

AGENCY REVIEW
09/14/2021

MERIDIAN POINTE APARTMENTS
RESIDENTIAL UNIT REHABILITATION
407 VALLEY AVE. N.E.
PUYALLUP, WA 98372
COVER SHEET

PRCTI20220476

MERIDIAN POINTE APARTMENTS
RESIDENTIAL UNIT REHABILITATION

407 VALLEY AVE. N.E.
PUYALLUP, WA 98372

ABBREVIATIONS
AB ANCHOR BOLT
ACOUS ACOUSTIC
ACT ACOUSTICAL CEILING TILE
AFF ABOVE FINISHED FLOOR
ALUM ALUMINUM
ARCH ARCHITECTURAL
AT ACOUSTIC TILE
AUTO AUTOMATIC
BITUM BITUMINOUS
BL BORROWED LIGHT
BLDG BUILDING
BLK BLOCK
BM BEAM
BOT BOTTOM
CAB CABINET
CC CUBICLE CURTAIN
CEM CEMENT
CG CORNER GUARD
CJ CONTROL JOINT
CL CENTER LINE
CLG CEILING
CLOS CLOSET
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CO CASED OPENING
COL COLUMN
CONC CONCRETE
CONT CONTINUOUS
CONTR CONTRACT OR CONTRACTOR
CSS CLINICAL SERVICE SINK
CT CERAMIC TILE
CTR COUNTER
CTR COUNTER FLASH
FLASH FLASH
DET DETAIL
DIA DIAMETER
DIM DIMENSION
DIS DISPENSER
DN DOWN
DWG DRAWING
EA EACH
EJ EXPANSION JOINT
EL ELEVATION
ELEC ELECTRIC
ELEV ELEVATOR
EQ EQUAL
EQUIP EQUIPMENT
EXIST EXISTING
FD FLOOR DRAIN
FDN FOUNDATION
FEC FIRE EXTINGUISHER CABINET
FHC FIRE HOSE CABINET
FHV FIRE HOSE VALVE
FIN FINISH
FL FLOOR
FLASH FLASHING
FR FRAME
FT FEET OR FOOT
FTG FOOTING
FURR FURRING
GA GAUGE
GALV GALVANIZED
GL GLASS
GYP BD GYPSUM BOARD
HC HOLLOW CORE
HFS HALF FULL SIZE
HM HOLLOW METAL
HORIZ HORIZONTAL
HT HEIGHT
HTG HEATING
ID INSIDE DIAMETER
IN INCH
INCL INCLUDED
INFO INFORMATION
INSUL INSULATION
INT INTERIOR
JC JANITOR CLOSET
JT JOINT
LAM LAMINATED
LAT LAY-IN ACOUSTICAL TILE
LAV LAVATORY
LK LOCKERS
MAS MASONRY
MAT MATERIAL
MAX MAXIMUM
MECH MECHANICAL
MED MEDICINE
MET METAL
MET STD METAL STUD
MFR MANUFACTURER
MIN MINIMUM
MISC MISCELLANEOUS
ML METAL LATH
MTD MOUNTED
MW MILLWORK
N NORTH
NIC NOT IN CONTRACT
NO NUMBER
NOM NOMINAL
NTS NOT TO SCALE
O2 OXYGEN
OC ON CENTER
OD OUTSIDE DIAMETER
OH OPPOSITE HAND
OPNG OPENING
PL PLATE
PLAS PLASTIC LAMINATE
PLAS PLASTER
PLMB PLUMBING
PTN PARTITION
R RUBBER
RAD RADIUS
RD ROOF DRAIN
RECP RECEPTACLE
REF REFERENCE
REFRIG REFRIGERATOR
REINF REINFORCE
REOD REQUIRED
RESIL RESILIENT
REV REVISION
RM ROOM
R SLIDE
S/S SERVICE SINK
SC SOLID CORE
SCH SCHEDULE
SECT SECTION
SERV SERVICE
SHT SHEET
SIM SIMILAR
SL SLIDING
SM SHEET METAL
SNK SINK
SPEC SPECIFICATIONS
SQ SQUARE
SS STAINLESS STEEL
STD STANDARD
STL STEEL
STORE STORAGE
STR STRUCTURAL
SUSP SUSPEND
T/C TOP OF CURB
TB TACKBOARD
TEL TELEPHONE
THK THICK
TK THICKNESS
TOIL TOILET
TRANS TRANSFORMER
TV TELEVISION
TYP TYPICAL
UL UNDERWRITERS LABORATORIES
UNO UNLESS OTHERWISE NOTED
V VINYL
VB VIEW BOXES
VCT VINYL COMPOSITION TILE
VERT VERTICAL
VEST VESTIBULE
VIF VERIFY IN FIELD
W WIDTH
W / WITH
W / O WITHOUT
WC WHEELCHAIR
WC WATER CLOSET
WD WOOD
WP WATERPROOF
WT WEIGHT
WWF WIELDED WIRE FABRIC

PROJECT INFORMATION

PROJECT SCOPE: UNIT REHABILITATION
PARCEL NUMBER: 0420222056, 0420222055, 0420226014, 0420226015, 0420226016, 0420222051, 0420226013
PROJECT LOCATION: 407 VALLEY AVE N.E., PUYALLUP, WA 98372
SITE ZONING: RM-20; HIGH DENSITY MULTI-FAMILY RESIDENTIAL
LANDSCAPE CATEGORY: R-2, TYPE VB

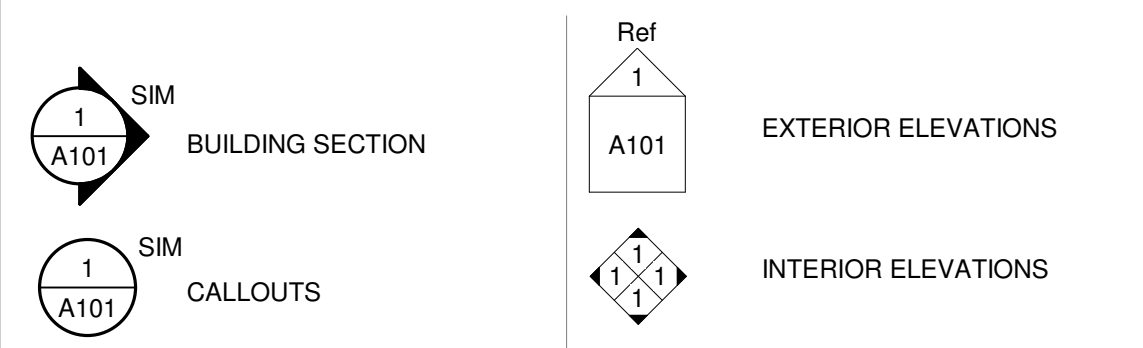
SCOPE OF WORK:

THE SCOPE OF WORK COMPRISES OF THE REMOVAL AND REPLACEMENT OF EXISTING APPLIANCES, FIXTURES AND FLOORING THROUGHOUT. THE FOLLOWING ITEMS INCLUDE:
1) REMOVE AND REPLACE EXISTING GRAY POLY WATER LINES WITH WIRSBO/PEX PIPING WITHIN THE UNITS. ALL NEW HOT WATER LINES TO BE INSULATED. DRYWALL REMOVAL WHERE GRAY POLY WATER LINES ARE LOCATED AND/OR NEW PIPING TO BE INSTALLED.
2) EXISTING COPPER PIPING, WASTE LINES, FIRE SPRINKLERS AND HEAD, AND WATER SUPPLY LINE TO BUILDINGS TO REMAIN.
3) WHERE DRYWALL IS REMOVED WITHIN A RATED ASSEMBLY, THE DRYWALL SHALL BE REPLACED WITH 5/8" TYPE X DRYWALL (CERTAINTED OR EQUAL) AND FIRESTOP SEALANT (STI WF300) WILL BE APPLIED AT ANY PENETRATIONS THROUGH THE RATED ASSEMBLIES.
4) REPLACE EXISTING CABINETS LIKE FOR LIKE AS WELL AS COUNTERTOPS. NO CHANGE TO EXISTING ELEVATION OF CABINETS FOR STANDARD UNITS. EXISTING ADA UNITS TO REMAIN ACCESSIBLE WHERE THE TOP OF SINK RIM WILL NOT EXCEED 34" FROM FINISH FLOOR. REMOVABLE DOORS AND BOTTOMS SHELF/TOE KICKS TO PROVIDE UNDER SINK AND WORKSTATION FOR 60" MIN CLEARANCE (WIDTH) AND 27" MIN. CLEARANCE UNDER SINK. EXISTING WALLS WILL NOT BE MOVED WITH THE RENOVATION. TO THE EXTENT POSSIBLE, BEST EFFORTS WILL BE MADE WITHIN EXISTING KITCHEN AND BATHROOM FOOTPRINTS TO MEET CURRENT ADA STANDARDS.
5) REPLACE EXISTING FLOORING MATERIAL LIKE FOR LIKE.
6) REPLACE MILLWORK, INTERIOR DOORS AND HARDWARE LIKE FOR LIKE.
7) REPLACE EXISTING PLUMBING FIXTURES INCLUDING DISPOSALS. NO CHANGE TO EXISTING LOCATIONS OR COUNT.
8) REPLACE HOT WATER TANKS INCLUDING SEISMIC STRAP AND EXPANSION TANK.
9) REPLACE LAVATORIES.
10) REPLACE AUTO WASHER BOX ALL LOCATED WITHIN THE INTERIOR UNIT WALLS.
11) REPLACE ANGLE STOPS
12) REPLACE SHOWER VALVE INCLUDING RISER TO HEAD AND STUB TO SPOUT.
13) REPLACE PLASTIC LAMINATE TUB SURROUND WITH LIKE FOR LIKE.
14) REPLACE ALL EXISTING ELECTRICAL DEVICES.
15) REPLACE EXISTING BATHROOM FANS WITH DUAL SPEED EXHAUST FANS. NO NEW DUCTWORK; EXISTING DUCTWORK AND CEILING TO REMAIN.
16) REPLACE APPLIANCES.
17) PAINT INTERIOR UNITS.
18) REPLACE EXISTING SMOKE & CARBON MONOXIDE DETECTOR IN ALL UNIT HALLWAYS. ADD SELF-CONTAINED, BATTERY OPERATED SMOKE ALARMS IN ALL UNIT BEDROOMS.

MATERIAL LEGEND

Table with 2 columns: Material Name and Symbol/Pattern. Includes Earth, Aggregate/Porous, Concrete, Cement/Concrete Underlayment, Concrete Asphalt, Rigid Insulation, Batt Insulation.

SYMBOLS LEGEND



SHEET INDEX

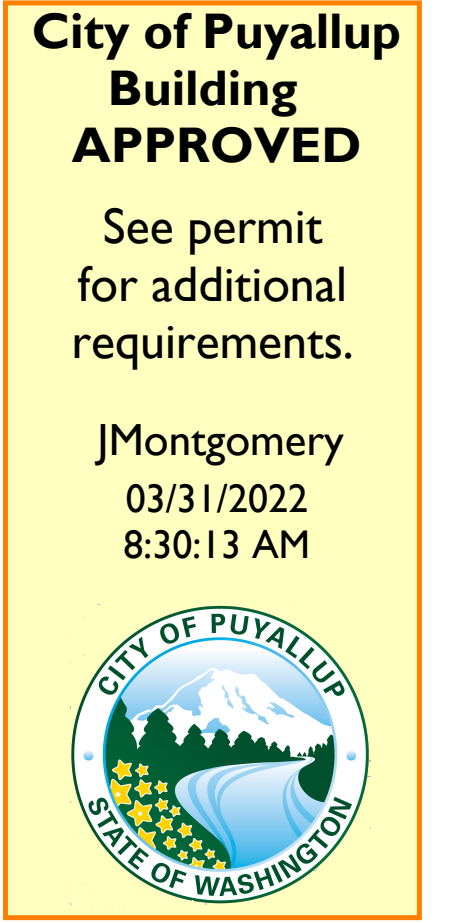
Table with columns: SHEET #, SHEET NAME, REV. #, REV. DATE. Includes G-001 COVER SHEET and A-100 through A-216 architectural sheets.

THE APPROVED CONSTRUCTION PLANS, DOCUMENTS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.
FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITEE ON SITE FOR INSPECTION

Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

PROJECT TEAM

Table listing Owner (Meridian Pointe Apartments, LLC), Contractor (Farrell-McKenna Construction, LLC), and Architect (Ross Deckman & Associates, Inc.) with contact information.



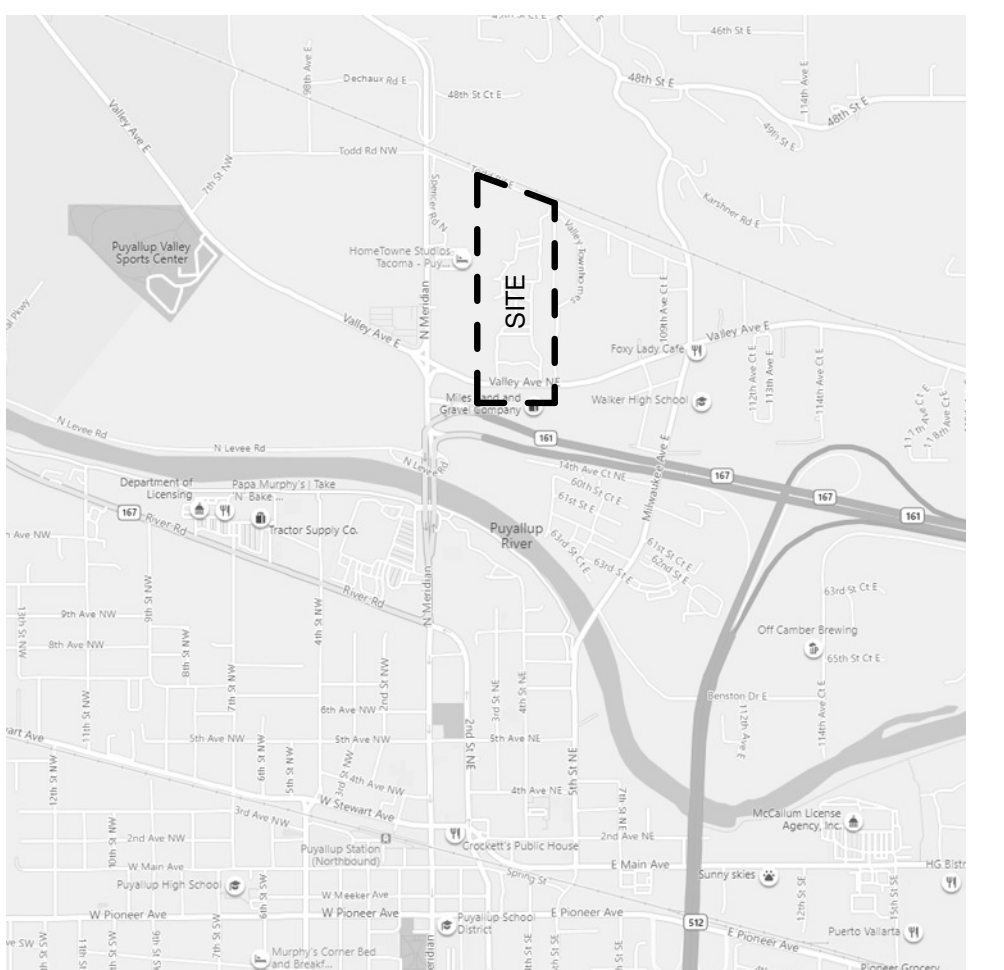
REVISIONS

Table with columns: #, CURRENT REVISION DESCRIPTION, REV. DATE.

Table with columns: #, DATE, DESC. for approval stamps.

City of Puyallup Development & Permitting Services ISSUED PERMIT. Legend for Building, Planning, Engineering, Public Works, Fire, Traffic.

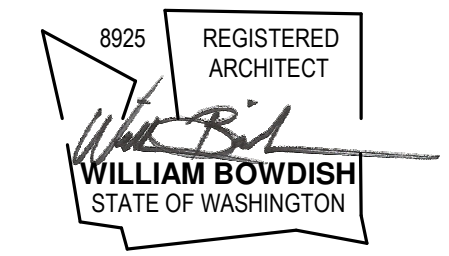
VICINITY MAP



P:\1922 Meridian Pointe Apartments\05-Drawings\1922 Meridian Pointe Apartments Units.rvt

JOB NO.: 1922
ISSUE DATE: 09/14/2021
REVISED:
DRAWN BY: BM
SHEET

ROSS DECKMAN & ASSOCIATES INC.
 207 FOURTH AVENUE SOUTHEAST,
 PUYALLUP, WASHINGTON 98372
 PHONE: 253.840.9405
 FAX: 253.840.9503



AGENCY REVIEW
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PROJECT
**MERIDIAN POINTE APARTMENTS
 RESIDENTIAL UNIT REHABILITATION**
 407 VALLEY AVE. N.E.
 PUYALLUP, WA 98372
 OVERALL SITE PLAN - PHASE I

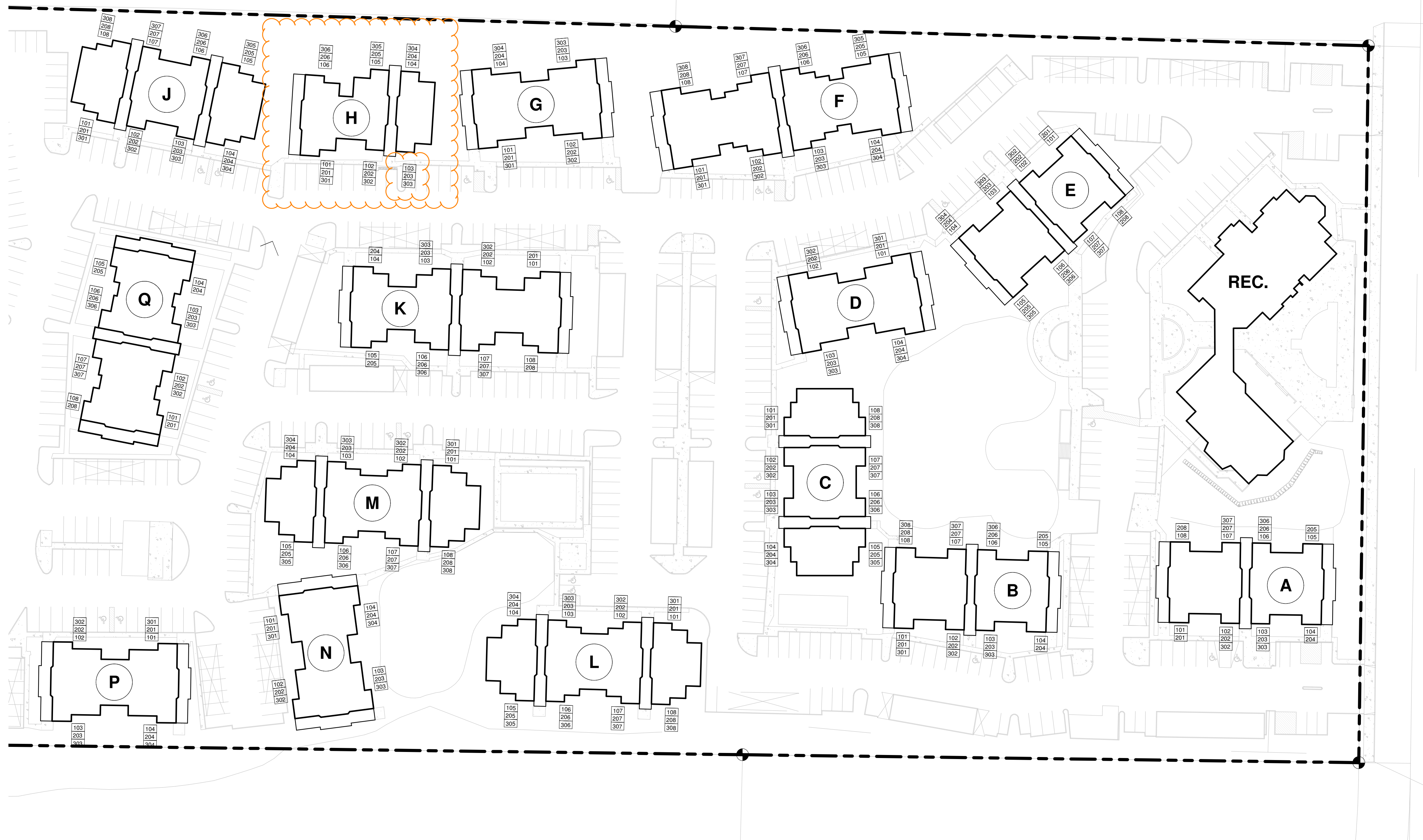
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APPROVAL STAMPS

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

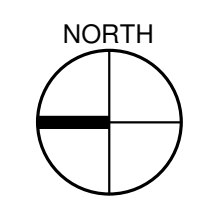
Building	Planning
Engineering	Public Works
Fire	Traffic

JOB NO.: 1922
 ISSUE DATE: 09/14/2021
 REVISED:
 DRAWN BY: BM
 SHEET



OVERALL SITE PLAN - PHASE I

1" = 50'-0"



BUILDING 'A' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'A'		
1 BED / 1 BATH	683 SF	20
		20

BUILDING 'B' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'B'		
1 BED / 1 BATH	683 SF	22
		22

BUILDING 'C' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'C'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
		24

BUILDING 'D' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'D'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

BUILDING 'E' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'E'		
1 BED / 1 BATH	683 SF	21
1 BED / 1 BATH ADA	683 SF	1
		22

BUILDING 'F' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'F'		
2 BED / 2 BATH	899 SF	12
3 BED / 2 BATH	1,121 SF	12
		24

BUILDING 'G' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'G'		
3 BED / 2 BATH	1,121 SF	12
		12

BUILDING 'H' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'H'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18

BUILDING 'J' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'J'		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'K' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'K'		
2 BED / 1 BATH	868 SF	20
		20

BUILDING 'L' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'L'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	12
		24

BUILDING 'M' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'M'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'N' UNITS

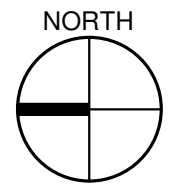
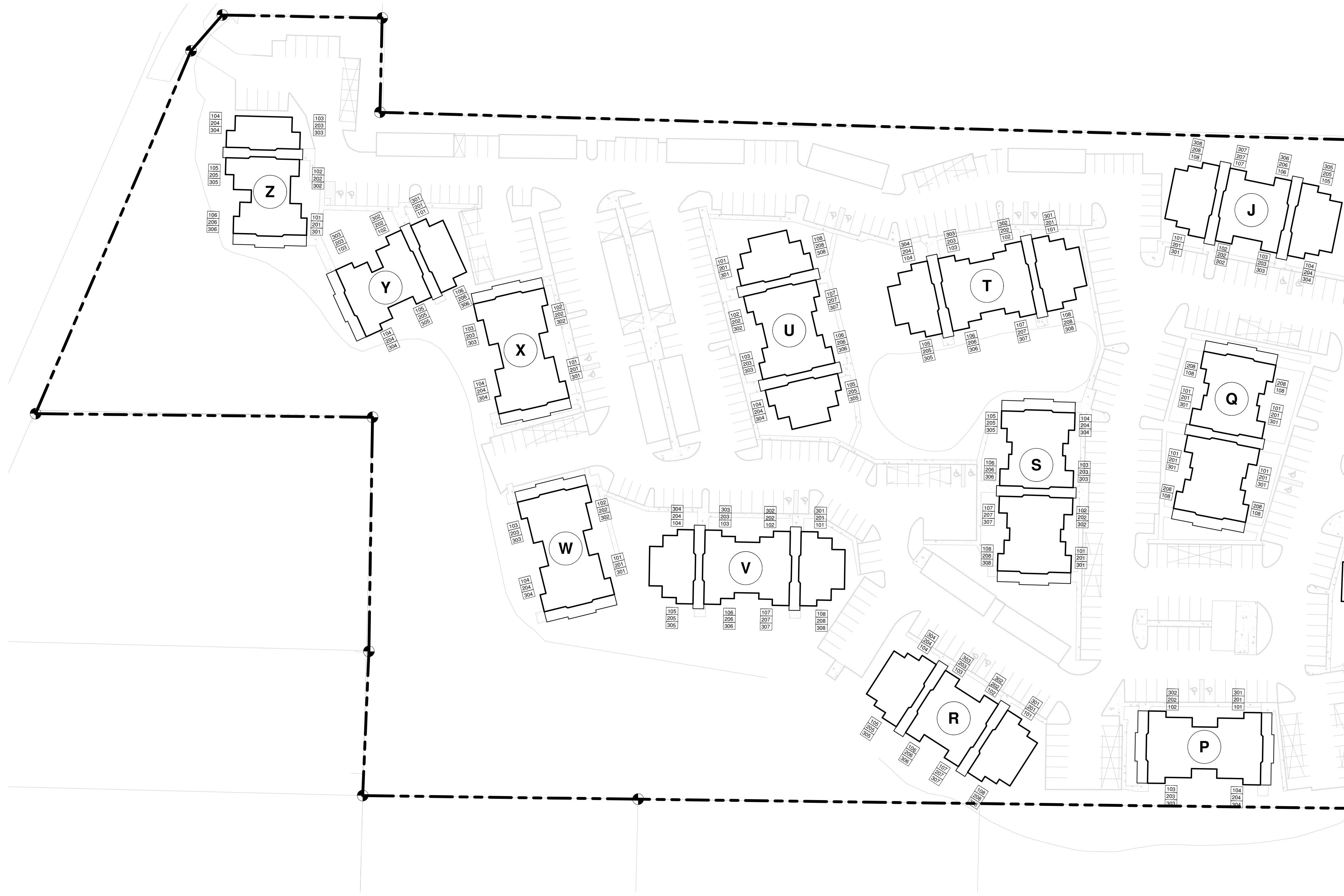
UNIT TYPE	NET AREA	COUNT
BUILDING 'N'		
3 BED / 2 BATH	1,121 SF	12
		12

BUILDING 'P' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'P'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

BUILDING 'Q' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'Q'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20



OVERALL SITE PLAN - PHASE II

1" = 50'-0"

BUILDING 'J' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'J'		
1 BED / 1 BATH	683 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'P' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'P'		
3 BED / 2 BATH	1,121 SF	10
3 BED / 2 BATH ADA	1,121 SF	2
		12

BUILDING 'Q' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'Q'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	8
		20

BUILDING 'R' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'R'		
1 BED / 1 BATH	683 SF	10
1 BED / 1 BATH ADA	683 SF	2
2 BED / 2 BATH	899 SF	12
		24

BUILDING 'S' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'S'		
1 BED / 1 BATH	683 SF	11
1 BED / 1 BATH ADA	683 SF	1
2 BED / 2 BATH	899 SF	11
2 BED / 2 BATH ADA	899 SF	1
		24

BUILDING 'T' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'T'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'U' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'U'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'V' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'V'		
2 BED / 1 BATH	868 SF	12
2 BED / 2 BATH	899 SF	10
2 BED / 2 BATH ADA	899 SF	2
		24

BUILDING 'W' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'W'		
3 BED / 2 BATH	1,121 SF	12
		12

BUILDING 'X' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'X'		
3 BED / 2 BATH	1,121 SF	11
3 BED / 2 BATH ADA	1,121 SF	1
		12

BUILDING 'Y' UNITS

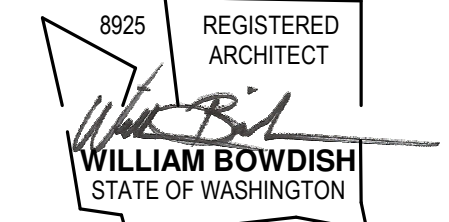
UNIT TYPE	NET AREA	COUNT
BUILDING 'Y'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18

BUILDING 'Z' UNITS

UNIT TYPE	NET AREA	COUNT
BUILDING 'Z'		
1 BED / 1 BATH	683 SF	12
2 BED / 1 BATH	868 SF	6
		18



ROSS DECKMAN & ASSOCIATES INC. 207 FOURTH AVENUE SOUTHEAST, PUYALLUP, WASHINGTON 98372 PHONE: 253.840.9405 FAX: 253.840.9503



AGENCY REVIEW 09/14/2021

PROJECT MERIDIAN POINTE APARTMENTS RESIDENTIAL UNIT REHABILITATION 407 VALLEY AVE. N.E. PUYALLUP, WA 98372 OVERALL SITE PLAN - PHASE II

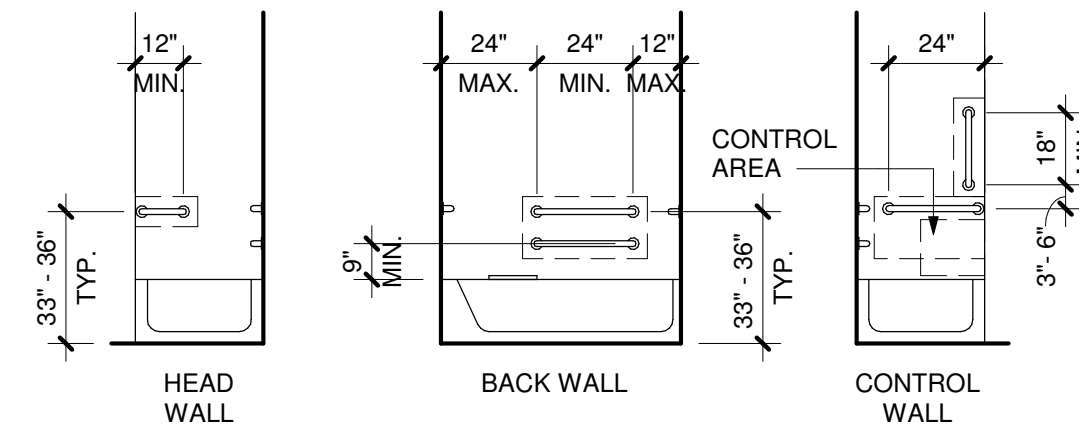
#	DESC.	PROJECT	
		DATE	

APPROVAL STAMPS

City of Puyallup Development & Permitting Services ISSUED PERMIT. Includes stamps for Building, Planning, Engineering, Public Works, Fire, and Traffic.

JOB NO.:	1922
ISSUE DATE:	09/14/2021
REVISED:	
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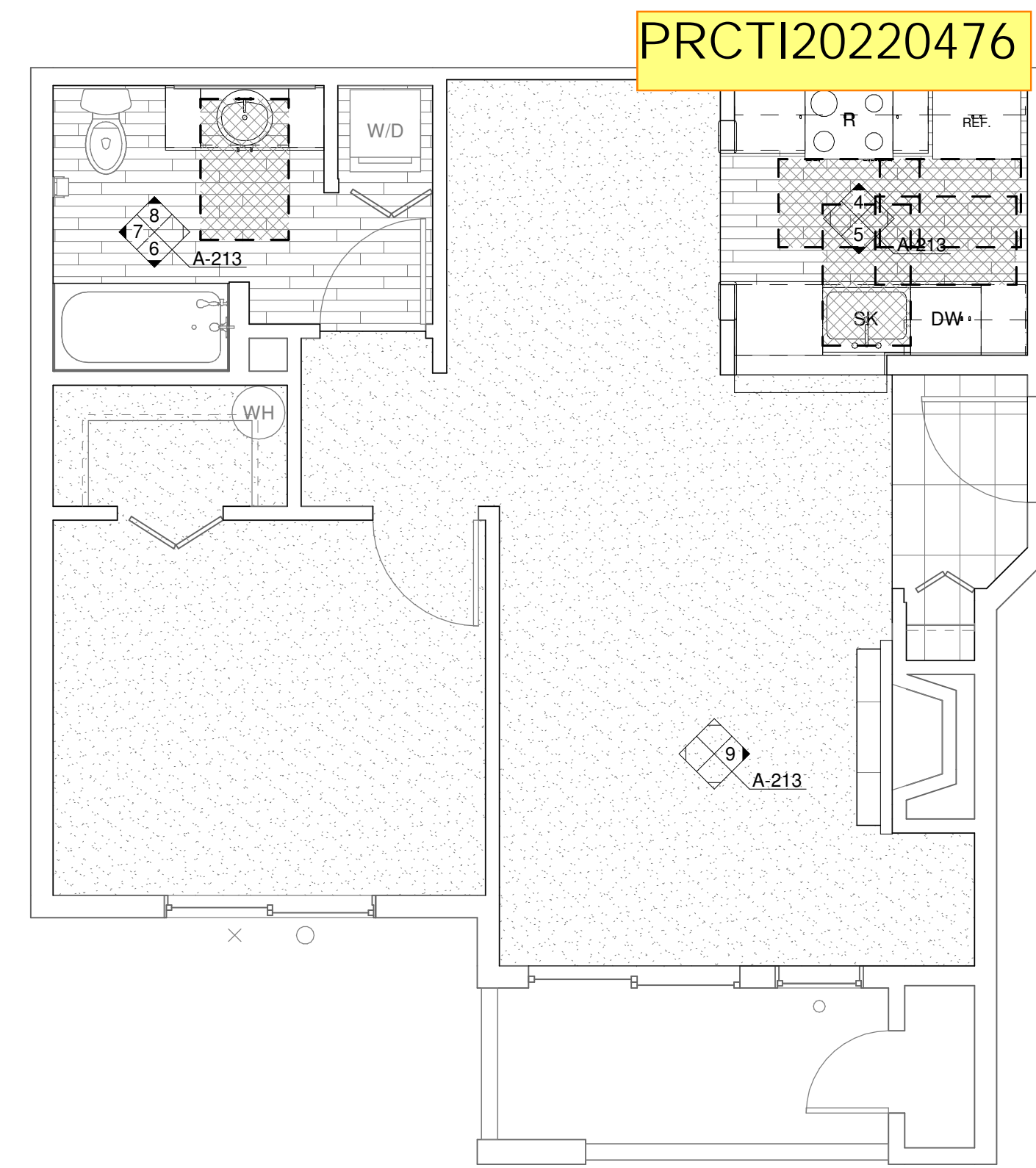


GRAB BARS:
INSTALL GRAB BARS 33" MIN & 36" MAX AFF. GRAB BARS SHALL COMPLY WITH AND MEET THE STRUCTURAL STRENGTH REQUIREMENTS OF ANSI SEC. 609.8. LOCATE GRAB BARS PER ANSI SEC. 607.4.2.

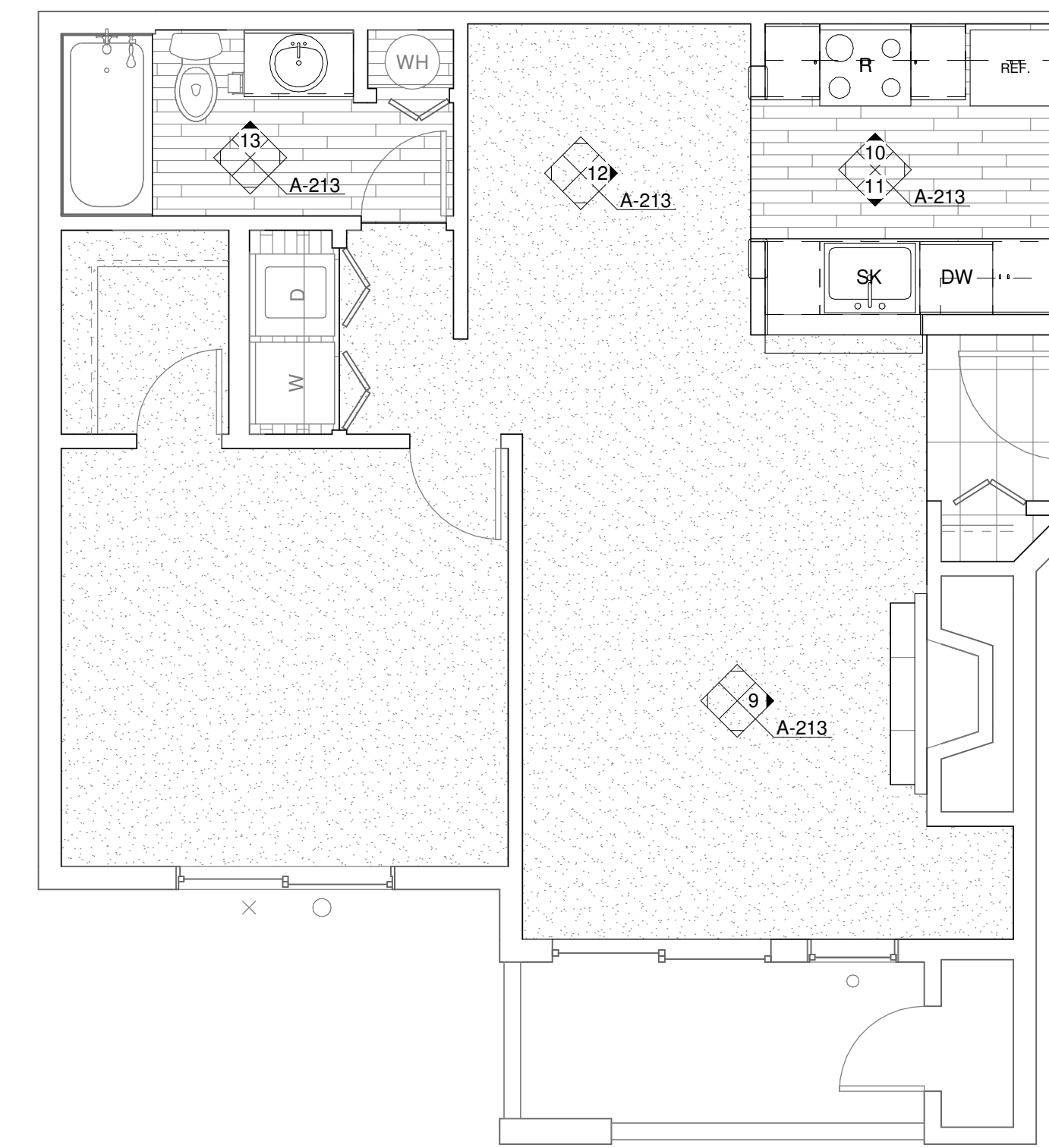
SEAT:
A REMOVABLE SEAT IS NOT REQUIRED PER ANSI SEC. 1003.11.2.5.1 EX.1.

CONTROLS:
607.5 CONTROLS, OTHER THAN DRAIN STOPPERS, SHALL BE PROVIDED ON AN END WALL, LOCATED BETWEEN THE BATHTUB RIM AND GRAB BAR, AND BETWEEN THE OPEN SIDE OF THE BATHTUB AND THE CENTERLINE OF THE WIDTH OF THE BATHTUB. CONTROLS SHALL COMPLY WITH SECTION 309.4. THE ADJUSTABLE HEIGHT HAND SHOWER SHALL INCLUDE A 59" MIN LONG HOSE AND COMPLY WITH ANSI SEC. 607.6. CONTROLS SHALL NOT OBSTRUCT THE USE OF GRAB BARS.

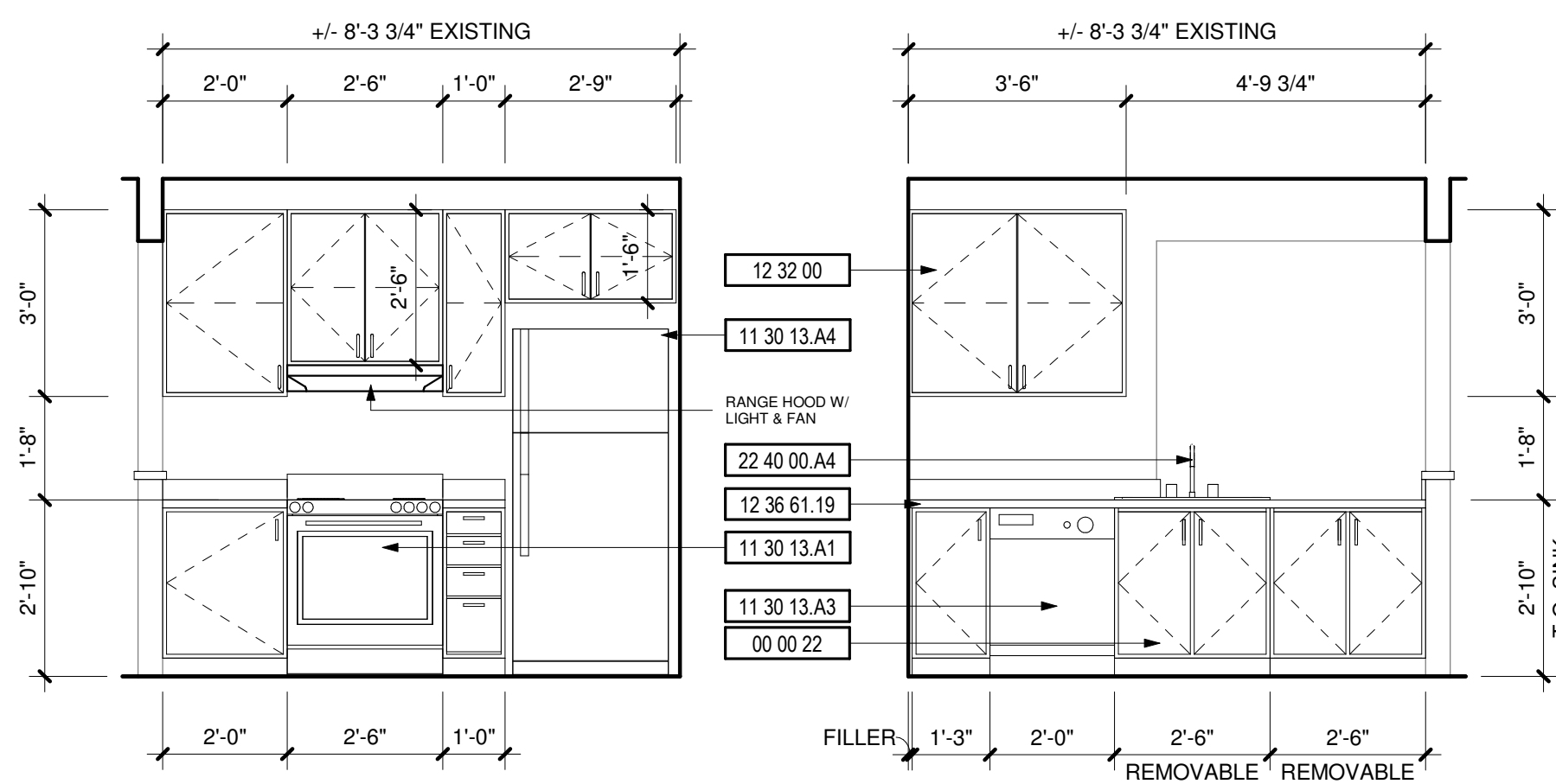
1 BATHTUB REQUIREMENTS
1/4" = 1'-0"



2 ENLARGED UNIT PLAN - 1 BED/1 BATH (ADA)
1/4" = 1'-0"

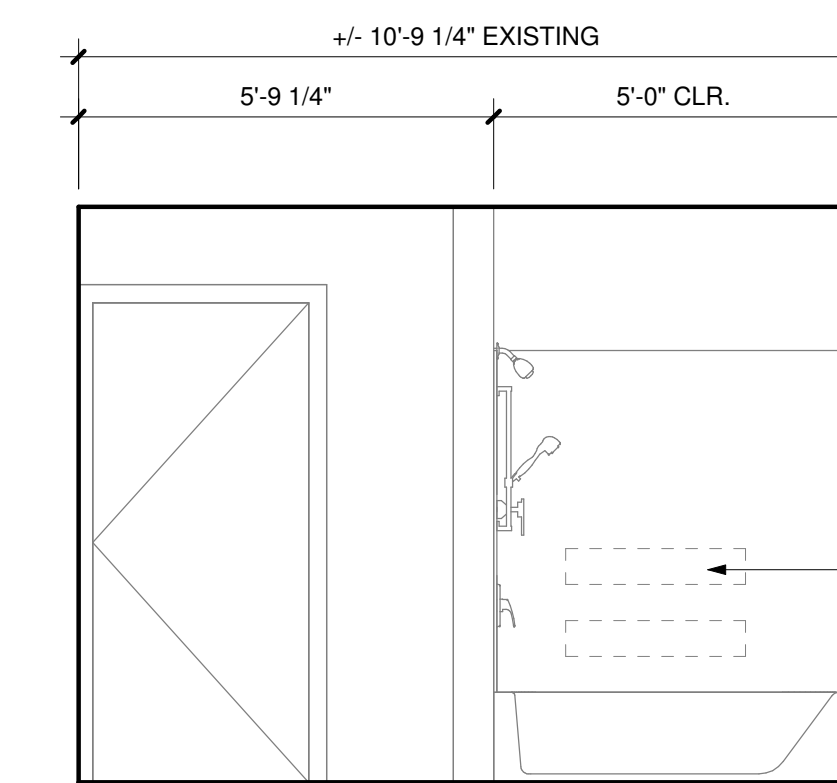


3 ENLARGED UNIT PLAN - 1 BED/1 BATH (TYP)
1/4" = 1'-0"

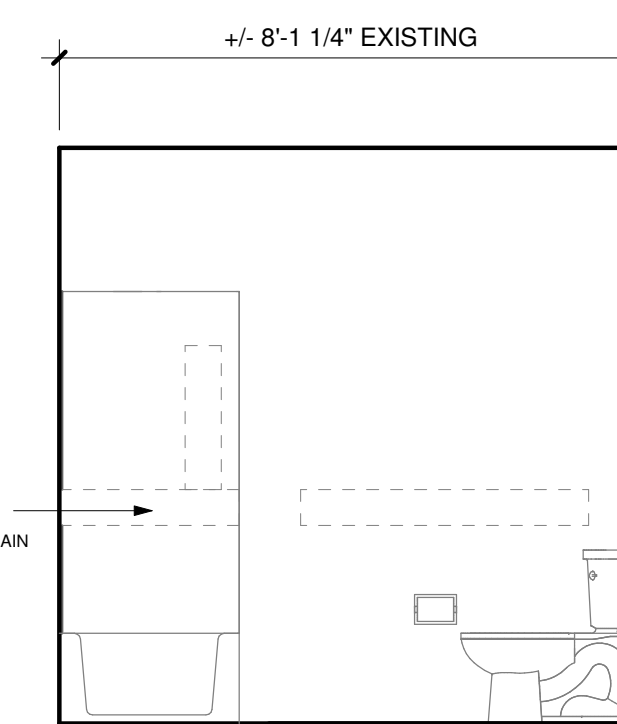


4 KITCHEN (ADA)
3/8" = 1'-0"

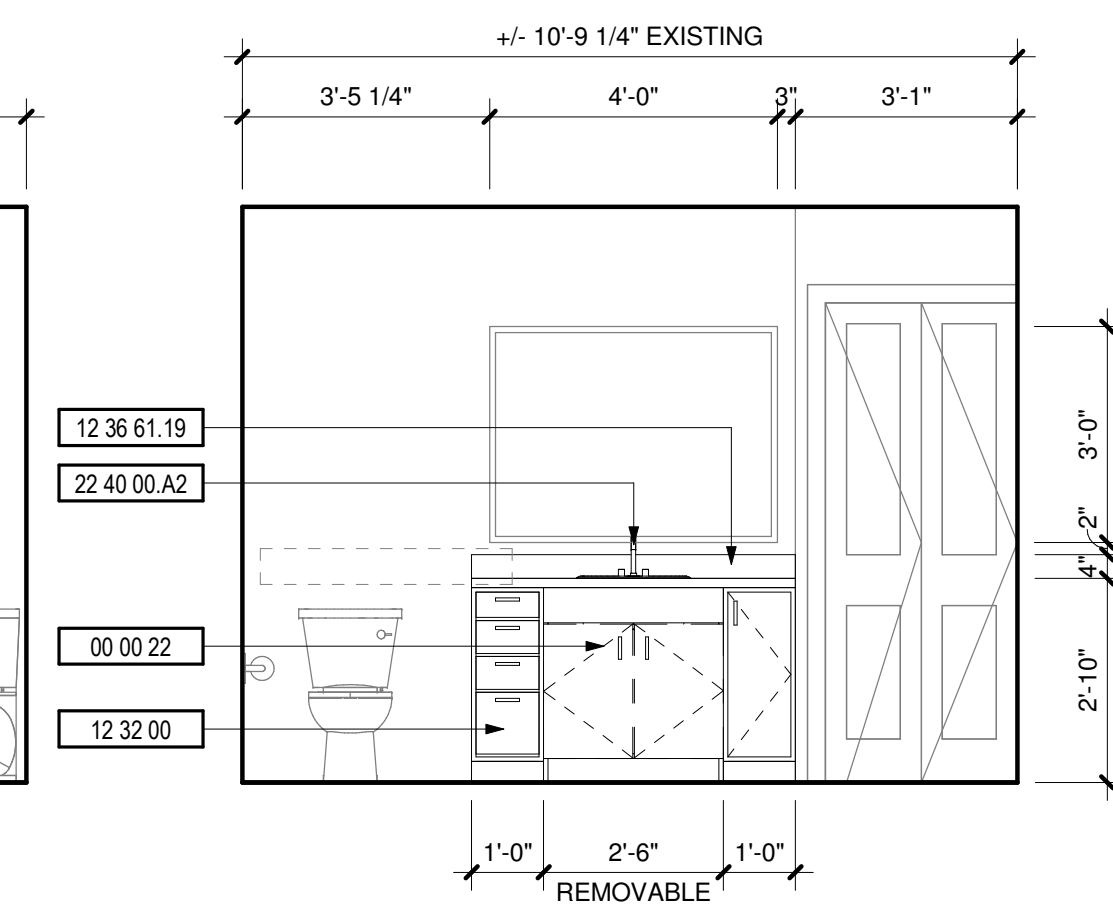
5 KITCHEN (ADA)
3/8" = 1'-0"



6 BATHROOM (ADA)
3/8" = 1'-0"

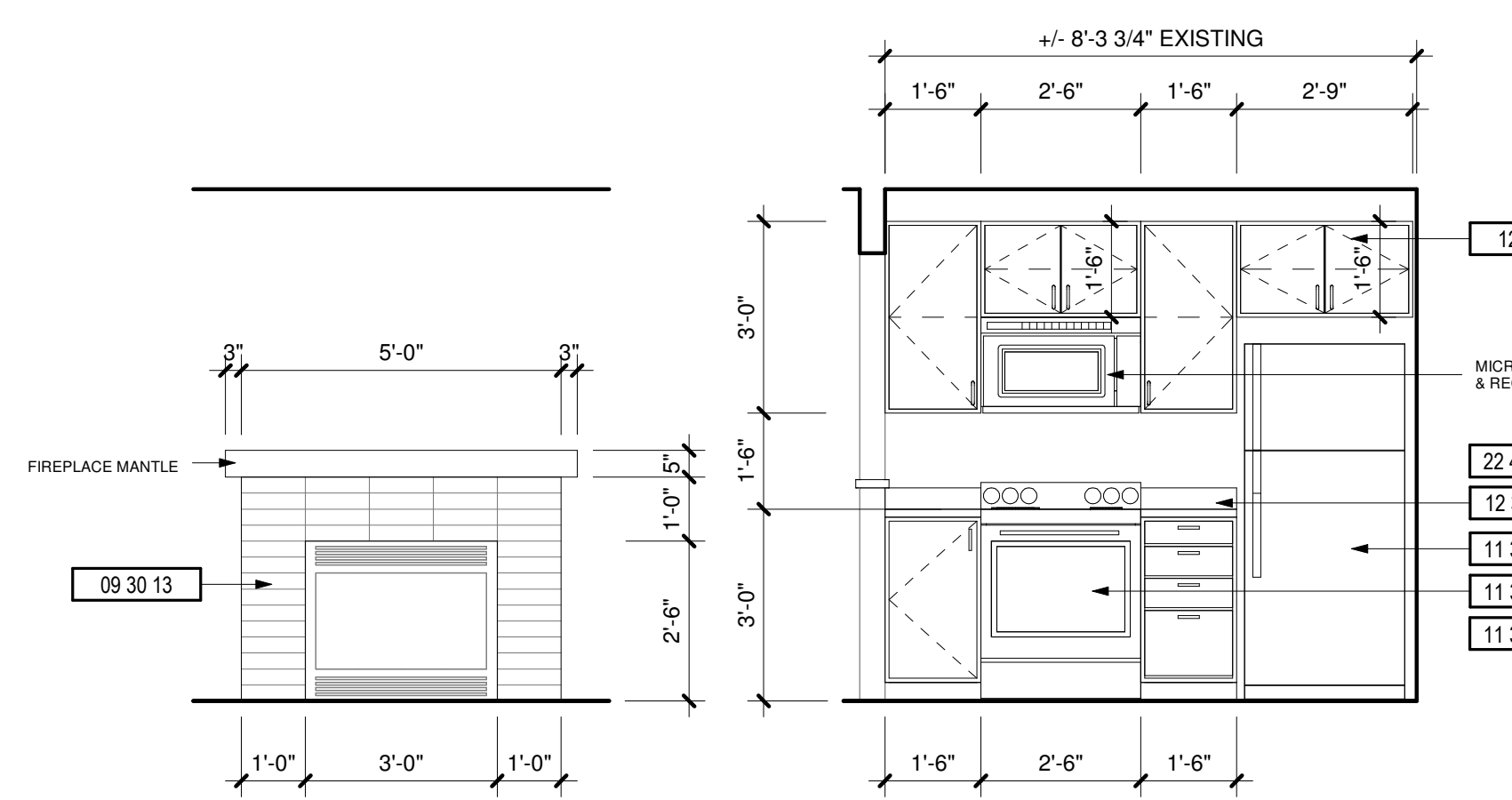


7 BATHROOM (ADA)
3/8" = 1'-0"



8 BATHROOM (ADA)
3/8" = 1'-0"

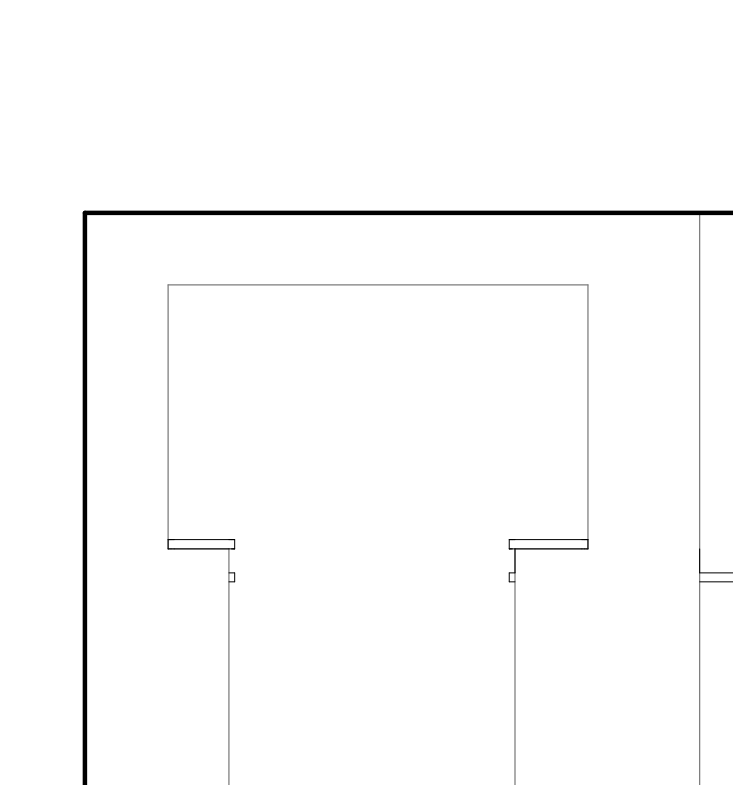
9 BATHROOM (ADA)
3/8" = 1'-0"



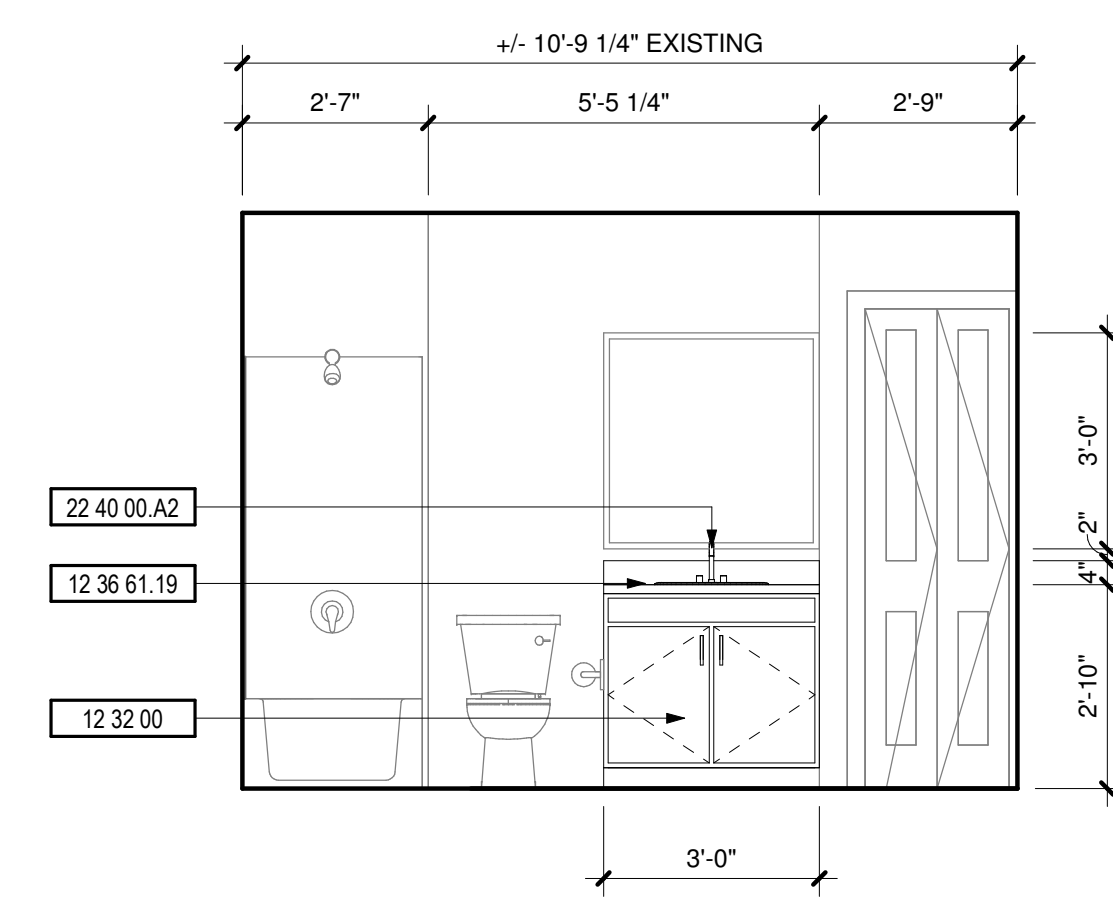
10 FIREPLACE
3/8" = 1'-0"

11 KITCHEN
3/8" = 1'-0"

12 KITCHEN
3/8" = 1'-0"



13 DINING ROOM
3/8" = 1'-0"



13 BATHROOM
3/8" = 1'-0"

DEMOLITION NOTES

#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

KEYNOTES

#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET

PROJECT

DATE

DESC.

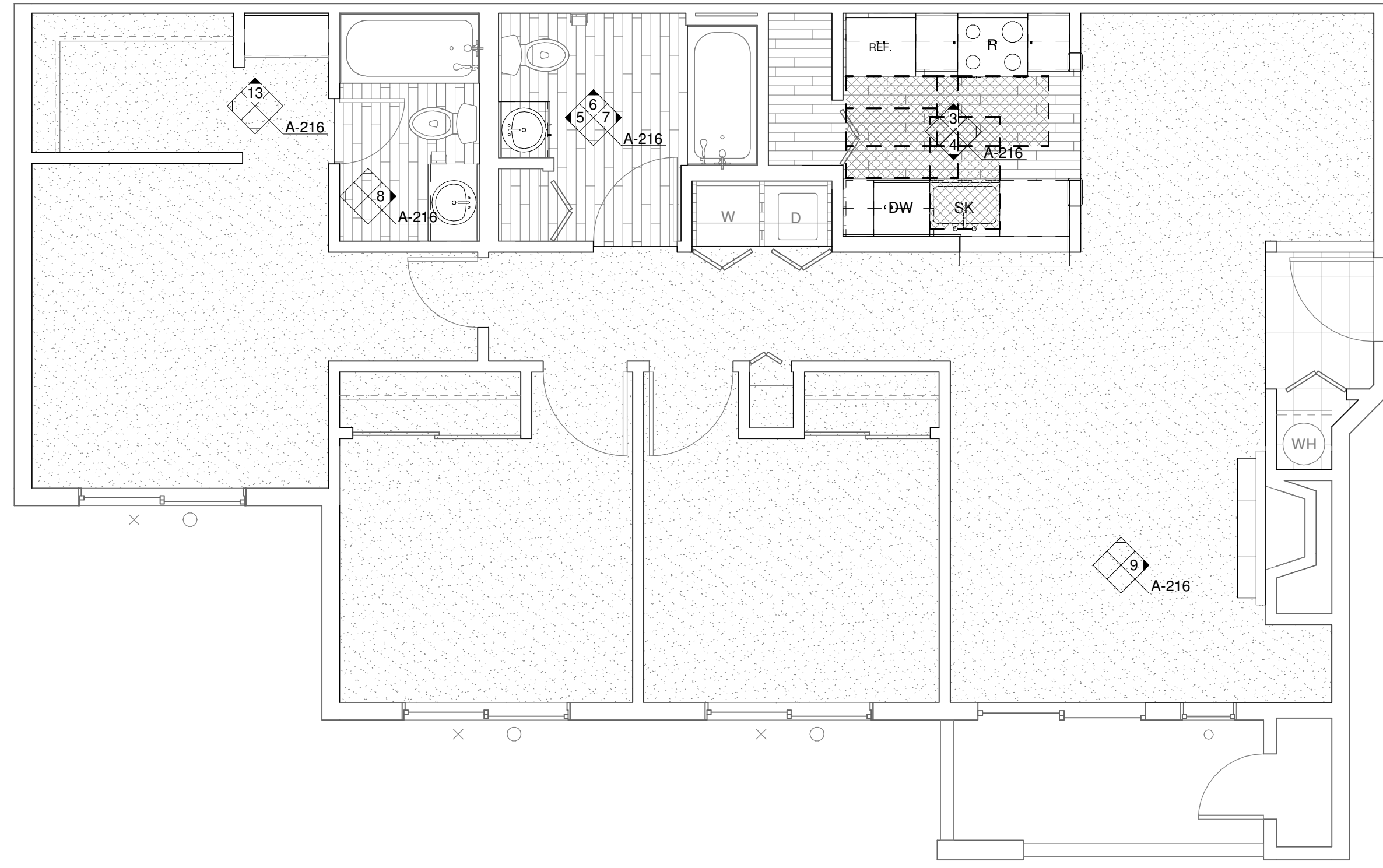
APPROVAL STAMPS

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

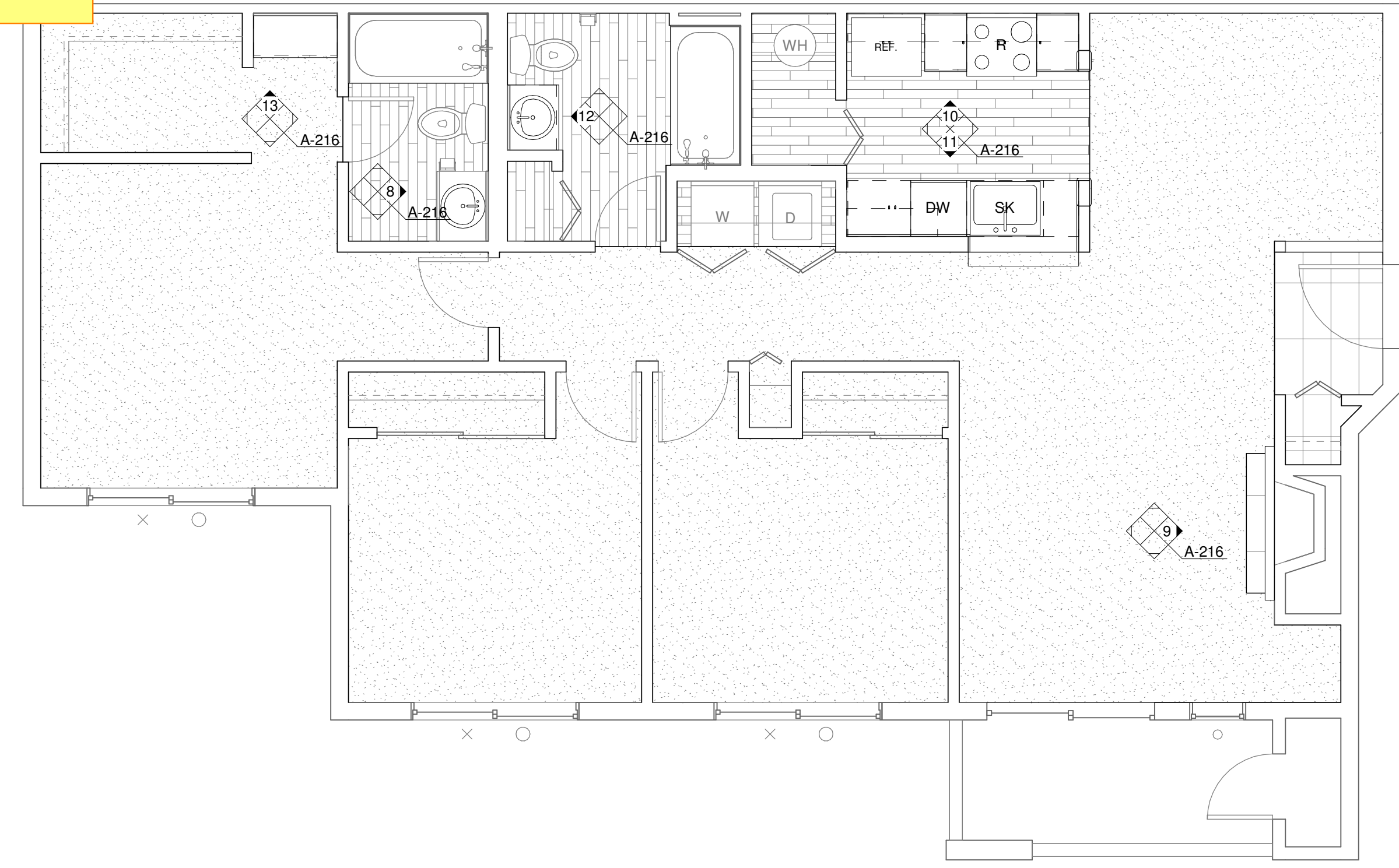
- Building
- Planning
- Engineering
- Public Works
- Fire
- Traffic

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PRCTI20220476



1 ENLARGED UNIT PLAN - 3 BED/2 BATH (ADA)
1/4" = 1'-0"



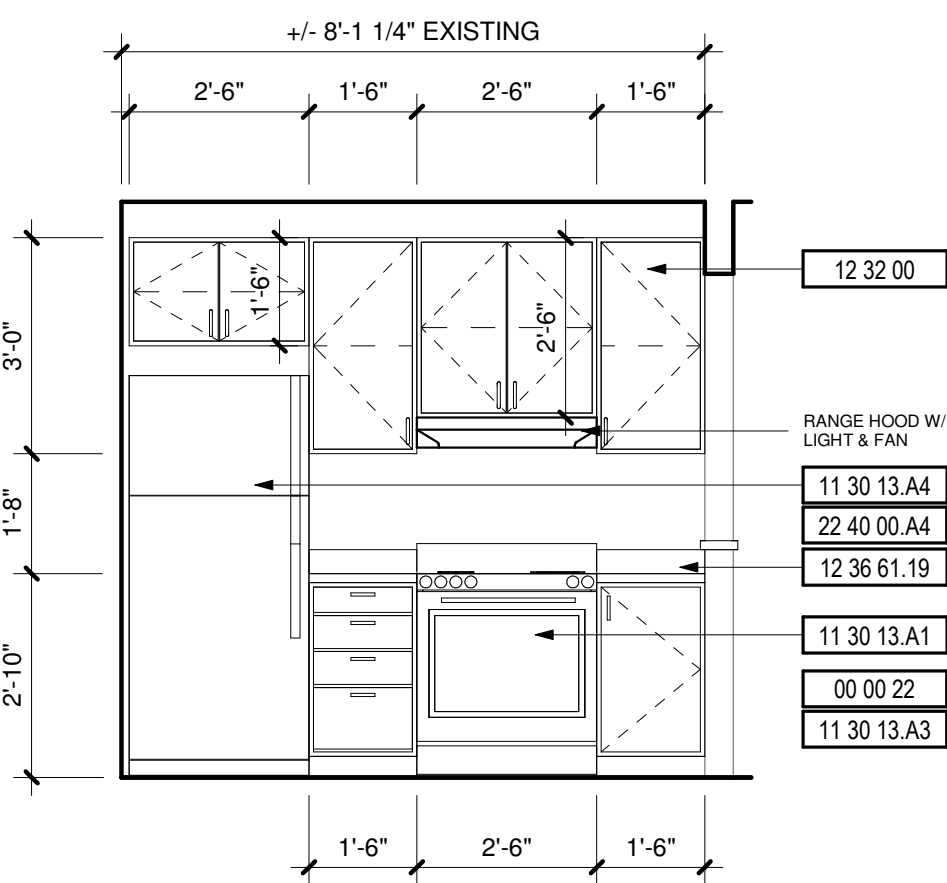
2 ENLARGED UNIT PLAN - 3 BED/2 BATH (TYP)
1/4" = 1'-0"

DEMOLITION NOTES

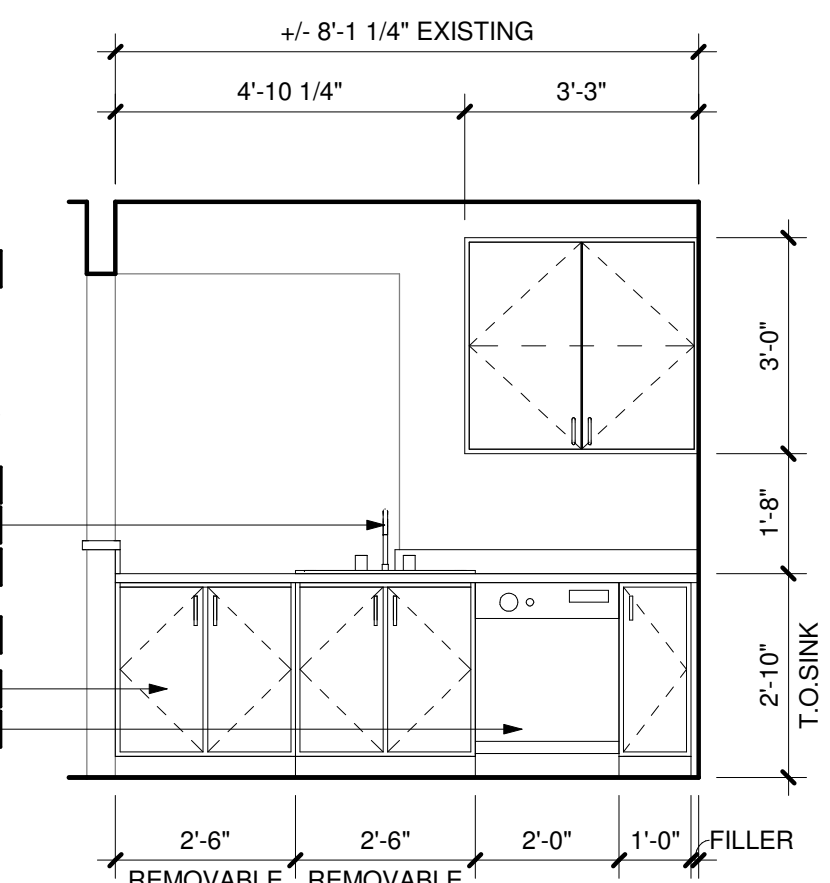
#	DESCRIPTION
1	REPLACE ALL EXISTING FLOORING & BASE AND FIREPLACE HEARTH. PREP FOR NEW FINISH AS REQUIRED.
2	DEMO ALL EXISTING UPPER & LOWER CABINETS AND PLUMBING FIXTURE AT KITCHEN. ALL EXISTING APPLIANCES TO BE REMOVED. PREP WALL AND FLOOR FOR NEW FINISHES.
3	REPLACE EXISTING LIGHT FIXTURES. PREP FOR NEW FIXTURE AS REQUIRED.
4	DEMO ALL EXISTING LOWER CABINET, PLUMBING FIXTURE & MIRROR. PREP FOR NEW FINISHES AS REQUIRED.
5	DEMO HALF WALL AND EXISTING COUNTER TO ACCOMMODATE NEW COUNTER.
6	MEDICINE CABINET TO BE REMOVED AND REPLACED BY OWNER.
7	DEMO EXISTING MANTLE & FIRE PLACE TILE SURROUND. PREP FOR NEW FINISHES. SEE FIREPLACE ELEVATION FOR DETAILS.
8	REMOVE EXISTING COUNTERSHELF AT LIVING ROOM. PATCH & REPAIR WALL AS REQUIRED FOR NEW FINISHES.
9	REPLACE EXISTING SHOWER HEAD, SHOWER CONTROL KNOB, VALVE, AND ASSOCIATED RISER PIPING.
10	SEE DETAIL 1/A-213 FOR BATHTUB CONTROL AND GRAB BAR LOCATIONS FOR BATHROOMS.

KEYNOTES

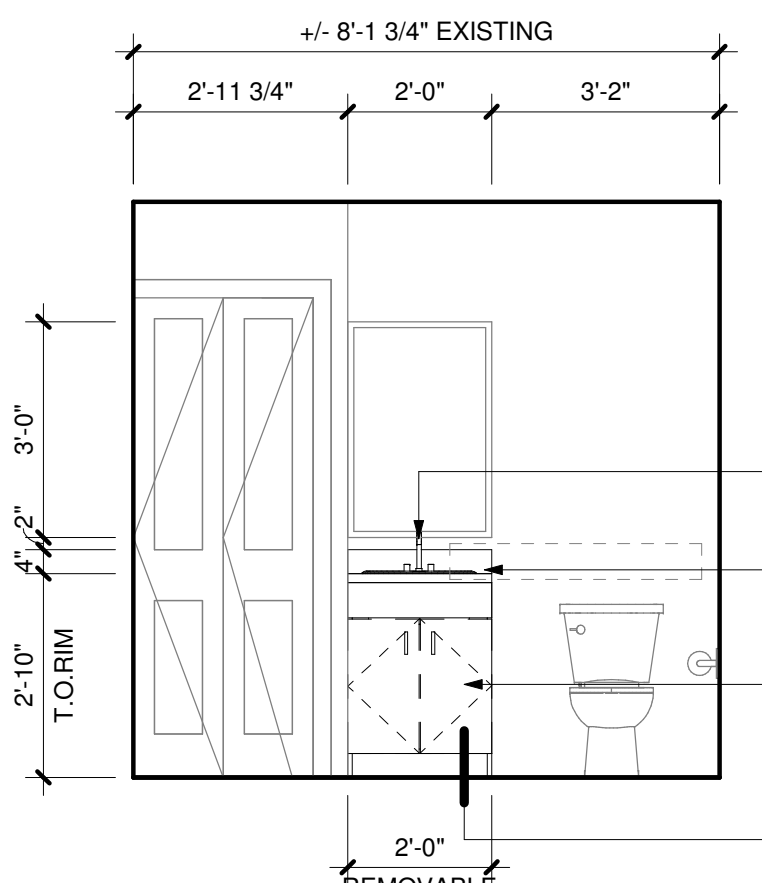
#	DESCRIPTION
00 00 22	REMOVABLE CABINET, EXTEND FLOORING TO WALL AT BACK OF EACH REMOVABLE CABINET
09 30 13	CERAMIC TILING
11 30 13.A1	RANGE
11 30 13.A3	DISHWASHER
11 30 13.A4	REFRIGERATOR
12 32 00	MANUFACTURED WOOD CASEWORK
12 36 61.19	QUARTZ AGGLOMERATE COUNTERTOPS
22 40 00.A2	LAVATORY/FAUCET
22 40 00.A4	UNDER COUNTER SINK/FAUCET



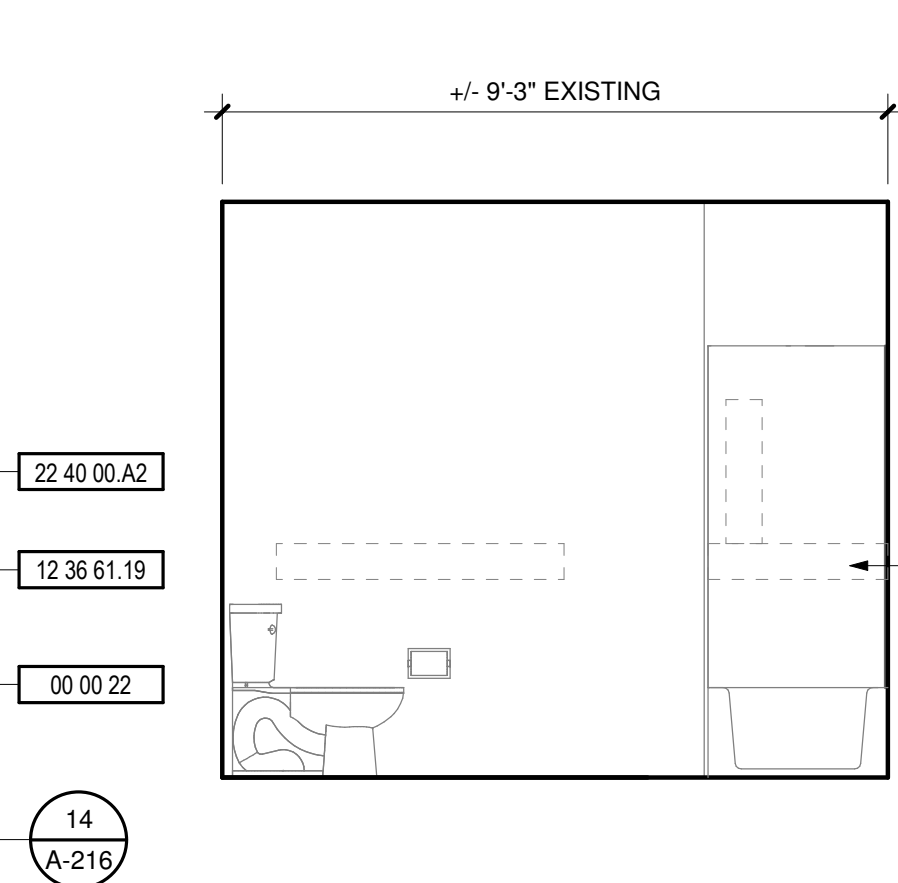
3 KITCHEN (ADA)
3/8" = 1'-0"



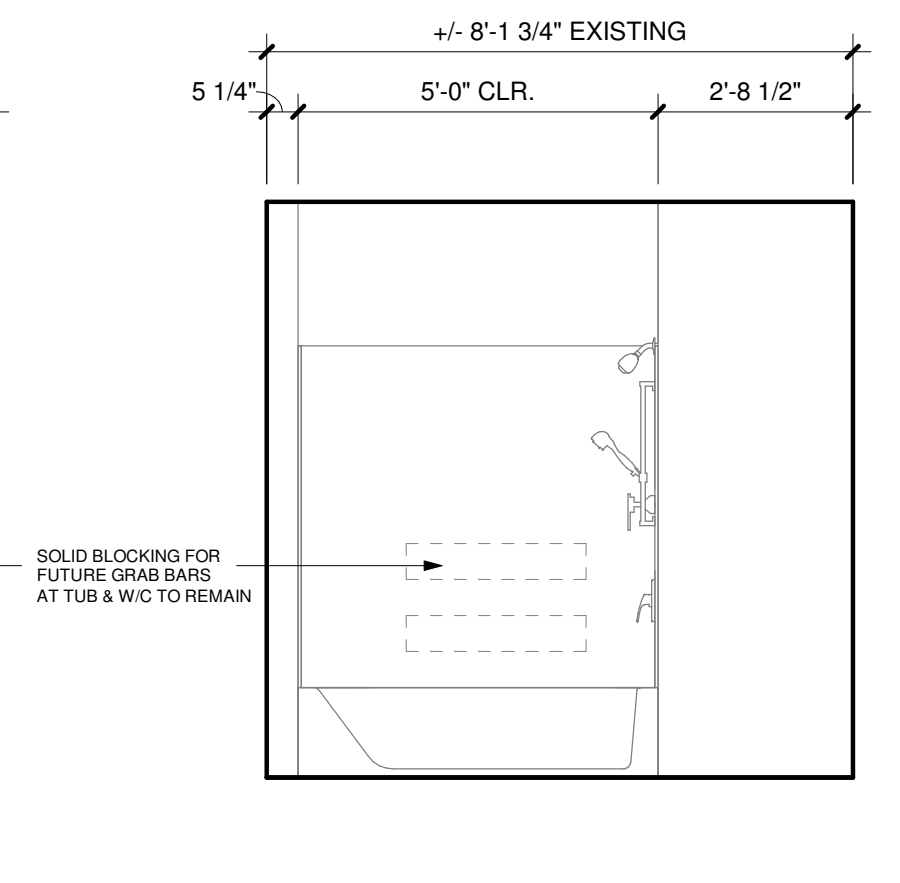
4 KITCHEN (ADA)
3/8" = 1'-0"



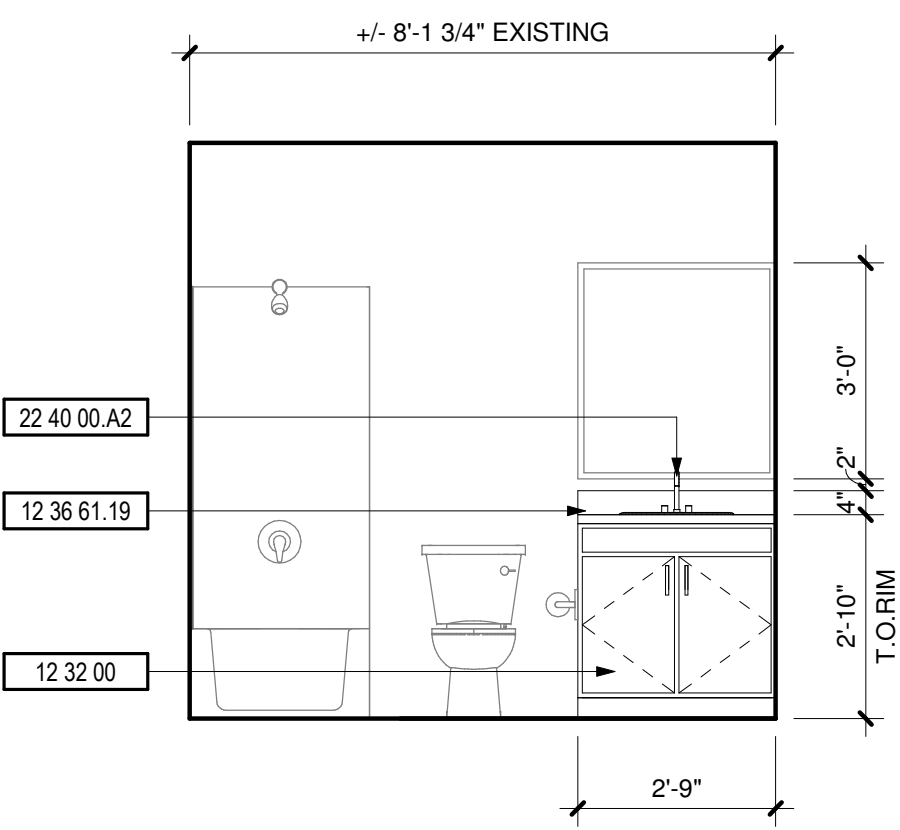
5 BATHROOM (ADA)
3/8" = 1'-0"



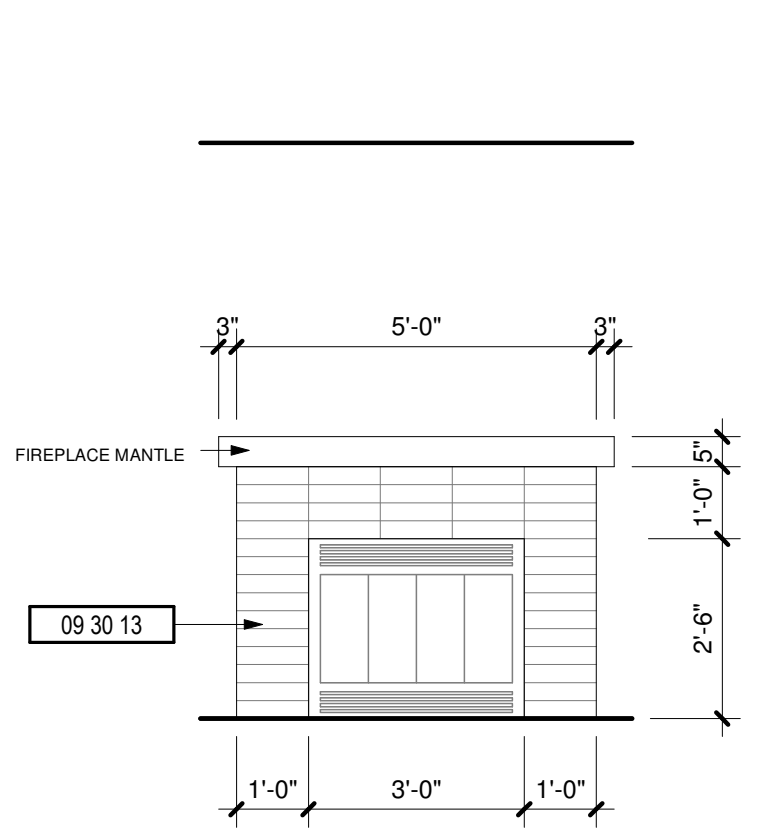
6 BATHROOM (ADA)
3/8" = 1'-0"



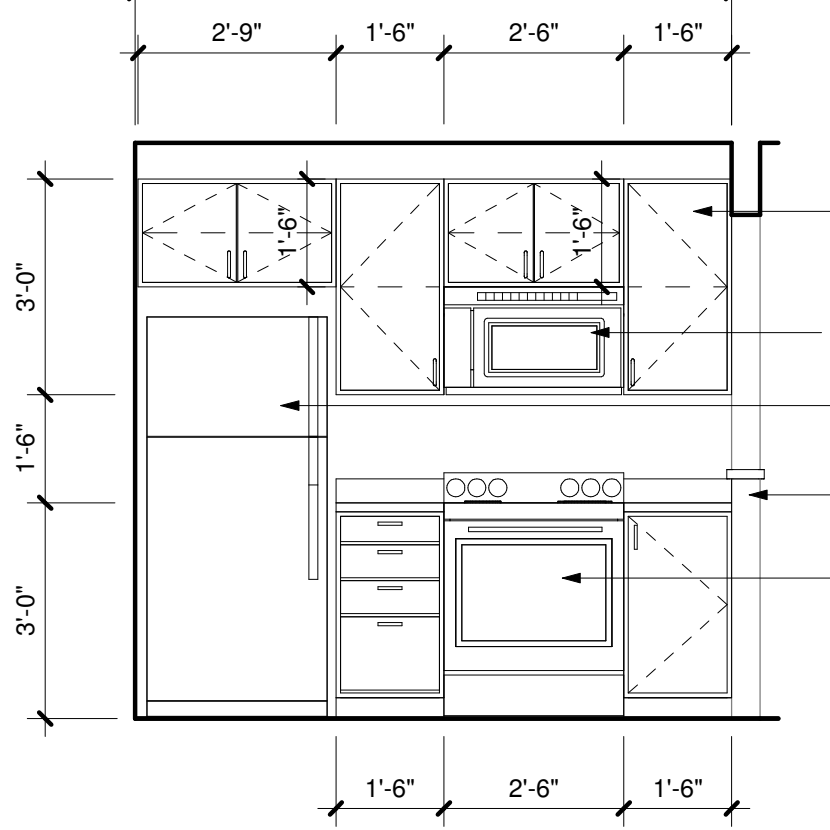
7 BATHROOM (ADA)
3/8" = 1'-0"



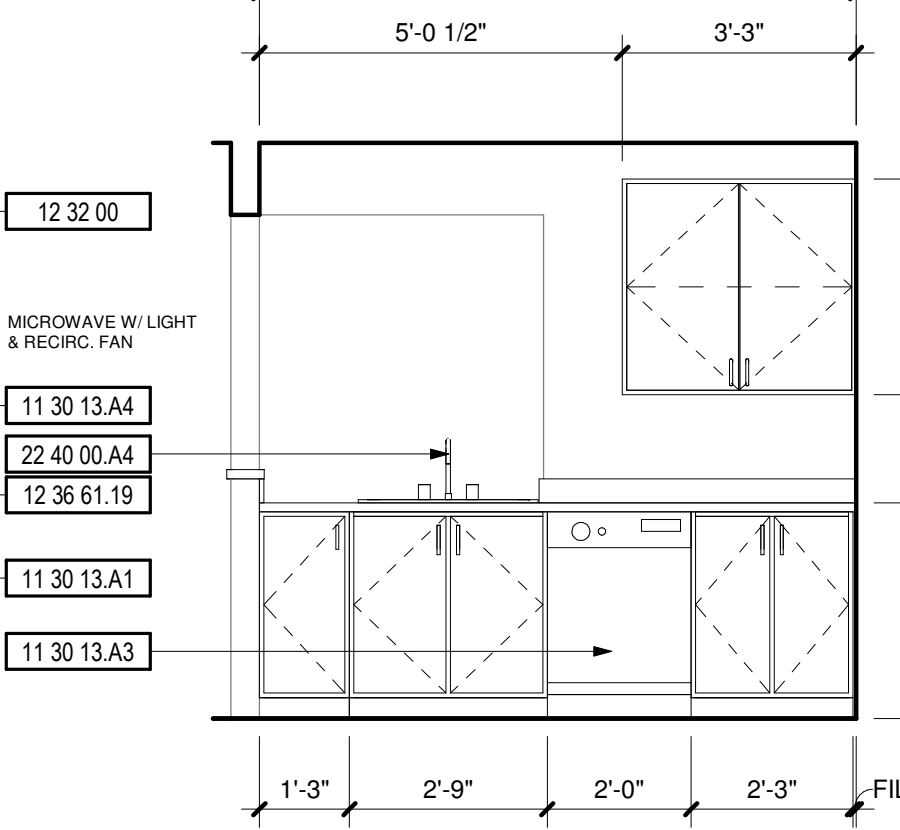
8 BATHROOM
3/8" = 1'-0"



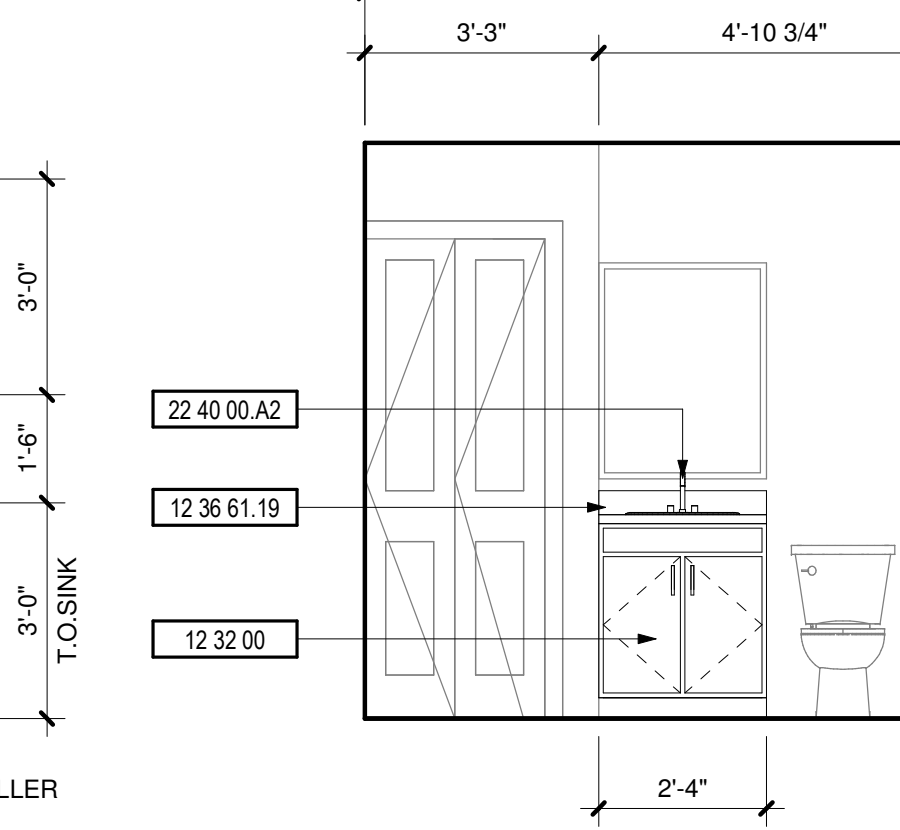
9 FIREPLACE
3/8" = 1'-0"



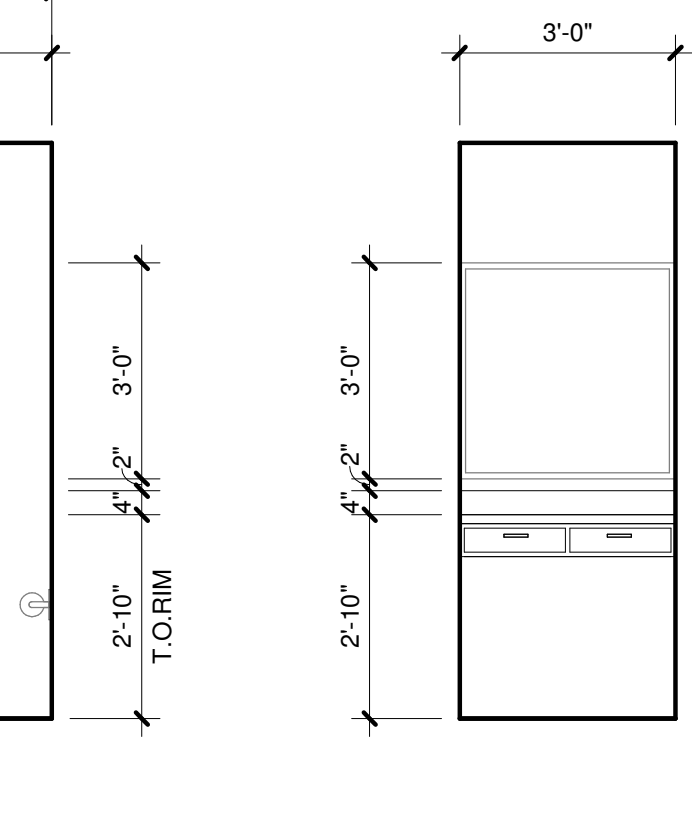
10 KITCHEN
3/8" = 1'-0"



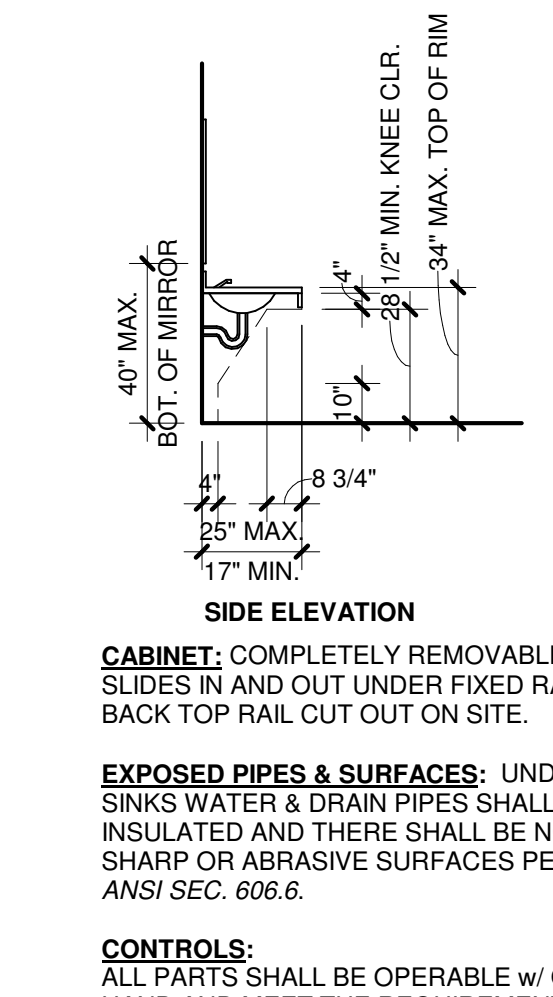
11 KITCHEN
3/8" = 1'-0"



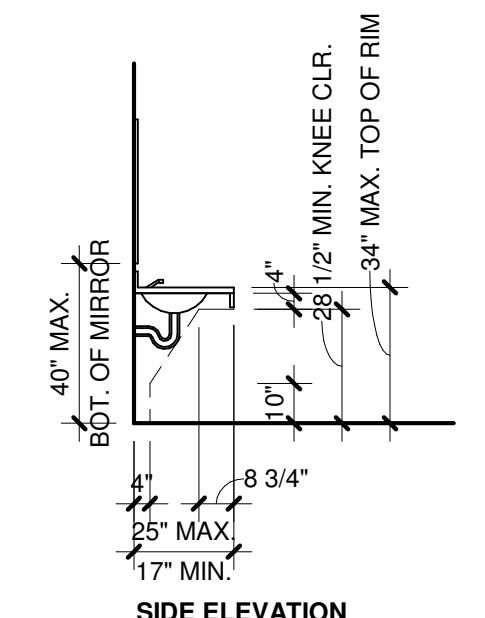
12 BATHROOM
3/8" = 1'-0"



13 VANITY
3/8" = 1'-0"



14 BATH LAVATORY
1/4" = 1'-0"



SIDE ELEVATION
CABINET: COMPLETELY REMOVABLE;
SLIDES IN AND OUT UNDER FIXED RAILS.
BACK TOP RAIL CUT OUT ON SITE.

EXPOSED PIPES & SURFACES: UNDER SINKS WATER & DRAIN PIPES SHALL BE INSULATED AND THERE SHALL BE NO SHARP OR ABRASIVE SURFACES PER ANSI SEC. 606.6.

CONTROLS: ALL PARTS SHALL BE OPERABLE w/ ONE HAND AND MEET THE REQUIREMENTS OF ANSI SEC. 309.