

Davis Residence

Section 33, Township 20 N, Range 4 E, Willamette Meridian, Pierce County, Washington

City of Puyallup Engineering Approved

Call before you dig. It's the law. Dial 811 or call 1-800-424-5555. **B-21-0929**

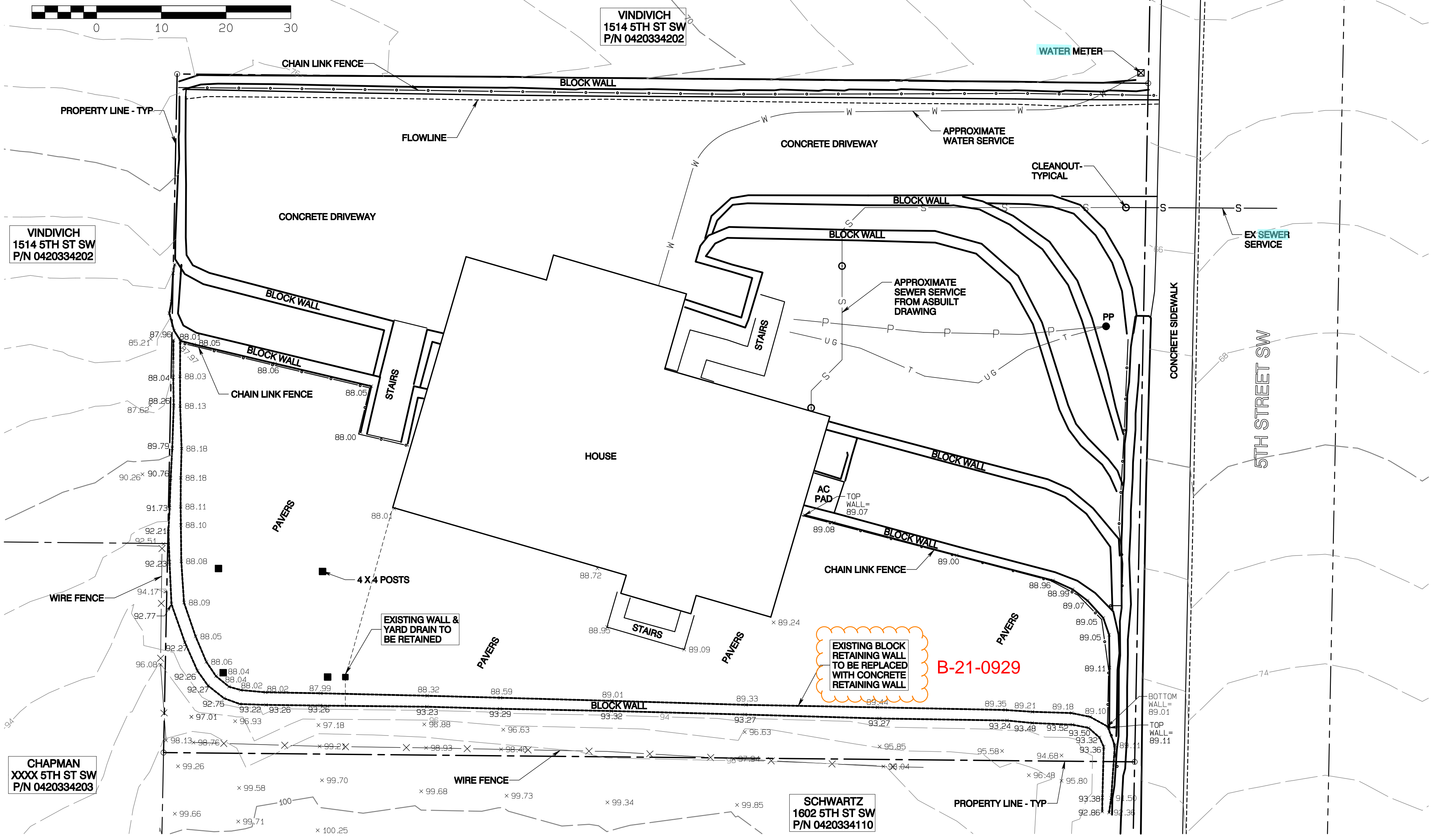
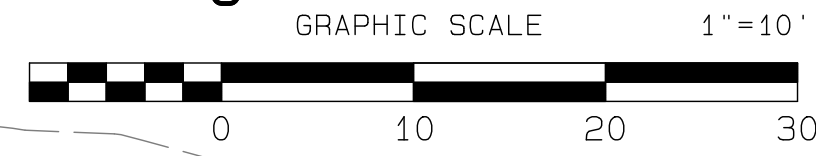
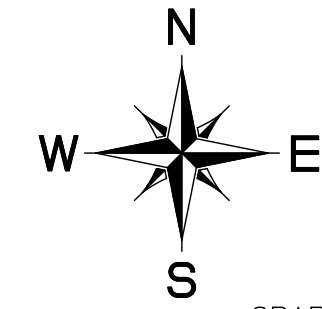
See permit conditions.

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Prior to starting site work, request an erosion and sediment inspection through the CityView portal.

Refer to the City standard details 02.03.02 & 05.02.01 for typical erosion and sedimentation control methods.

Any public curb, gutter, or sidewalk broken now or during the course of construction shall be removed and replaced per City Standards.



City of Puyallup Development & Permitting Services ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

CITY OF PUYALLUP
Planning Division Approved Site Plan (253) 864-4162
MANUAL CHECK REQUIREMENTS

Front Yard: Rear Yard:
Interior Side Yard: Left: Right:
Street Side Yard:
Zoning District:
Permit #:

Additional Conditions/Comments

No setback requirements per zoning for replaced wall

Staff: CHRIS BEALE
Date: 12/02/2021
Front view and site plan property lines shall be marked with existing lines surveying area prior to being replaced.

PROJECT DESCRIPTION
Replace existing bloc retaining wall with concrete retaining wall.

SITE ADDRESS: 1522 5th St SW

TAX PARCEL: 0420334204

PARCEL AREA: 0.36 AC

OWNER
Jason (JD) Davis
1522 5th St SW
Puyallup, WA, 98371
Phone: (253) 468-9985
email: jd.davis1@comcast.net

APPLICANT
Jason (JD) Davis
1522 5th St SW
Puyallup, WA, 98371
Phone: (253) 468-9985
email: jd.davis1@comcast.net

DATUM: NGVD29

TOPOGRAPHY:
ON-SITE TOPOGRAPHICAL DATA IS PER AZURE GREEN CONSULTANTS OBTAINED IN MARCH OF 2022. OFF-SITE TOPOGRAPHICAL DATA IS PER 2010 LIDAR DATA OBTAINED BY PIERCE COUNTY AND CONVERTED TO NGVD29.

CITY OF PUYALLUP BENCHMARK (DATUM - NGVD29)

POINT NO.: 3126
POINT ID.: SW-15-FAIR TBM
ELEVATION: 79.11
DESCRIPTION: NORTHEAST QUADRANT OF THE INTERSECTION OF FAIRVIEW DRIVE AND 15TH AVE SW, AN "X" IN THE TOP OF THE SW 1 1/4" BOLT AT THE BASE OF A SIGNAL POLE.

FLOODPLAIN: NONE ON SITE

SEE ENGINEERING PACKET FROM HODGE ENGINEERING FOR DETAILS. 13 PAGES.

DATE	REVISION
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	10

JOB NO. 3974
DATE: 7/29/2022
DRAWN BY: Bob Trivette
CHECKED BY: Jim Gooch
ZONING DISTRICT: R-10
APPROVED BY: Paul Green

COVER SHEET & EXISTING SITE PLAN

DAVIS RESIDENCE

AZURE GREEN CONSULTANTS

+feasibility +planning +engineering +surveying

400 East Pioneer, Suite A - Puyallup, WA 98372 phone: 253.770.3144 fax: 253.770.3142

Jason (JD) Davis
1522 5th St SW
Puyallup, WA, 98371
Phone (253) 468-9985 Fax jd.davis@comcast.net

DRAWING

S1

SHEET 1 OF 3

Project Desc.: Davis Residence Path: E:\p\pobox (AGD)\Users\3274.Davis\Draws\20220725.prd Plot Date/Time: 7/29/2022 2:58:36PM

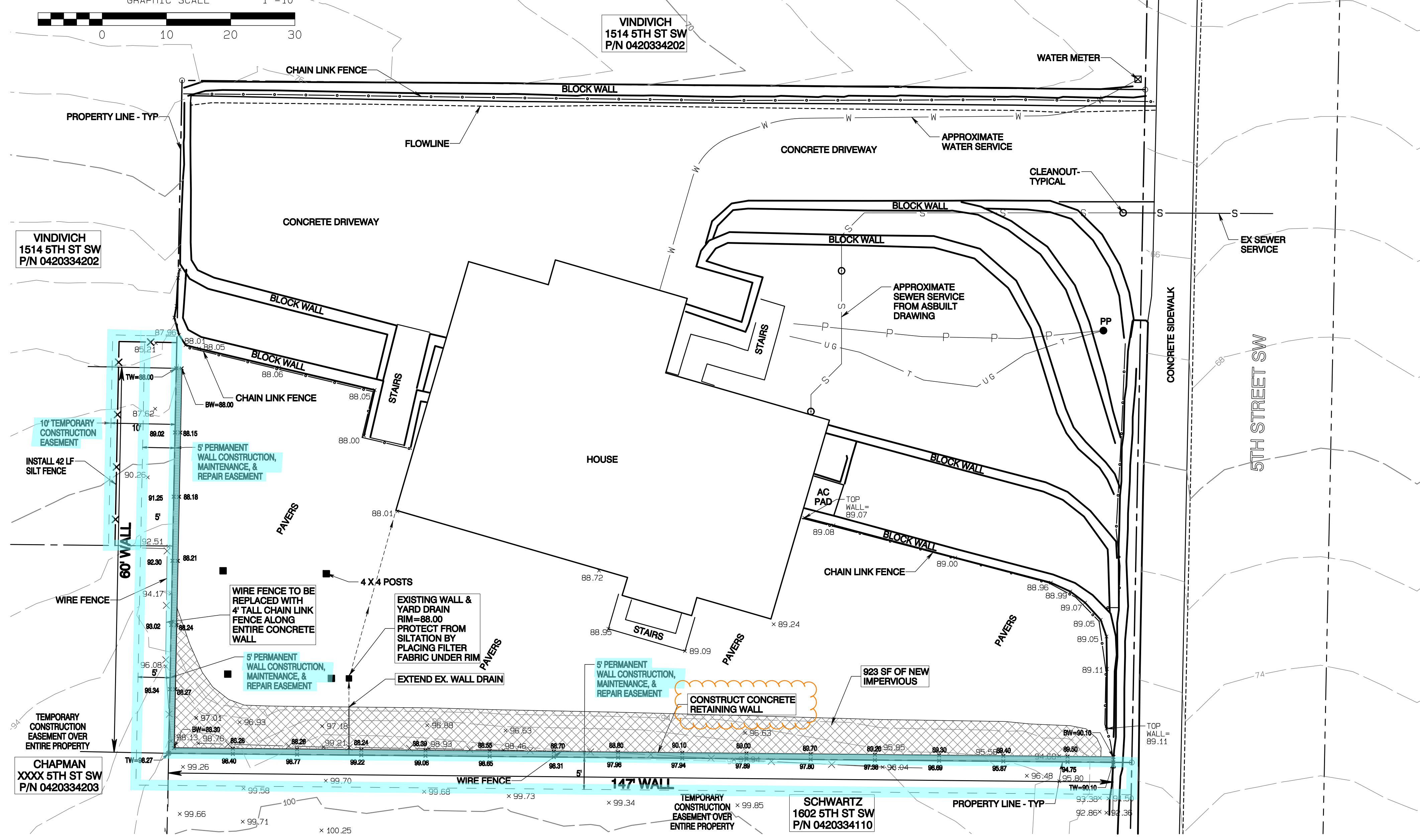
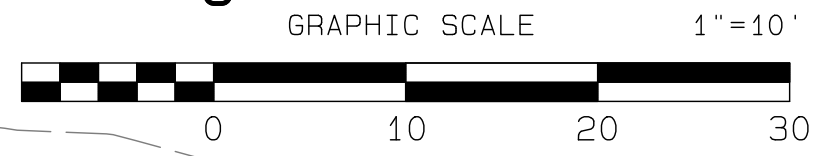
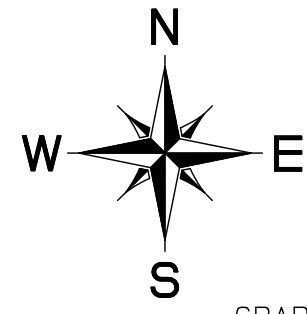
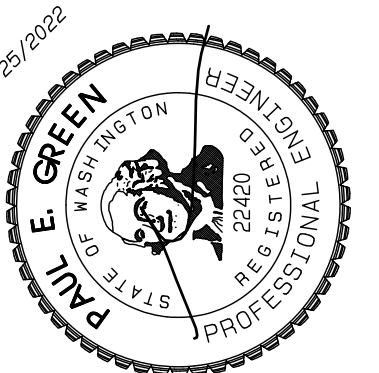
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B-21-0929

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic



VINDIVICH
1514 5TH ST SW
P/N 0420334202

CHAPMAN
XXXX 5TH ST SW
P/N 0420334203

VINDIVICH
1514 5TH ST SW
P/N 0420334202

SCHWARTZ
1602 5TH ST SW
P/N 0420334110

DATE	REVISION
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JOB NO: 3974
DATE: 7/25/2022
DRAWN BY: Rob Trivette
CHECKED BY: Rob Trivette
APPROVED BY: Paul Green

AZURE GREEN CONSULTANTS
+ feasibility + planning + engineering + surveying + construction
400 East Pioneer, Suite A - Puyallup, WA 98372
phone: 253.770.3144 fax: 253.770.3142

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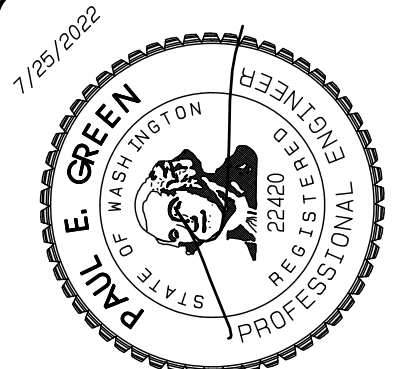
DRAWING
S2
SHEET OF 2 3

Project Desc.: Davis Residence Path: E:\Workbox (AED)\Users\3274.Davis\Drawings\20220725.prd Plot Date/Time: 7/25/2022 3:27:30PM

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SEEDING NOTES (Erosion control seeding):

- Seed mixture shall be 10% Redtop (92% purity, 90% germination); 40% Annual Ryegrass (98% purity, 90% germination); 40% Chewing Fescue (97% purity, 80% germination); and 10% White Dutch clover (96% purity, 90% germination) and shall be applied at the rate of 120 pounds per acre.
- Seed beds planted between May 1 and October 31 will require irrigation and other maintenance as necessary to foster and protect the root structure.
- For seed beds planted between October 31 and April 30, armoring of the seed bed will be necessary. (e.g., geotextiles, jute mat, clear plastic covering).
- Before seeding, install needed surface runoff control measures such as gradient terraces, intercepter dikes, swales, level spreaders and sediment basins.
- The seedbed shall be firm with a fairly fine surface, following surface roughening. Perform all operation across or at right angles to the slope.
- Fertilizers are to be used according to suppliers recommendations. Amounts used should be minimized, especially adjacent to water bodies and wetlands.
- Erosion control seeding shall not be used in areas subject to wear by construction traffic.
- Erosion control seeding may be used in all areas of 5% or less slope. In areas between 5 and 10% slope, erosion control seeding may be used for a maximum horizontal distance of 100 feet. Use mulch or netting or other treatments for steeper and longer slopes.

PLASTIC COVERING NOTES:

- Plastic sheeting shall have a minimum thickness of 6 mils and shall meet the requirements of the STATE STANDARD SPECIFICATIONS Section 9-14.5.
- Covering shall be installed and maintained tightly in place by using sandbags or tires on ropes with a maximum 10-foot grid spacing in all directions. All seams shall be taped or weighted down full length and there shall be a least a 12 inch overlap of all seams.
- Clear plastic covering shall be installed immediately on areas seeded between November 1 and March 31 and remain until vegetation is firmly established.
- When the covering is used on un-seeded slopes, it shall be kept in place until the next seeding period.
- Plastic covering sheets shall be buried two feet at the top of slopes in order to prevent surface water flow beneath sheets.
- Proper maintenance includes regular checks for rips and dislodged ends.

TEMPORARY ESC MEASURES REQUIRED

- Temporary Siltation Fencing.
- Vegetation and Stabilization of exposed surfaces
- Catch Basin Inlet Protection
- Additional measures may be required, see note 9 of Grading, Erosion & Sedimentation Control notes and Stormwater Pollution Prevention Plan (SWPPP) prepared for this project.

PERMANENT ESC MEASURES REQUIRED

- Seeding and/or Landscaping of non-impervious surfaces

SPECIAL NOTES:

- Contractor shall designate an erosion and sediment control leadperson, and shall comply with the stormwater pollution prevention plan prepared for the project.
- Sediment-laden runoff shall not be allowed to discharge beyond the construction limits.
- From October 1 through April 30, no soils shall remain exposed and unworked for more than 2 days. From May 1 to September 30, no soils shall remain exposed and unworked for more than 7 days. This condition applies to all soils on site, whether at final grade or not.

MULCHING NOTES

- Mulch materials used shall be hay or straw and shall be applied at a rate of 75-100 pounds per 1000 square feet, or 90-120 bales per acre to a min. depth of 2 inches.
- Mulches shall be applied in all areas with exposed slopes greater than 2:1.
- Mulching shall be used immediately after seeding or in areas which cannot be seeded because of the season.
- All areas needed mulch shall be covered by November 1.

SOIL STOCKPILE NOTES:

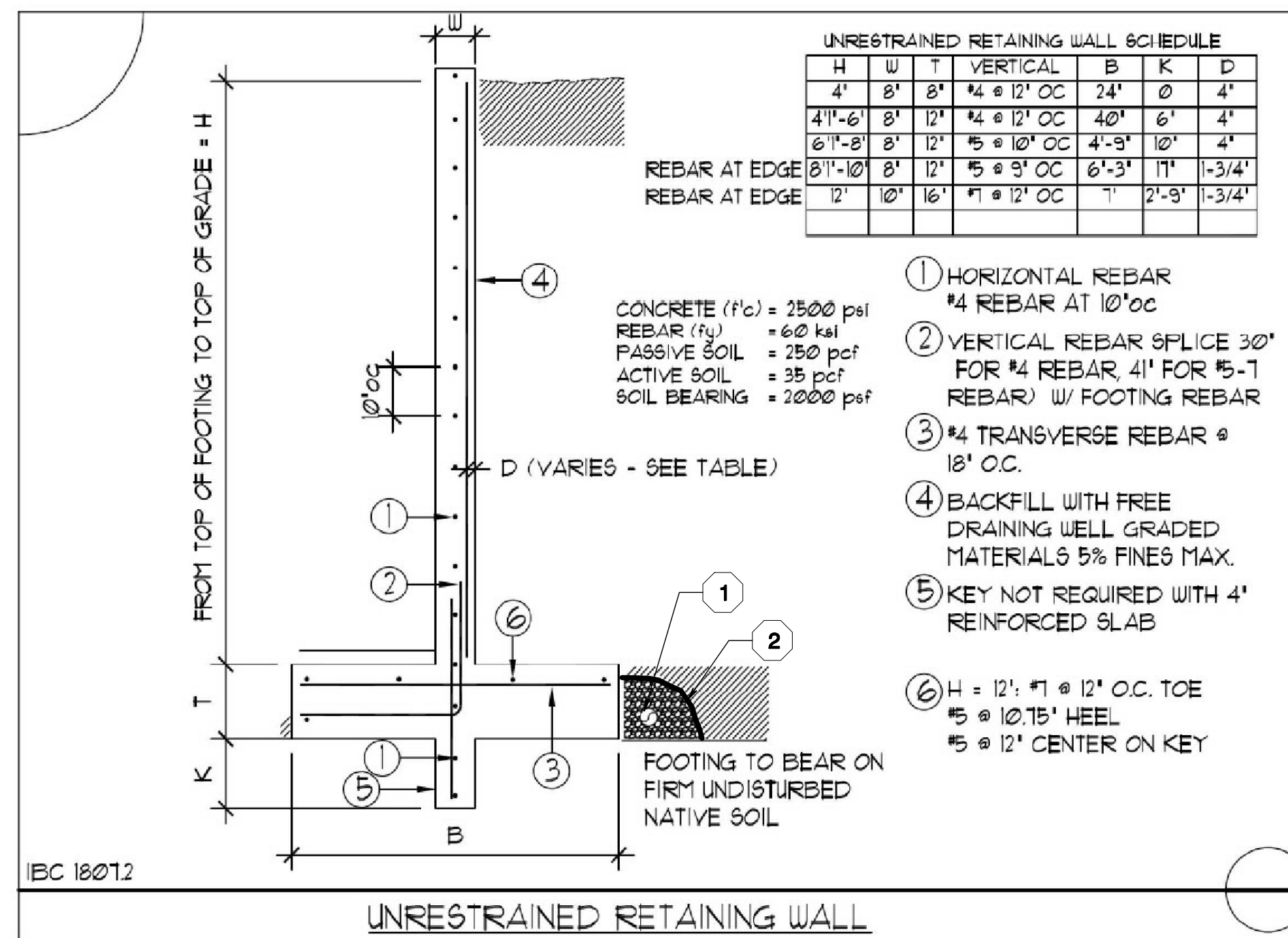
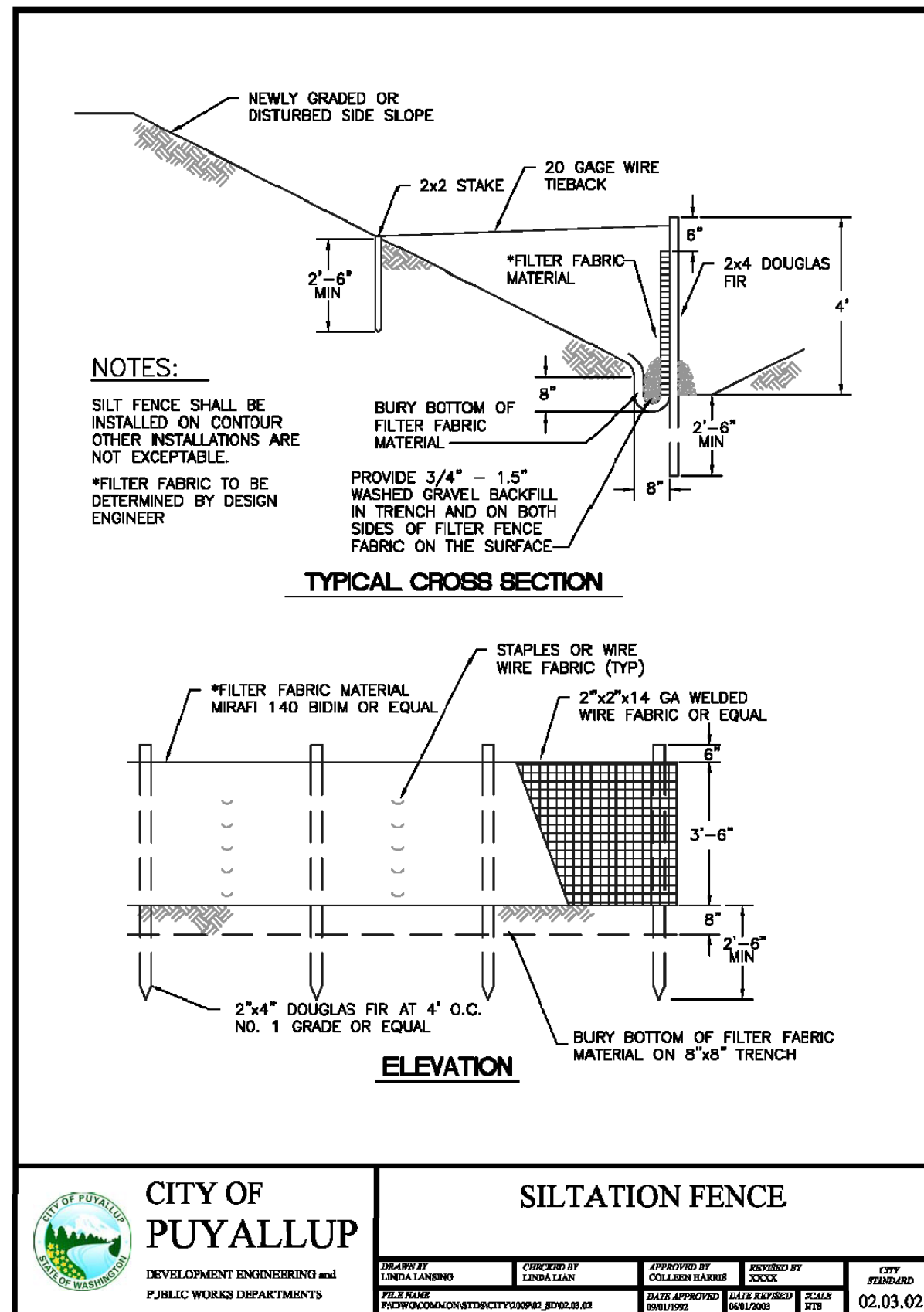
- Stockpiles shall be stabilized (with plastic covering or other approved device) daily between November 1 and March 31.
- In any season, sediment leaching from stock piles must be prevented.
- Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or when conditions exist that may otherwise be detrimental to proper grading or proposed sodding or seeding.
- Previously established grades on the areas to be topsoiled shall be maintained according to the approved plan.
- Stockpiles must be located more than 50 feet from all drainage features.

GRADING, EROSION & SEDIMENTATION CONTROL NOTES:

- All work in City right-of-way requires a permit from the City of Puyallup. Prior to any work commencing, the general contractor shall arrange for a preconstruction meeting at the Development Services Center to be attended by all contractors that will perform work shown on the engineering plans, representatives from all applicable Utility Companies, the project owner and appropriate City staff. Contact Engineering Services to schedule the meeting (253) 841-5568. The contractor is responsible to have their own approved set of plans at the meeting.
- After completion of all items shown on these plans and before acceptance of the project, the contractor shall obtain a "punch list" prepared by the City's inspector detailing remaining items of work to be completed. All items of work shown on these plans shall be completed to the satisfaction of the City prior to acceptance of the water system and provision of sanitary sewer service.
- All materials and workmanship shall conform to the Standard Specifications for Road, Bridge, and Municipal Construction (hereinafter referred to as the "Standard Specifications"), Washington State Department of Transportation and American Public Works Association, Washington State Chapter, latest edition, unless superseded or amended by the City of Puyallup City Standards for Public Works Engineering and Construction (hereinafter referred to as the "City Standards").
- A copy of these approved plans and applicable city developer specifications and details shall be on site during construction.
- Any revisions made to these plans must be reviewed and approved by the developer's engineer and the city engineer prior to any implementation in the field. The City shall not be responsible for any errors and/or omissions on these plans.
- The contractor shall have all utilities verified on the ground prior to any construction. Call (811) at least two working days hours in advance. The owner and his/her engineer shall be contacted immediately if a conflict exists.
- All limits of clearing and areas of vegetation preservation as prescribed on the plans shall be clearly flagged in the field and observed during construction.
- All required sedimentation and erosion control facilities must be constructed and in operation prior to any land clearing and/or other construction to ensure that sediment laden water does not enter the natural drainage system. The contractor shall schedule an inspection of the erosion control facilities PRIOR to any land clearing and/or other construction. All erosion and sediment facilities shall be maintained in a satisfactory condition as determined by the City, until such time that clearing and/or construction is completed and the potential for on-site erosion has passed. The implementation, maintenance, replacement, and additions to the erosion and sedimentation systems shall be the responsibility of the permittee.
- The erosion and sedimentation control system facilities depicted on these plans are intended to be minimum requirements to meet anticipated site conditions. As construction progresses and unexpected or seasonal conditions dictate, facilities will be necessary to ensure complete siltation control on the site. During the course of construction, it shall be the obligation and responsibility of the permittee to address any new conditions that may be created by his activities and to provide additional facilities, over and above the minimum requirements, as may be needed to protect adjacent properties, sensitive areas, natural water courses, and/or storm drainage systems.
- Approval of these plans is for grading, temporary drainage, erosion and sedimentation control only. It does not constitute an approval of permanent storm drainage design, size or location of pipes, restrictors, channels, or retention facilities.
- Any disturbed area which has been stripped of vegetation and where no further work is anticipated for a period of 30 days or more, must be immediately stabilized with mulching, grass planting, or other approved erosion control treatment applicable to the time of year in question. Grass seeding alone will be acceptable only during the months of April through September inclusive. Seeding may proceed outside the specified time period whenever it is in the interest of the permittee but must be augmented with mulching, netting, or other treatment approved by the City.
- In case erosion or sedimentation occurs to adjacent properties, all construction work within the development that will further aggravate the situation must cease, and the owner/contractor will immediately commence restoration methods. Restoration activity will continue until such time as the affected property owner is satisfied.
- No temporary or permanent stockpiling of materials or equipment shall occur within critical areas or associated buffers, or the critical root zone for vegetation proposed for retention.

GENERAL NOTES

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- The contractor shall have all utilities verified on the ground prior to any construction. Call (811) at least two working days in advance. The owner and his/her engineer shall be contacted immediately if a conflict exists.
- Any structure and/or obstruction that requires removal or relocation relating to this project shall be done so at the developer's expense.
- Locations of existing utilities are approximate. It shall be the contractor's responsibility to determine the true elevations and locations of hidden utilities. All visible items shall be the engineer's responsibility.
- The contractor shall install, replace, or relocate all signs, as shown on the plans or as affected by construction, per City Standards.
- Power, street light, cable, and telephone lines shall be in a trench located within a 10-foot utility easement adjacent to public right-of-way. Right-of-way crossings shall have a minimum horizontal separation from other utilities (sewer, water, and storm) of 5 feet.
- All construction surveying for extensions of public facilities shall be done under the direction of a Washington State licensed land surveyor or a Washington State licensed professional civil engineer.
- During construction, all public streets adjacent to this project shall be kept clean of all material deposits resulting from on-site construction, and existing structures shall be protected as directed by the City.
- Certified record drawings are required prior to project acceptance.
- A NPDES Stormwater General Permit may be required by the Department of Ecology for this project. For information contact the Department of Ecology, Southwest Region Office at (360)407-6300.
- Any disturbance or damage to Critical Areas and associated buffers, or significant trees designated for preservation and protection shall be mitigated in accordance with a Mitigation Plan reviewed and approved by the City's Planning Division. Preparation and implementation of the Mitigation Plan shall be at the developer's expense.



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DETAILS & NOTES

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Phone (253) 466-9985 Fax jd.davis@comcast.net

DRAWING

S3

SHEET OF 3