City of Puyallup Development & Permitting Services ISSUED PERMIT Building Planning Engineering Public Works Fire Traffic

PERMIT NOTE:
THIS WORK SHOWN ON THESE DRAWINGS IS TO SATISFY THE BUILDING DEPARTMENTS
REQUIREMENTS TO CLOSE OUT PREVIOUS
BUILDING PERMIT NO. B-19-1101 ISSUED 1-10-2022

THIS WORK IS NOT INTENDED TO ACHIEVE AN OCCUPANCY FOR THIS UNIT 900-10 AT THIS TIME.

REVISION TO PERMIT B-19-1101 TO DEMO PORTIONS OF THE REST OF THE SPACE. SEE D PAGES. THIS IS SUBJECT TO THE FIRE AND BUILDING INSPECTORS APPROVALS. REVIEWED 2/28/2022 DL.

CODE INFORMATION

- APPLICABLE CODES:
 International Building Code (IBC), 2018
 International Mechanical Code (IMC), 2018
 Uniform Plumbing Code, 2018
 International Fuel Gas Code, 2018
 International Fire Code, 2018
 National Electric Code (NFPA 250-70), 2014
- Washington State Energy Code, 2018
 ICC/ANSI A117.1, 2009
 Washington State Amendments (Building, Mechanical, Fire, Plumbing, Energy and Electrical), Current
 IENANT AREA:
- Unit #900-10 Future Tenant 45,327.00 S.F.
 CONSTRUCTION TYPE:

 '2-B' (IBC T-601) All steel column and beam framing system with metal roof decking. All wall, column, and roof
- . <u>USE GROUP</u>:

 Tenant Space 900-10 to be determined on tenant interior build-out drawings, which will be submitted at a

materials are of non-combustible materials.

- 5. OCCUPANCY:

 Complete and comprehensive occupancy calculations will be performed on the tenant interior build-out drawings,
- be performed on the tenant interior build-out drawings,
 which will be submitted at a later date.

 EGRESS REQUIREMENTS:

 Refer to sheet G-100 for egress door locations and
- capacity.
 Complete and comprehensive occupancy calculations will be performed on the tenant interior build-out drawings, which will be submitted at a later date.
- 7. FIRE RESISTIVE CONSTRUCTION:

 There is an existing 1 hour fire barrier wall between these new tenant spaces and adjacent tenant space.

 8. FIRE PROTECTION SYSTEMS:
- The existing tenant space is protected with an automatic sprinkler system in accordance with NFPA 13. If there are to be any modifications to this system, this contractor shall be responsible for obtaining the services of an Washington certified sprinkler contractor, who will provide certified sprinkler shop drawing and calculations for all modifications.
- Complete and comprehensive plumbing calculations will be performed on the tenant interior build-out drawings, which will be submitted at a later date.

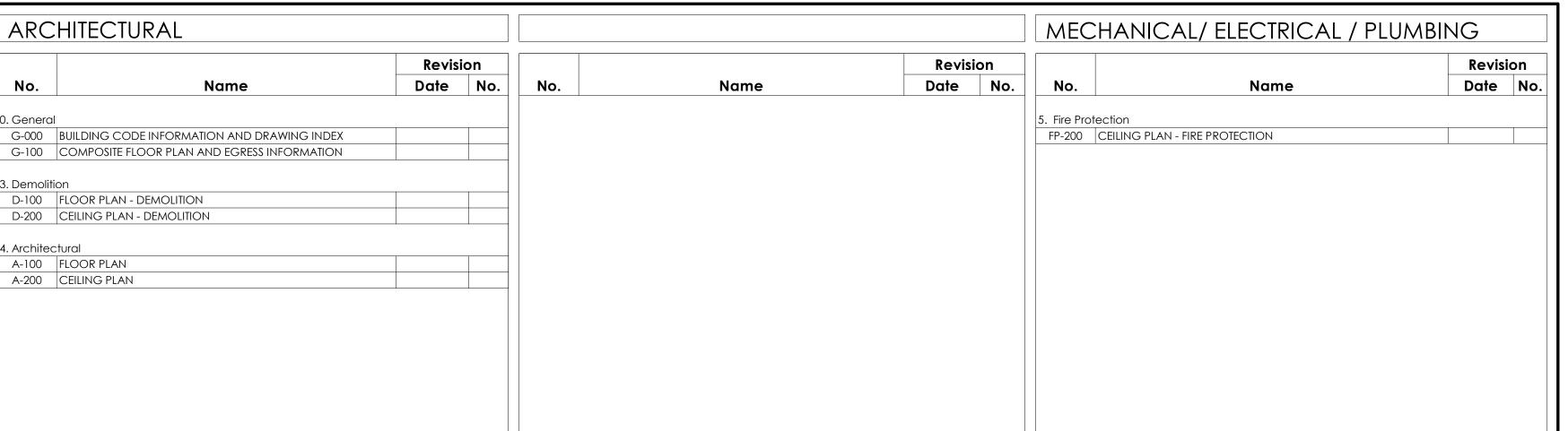
PLUMBING REQUIREMENTS

SPECIAL INSPECTIONS:

 There are no special inspections required for this project.

INTERIOR DEMOLITION South Hill Mall - UNIT 900-10

3500 S. Meridian St. Puyallup, WA 98373



ARCHITECT: RICK PARTIKA AIA
E: RPARTIKA@CAFAROCOMPANY.COM
P: 330-747-2661

PHOENIX DESIGN & ENGINEERING, LLC
ENGINEER: CHRIS JONES
E

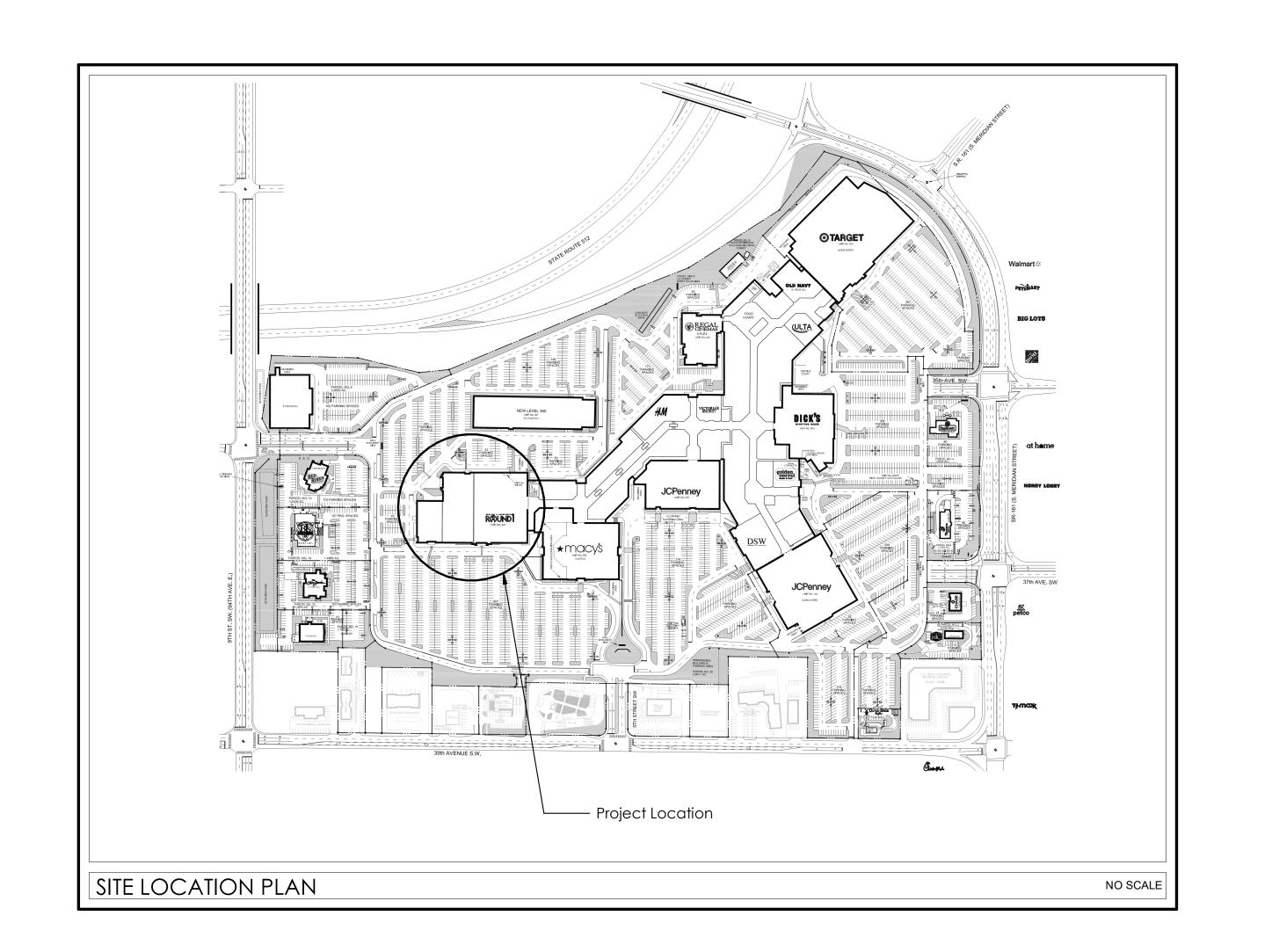
DRAWING ABBREVIATIONS MAXIMUM **ANGLE** MARBLE MECH MECHANICAL MANUFACTURER(S) CENTER LINE POUND OR NUMBER MANHOLE MINIMUM ACOUSTICAL CEILING TILE MISCELLANEOUS ABOVE FINISHED FLOOR MO MASONRY OPENING M.R. MOISTURE RESISTANT ALUM ALUMINUM APPROX APPROXIMATE(LY) MTD MOUNTED ARCHITECTURE(URAL) MTG MOUNTING AIR CONDITIONING METAL NOT APPLICABLE NOT IN CONTRACT BEARING NO. NUMBER CATCH BASIN NOM. NOMINAL CONTROL JOINT NOT TO SCALE CEILING CMU CONCRETE MASONRY UNIT OVERALL COL COLUMN ON CENTER CONC CONCRETE OVER HEAD CONT CONTINUOUS OPPOSITE HAND CARPFT OPPOSITE CERAMIC TILE CU FT CUBIC FOOT PDT. PAINTED CU YD CUBIC YARD PLATE PLASTIC LAMINATE DEPARTMENT DRINKING FOUNTAIN RADIUS **ROOF DRAIN** DIAMETER DIMENSION REINFORCE DOWN SPOUT REQD REQUIRED DRAWING(S) DWG **ROOF LEADER** ROUGH OPENING E.I.F.S. EXT. INSULATION & FINISH SYSTEM **HVAC UNIT** EXPANSION JOINT ELEC ELECTRICAL SOLID CORE EMER. **EMERGENCY** SOLID CORE WOOD STORM DRAIN E.W.C. ELECTRIC WATER COOLER SECTION EXISTING SQUARE **EXPANSION** SQUARE FOOT **EXTERIOR** SQUARE INCH SQUARE YARD FLOOR DRAIN Standard FIRE EXTINGUISHER STRUCT FIRE EXTINGUISHER CABINET STRUCTURAL FIRE HOSE CABINET SUSPENDED F.R.T. FIRE-RETARDENT TREATED FOOTING TOP OF CURB TONGE AND GROOVE GAUGE(GAGE) TEMPERED GLASS GALVANIZED THROUGH GRAB BAR GENERAL CONTRACTOR TEMPERED INSULATED TOP OF MASONRY T.O.S. TOP OF STEEL HOSE BIBB HANDICAPPED ACCESSIBLE TOP OF PAVMENT **HOLLOW CORE** TUBE STEEL **TELEVISION** HOL. MET. HOLLOW METAL HORIZ. HORIZONTAL TOP OF WALL TYPICAL HEIGHT HVAC HEATING VENTILATING AIR CONDITIONING UNDERGROUND U.N.O. **UNLESS NOTED** INFORMATION OTHERWISE INSULATION U.R. URINAL INTERIOR VCT VINYL COMPOSIITE TILE LAMINATE **VERT** VERTICAL LAVATORY VERIFY IN FIELD POUND VINYL TILE VENT THROUGH ROOF VINYL WALL COVERIN WH WATER HEATER WWF WELDED WIRE FABRIC

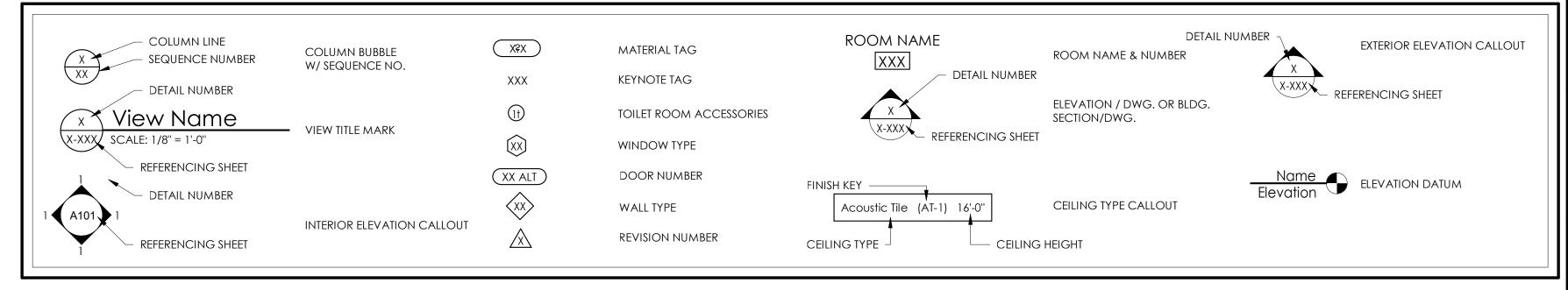
WEIGHT

GENERAL NOTES

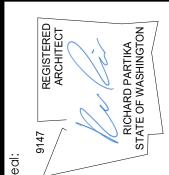
- 1. SCOPE: THIS PROJECT CONSISTS OF DEMOLITION OF INTERIOR IMPROVEMENTS OF THE TENANT SPACE FOR FURTURE TENANT SPACES. THE INTERIOR BUILD-OUT OF THE TENANT SPACES WILL BE PROVIDED BY OTHERS AT A LATER DATE.
- 2. REFERENCE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION ON ALL ASPECTS OF THE WORK. PROJECT SPECIFICATIONS ALSO REFERENCE MANY OTHER BUILDING AND INDUSTRY STANDARDS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE STANDARDS, IN CONJUNCTION WITH THESE DRAWINGS AND SPECIFICATIONS. IF MORE STRINGENT OF AN ITEM IS LISTED IN THESE SPECIFICATIONS OR DRAWINGS, THEN THAT OF A REFERENCE STANDARD, THEN THAT ITEM MUST BE PROVIDED PER THE MORE STRINGENT REQUIREMENT. ANY DEVIATION OR OMISSION OF ANY WORK ITEM MUST MEET THE APPROVAL OF THE ARCHITECT PRIOR TO COMMENCEMENT OF THAT PORTION OF WORK.
- 3. ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTERLINE OF COLUMN OR TO OUTSIDE OF EXISTING BUILDING OR CANOPY FACE. THESE DIMENSIONS HAVE BEEN TAKEN OFF FROM EXISTING CONSTRUCTION DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED FOR EXACT ACCURACY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK BY ALL TRADES FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL USE THE LANDLORDS CONSTRUCTION MANAGER AS THEIR FIRST POINT OF CONTACT WITH THE LANDLORD. DURING BIDDING, ALL INQUIRES MUST BE DIRECTED TO THE CONSTRUCTION MANAGER. AFTER AWARD OF CONTRACT, THE GENERAL CONTRACTOR MAY CONTACT THE ARCHITECT WHEN THE LANDLORD CONSTRUCTION MANAGER IS UNOBTAINABLE.
- FOR CONFLICTS WITHIN THE DRAWINGS AND/OR SPECIFICATIONS, THE GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BIDS, ALL ITEMS INCLUDED WITHIN THESE DRAWINGS AND SPECIFICATIONS, EVEN IF IT IS FOUND TO BE CONTRADICTORY IN ANOTHER LOCATION WITHIN THESE DOCUMENTS. IF A CONFLICT IS FOUND, CONSULT WITH THE LANDLORDS CONSTRUCTION MANAGER FOR CLARIFICATION, EITHER IF FOUND DURING THE BIDDING, OR PRIOR TO THE COMMENCEMENT OF THAT CONFLICTING PORTION OF THE WORK.
- 6. WHERE THERE IS A DISCREPANCY ON THE CONTRACT DOCUMENTS WITH THE WORK, AND CONTRACTOR FAILED TO GET CLARIFICATION DURING THE BID PROCESS, THEN THE CONTRACTOR SHALL ASSUME IN HIS BID THE MOST STRINGENT OF THE ITEMS THAT ARE DISCREPANT.
- 7. ANY REFERENCE TO 'BY LANDLORD' SHALL CONSTITUTE THAT SUCH ITEM IS TO BE BY THIS CONTRACTOR. ANY REFERENCE TO 'BY TENANT' SHALL CONSTITUTE THAT SUCH ITEM IS TO BE BY A SEPARATE OTHER CONTRACTOR. ANY ITEM NOT LABELED AS 'EXISTING' OR 'EXG', SHALL BE CONSTRUED TO MEAN IT IS A NEW ITEM BY THIS CONTRACTOR. IN MANY REFERENCES, MOST NEW ITEMS ARE LABELED NEITHER; 'BY LANDLORD', NOR 'BY TENANT', BUT SHALL BE ASSUMED TO BE A NEW ITEM PERFORMED BY THIS CONTRACTOR.
- 8. THE GENERAL CONTRACTOR SHALL PROVIDE THE FOLLOWING DEFERRED SUBMITTALS WHICH SHALL BE RENDERED BY A PROFESSIONAL DESIGNER.
 A. FIRE ALARM SYSTEMS

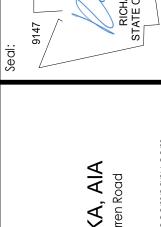
B. FIRE SPRINKLER SYSTEMS





Commercial & Industrial S577 Youngstown - Warre Niles, Ohio 44446 Phone: 330-747-2661





ATION AND EX

BUILDING CODE INFORMATION ANI DRAWING INDEX

> AOLITION OF UNIT 900-10 DUTH HILL MALL

SOUTH HILL MAI

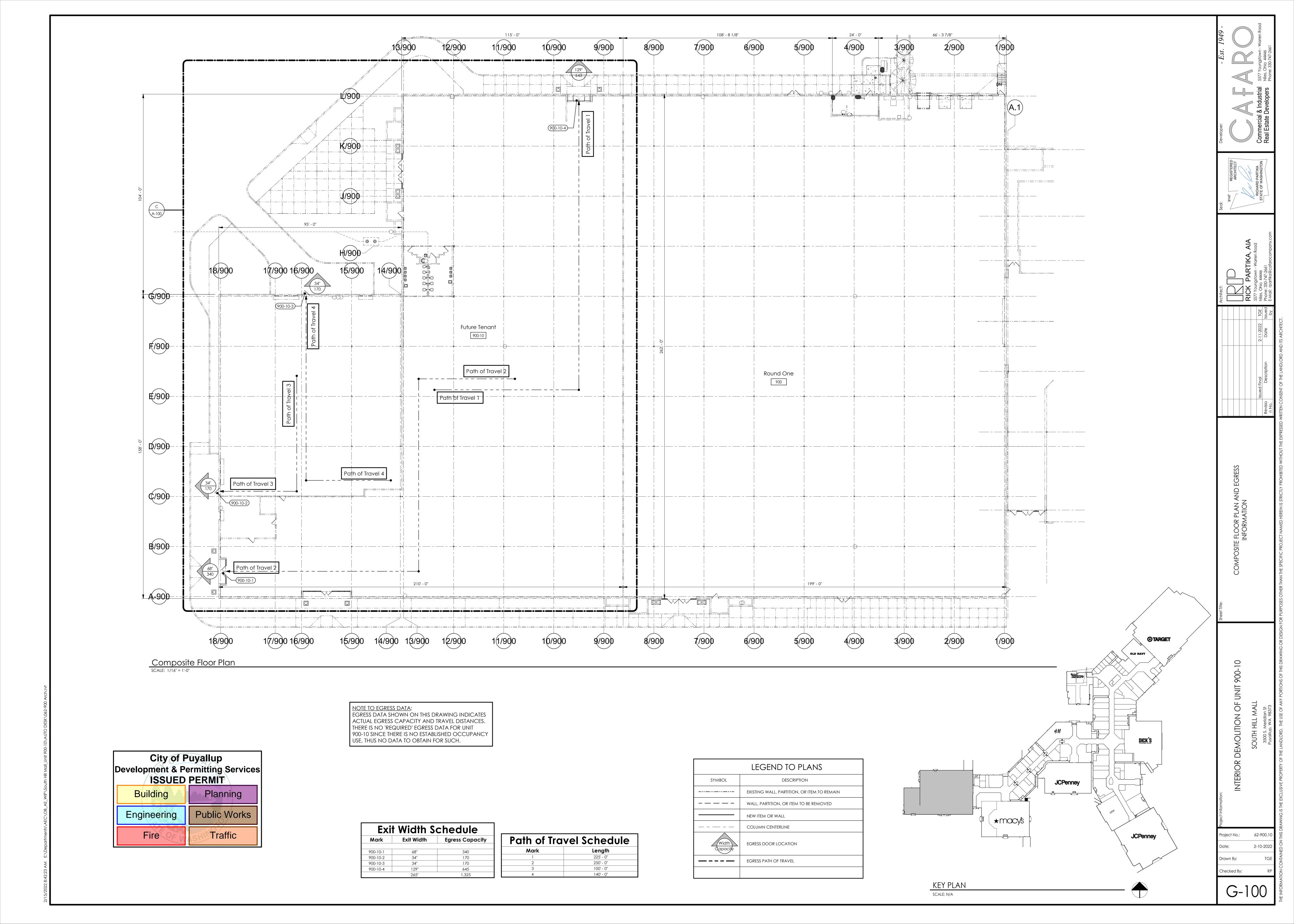
Project No.: 62-900.10

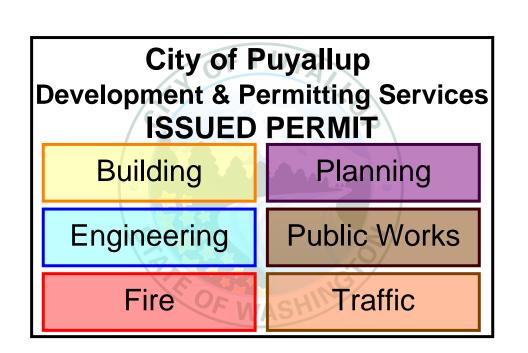
Date: 2-10-2022

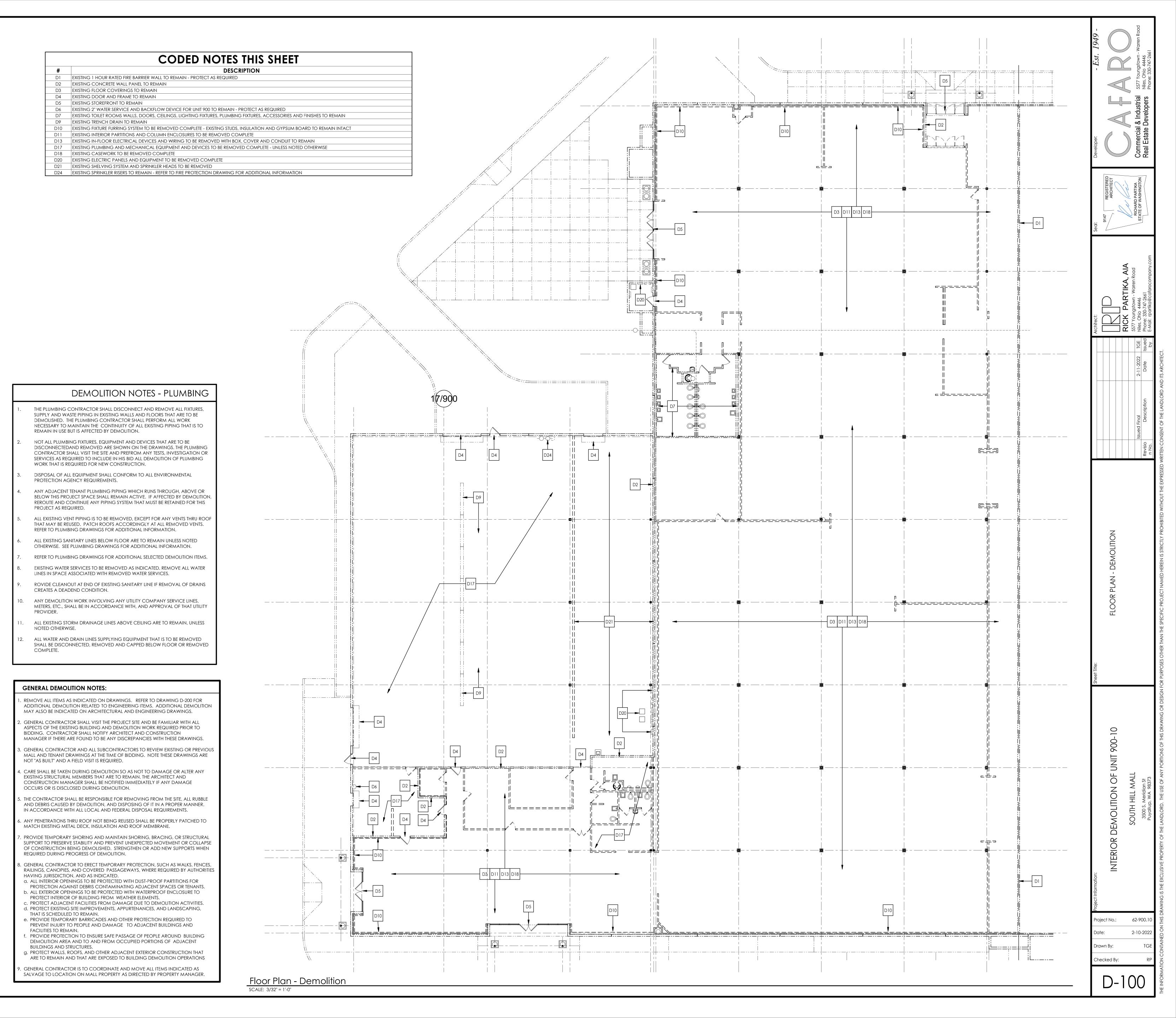
Drawn By: TGE

Checked By: RP

G-000







FLOOR DEMOLITION NOTES

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL FLOOR PATCHING (IF ANY) REQUIRED BY PLUMBING AND ELECTRICAL CONTRACTORS. ALL CONC. PATCHES ARE TO PROVIDE A SMOOTH AND LEVEL (± 1/4" IN 10'-0") FLOOR.
- IN ALL WALLS THAT ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING / OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REROUTE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
- GENERAL CONTRACTOR TO REMOVE ALL ELECTRICAL FLOOR DEVICES AS INDICATED

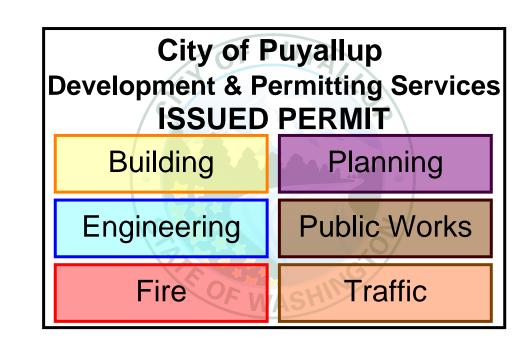
AND PATCH FLOOR AS REQUIRED.

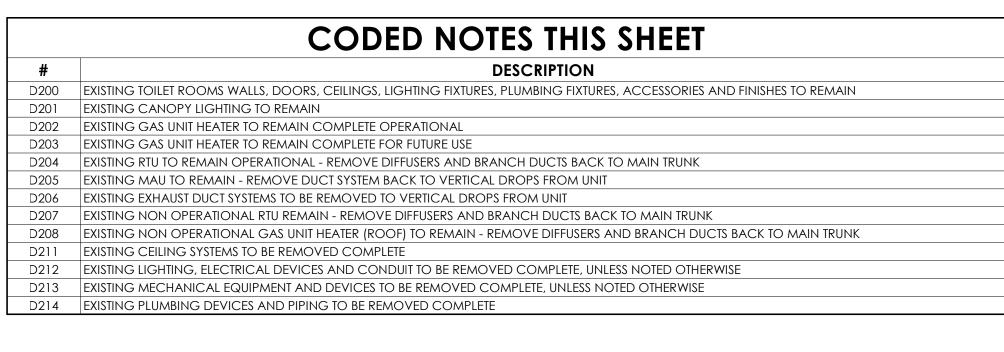
- PROVIDE TEMPORARY SHORING AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROCESS OF DEMOLITION.
- PROGRESS OF DEMOLITION.

 GENERAL CONTRACTOR IS TO CO-ORDINATE ALL DEMOLITION OF EXISTING FLOORS, WALLS AND CEILINGS (THAT ARE TO REMAIN) WHERE NEW ELECTRICAL, MECHANICAL, OR PLUMBING DEVICES ARE TO BE INSTALLED. THIS SHALL INCLUDE THE REMOVAL OF ALL ITEMS NECESSARY TO INSTALL DEVICE, COMPLETE, ALONG WITH THE PATCHING BACK OF THE AFFECTED FLOOR, WALL, OR CEILING

SURFACE.

SYMBOL DESCRIPTION EXISTING WALL, PARTITION, OR ITEM TO REMAIN WALL, PARTITION, OR ITEM TO BE REMOVED COLUMN CENTERLINE SLAB, CEILING AREA, OR ITEM TO BE REMOVED FLOOR COVERING TO BE REMOVED





DEMOLITION NOTES - FIRE SPRINKLER

- EXISTING FIRE SPRINKLER SYSTEM IS TO REMAIN INTACT AND OPERATIONAL AT LOCATIONS OF REMOVED CEILINGS, KEEP SPRINKLER HEADS TEMPORARILY INTACT UNTIL REDESIGNED BY CERTIFIED SPRINKLER
- EXISTING ZONED SPRINKLER AREAS TO REMAIN AS IS.
- EXISTING SPRINKLER SYSTEM IS TO BE MODIFIED BY CERTIFIED SPRINKLER CONTRACTOR. REFER TO FIRE PROTECTION DRAWING FOR ADDITIONAL INFORMATION AND DETAIL.
- ANY MALL, AND/OR TENANT FIRE SPRINKLER PIPING WHICH RUNS THROUGH THIS PROJECT SPACE SHALL REMAIN ACTIVE. IF AFFECTED BY DEMOLITION, REROUTE AND CONTINUE ANY PIPING SYSTEM THAT MUST BE RETAINED FOR THIS PROJECT.
- REFER TO FIRE PROTECTION DRAWINGS FOR ADDITIONAL SELECTED DEMOLITION ITEMS.
- CERTIFIED SPRINKLER CONTRACTO IS TO VERIFY FULL SCOPE OF WORK WITH FIELD VISIT AND, PROVID FULL DESIGN DRAWINGS AND CALCULATION AS REQUIRED.

DEMOLITION NOTES - ELECTRICAL

- ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ASSOCIATED CONDUIT AND WIRE IN THE AREA OF DEMOLITION. CIRCUITS TO EXISTING FIXTURES THAT ARE NOTED TO REMAIN SHALL BE MAINTAINED AND ALL WORK ASSOCIATED WITH MAINTAINING THE ELECTRICAL CONTINUITY OF THESE CIRCUITS SHALL BE PERFORMED BY THE ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO VERIFY IF EXISTING CONDUIT CAN BE REUSED FOR NEW CONSTRUCTION. CONTACT ARCHITECT OR CONSTRUCTION MANAGER PRIOR TO DEMOLITION PHASE.
- THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE ALL ELECTRICAL EQUIPMENT, DEVICES AND WIRING IN EXISTING WALLS AND CEILINGS THAT ARE TO BE DEMOLISHED. THE ELECTRICAL CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO MAINTAIN THE ELECTRICAL CONTINUITY OF ALL EXISTING CIRCUITS THAT ARE TO REMAIN IN USE BUT ARE AFFECTED BY DEMOLITION.
- NOT ALL ELECTRICAL FIXTURES, EQUIPMENT AND DEVICES THAT ARE TO BE DISCONNECTED AND REMOVED ARE SHOWN ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN HIS BID ALL DEMOLITION OF ELECTRICAL WORK THAT IS REQUIRED FOR NEW CONSTRUCTION.
- DISPOSAL OF ALL EQUIPMENT SHALL CONFORM TO ALL ENVIRONMENTAL PROTECTION AGENCY REQUIREMENTS.
- ANY MALL, AND/OR ADJACENT TENANT ELECTRICAL OR TELEPHONE CONDUITS OR WIRING WHICH RUNS THROUGH, ABOVE, OR BELOW THIS PROJECT SPACE SHALL REMAIN ACTIVE. IF AFFECTED BY DEMOLITION, REROUTE AND CONTINUE ANY ELECTRICAL SYSTEM THAT MUST BE RETAINED FOR THOSE ADJACENT AREAS.
- ANY DEMOLITION WORK INVOLVING ANY UTILITY COMPANY SERVICE, TRANSFORMER, TROUGH, DMARC, METER, ETC., SHALL BE IN ACCORDANCE WITH, AND APPROVAL OF THAT UTILITY PROVIDER.
- ALL EXISTING FIRE ALARM AND SECURITY ALARM SYSTEMS ARE TO BE

REMOVED COMPLETE.

LEGEND TO DEMOLITION PLANS

DEMOLITION NOTES - MECHANICAL

EQUIPMENT THAT IS TO BE REMOVED WITH THE ELECTRICAL CONTRACTOR.

CONTRACTOR TO DISPOSE OF ALL EQUIPMENT, PIPING, ETC., IN STRICT

ACCORDANCE WITH ALL LOCAL AND FEDERAL REGULATIONS, ALONG

ANY DEMOLITION WORK INVOLVING ANY UTILITY COMPANY SERVICE

LINES, METERS, ETC., SHALL BE IN ACCORDANCE WITH, AND APPROVAL

SPACE SHALL REMAIN ACTIVE. IF AFFECTED BY DEMOLITION, REROUTE AND CONTINUE ANY DUCT, CONTROLS, OR PIPING SYSTEM THAT MUST BE

ALL ELECTRICAL CIRCUITS FOR EQUIPMENT THAT IS TO BE REMOVED SHALL

BE DISCONNECTED AT SOURCE AND REMOVED COMPLETE. REFER TO

ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL SELECTED

ANY MALL AND/OR ADJACENT TENANT MECHANICAL DUCTS, CONTROLS, OR PIPING WHICH RUNS THOUGH, ABOVE, OR BELOW THIS PROJECT

COORDINATE THE DEMOLITION OF ANY POWERED MECHANICAL

WITH ANY ASSOCIATED DISPOSAL FEES AND EXPENSES.

OF THAT UTILITY PROVIDER.

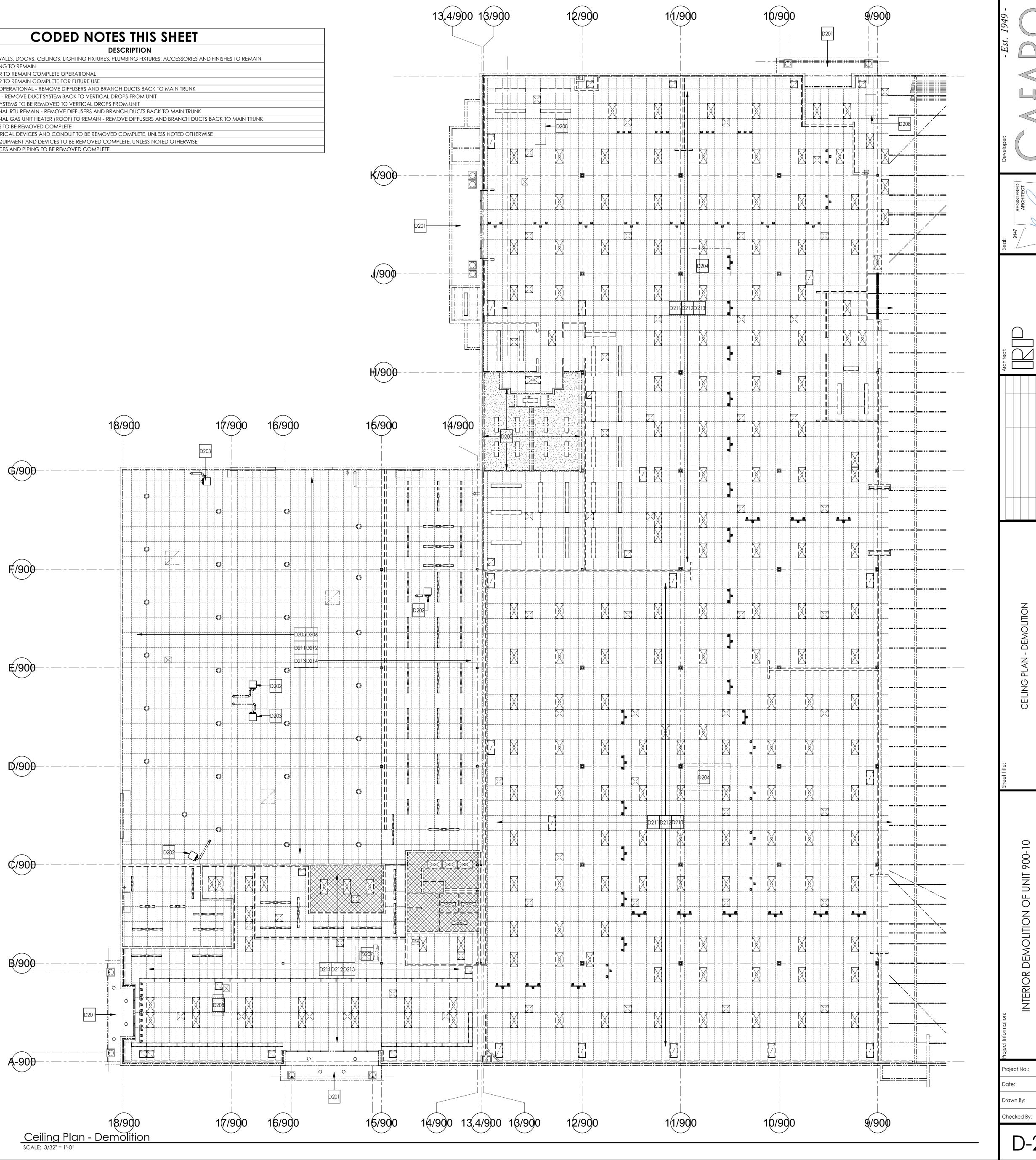
RETAINED FOR THIS PROJECT.

DEMOLITION ITEMS.

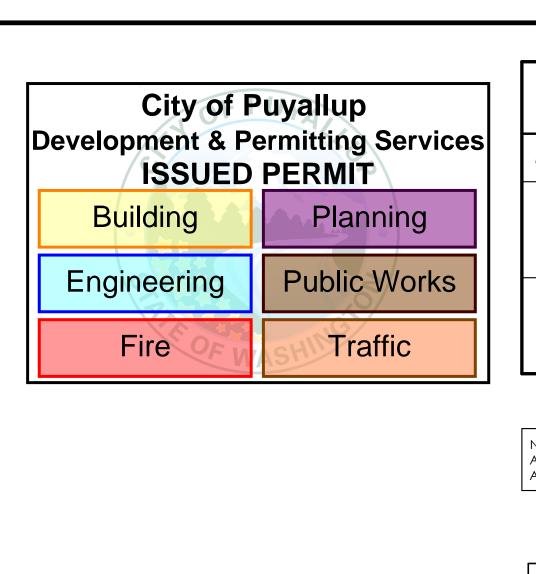
ı	Symbol	DESCRIPTION
		EXISTING WALL, PARTITION, OR ITEM TO REMAIN
		WALL, PARTITION, OR ITEM TO BE REMOVED
		COLUMN CENTERLINE
		SLAB, CEILING AREA, OR ITEM TO BE REMOVED
		FLOOR COVERING TO BE REMOVED

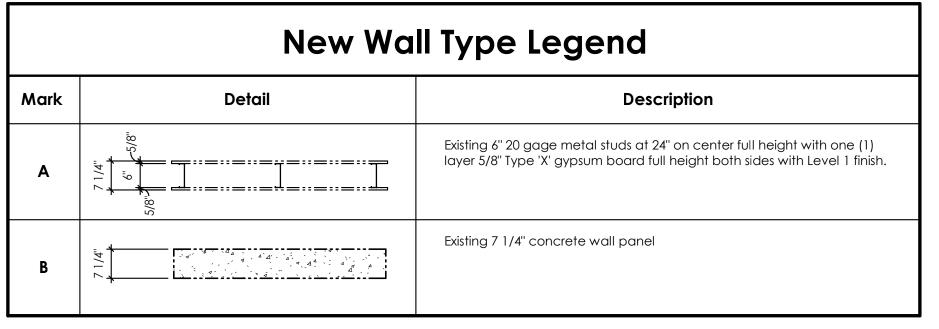
CEILING DEMOLITION NOTES

- IN ALL CEILINGS THAT ARE REMOVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING AT SOURCE AND REMOVING OR CAPPING ANY ELECTRICAL, PLUMBING, GAS LINES AND MECHANICAL DUCTWORK THAT IS DISCLOSED AND NOT SCHEDULED FOR REUSE. REROUTE AND CONTINUE ANY SYSTEM THAT MUST BE RETAINED FOR ADJACENT BUILDING AREAS THAT ARE NOT IN THIS CONTRACT.
- EXISTING FIRE PROTECTIONS SYSTEM IS TO REMAIN INTACT AND OPERATIONAL. REFER TO FIRE PROTECTION AND ARCHITECTURAL DRAWINGS FOR EXTENT OF REQUIRED MODIFICATIONS TO THE EXISTING SYSTEM.



2-10-2022



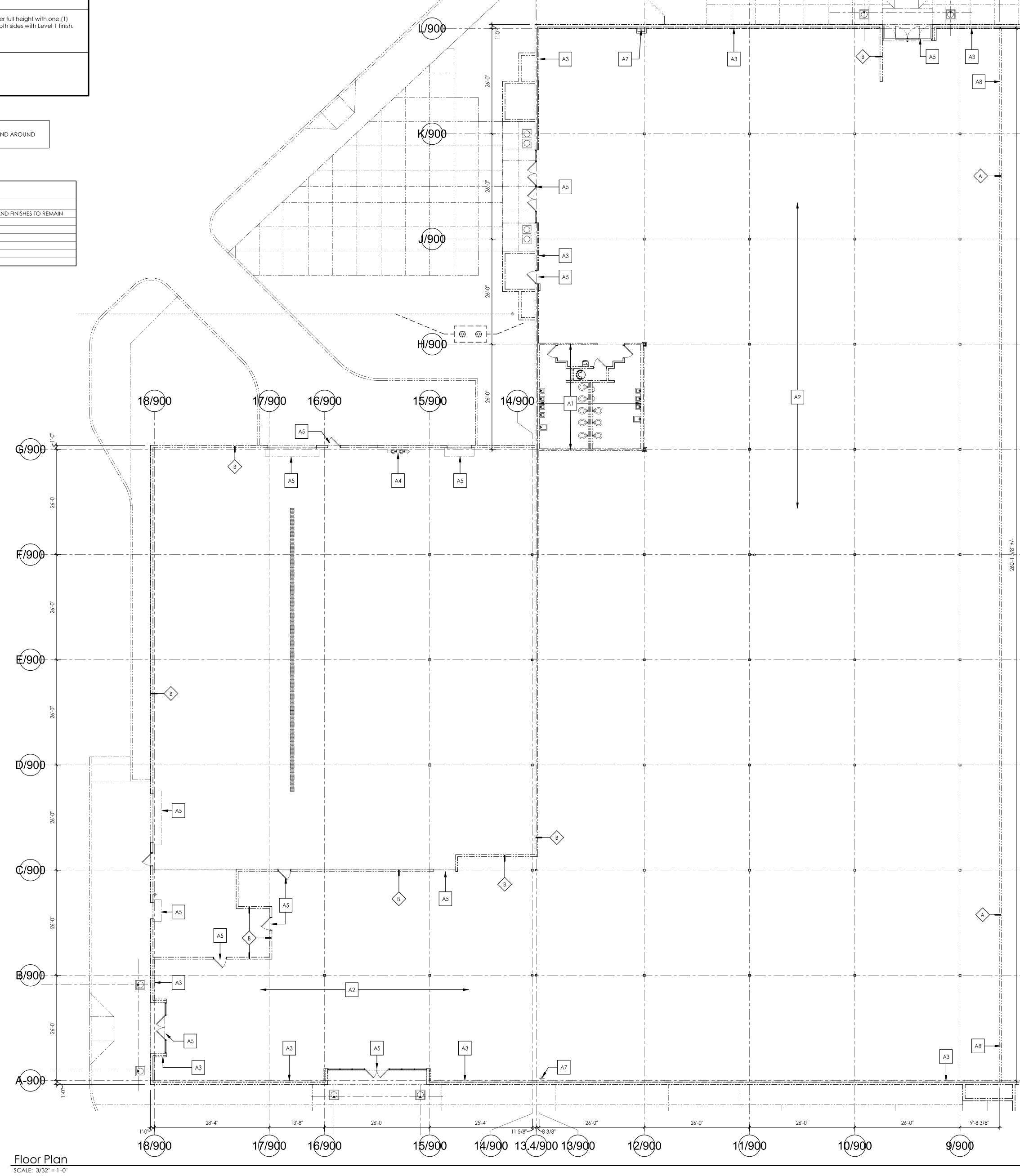


NOTE:
ALL FIRE RATED WALLS INDICATED TO GO TO DECK, SHALL HAVE REQUIRED FIRE RATING CONTINUOUS FRAMED UP AND AROUND ALL ROOF STEEL MEMBERS WITH ALL JOINTS PROPERLY FIRE CAULKED TO MAINTAIN FIRE RATING.

A7 EXISTING ROOF DRAIN LEADER TO REMAIN

A8 EXISTING 1 HOUR RATED FIRE BARRIER WALL TO REMAIN - PROTECT AS REQUIRED

CODED NOTES THIS SHEET				
#	DESCRIPTION			
A1	EXISTING TOILET ROOMS WALLS, DOORS, CEILINGS, LIGHTING FIXTURES, PLUMBING FIXTURES, ACCESSORIES AND FINISHES TO REMAIN			
A2	EXISTING FLOOR FINISHES TO REMAIN			
A3	EXISTING PERIMETER WALL STUDS, INSULATION AND GYPSUM BOARD TO REMAIN			
A4	EXISTING SPRINKLER RISERS TO REMAIN			
A5	EXISTING DOOR AND FRAME TO REMAIN			

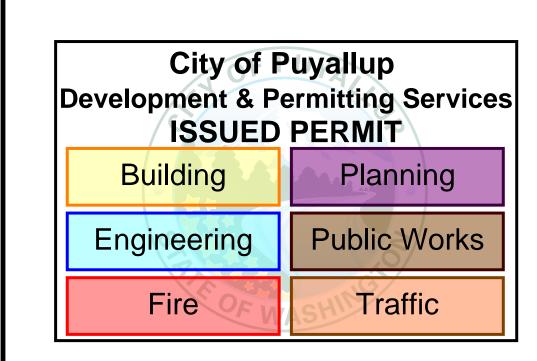


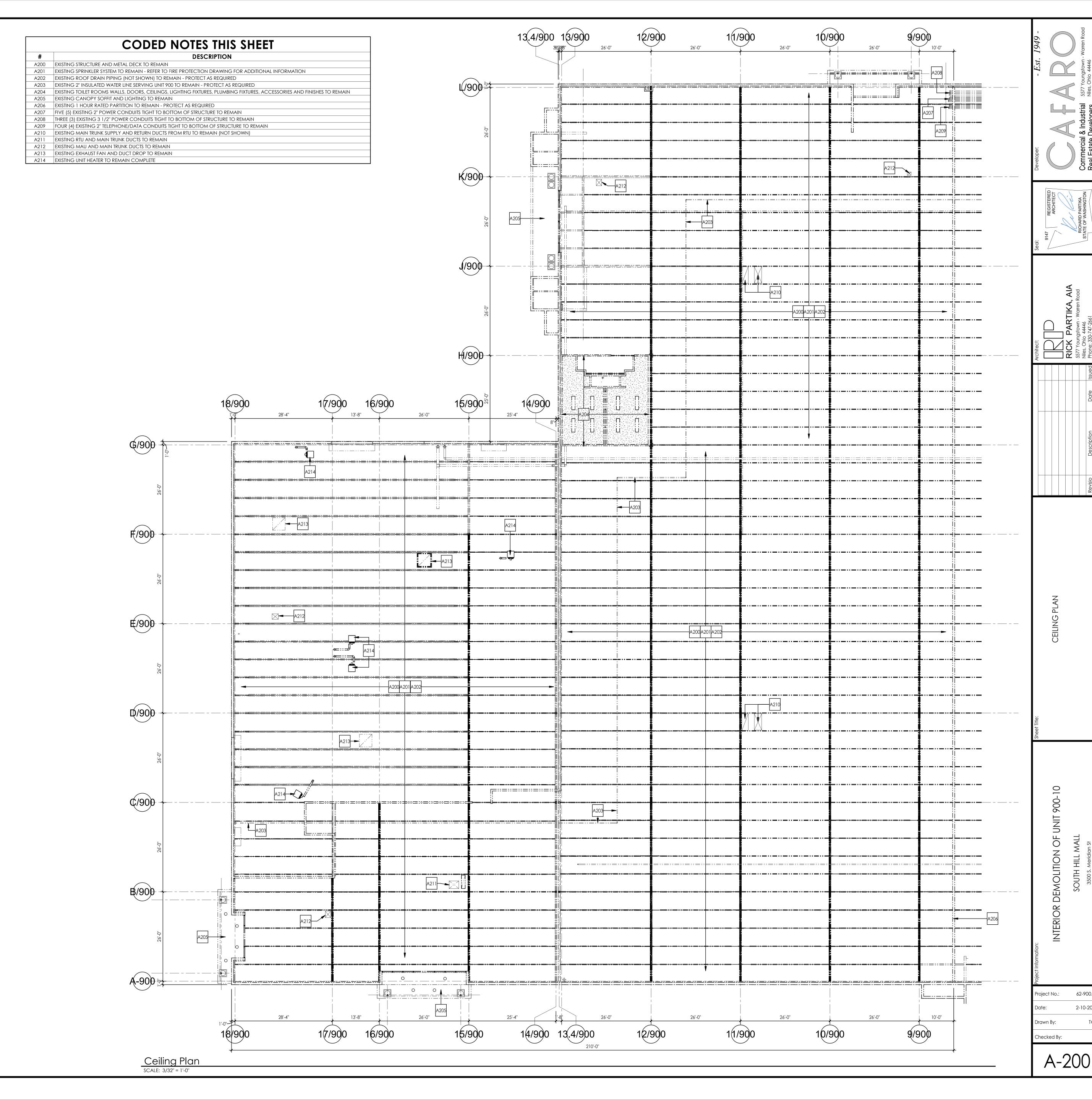
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Project No.:

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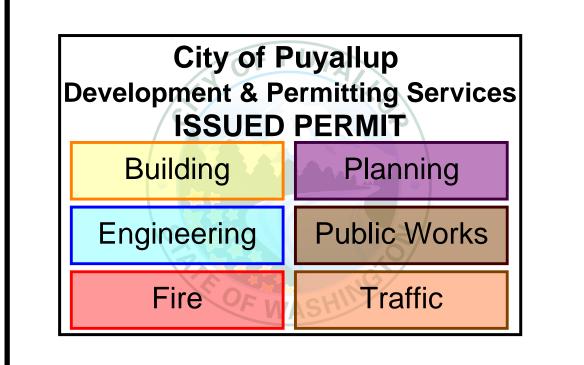
	LEGEND TO PLANS		
SYMBOL	DESCRIPTION		
	EXISTING WALL, PARTITION, OR ITEM TO REMAIN		
	WALL, PARTITION, OR ITEM TO BE REMOVED		
	NEW ITEM OR WALL		
	COLUMN CENTERLINE		
⟨x⟩	WALL TYPE SYMBOL, REFER TO LEGEND, ABOVE FOR ADDITIONAL INFORMATION		

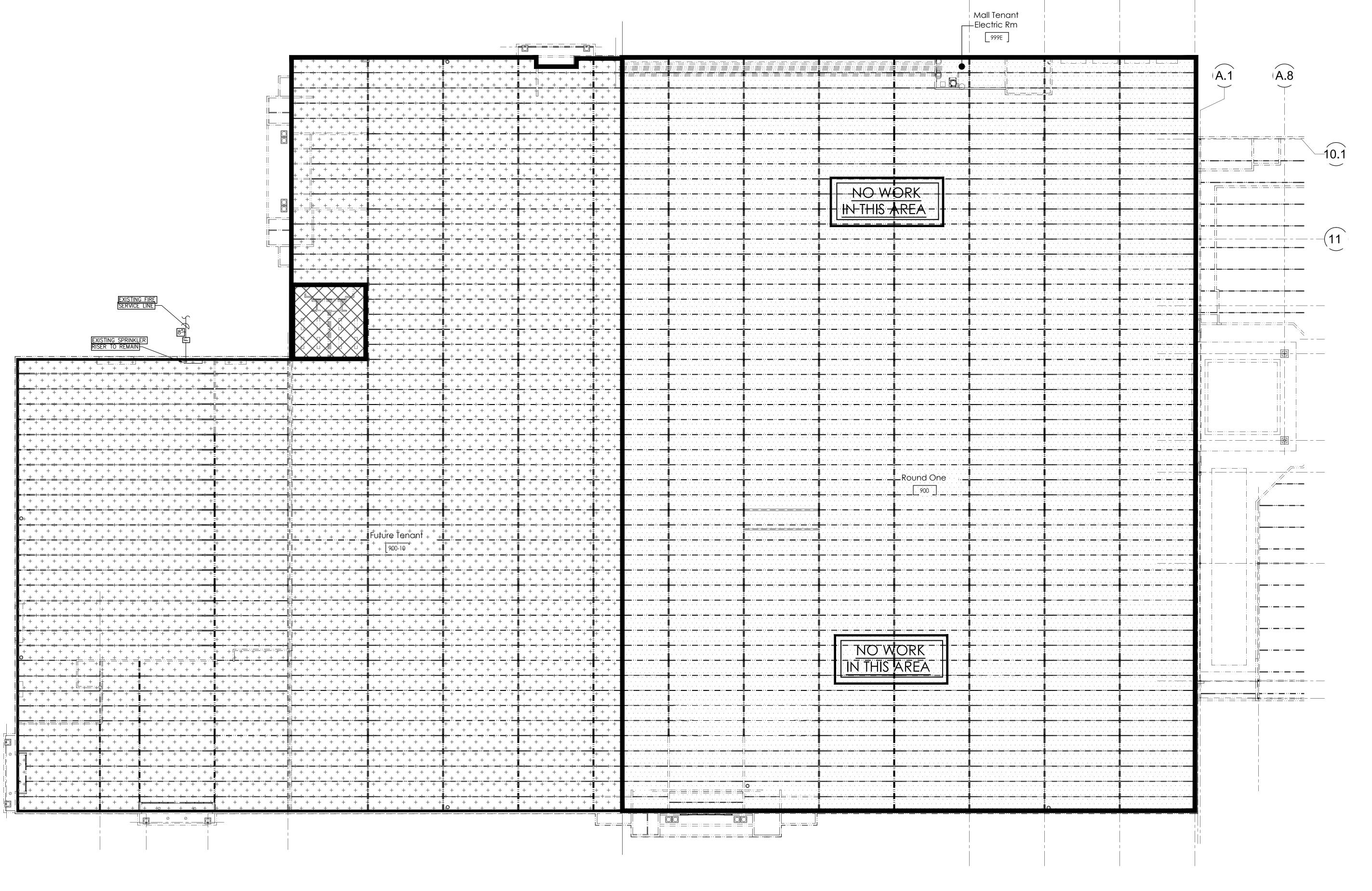




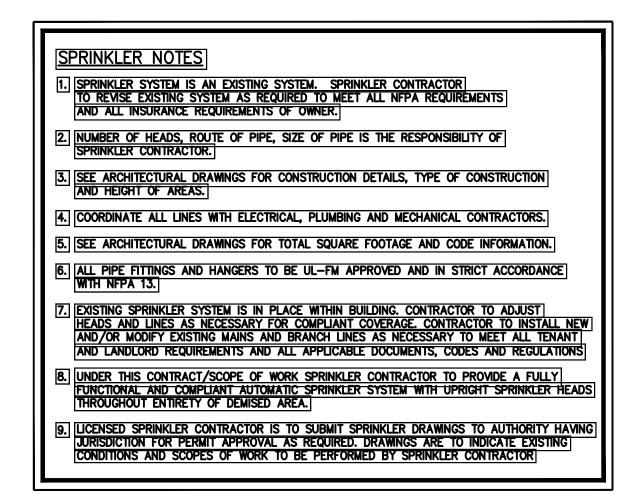
LEGEND TO PLANS		
SYMBOL	DESCRIPTION	
	EXISTING WALL, PARTITION, OR ITEM TO REMAIN	
	WALL, PARTITION, OR ITEM TO BE REMOVED	
	NEW ITEM OR WALL	
	COLUMN CENTERLINE	
×	WALL TYPE SYMBOL, REFER TO LEGEND, ABOVE FOR ADDITIONAL INFORMATION	

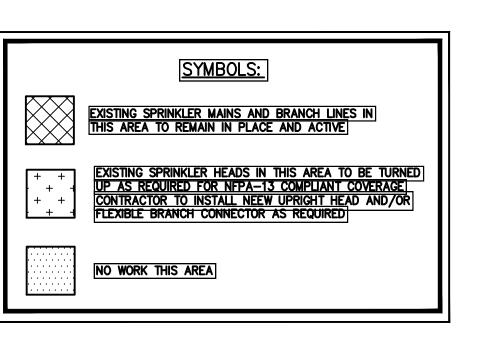
Departments\AEC\OB_AE_WIP\South Hill Mall_Unit 900-10\AUTO DESK\062-900





Ceiling Plan - Fire Protection





62-900.10 roject No.: 2-10-2022 Drawn By: Checked By: FP-200