/OR NEW PIPING TO BE INSTALLED.
- 2) EXISTING COPPER PIPING, WASTE LINES, FIRE SPRINKLERS AND HEAD, AND WATER SUPPLY LINE TO BUILDINGS TO REMAIN.
- 3) WHERE DRYWALL IS REMOVED WITHIN A RATED ASSEMBLY, THE DRYWALL SHALL BE REPLACED WITH 5/8" TYPE X DRYWALL (CERTAINTED OR EQUAL) AND FIRESTOP SEALANT (STI WF300) WILL BE APPLIED AT ANY PENETRATIONS THROUGH THE RATED ASSEMBLIES.
- 4) REPLACE EXISTING CABINETS LIKE FOR LIKE AS WELL AS COUNTERTOPS. NO CHANGE TO EXISTING ELEVATION OF CABINETS FOR STANDARD UNITS. EXISTING ADA UNITS TO REMAIN ACCESSIBLE WHERE THE TOP OF SINK RIM WILL NOT EXCEED 34" FROM FINISH FLOOR. REMOVABLE DOORS AND BOTTOMS SHELF/TOE KICKS TO PROVIDE UNDER SINK AND WORKSTATION FOR 60" MIN CLEARANCE (WIDTH) AND 27" MIN. CLEARANCE UNDER SINK. EXISTING WALLS WILL NOT BE MOVED WITH THE RENOVATION. TO THE EXTENT POSSIBLE, BEST EFFORTS WILL BE MADE WITHIN EXISTING KITCHEN AND BATHROOM FOOTPRINTS TO MEET CURRENT ADA STANDARDS.
- 5) REPLACE EXISTING FLOORING MATERIAL LIKE FOR LIKE.
- 6) REPLACE MILLWORK, INTERIOR DOORS AND HARDWARE LIKE FOR LIKE.
- 7) REPLACE EXISTING PLUMBING FIXTURES INCLUDING DISPOSALS. NO CHANGE TO EXISTING LOCATIONS OR COUNT.
- 8) REPLACE HOT WATER TANKS INCLUDING SEISMIC STRAP AND EXPANSION TANK.
- 9) REPLACE LAVATORIES.
- 10) REPLACE AUTO WASHER BOX ALL LOCATED WITHIN THE INTERIOR UNIT WALLS.
- 11) REPLACE ANGLE STOPS
- 12) REPLACE SHOWER VALVE INCLUDING RISER TO HEAD AND STUB TO SPOUT.
- 13) REPLACE PLASTIC LAMINATE TUB SURROUND WITH LIKE FOR LIKE.
- 14) REPLACE ALL EXISTING ELECTRICAL DEVICES.
- 15) REPLACE EXISTING BATHROOM FANS WITH DUAL SPEED EXHAUST FANS. NO NEW DUCTWORK; EXISTING DUCTWORK AND CEILING TO REMAIN.
- 16) REPLACE APPLIANCES.
- 17) PAINT INTERIOR UNITS.
- 18) REPLACE EXISTING SMOKE & CARBON MONOXIDE DETECTOR IN ALL UNIT HALLWAYS. ADD SELF-CONTAINED, BATTERY OPERATED SMOKE ALARMS IN ALL UNIT BEDROOMS.

SHEET INDEX

SHEET #	SHEET NAME	REV. #	REV. DATE
1.GENERAL			
G-001	COVER SHEET		
5.ARCHITECTURAL			
A-100	OVERALL SITE PLAN - PHASE I		
A-101	OVERALL SITE PLAN - PHASE II		
A-213	ENLARGED UNIT PLAN - 1 BED/1 BATH		
A-214	ENLARGED UNIT PLAN - 2 BED/1 BATH		
A-215	ENLARGED UNIT PLAN - 2 BED/2 BATH		
A-216	ENLARGED UNIT PLAN - 3 BED/2 BATH		

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

**City of Puyallup
Building
APPROVED**

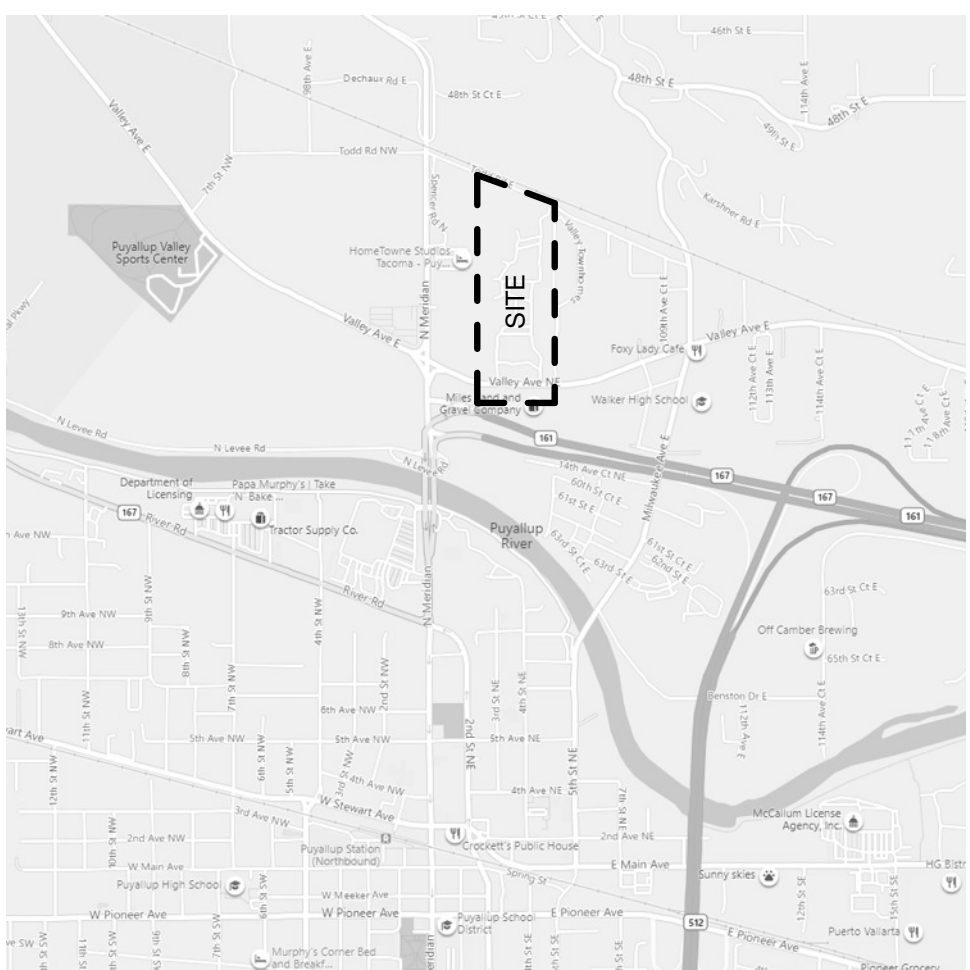
See permit for additional requirements.

JMontgomery
03/31/2022
7:41:31 AM

REVISIONS

#	CURRENT REVISION DESCRIPTION	REV. DATE

VICINITY MAP

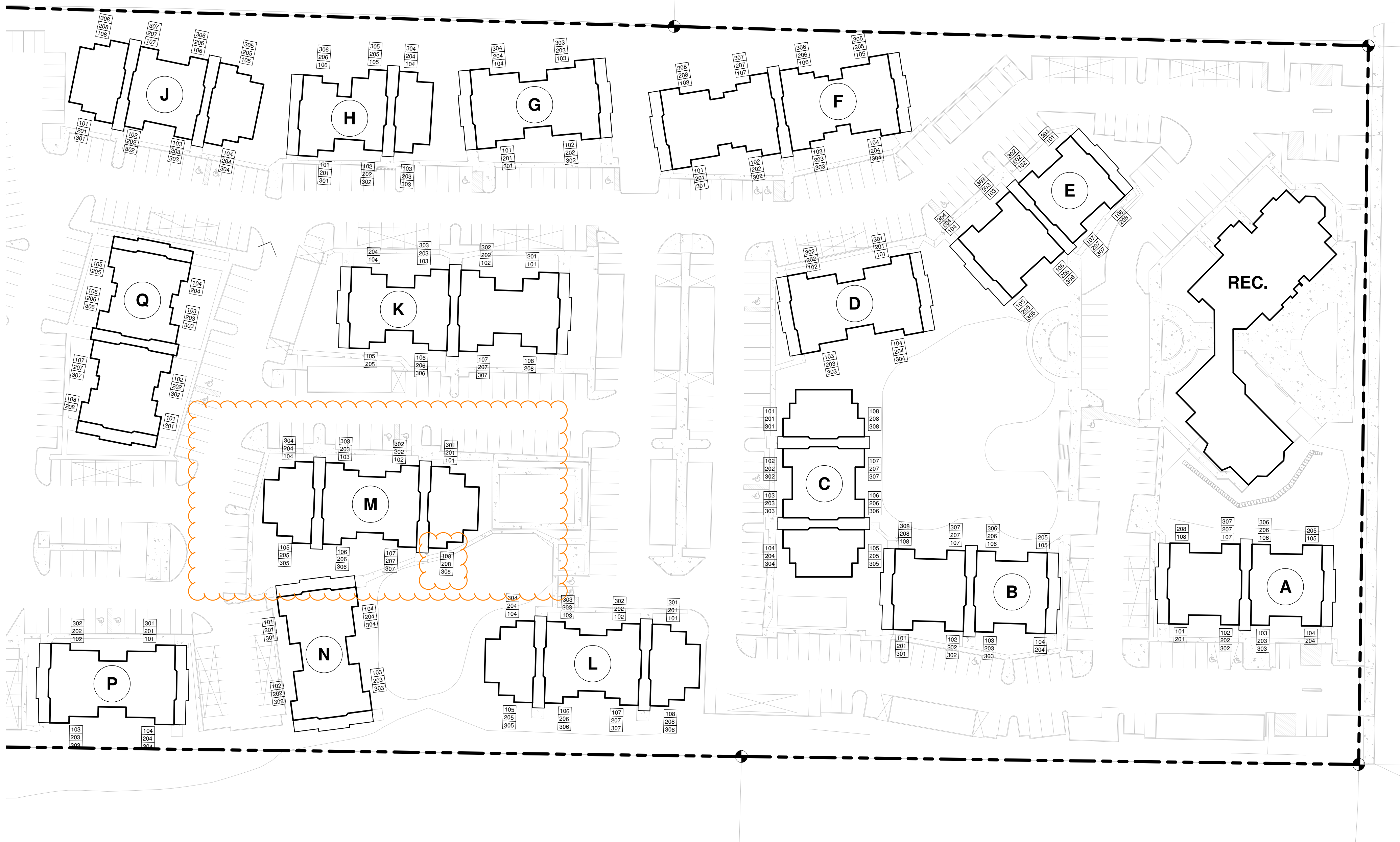


MATERIAL LEGEND

EARTH	
AGGREGATE / POROUS	
CONCRETE	
CEMENT / CONCRETE UNDERLAYMENT	
CONCRETE ASPHALT	
RIGID INSULATION	
BATT INSULATION	

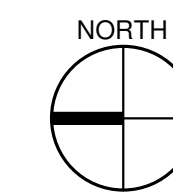
SYMBOLS LEGEND

	BUILDING SECTION		EXTERIOR ELEVATIONS
	CALLOUTS		INTERIOR ELEVATIONS



OVERALL SITE PLAN - PHASE I

1" = 50'-0"



BUILDING 'A' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'A'		
1 BED / 1 BATH	683 SF	20
		20

BUILDING 'B' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'B'		
1 BED / 1 BATH	683 SF	22
		22

BUILDING 'C' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'C'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
		24

BUILDING 'D' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'D'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

BUILDING 'E' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'E'		
1 BED / 1 BATH	683 SF	21
1 BED / 1 BATH ADA	683 SF	1
		22

BUILDING 'F' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'F'		
2 BED / 2 BATH	899 SF	12
3 BED / 2 BATH	1,121 SF	12
		24

BUILDING 'G' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'G'		
3 BED / 2 BATH	1,121 SF	12
		12

BUILDING 'H' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'H'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18

BUILDING 'J' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'J'		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'K' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'K'		
2 BED / 1 BATH	868 SF	20
		20

BUILDING 'L' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'L'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	12
		24

BUILDING 'M' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'M'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'N' UNITS

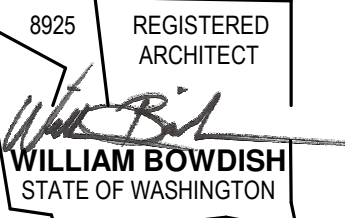
UNIT TYPE	NET AREA	COUNT
BUILDING 'N'		
3 BED / 2 BATH	1,121 SF	12
		12

BUILDING 'P' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'P'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

BUILDING 'Q' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'Q'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20



AGENCY REVIEW
09/14/2021

PROJECT
**MERIDIAN POINTE APARTMENTS
RESIDENTIAL UNIT REHABILITATION**
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
OVERALL SITE PLAN - PHASE I

#	DATE	DESC.

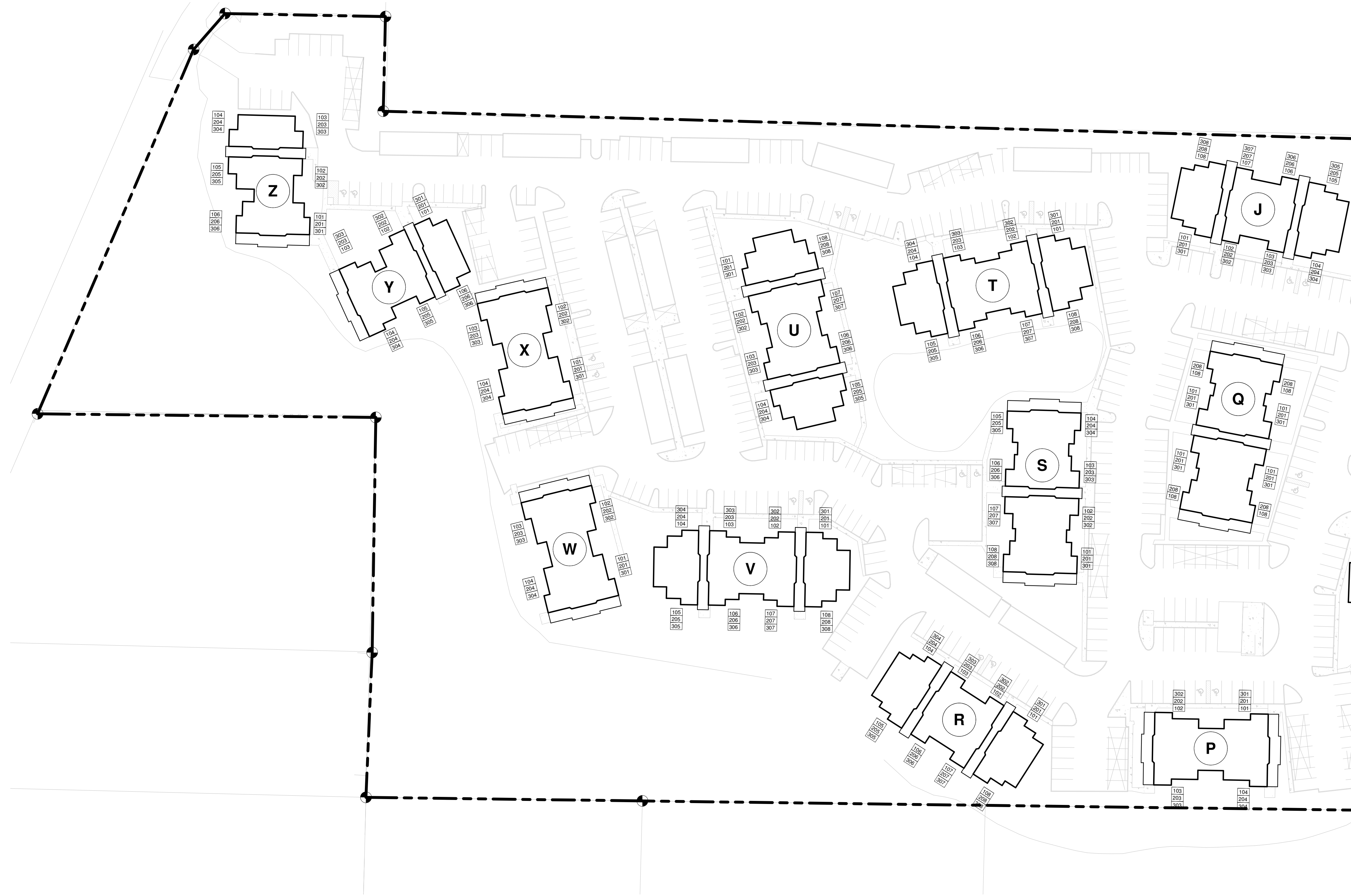
APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

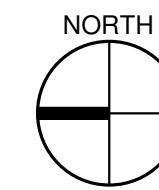
JOB NO.: 1922
ISSUE DATE: 09/14/2021
REVISED:
DRAWN BY: BM
SHEET

P:\1922 Meridian Pointe Apartments\05-Drawings\1922 Meridian Pointe Apartments Units.rvt

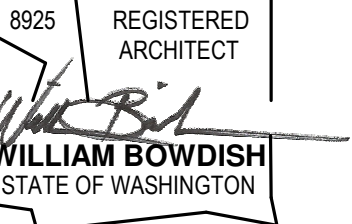


OVERALL SITE PLAN - PHASE II

1" = 50'-0"



ROSS DECKMAN & ASSOCIATES INC.
207 FOURTH AVENUE SOUTHEAST,
PUYALLUP, WASHINGTON 98372
PHONE: 253.840.9405
FAX: 253.840.9503



AGENCY REVIEW
09/14/2021

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RESIDENTIAL UNIT REHABILITATION
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
OVERALL SITE PLAN - PHASE II

Table with columns for PROJECT, DATE, and DESC. for approval stamps.

APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Color-coded permit stamp grid with categories: Building, Planning, Engineering, Public Works, Fire, and Traffic.

JOB NO.: 1922
ISSUE DATE: 09/14/2021
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SHEET

BUILDING 'J' UNITS

Table for Building J units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF), 2 BED / 2 BATH (899 SF), and 2 BED / 2 BATH ADA (899 SF).

BUILDING 'P' UNITS

Table for Building P units: UNIT TYPE, NET AREA, COUNT. Includes 3 BED / 2 BATH (1,121 SF) and 3 BED / 2 BATH ADA (1,121 SF).

BUILDING 'Q' UNITS

Table for Building Q units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF), 1 BED / 1 BATH ADA (683 SF), and 2 BED / 2 BATH (899 SF).

BUILDING 'R' UNITS

Table for Building R units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF), 1 BED / 1 BATH ADA (683 SF), and 2 BED / 2 BATH (899 SF).

BUILDING 'S' UNITS

Table for Building S units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF), 1 BED / 1 BATH ADA (683 SF), 2 BED / 2 BATH (899 SF), and 2 BED / 2 BATH ADA (899 SF).

BUILDING 'T' UNITS

Table for Building T units: UNIT TYPE, NET AREA, COUNT. Includes 2 BED / 1 BATH (868 SF), 2 BED / 2 BATH (899 SF), and 2 BED / 2 BATH ADA (899 SF).

BUILDING 'U' UNITS

Table for Building U units: UNIT TYPE, NET AREA, COUNT. Includes 2 BED / 1 BATH (868 SF), 2 BED / 2 BATH (899 SF), and 2 BED / 2 BATH ADA (899 SF).

BUILDING 'V' UNITS

Table for Building V units: UNIT TYPE, NET AREA, COUNT. Includes 2 BED / 1 BATH (868 SF), 2 BED / 2 BATH (899 SF), and 2 BED / 2 BATH ADA (899 SF).

BUILDING 'W' UNITS

Table for Building W units: UNIT TYPE, NET AREA, COUNT. Includes 3 BED / 2 BATH (1,121 SF) and 3 BED / 2 BATH ADA (1,121 SF).

BUILDING 'X' UNITS

Table for Building X units: UNIT TYPE, NET AREA, COUNT. Includes 3 BED / 2 BATH (1,121 SF), 3 BED / 2 BATH ADA (1,121 SF), and 3 BED / 2 BATH ADA (1,121 SF).

BUILDING 'Y' UNITS

Table for Building Y units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF) and 2 BED / 1 BATH (868 SF).

BUILDING 'Z' UNITS

Table for Building Z units: UNIT TYPE, NET AREA, COUNT. Includes 1 BED / 1 BATH (683 SF) and 2 BED / 1 BATH (868 SF).

#	DATE	DESC.

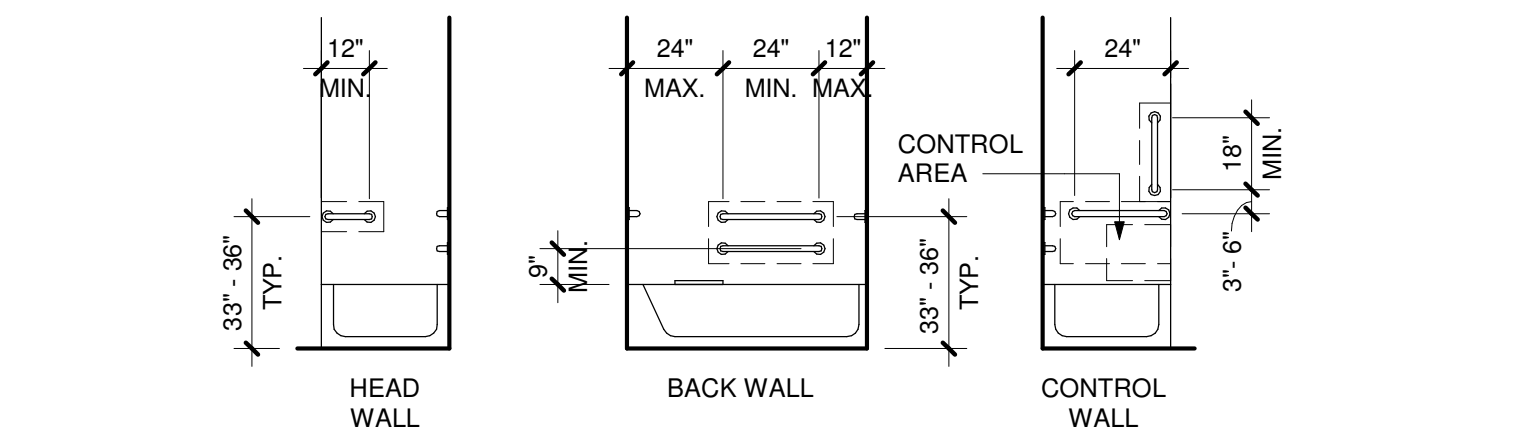
APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
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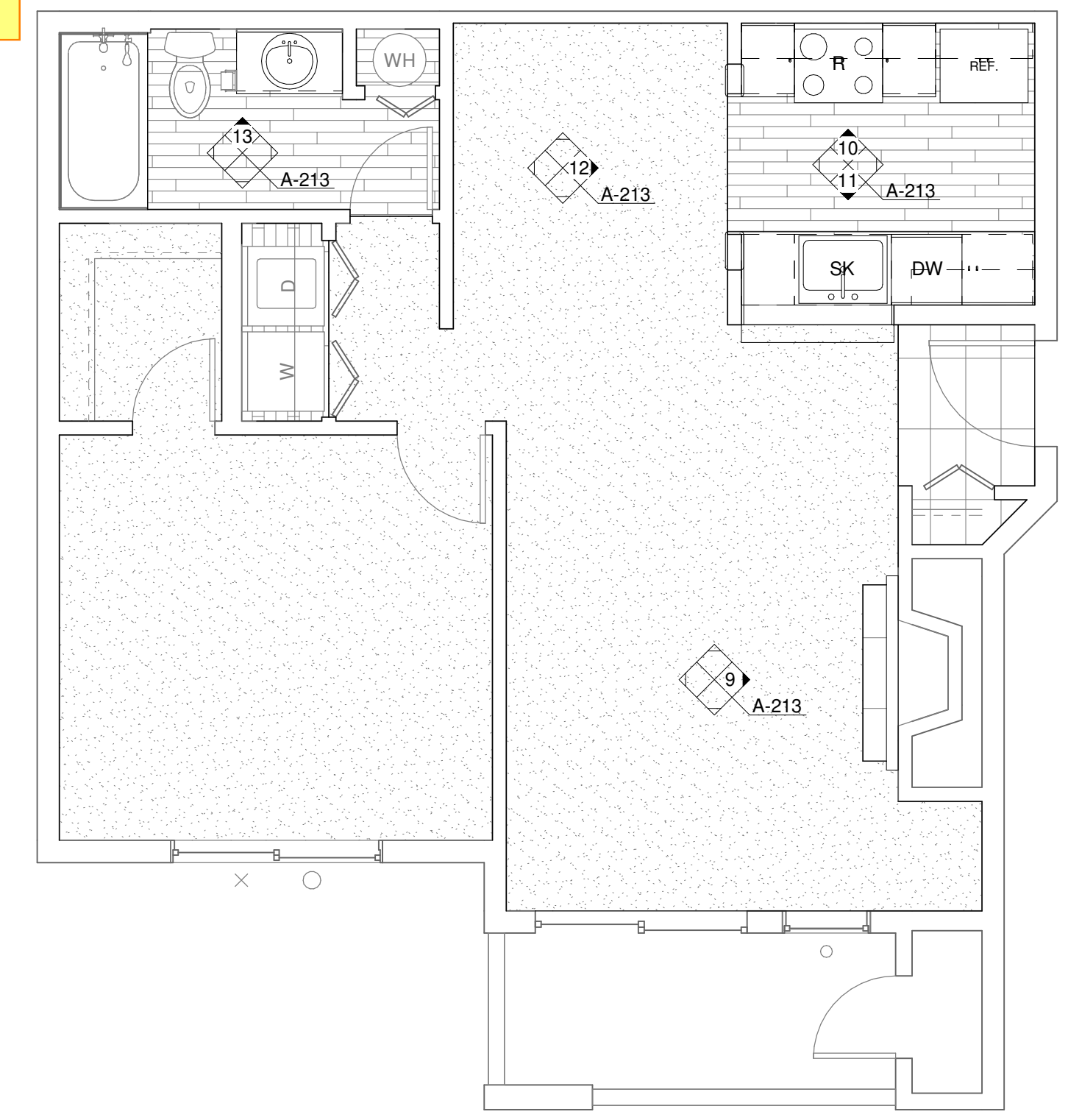
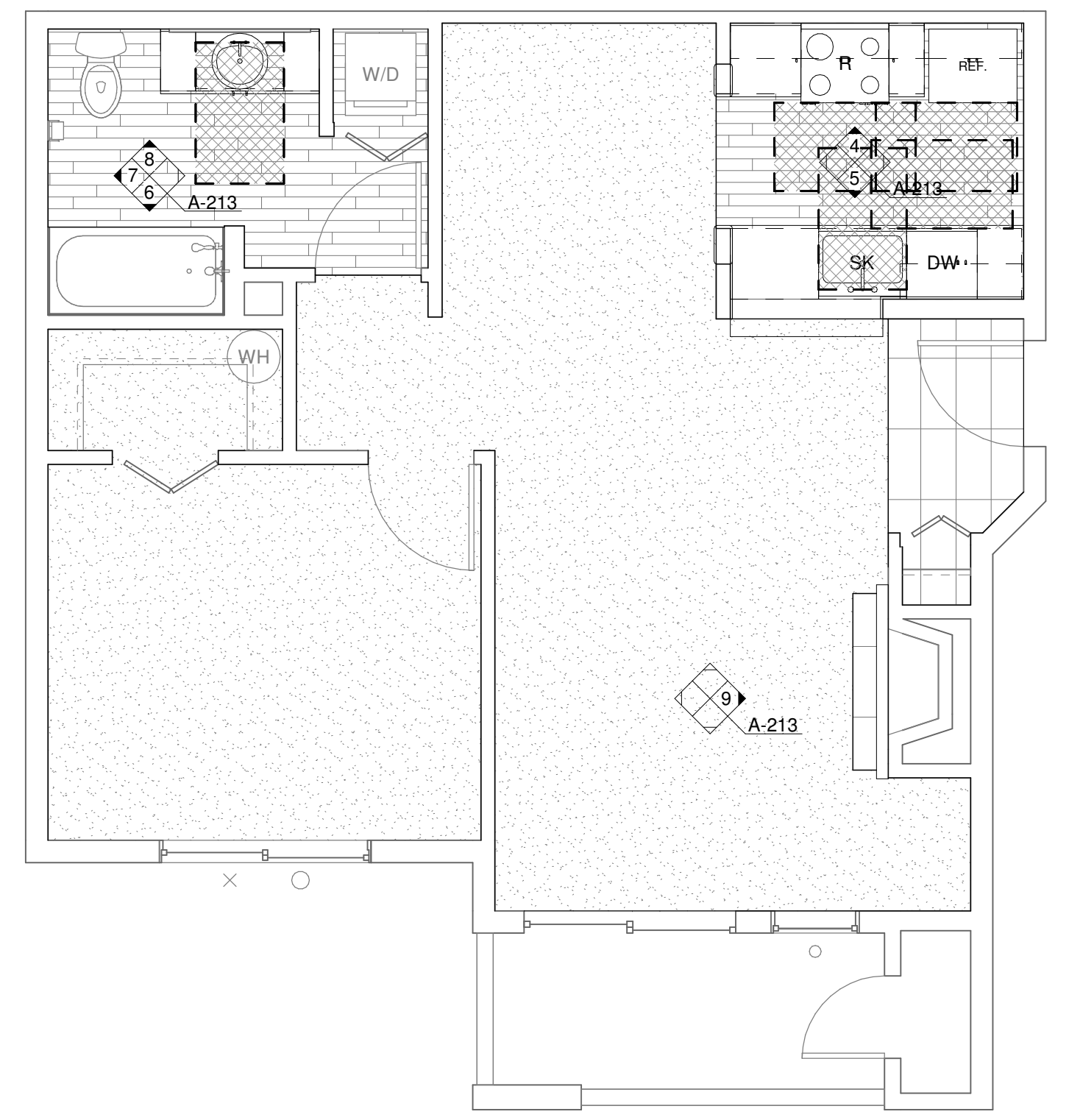
PRCT12022047



GRAB BARS:
INSTALL GRAB BARS 33" MIN & 36" MAX AFF. GRAB BARS SHALL COMPLY WITH AND MEET THE STRUCTURAL STRENGTH REQUIREMENTS OF ANSI SEC. 609.8. LOCATE GRAB BARS PER ANSI SEC. 607.4.2.

SEAT:
A REMOVABLE SEAT IS NOT REQUIRED PER ANSI SEC. 1003.11.2.5.1 EX.1.

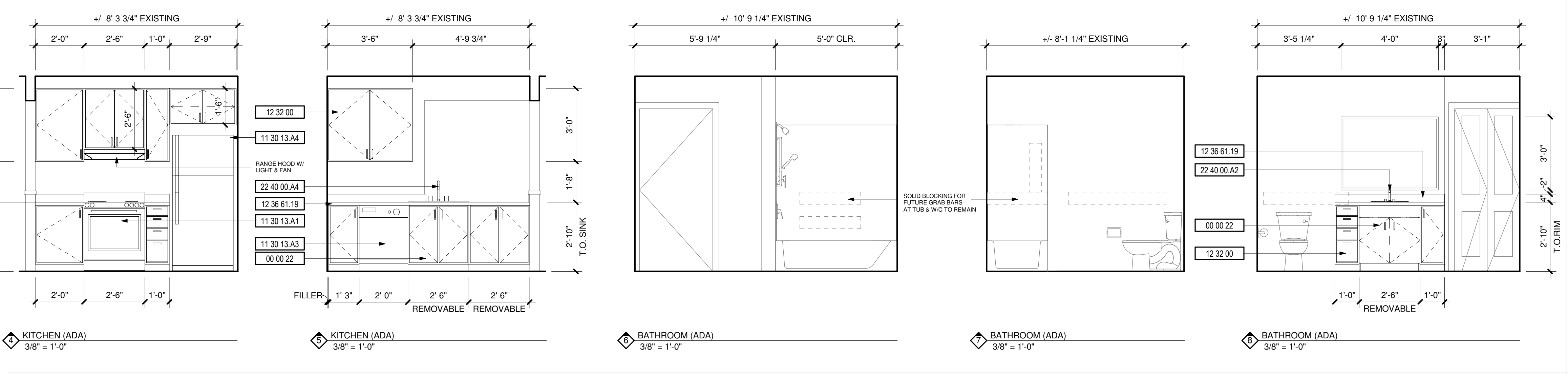
CONTROLS:
607.5 CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE PROVIDED ON AN END WALL, LOCATED BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. CONTROLS SHALL COMPLY WITH SECTION 309.4. THE ADJUSTABLE HEIGHT HAND SHOWER SHALL INCLUDE A 59" MIN LONG HOSE AND COMPLY WITH ANSI SEC. 607.6. CONTROLS SHALL NOT OBSTRUCT THE USE OF GRAB BARS.



1 BATHTUB REQUIREMENTS
1/4" = 1'-0"

2 ENLARGED UNIT PLAN - 1 BED/1 BATH (ADA)
1/4" = 1'-0"

3 ENLARGED UNIT PLAN - 1 BED/1 BATH (TYP)
1/4" = 1'-0"

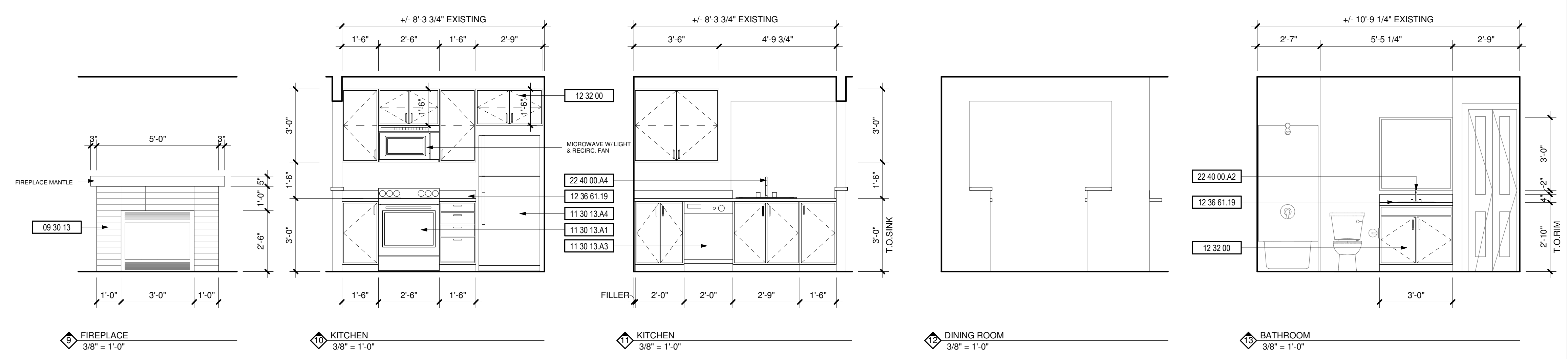


DEMOLITION NOTES

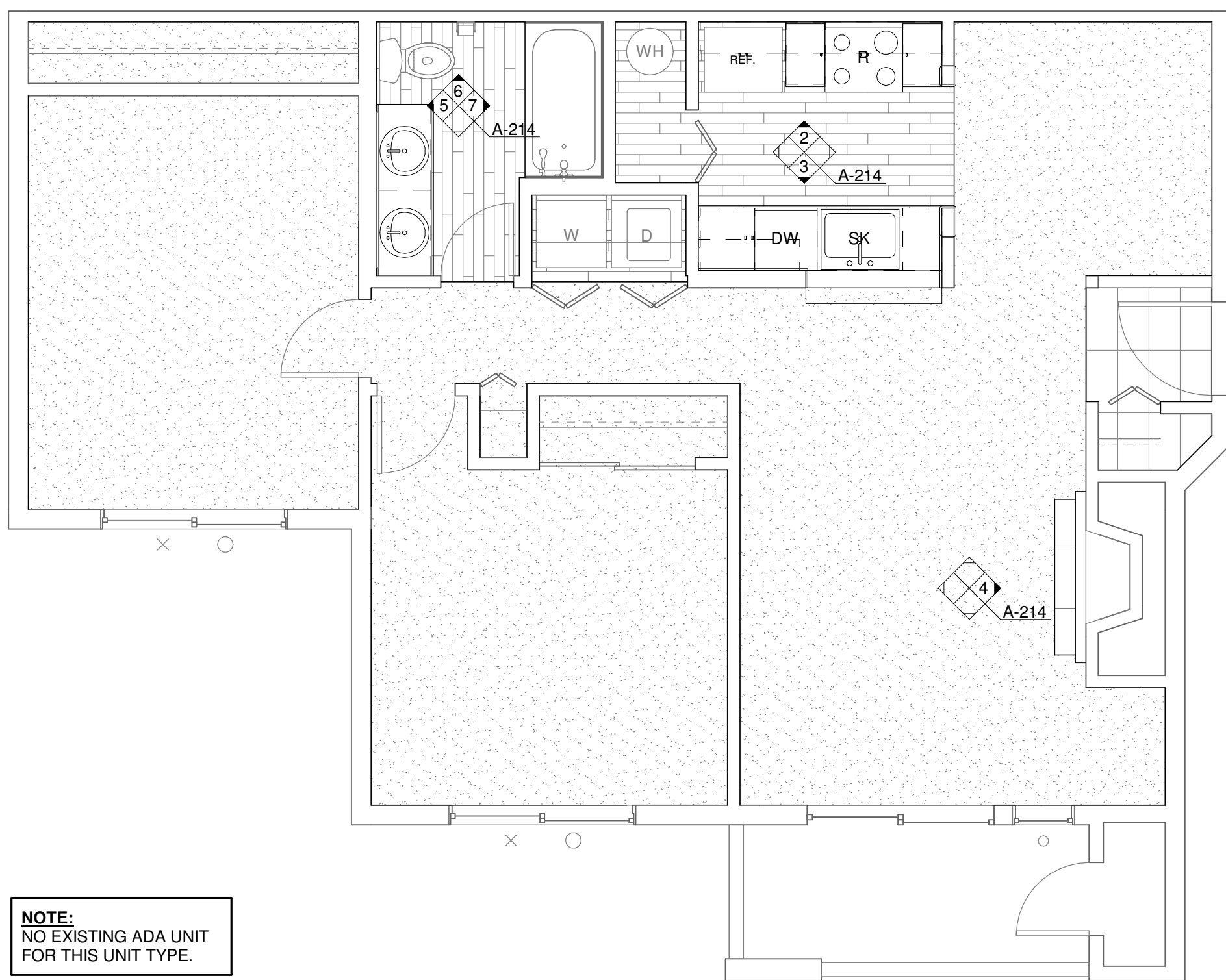
#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

KEYNOTES

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET

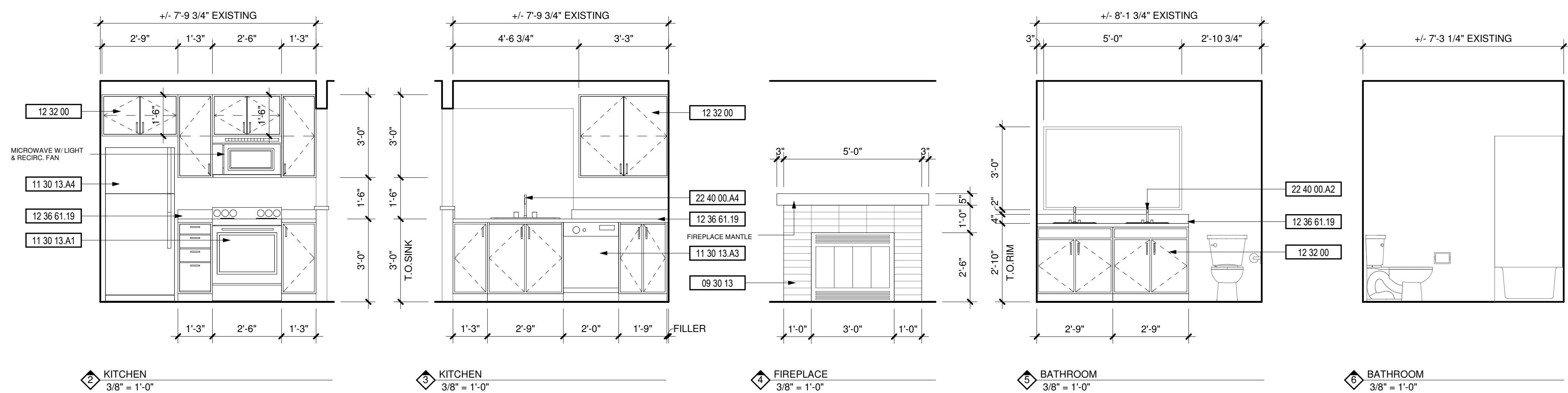


4 KITCHEN (ADA) 3/8" = 1'-0"
5 KITCHEN (ADA) 3/8" = 1'-0"
6 BATHROOM (ADA) 3/8" = 1'-0"
7 BATHROOM (ADA) 3/8" = 1'-0"
8 BATHROOM (ADA) 3/8" = 1'-0"
9 FIREPLACE 3/8" = 1'-0"
10 KITCHEN 3/8" = 1'-0"
11 KITCHEN 3/8" = 1'-0"
12 DINING ROOM 3/8" = 1'-0"
13 BATHROOM 3/8" = 1'-0"



NOTE:
NO EXISTING ADA UNIT
FOR THIS UNIT TYPE.

1 ENLARGED UNIT PLAN - 2 BED/1 BATH (TYP)
1/4" = 1'-0"

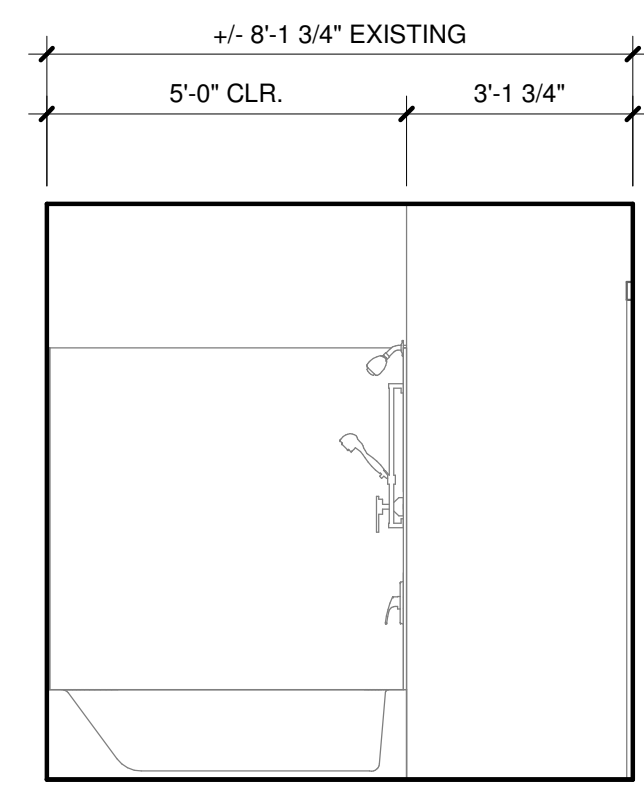


DEMOLITION NOTES

#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

KEYNOTES

#	DESCRIPTION
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
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12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET



6 BATHROOM
3/8" = 1'-0"

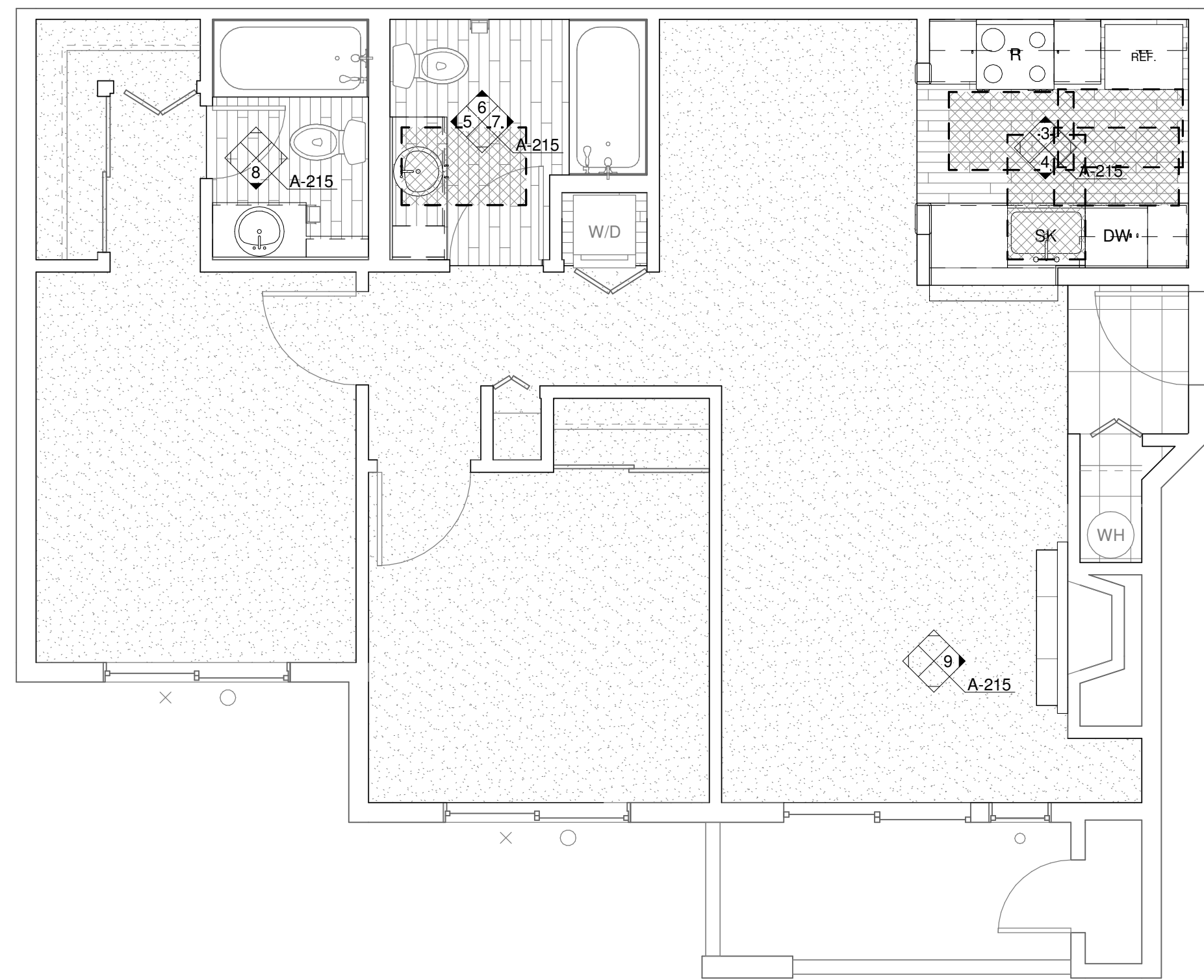
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APPROVAL STAMPS

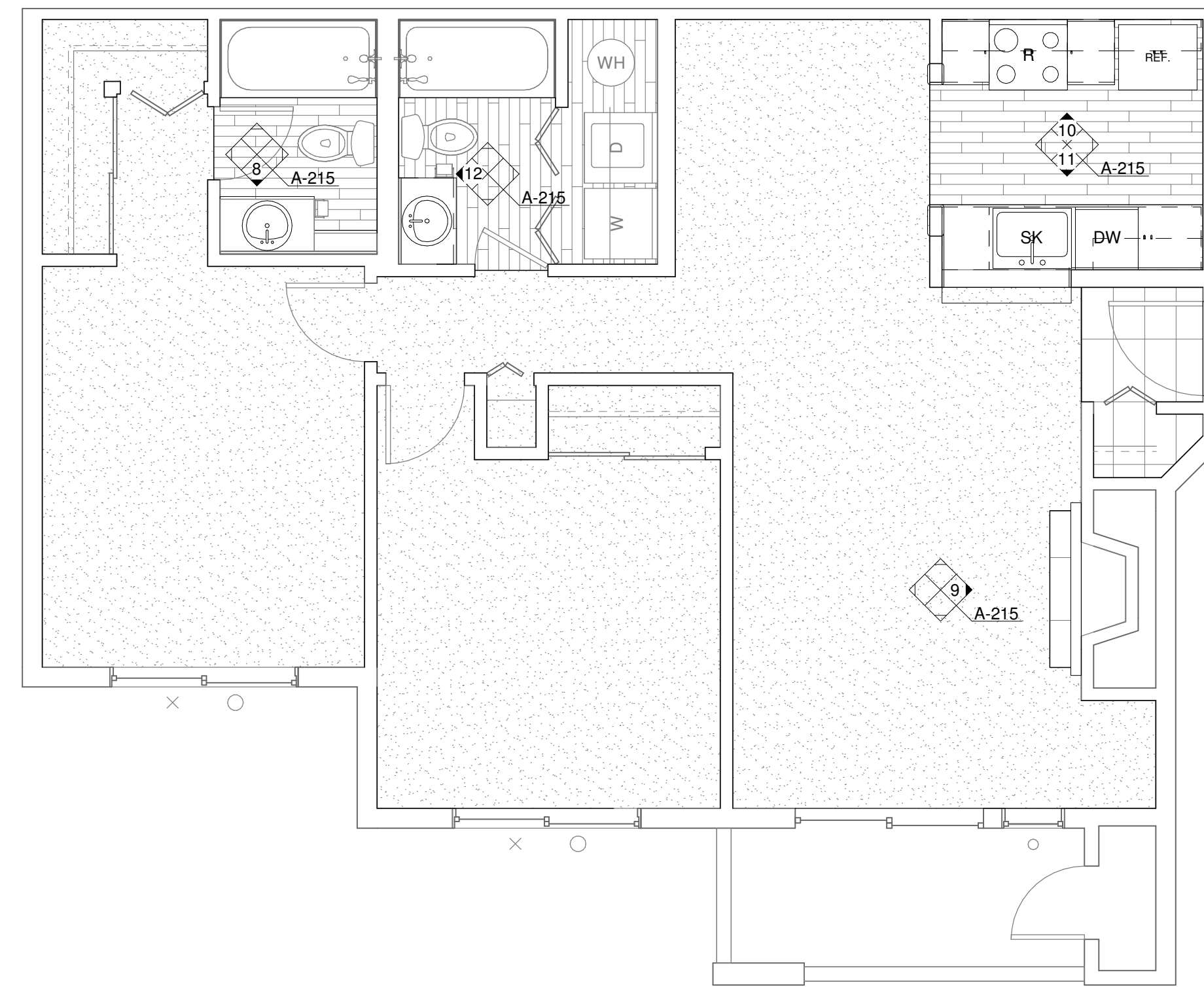
City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

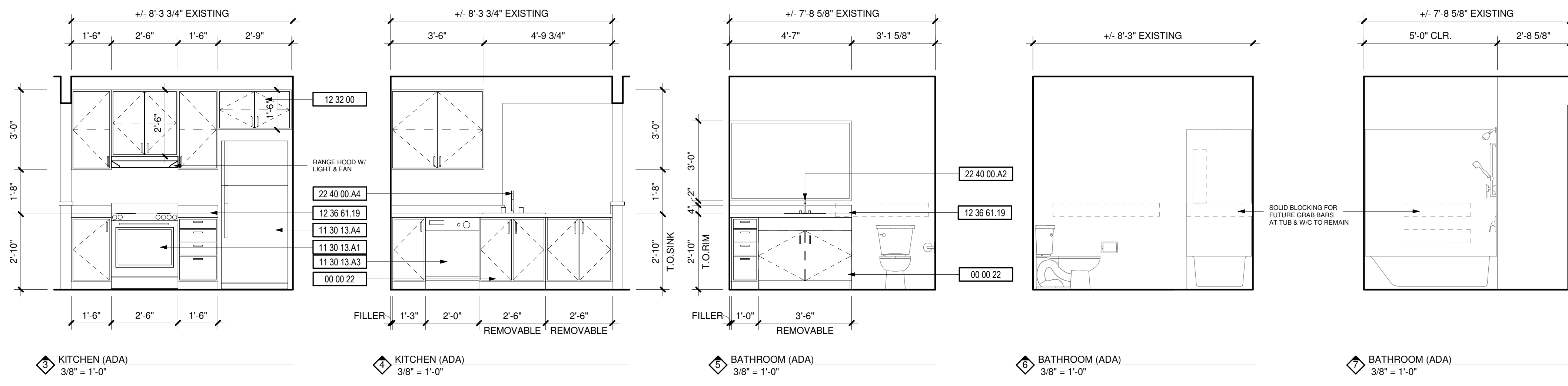
JOB NO.:	1922
ISSUE DATE:	09/14/2021
REVISED:	
DRAWN BY:	BM
SHEET	



1 ENLARGED UNIT PLAN - 2 BED/2 BATH (ADA)
1/4" = 1'-0"



2 ENLARGED UNIT PLAN - 2 BED/2 BATH (TYP)
1/4" = 1'-0"

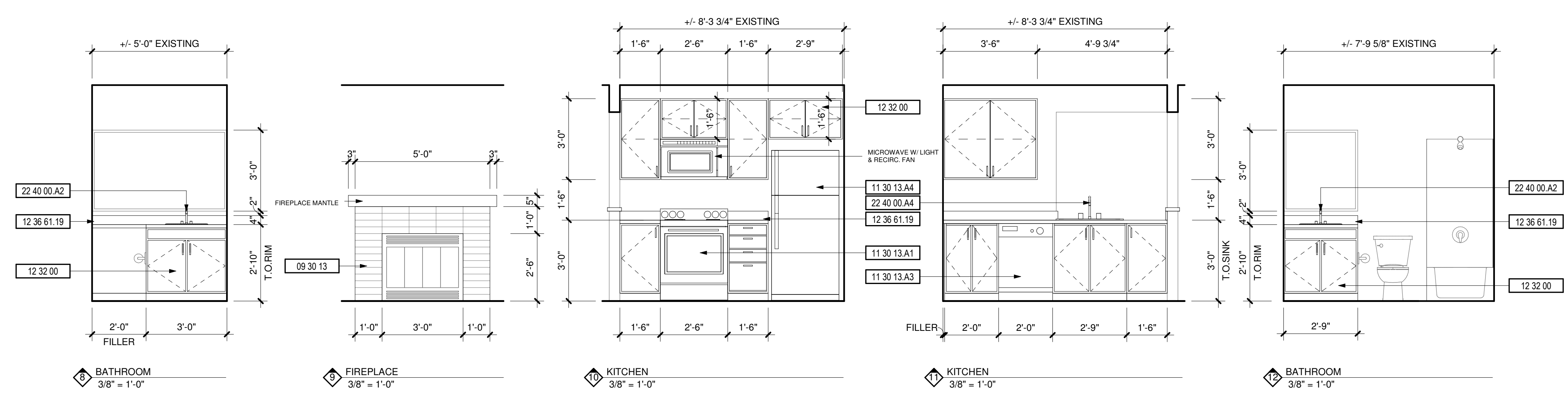


DEMOLITION NOTES

#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

KEYNOTES

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET



R D + A

ROSS DECKMAN & ASSOCIATES INC.
207 FOURTH AVENUE SOUTHEAST,
PUYALLUP, WASHINGTON 98372

PHONE: 253 840 9405
FAX: 253 840 9503

8925 REGISTERED ARCHITECT
WILLIAM BOWDISH
STATE OF WASHINGTON

AGENCY REVIEW
09/14/2021

PROJECT
**MERIDIAN POINTE APARTMENTS
RESIDENTIAL UNIT REHABILITATION**
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
ENLARGED UNIT PLAN - 2 BED/2 BATH

#	DATE	DESC.

APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.: 1922
ISSUE DATE: 09/14/2021
REVISED:
DRAWN BY: BM
SHEET

P:\1922 Meridian Pointe Apartments\05-Drawings\1922 Meridian Pointe Apartments Units.rvt

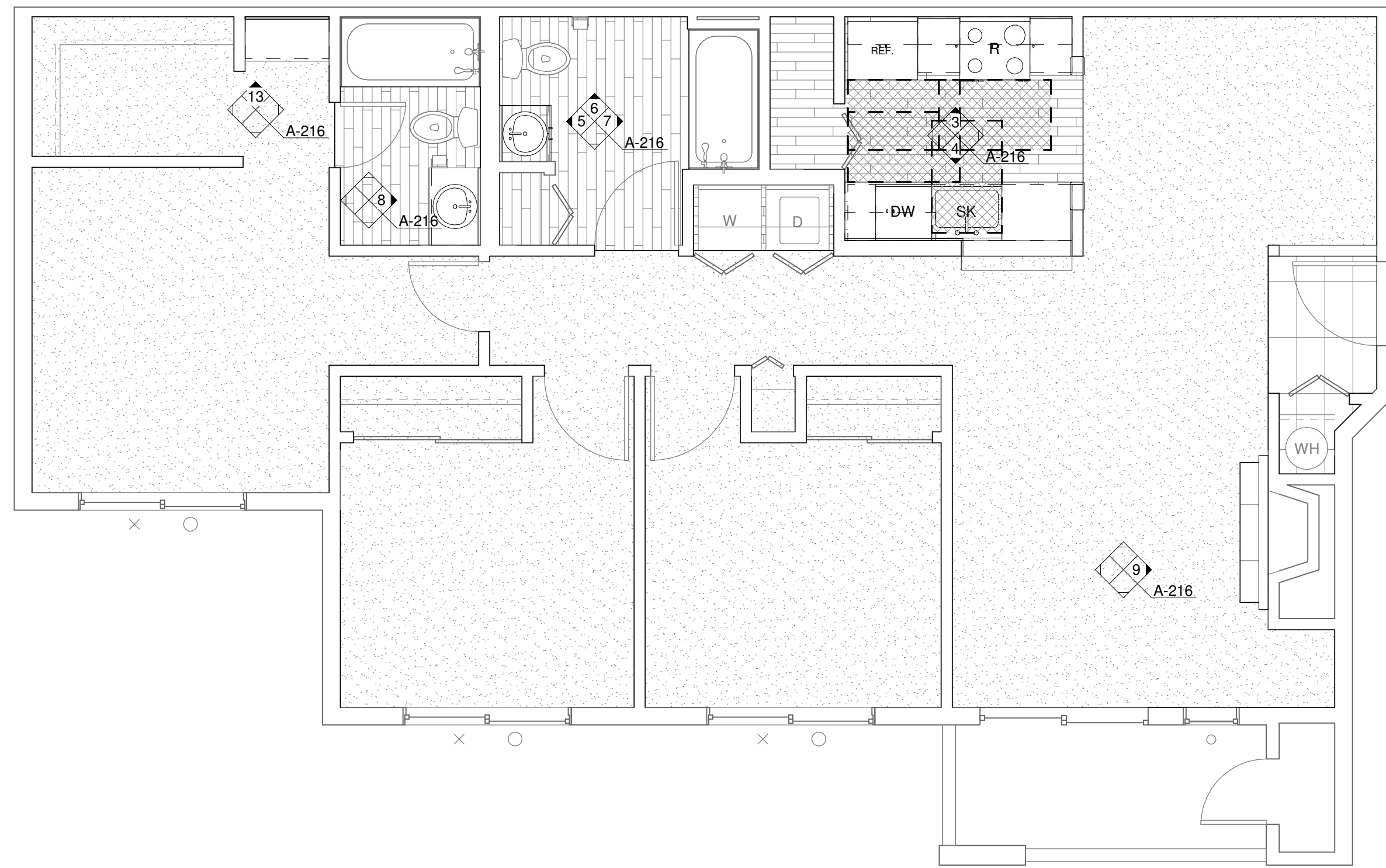
Table with 2 columns: #, DATE

APPROVAL STAMPS

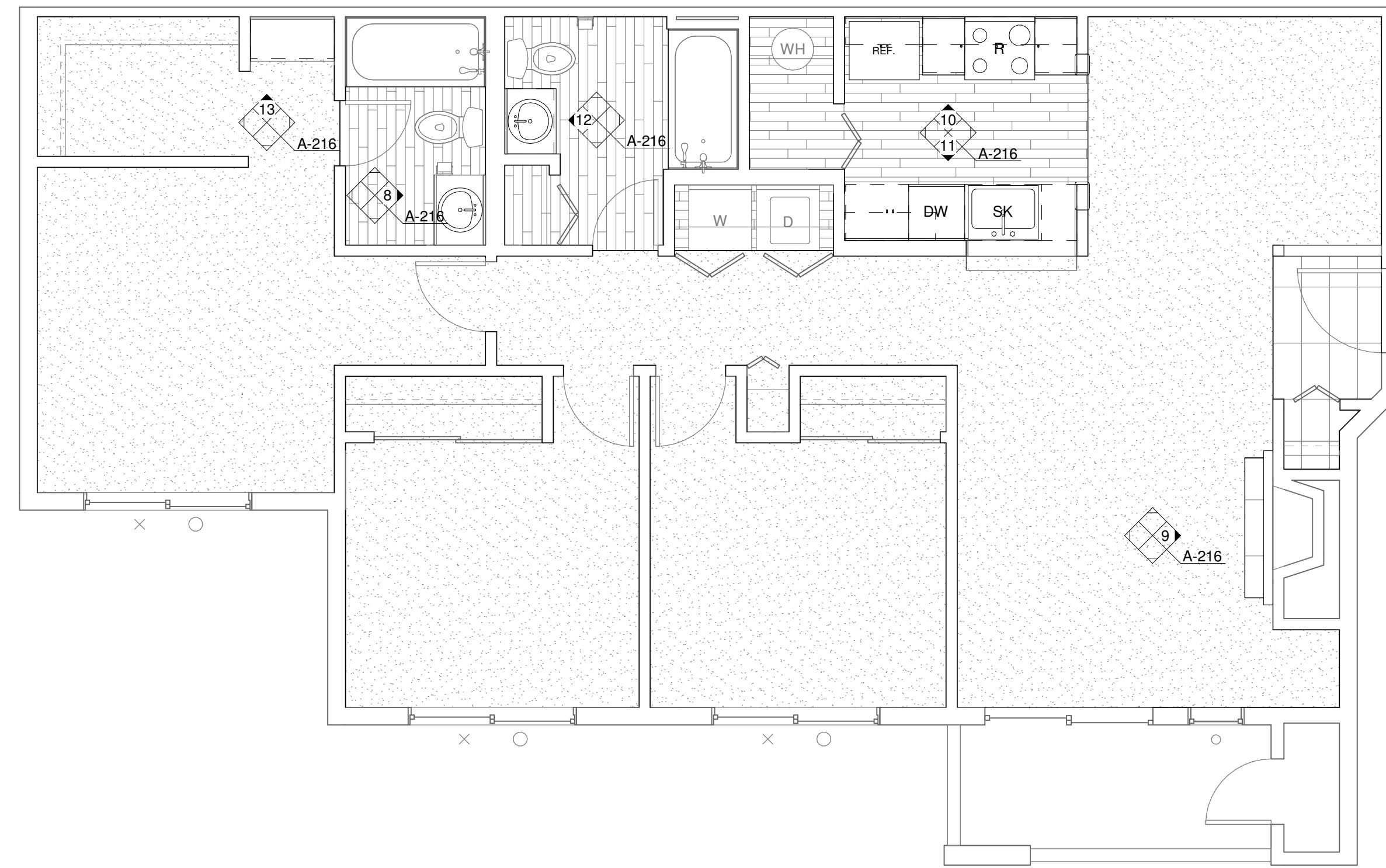
City of Puyallup Development & Permitting Services ISSUED PERMIT. Includes Building, Planning, Engineering, Public Works, Fire, and Traffic stamps.

JOB NO.: 1922
ISSUE DATE: 09/14/2021
REVISED:
DRAWN BY: BM
SHEET

A-216



1 ENLARGED UNIT PLAN - 3 BED/2 BATH (ADA)
1/4" = 1'-0"



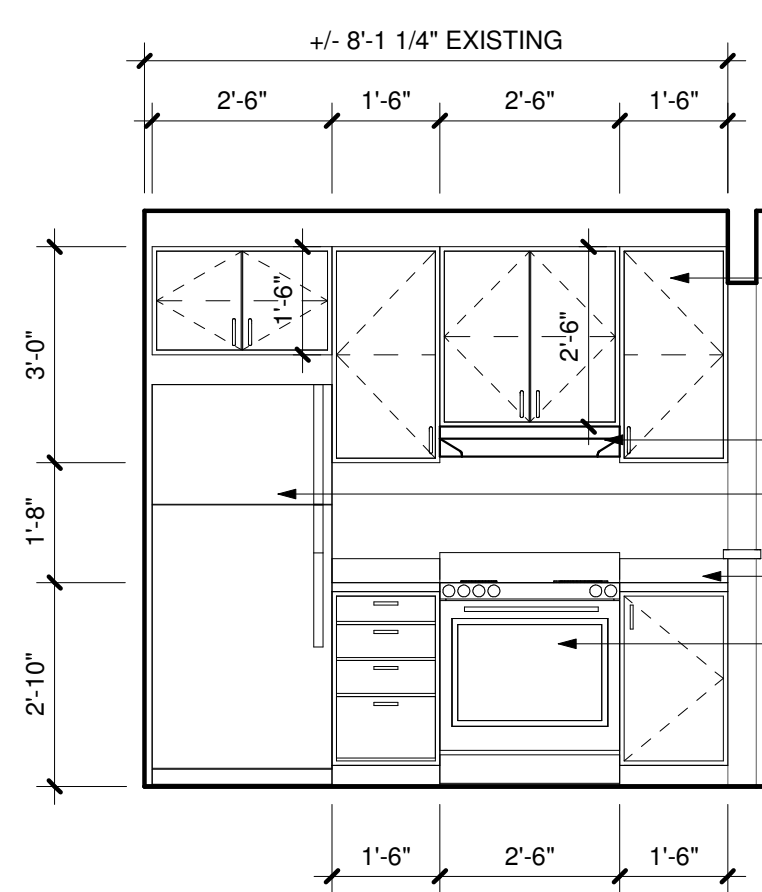
2 ENLARGED UNIT PLAN - 3 BED/2 BATH (TYP)
1/4" = 1'-0"

DEMOLITION NOTES

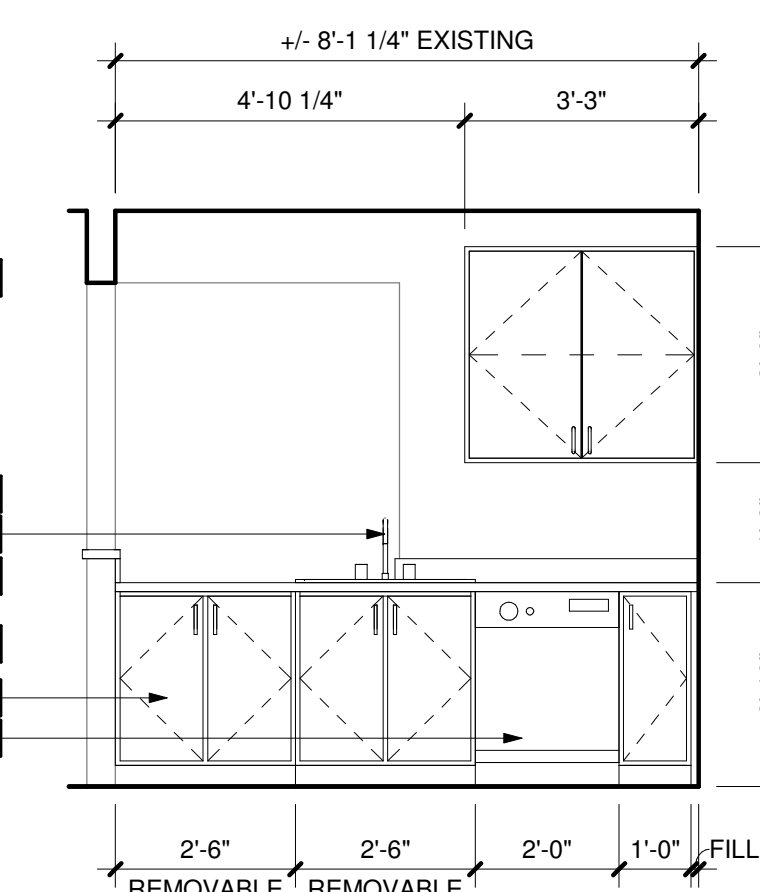
Table with 2 columns: #, DESCRIPTION. Contains 10 items detailing demolition and preparation work for the unit.

KEYNOTES

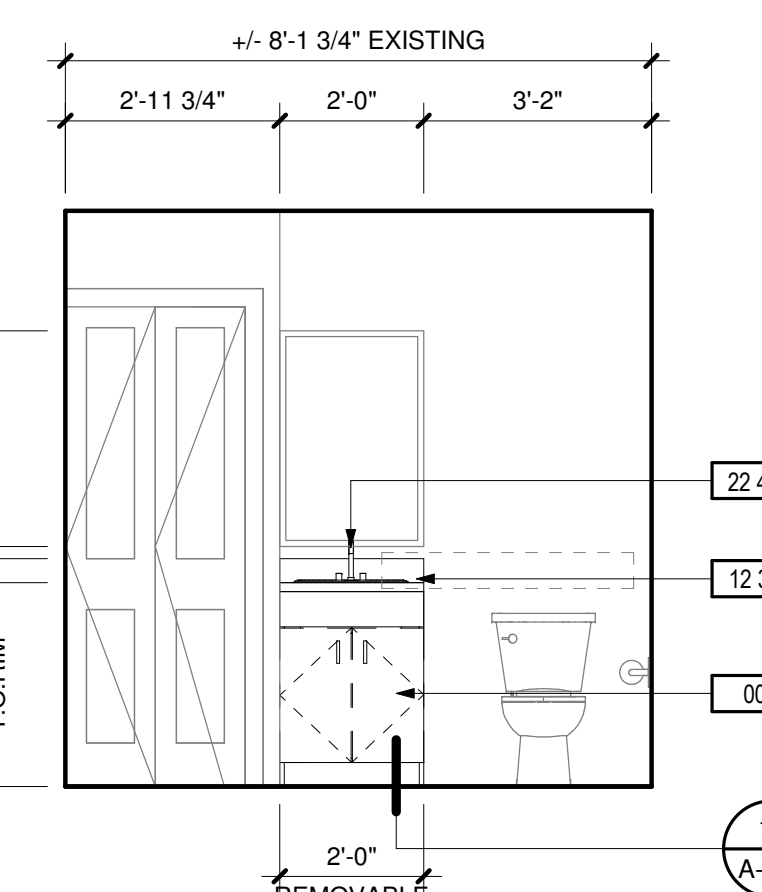
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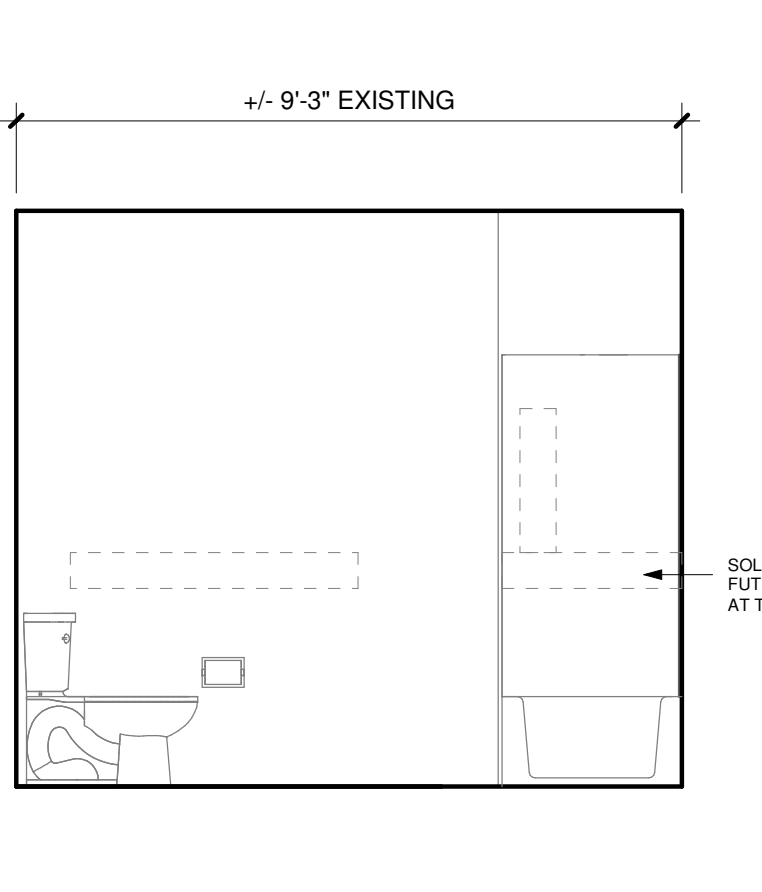
3 KITCHEN (ADA)
3/8" = 1'-0"



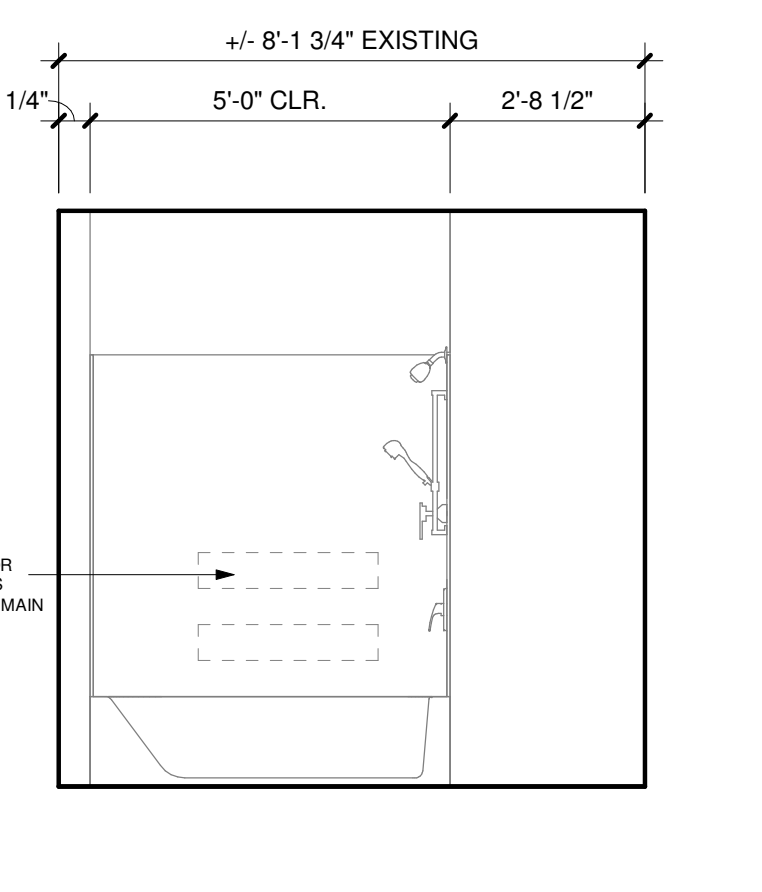
4 KITCHEN (ADA)
3/8" = 1'-0"



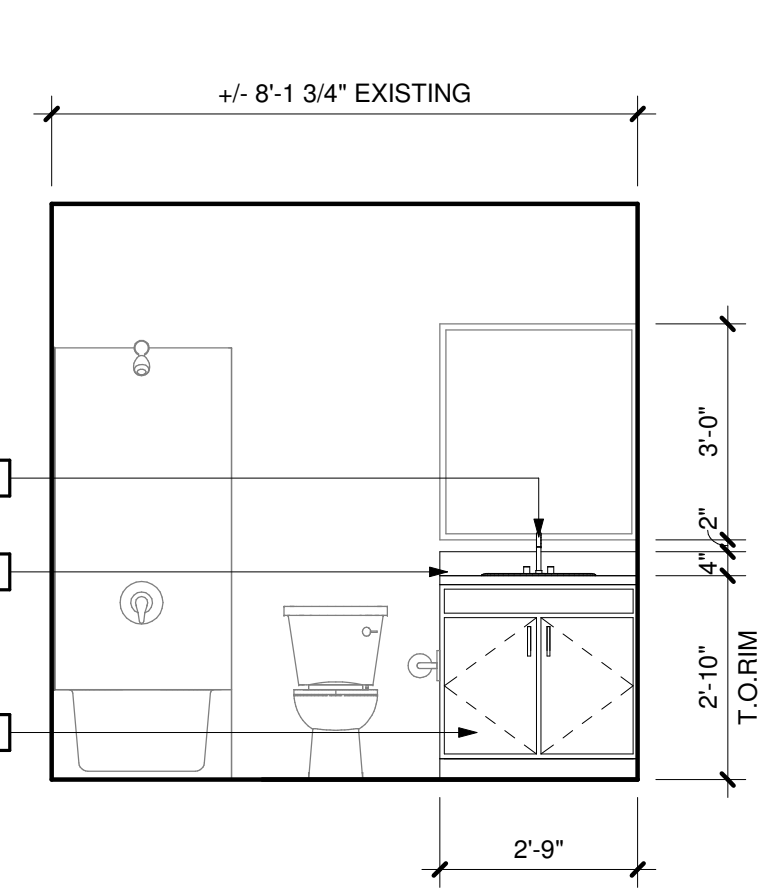
5 BATHROOM (ADA)
3/8" = 1'-0"



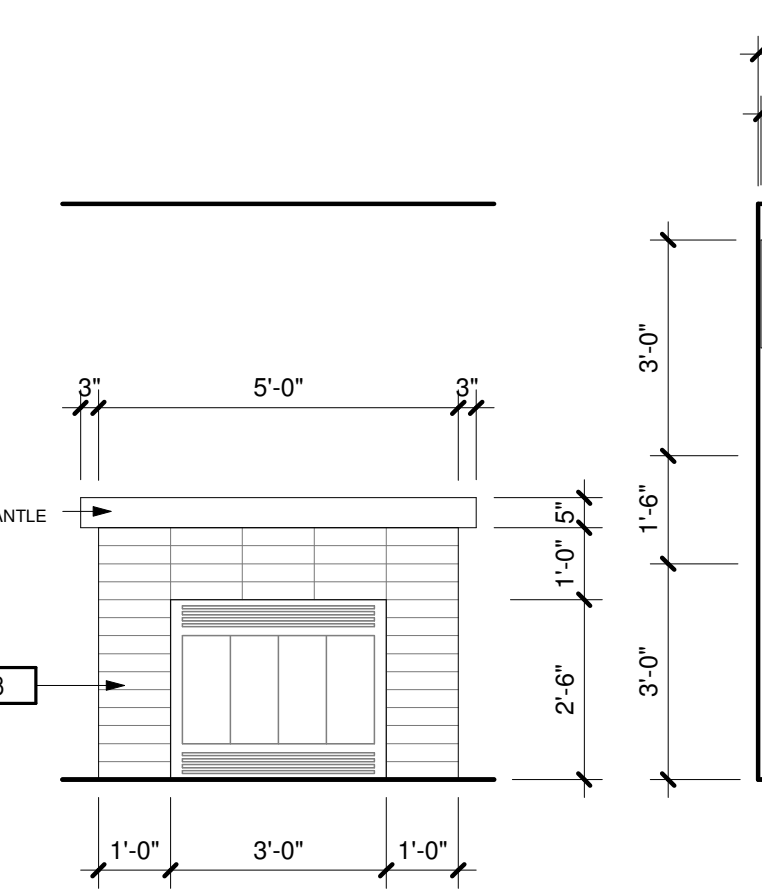
6 BATHROOM (ADA)
3/8" = 1'-0"



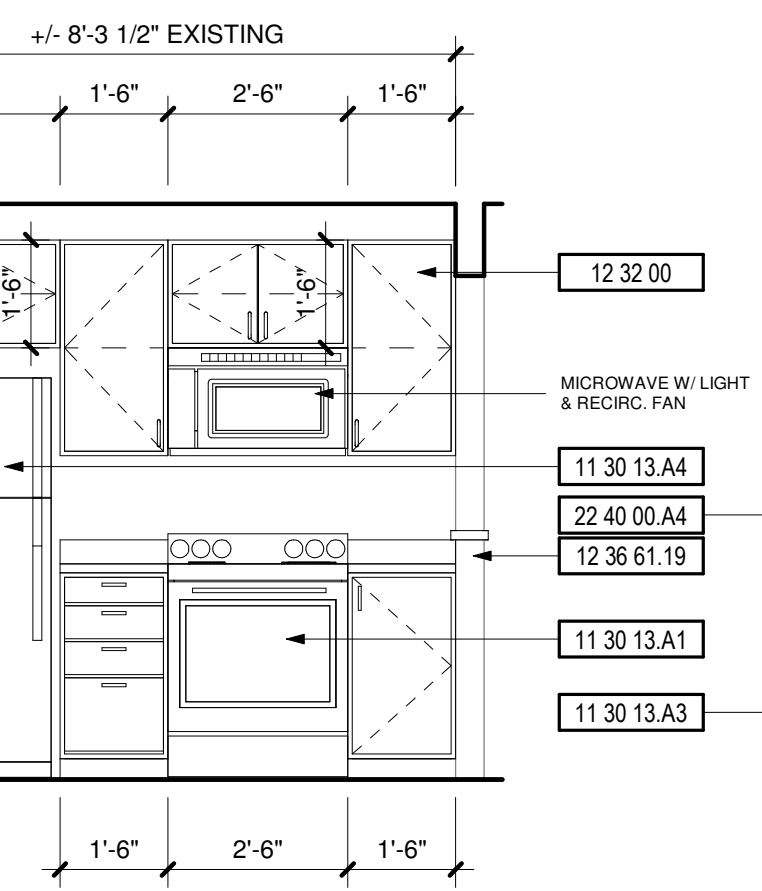
7 BATHROOM (ADA)
3/8" = 1'-0"



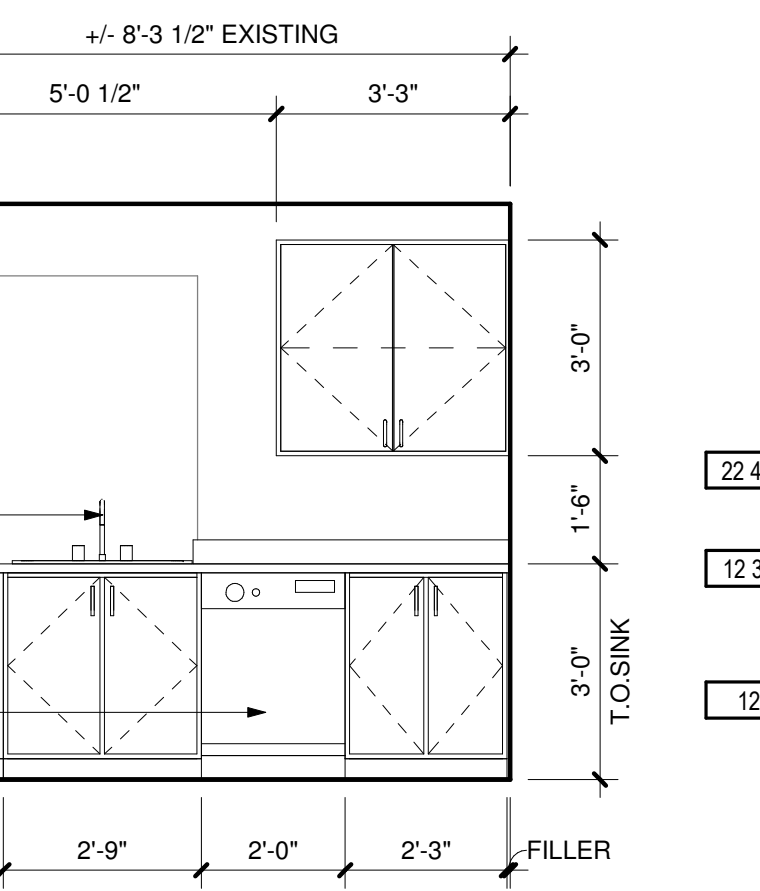
8 BATHROOM
3/8" = 1'-0"



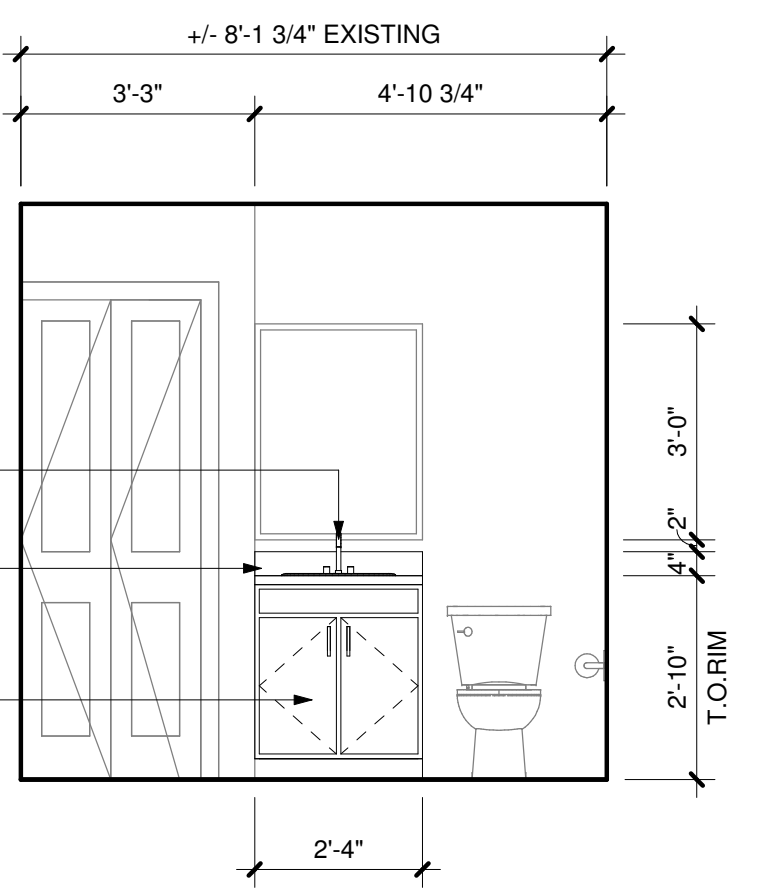
9 FIREPLACE
3/8" = 1'-0"



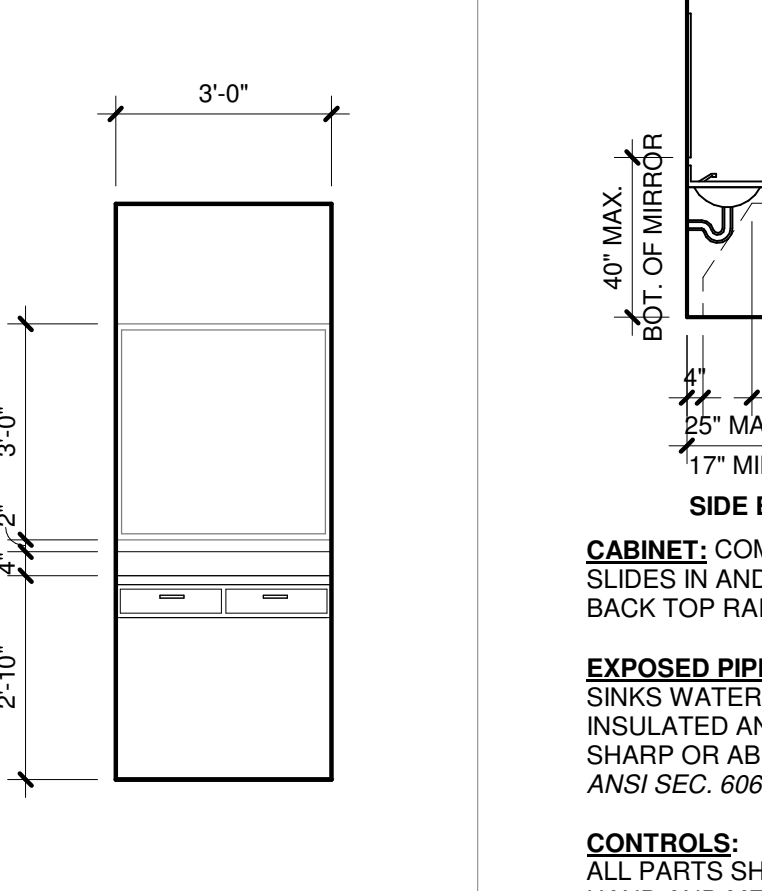
10 KITCHEN
3/8" = 1'-0"



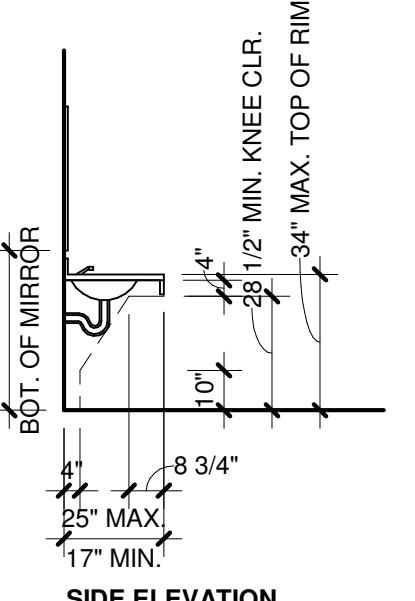
11 KITCHEN
3/8" = 1'-0"



12 BATHROOM
3/8" = 1'-0"



13 VANITY
3/8" = 1'-0"



40" MAX. BOT. OF MIRROR
35" MAX. 17" MIN.
8 3/4"
28 1/2" MIN. KNEE CLR.
3/4" MAX. TOP OF RIM
SIDE ELEVATION
CABINET: COMPLETELY REMOVABLE; SLIDES IN AND OUT UNDER FIXED RAILS. BACK TOP RAIL CUT OUT ON SITE.
EXPOSED PIPES & SURFACES: UNDER SINKS WATER & DRAIN PIPES SHALL BE INSULATED AND THERE SHALL BE NO SHARP OR ABRASIVE SURFACES PER ANSI SEC. 606.6.
CONTROLS: ALL PARTS SHALL BE OPERABLE W/ ONE HAND AND MEET THE REQUIREMENTS OF ANSI SEC. 309.

14 BATH LAVATORY
1/4" = 1'-0"