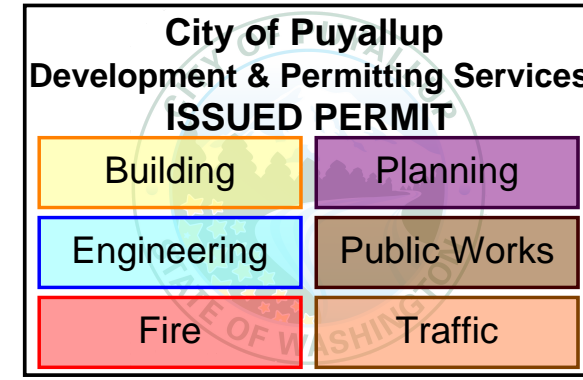


300 BLDG - LARSON AUTOMOTIVE GROUP

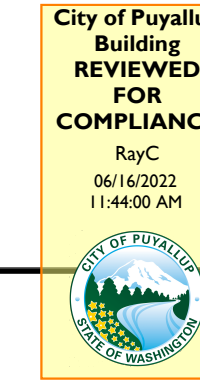
300 RIVER ROAD
PUYALLUP, WASHINGTON 98371

Demolition only; this plan does not include shoring or construction plans. Separate permits are required for construction. Shoring for emergency needs may be done under the direction of the engineer of record and approval by the City of Puyallup building inspector.



THE APPROVED CONSTRUCTION PLANS AND ALL ENGINEERING MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

Approval of submitted plans is not an approval of omissions or oversight by this office or non-compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.



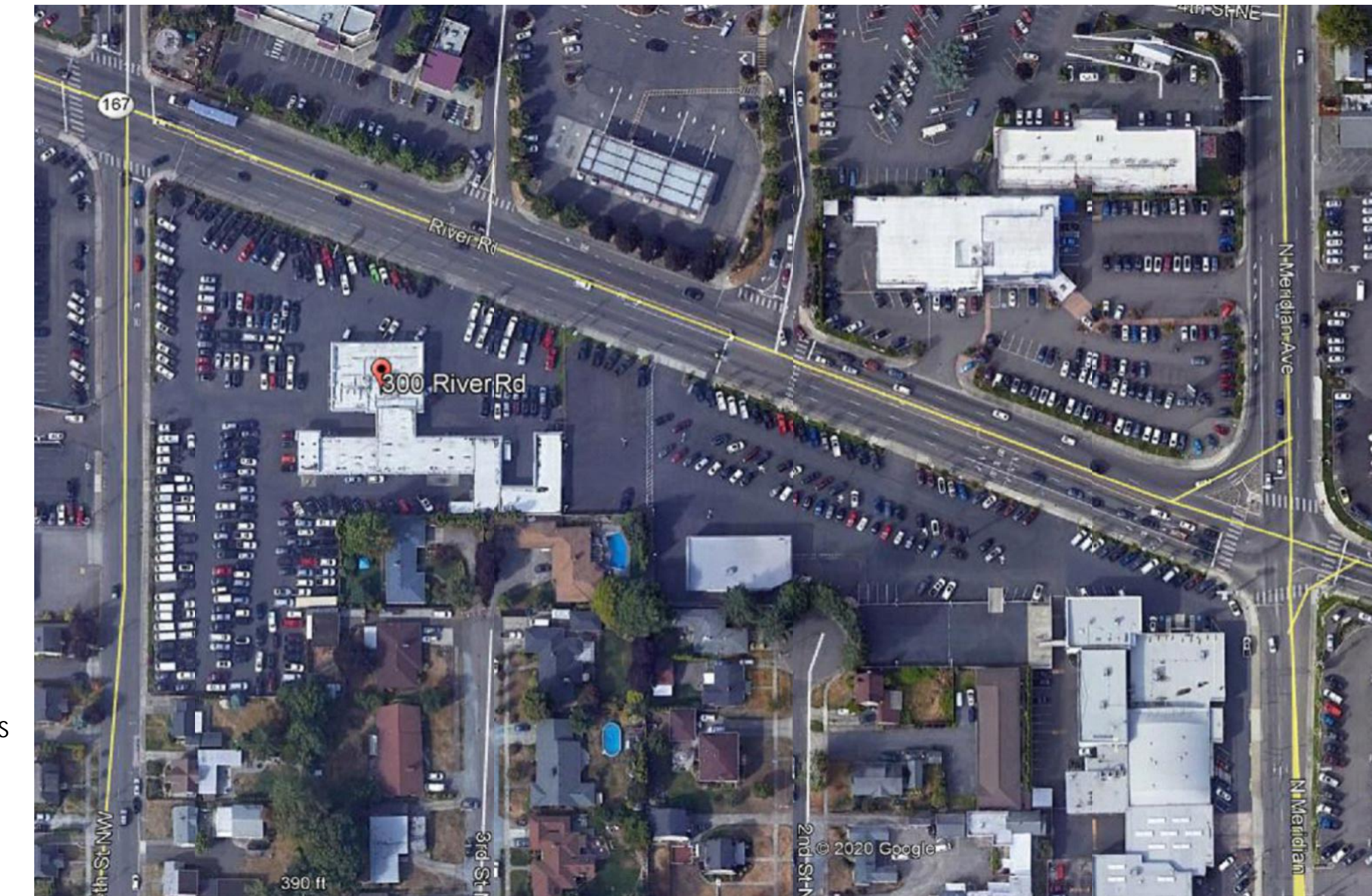
CONCEPT IMAGE



SHEET INDEX

- GENERAL**
G1.1 COVER SHEET
- CIVIL**
C1.0 CIVIL COVER
C1.1 GENERAL NOTES
C1.2 GENERAL NOTES
C2.0 EXISTING CONDITIONS
C2.1 TESC & DEMOLITION PLAN
C2.2 TESC DETAILS
C3.0 CIVIL SITE PLAN
C3.1 CIVIL DETAILS
C3.2 CIVIL DETAILS
C4.0 GRADING AND DRAINAGE PLAN
C4.1 GRADING ENLARGEMENTS
C4.2 STORM DRAINAGE DETAILS
C5.0 UTILITY PLAN
C5.01 UTILITY AND LANDSCAPE OVERLAY PLAN
C5.1 WATER DETAILS
C5.2 SEWER DETAILS
- LANDSCAPE**
L1.0 LANDSCAPE PLANS
L1.1 PLANT LEGEND AND IMAGE
L1.2 PUYALLUP STANDARD PLANTING AND SOIL DETAILS
- ARCHITECTURAL**
A0.1 OCCUPANT LOAD / EGRESS PLAN
A1.0 SITE PLAN
A1.1 EXISTING & DEMOLITION PLAN
A2.1 NOT USED
A2.2 PROPOSED FLOOR PLAN
A2.3 PROPOSED FLOOR PLAN
A2.4 PROPOSED FURNITURE / FIXTURE PLAN
A2.5 PROPOSED FLOOR FINISH PLAN
A2.6 PROPOSED REFLECTED CEILING PLAN
A2.7 PROPOSED ROOF PLAN
A2.8 PROPOSED ROOF PLAN & DETAILS
A3.1 EXISTING ELEVATIONS
A3.2 PROPOSED ELEVATIONS
A3.3 ELEVATIONS
A4.1 BUILDING SECTIONS
A4.2 WALL SECTIONS
A4.3 WALL SECTIONS
A5.1 SECTIONS
A5.2 SECTIONS
A5.3 SECTIONS
A6.1 SCHEDULES
A6.2 INTERIOR MATERIALS LEGEND
A6.3 INTERIOR ELEVATIONS
A6.4 INTERIOR ELEVATIONS
A9.1 DETAILS
- STRUCTURAL**
S1.1 GENERAL NOTES
S1.2 GENERAL NOTES
S1.3 GENERAL NOTES
S1.4 GENERAL NOTES
S1.5 GENERAL NOTES
S1.11 SNOW DRIFT MAP
S1.12 WIND UPLIFT MAP
S2.1 FOUNDATION PLAN
S2.2 GRADE LEVEL FRAMING PLAN
S2.3 ROOF FRAMING PLAN
S3.1 FOUNDATION DETAILS
S3.2 FOUNDATION DETAILS
S3.3 CONCRETE SLAB ON DETAILS
S5.1 WOOD FRAMING DETAILS
S5.2 WOOD FRAMING DETAILS
S5.3 WOOD FRAMING DETAILS
S5.4 WOOD FRAMING DETAILS
S5.5 WOOD FRAMING DETAILS
S6.1 STEEL FRAMING DETAILS
S6.2 STEEL FRAMING DETAILS
S7.1 COLD-FORMED STEEL FRAMING DETAILS

VICINITY MAP



PROJECT DIRECTORY

OWNER
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Email: marknelson@looklarson.com

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1250 Pacific Avenue, Suite 701
Tacoma, WA 98402
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Email: dtappel@pcs_structural.com

SITE DATA

- A. STREET ADDRESS
300 RIVER ROAD, PUTALLUP, WA 98371
- B. PARCEL NUMBER(S)
0420214010, 0420214027 & 0420281154
- C. PROPERTY AREA
3.054 ACRES

BUILDING CODE DATA

- A. APPLICABLE CODE
2018 INTERNATIONAL BUILDING CODE
2018 WA STATE ENERGY CODE AS APPLICABLE TO THE PROPOSED ADDITION
- B. USE
AUTOMOTIVE SALES & SERVICE
- C. CONSTRUCTION TYPE
TYPE V-B, NON-SEPARATED USES
- D. OCCUPANCY TYPE
S1 MOTOR VEHICLE REPAIR GARAGE
M MECHANICAL
B BUSINESS (ACCESSORY USE PER 508.2.3)
- E. AREA OF BUILDING (SF)
EXISTING BUILDING: 10,560 SF
PROPOSED BUILDING AREA: 11,091 SF
TOTAL AREA: 21,651 SF
- E. ALLOWABLE AREA
ALLOWABLE AREA: 36,000 SF PER TABLE
S-1 OCCUPANCY: 506.2, TYPE V-B, SPRINKLERED
- GROSS FLOOR AREA AS PROPOSED:
21,816 SF
THEREFORE COMPLIES
- MAX FIRE AREA PER 2018 IFC, 903.2.9:
12,000 SF FOR S-1 OCCUPANCY
EXISTING S-1 AREA: 11,716 SF COMPLIES

WASHINGTON STATE ENERGY CODE COMPLIANCE

ENVELOPE INSULATION COMPLIANCE: COMPONENT PERFORMANCE IDENTIFICATION MARKS SHALL BE APPLIED TO ALL INSTALLED INSULATION MATERIALS SUCH THAT THE MARK IS READILY OBSERVABLE DURING INSPECTION.
PROJECT CLOSEOUT DOCUMENTATION:
ALL REQUIRED PROJECT CLOSEOUT DOCUMENTATION REQUIRED PER ARTICLE C103.6 SHALL BE PROVIDED TO THE BUILDING OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE WITHIN 180 DAYS OF THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY.

INSPECTOR: ENERGY COMPLIANCE REPORTS ARE INCLUDED WITH PLAN SET, MECHANICAL & ELECTRICAL LIGHTING PLANS.

PROJECT DESCRIPTION

DEMOLITION OF SHOWROOM MODULE:

APPROVED PLAN
CITY OF PUYALLUP
PLANNING DIVISION

APPROVED BY: NComstock
DATE: 06/22/2022
CASE NO.: PRDE20220927
CONDITIONS: SEPA completed and approved as part of preliminary site plan P-21-0052

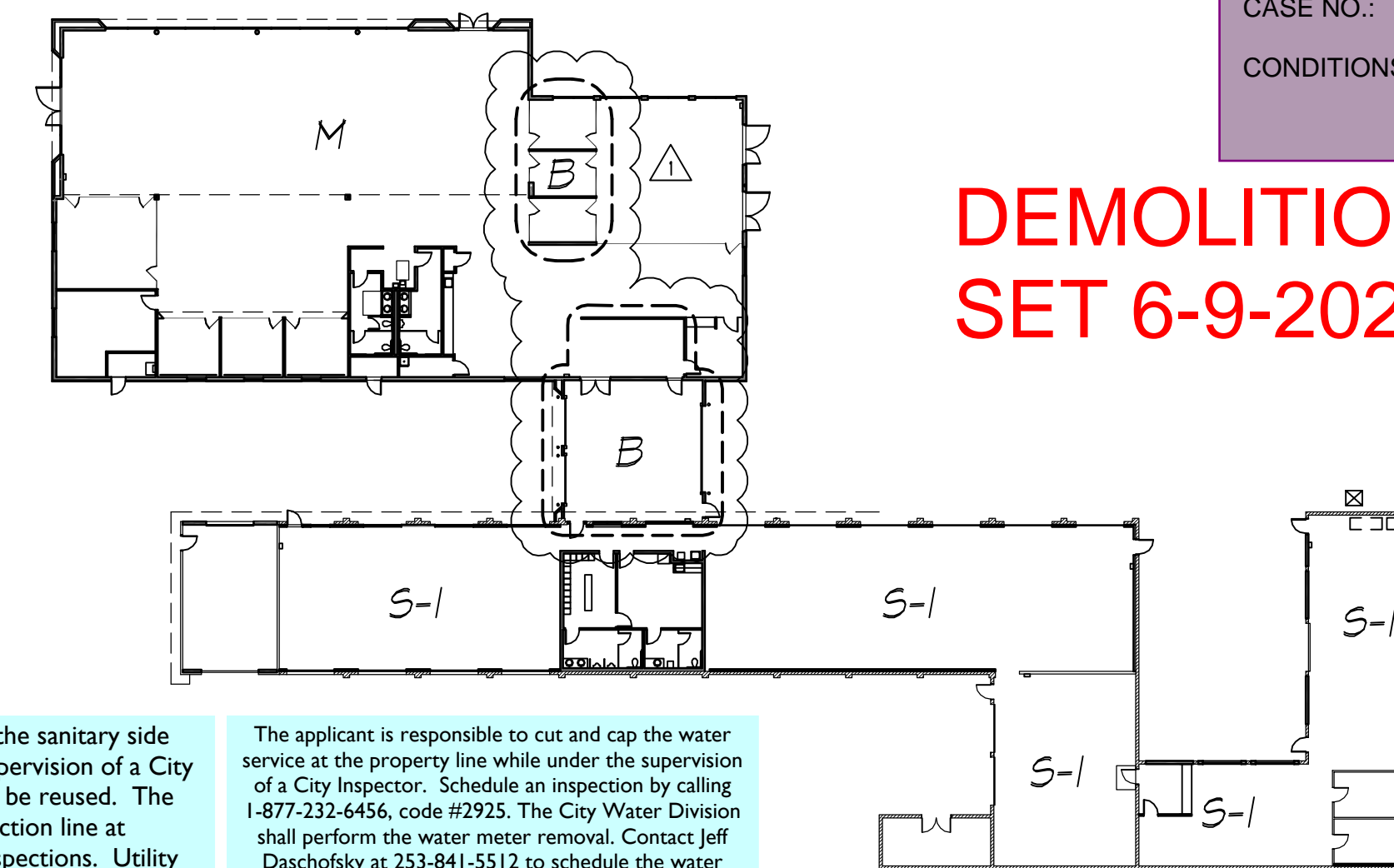
DEMOLITION PERMIT
SET 6-9-2022



Refer to the Stormwater Fact Sheet and City standard details 02.03.02 & 05.02.01 for typical erosion and sedimentation control methods. Attached in CityView

The applicant is responsible to cut and cap the sanitary side sewer at the property line while under the supervision of a City Inspector. The existing side sewer shall not be reused. The applicant is responsible to call the inspection line at 1-877-232-6456, code #2925 to schedule inspections. Utility inspections are required prior to backfilling.

The applicant is responsible to cut and cap the water sewer at the property line while under the supervision of a City Inspector. Schedule an inspection by calling 1-877-232-6456, code #2925. The City Water Division shall perform the water meter removal. Contact Jeff Daschosky at 253-841-5512 to schedule the water meter removal.



CODE PLAN

OCCUPANCY SEPARATIONS PER TABLE 508.4: NONE REQUIRED
S-1 OCCUPANCY: 10,560 SF
B OCCUPANCY: 1,632 SF (ACCESSORY USE)
M OCCUPANCY: 9,459 SF
TOTAL: 21,651 SF

MECHANICAL/ELECTRICAL

300 BLDG
LARSON AUTOMOTIVE GROUP
300 RIVER ROAD
PUYALLUP, WASHINGTON 98371

PERMIT SET

REVISIONS:
1 MAR 29, 2022
2 MAY 10, 2022

CONTRACTOR SHALL VERIFY AND COORDINATE THE DIMENSIONS AND DETAILS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR VARIATIONS FROM CONDITIONS SHOWN. DO NOT SCALE DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF CASTINO ARCHITECTURE. ALL DRAWINGS, DECISIONS AND OTHER INFORMATION ON THE DRAWINGS ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESS WRITTEN PERMISSION OF JAMES H. CASTINO, AIA. ARCHITECT ACCEPTS NO LIABILITY AND SHALL BE HELD HARMLESS FROM ANY RESPONSIBILITY FOR DAMAGES RESULTING FROM REVISIONS, CHANGES OR ADAPTATIONS TO THESE DRAWINGS.

5438 REGISTERED ARCHITECT
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JAMES H. CASTINO
STATE OF WASHINGTON

Castino
Architecture

James Castino
Principal
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Gig Harbor, WA 98332
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EMAIL: jimplot22@gmail.com

DATE: JAN. 21, 2022
DRAWN BY: PDS
PROJECT NO.:
FILE NAME:

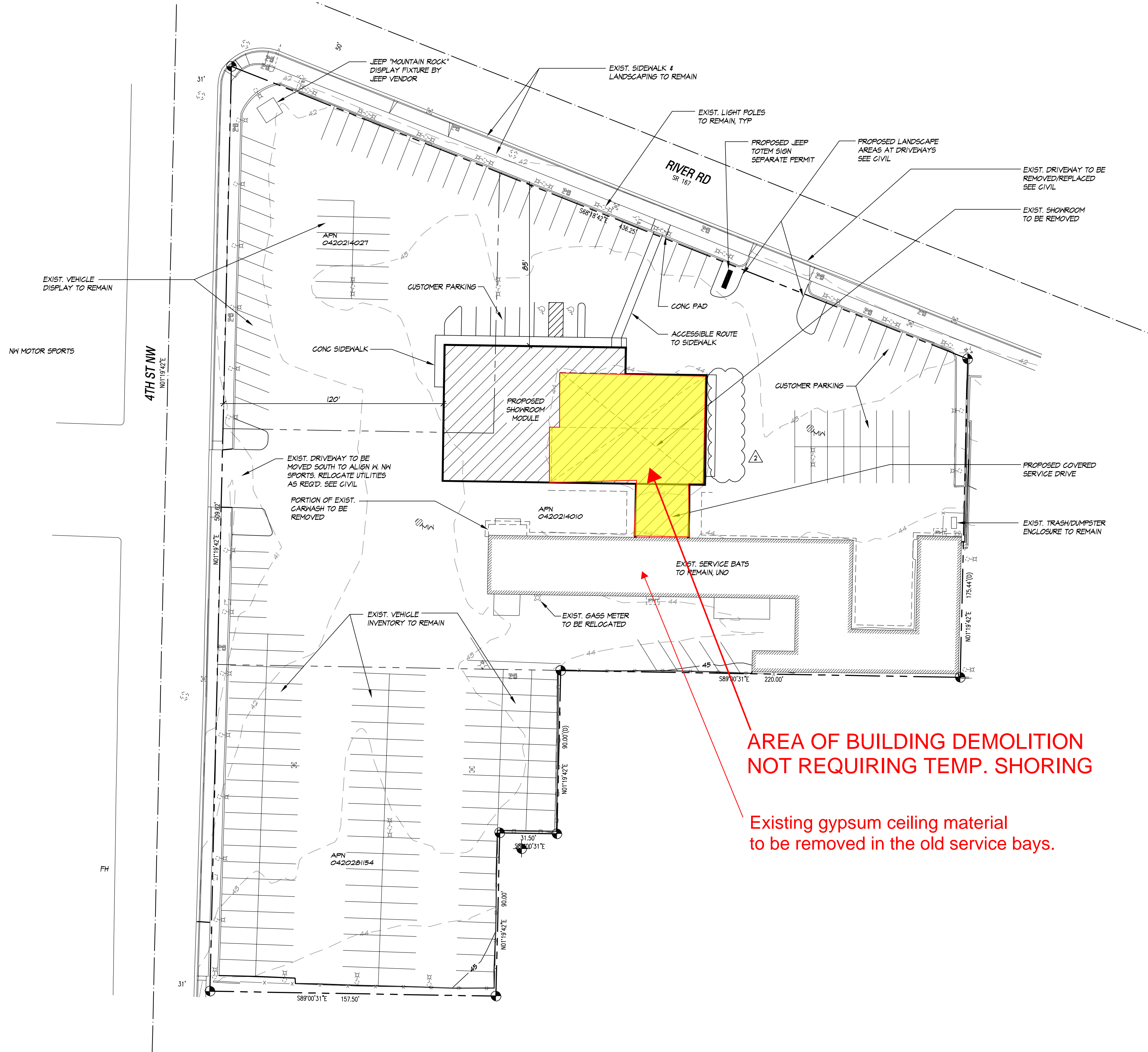
COVER SHEET

SHEET NO:
G1.1

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JEEP PROPOSED AREAS			
PROGRAM	REQUIRED	PROPOSED	VARIANCE
Building Area	31,481 SF	21,826 SF	-9,655 SF
Total Parking Area	130,410 SF	38,650 SF	-91,760 SF
Vehicle Quantity	420	192	-228
New	47,250 SF	19,520 SF	27,230 SF
Vehicle Qty	175	102	-73
Pre-Owned	24,300 SF	16,480 SF	-7,826 SF
Vehicle Qty	30	76	-14
Customer/Employee	41,850 SF	2650 SF	-39,200 SF
Vehicle Qty	155	14	-141
Land & Building Area	161,891 SF	60,476 SF	-101,415 SF
Total Site Area	174,932 SF	134,468 SF	-40,464 SF
	4.0 Acres	3.08 Acres	-0.92 Acres

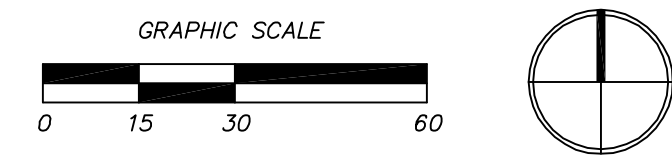
NOTES:
 1. Most employee parking will be located across the street at the other owned property.
 2. Site area for vehicle parking/inventory are without coefficients for circulation or landscaping.



AREA OF BUILDING DEMOLITION NOT REQUIRING TEMP. SHORING
 Existing gypsum ceiling material to be removed in the old service bays.

City of Puyallup
 Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



300 BLDG
LARSON AUTOMOTIVE GROUP
 300 RIVER ROAD
 PUYALLUP, WASHINGTON 98371

PERMIT SET

REVISIONS:
 MAY 10, 2022

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 EMAIL: jimplot22@gmail.com

DATE: JAN. 21, 2022
 DRAWN BY: PDS
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 FILE NAME:

SITE PLAN

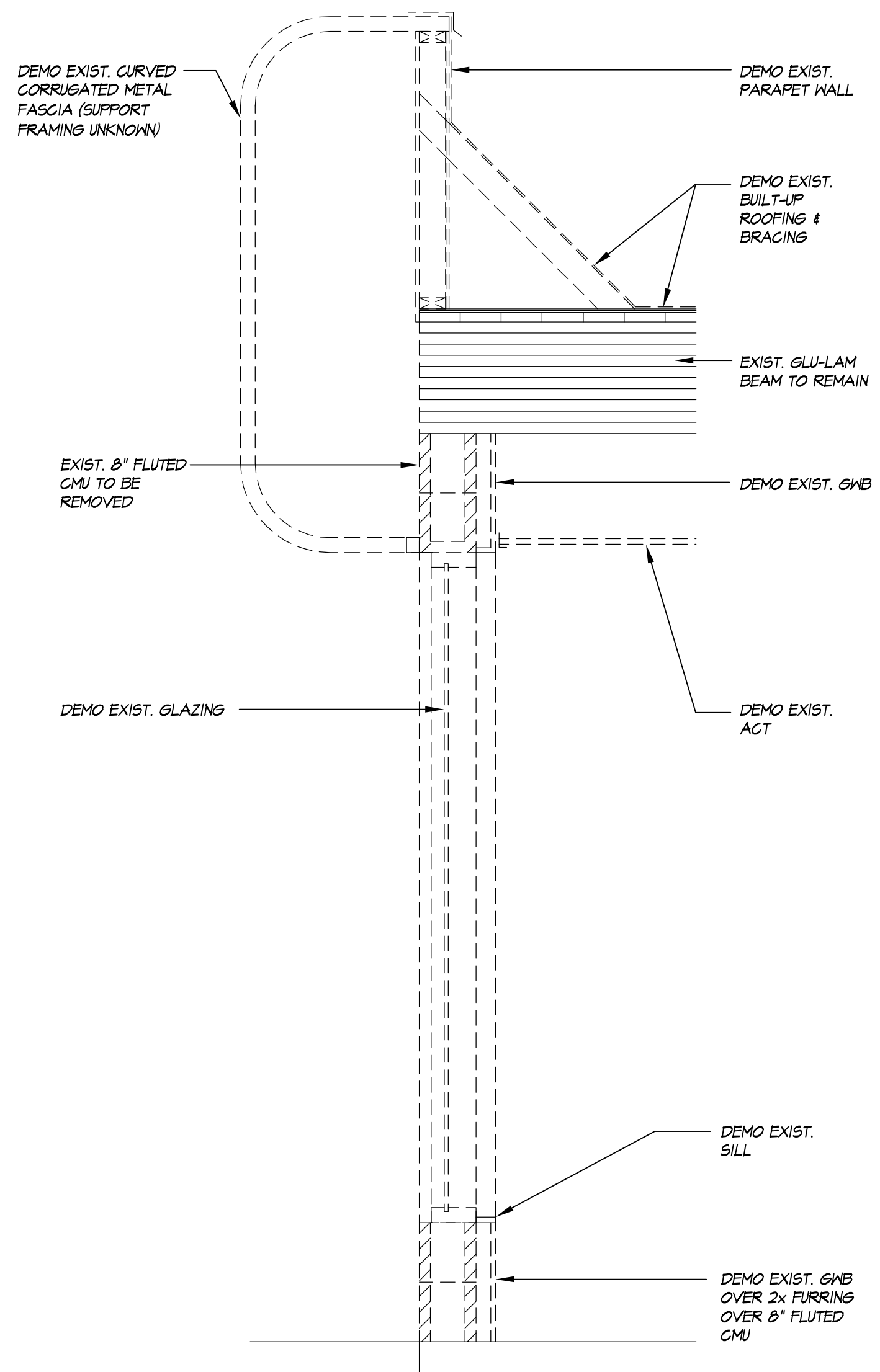
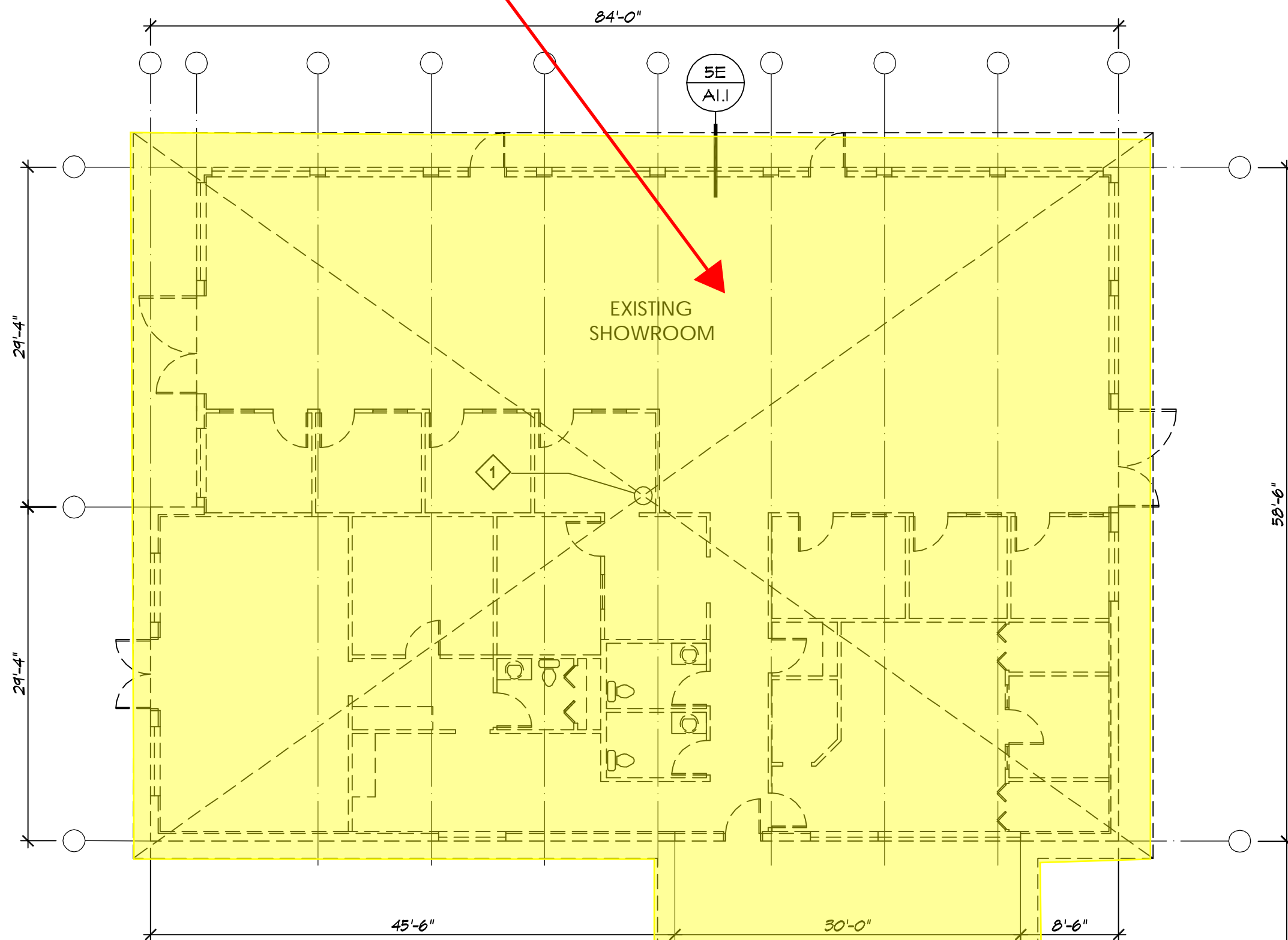
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A1.0

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City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

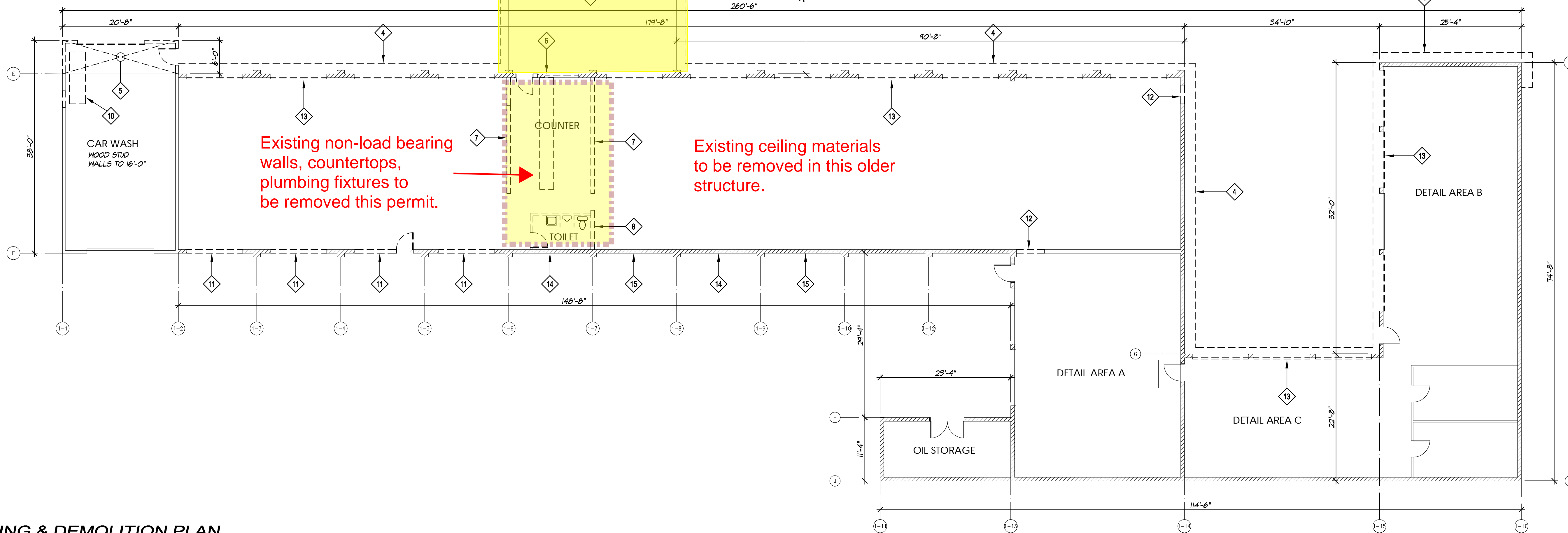
AREA OF BUILDING DEMOLITION
THIS PERMIT



DEMOLITION KEY NOTES

- 1 FOOTPRINT OF ENTIRE SHOWROOM & CUSTOMER AREAS TO BE DEMOLISHED
- 2 NOT USED
- 3 NOT USED
- 4 DEMO EXISTING CURVED METAL PARAPET - TYPICAL ALL LOCATIONS
- 5 AT EXISTING CARWASH, DEMO PORTIONS OF EXISTING WALLS TO REDUCE FOOTPRINT, DEMO ENTIRE ROOF STRUCTURE ASSEMBLY, PROVIDE TEMPORARY SHORING AS REQ'D
- 6 NOT USED
- 7 DEMO EXISTING INTERIOR NON-BEARING HOOD FRAMED WALLS TO UNDERSIDE OF ROOF DECK, PROVIDE TEMPORARY SHORING AS REQ'D
- 8 DEMO EXISTING TOILET ROOM IN ITS ENTIRETY, SAWCUT EXISTING SLAB TO EXPOSE EXIST. WASTE LINE, EXERCISE CARE TO PROTECT WASTE LINE
- 9 DEMO EXISTING SERVICE WRITE-UP FLOOR SLAB & ROOF STRUCTURE
- 10 DECOMMISSION EXISTING WATER RECLAIM EQUIPMENT, DISCONNECT WATER/WASTE CONNECTIONS, DISPOSE OF OFF SITE
- 11 SAWCUT/DEMO PORTIONS OF EXISTING CMU EXTERIOR WALLS FOR PROPOSED SECTIONAL DOORS, PROVIDE TEMP SHORING AS REQUIRED, COORDINATE W/ STRUCTURAL DRAWINGS
- 12 SAWCUT EXISTING CMU WALL FOR PROPOSED OPENING, SEE PROPOSED FLOOR PLAN
- 13 DEMO EXISTING DOOR/TRACK, TYPICAL ALL EXISTING DOORS
- 14 PRESSURE WASH EXTERIOR FACE OF EXISTING MASONRY WALLS, RE-GROUT & TUCK POINT JOINTS WHERE SEPARATION HAS OCCURRED, PREP FOR PAINTING
- 15 REMOVE EXISTING CONDUITS / VENTS / PIPES NO LONGER BEING UTILIZED OR FUNCTIONING

5E EXIST. / DEMO WALL SECTION
SCALE: 3/4" = 1'-0"



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