



**GENERAL NOTES**

- ALL NEW PARTITIONS TO BE WALL TYPE 1B UON, SEE SHEET A8.1 FOR WALL TYPES.
- FINISHES PER ROOM FINISH SCHEDULE SHEET A6.1, TYPICAL UON.
- FOR ACCESSIBILITY COMPLIANCE REFER TO SHEET AN-3.
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT, U.N.O.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, U.N.O. DIMENSIONS NOTED "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ± 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALIGN" MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. DIMENSIONS NOTED "CLEAR" ARE MINIMUM DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED ± MEAN A VARIANCE NOT GREATER THAN 1 INCH, VERIFY DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE FINISH FACE OF WALL BELOW SILL, U.N.O.
- WHERE NEW FLOOR FINISHES AND/OR WALL BASE ARE SCHEDULED, PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISH. CONCRETE SLAB TO RECEIVE NEW SEAL WHERE SAW CUT AND PATCHED. PATCH AND PAINT ALL OFFICE WALLS. TYPICAL THROUGHOUT.
- ALL EXISTING FLOORS, PARTITIONS, DEMISING WALLS, AND CORRIDOR WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT SURFACES.
- PATCH AT ALL NEW AND EXISTING PENETRATIONS AT FLOOR AND CEILING SLABS, WALLS AND SHAFTS, SEAL ABANDONED PENETRATIONS AT FLOORS, WALLS AND SHAFTS TO MAINTAIN FIRE/SMOKE AND ACUSTICAL RATINGS. PATCH FIREPROOFING AT ALL NEW AND EXISTING LOCATIONS WITH EXPOSED STRUCTURAL STEEL.
- ALL INFILL OF DOORS/WALLS/OPENINGS SHALL MATCH AND BE FLUSH WITH EXISTING ADJACENT PARTITION CONSTRUCTION. FINISHED FACES OF NEW PARTITIONS PARALLEL TO EXISTING FRAMING SHALL ALIGN.
- WHERE NEW PARTITIONS ABUT EXISTING SURFACES, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT INTERSECTION.
- PROVIDE FURRING AT EXISTING PARTITIONS AS REQUIRED TO INSTALL ELECTRICAL ITEMS AS INDICATED ON THE DRAWINGS.
- ALL GYPSUM BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL 4 FINISH, U.N.O. - REFER TO MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL 5 FINISH, U.N.O.
- GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-IN (E.G. BATHROOMS, PANTRY, JANITOR'S CLOSET, WET COLUMNS) SHALL BE WATER-RESISTANT.
- METAL STUDS AT PARTITIONS TO RECEIVE CERAMIC TILE ARE TO BE 20 GAUGE (MINIMUM) @ 16" O.C. (MAXIMUM). REFER TO THE FINISH PLANS FOR TILE LOCATIONS.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE VINYL OR METAL EDGE TRIM. THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS. THERE SHALL BE NO EXPOSED PIPE, CONDUIT, DUCTS, VENTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED, UNLESS OTHERWISE NOTED AS EXPOSED CONSTRUCTION ON THE DRAWING.
- DOOR AND CASED OPENINGS WITHOUT LOCATION DIMENSIONS OR DETAILS ARE TO BE (4) INCHES FROM ADJACENT WALL AT HINGE SIDE OF DOOR OR CENTERED BETWEEN WALLS.
- CENTER LOCATION OF NEW WALL CONSTRUCTION ON EXISTING COLUMNS, PIER, JOISTS OR WINDOW MULLION, AS SHOWN.
- GC SHALL BE RESPONSIBLE FOR PROVIDING ALL BLOCKING FOR ALL WALL AND CEILING MOUNTED ITEMS, INCLUDING HARDWARE, LIGHT FIXTURES, GRAB BARS, CASEWORK, AND ALL OWNER PROVIDED ITEMS. PROVIDE SHEET METAL REINFORCING (8" HORIZONTALLY MOUNTED STRIP OF 20 GA. GALVANIZED SHEET METAL) CONCEALED IN PARTITIONS WHERE WALL OR CEILING MOUNTED ITEM IS INDICATED ON DRAWINGS. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED. WHERE BLOCKING OR ADDITIONAL STUDS ARE REQUIRED AT EXISTING PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED.
- REUSE EXISTING DOORS, DOOR FRAMES AND DOOR HARDWARE IN NEW CONFIGURATION WHENEVER POSSIBLE. NEW DOORS AND DOOR FRAMES TO MATCH EXISTING.

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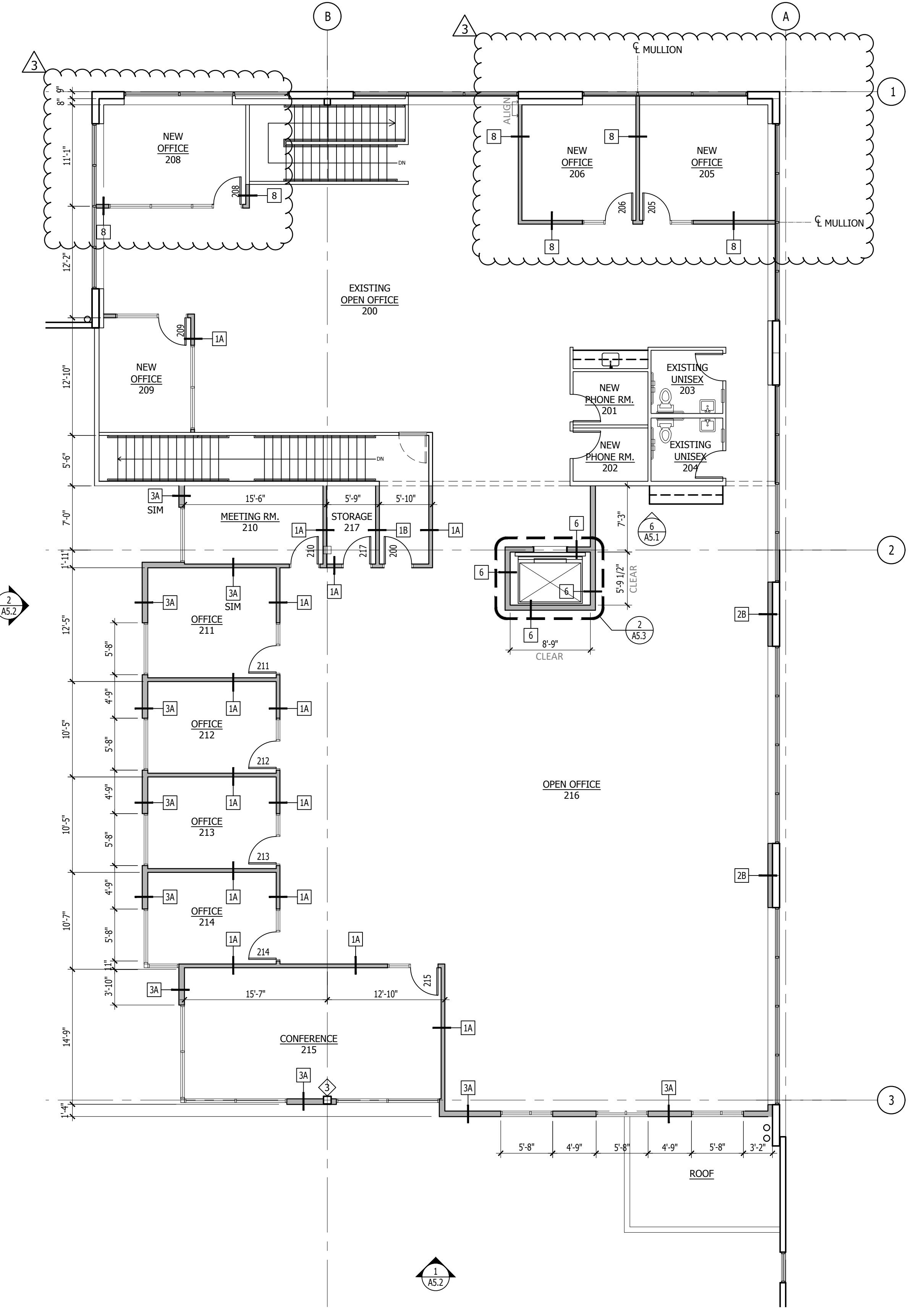
Description:	No:	Date:
PERMIT SUBMITTAL		05/17/2022
PERMIT COMMENTS		08/01/2022
PERMIT COMMENTS 2		08/24/2022
TENANT REVISIONS	3	10/26/2022

**LEGEND**

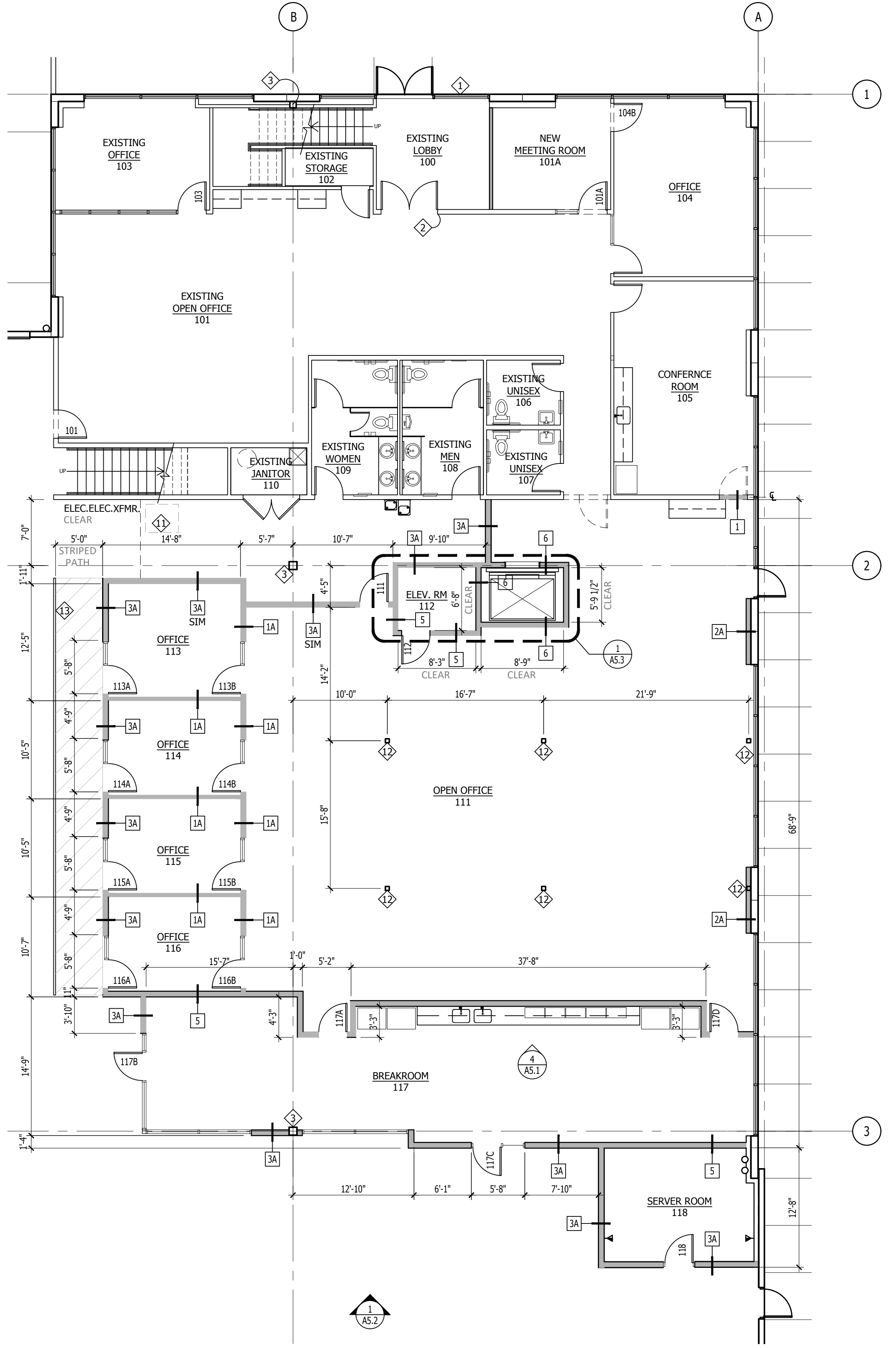
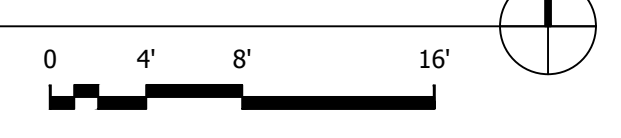
- EXISTING PARTITION TO REMAIN
- NEW PARTITION

**KEY NOTES**

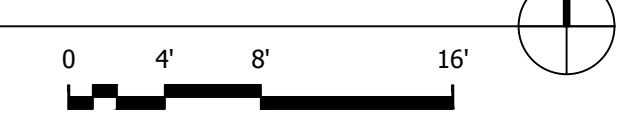
- EXISTING STOREFRONT SYSTEM AND ACCESSIBLE ENTRY DOOR
- 2X WOOD STUD BUILT-UP COLUMN. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING STRUCTURAL COLUMN.
- NEW SOLID SURFACE COUNTERTOP, PLASTIC LAMINATE BASE AND UPPER CABINETS WITH SINGLE COMPARTMENT, UNDER MOUNT SINK, DISHWASHER AND GARBAGE DISPOSAL. FURNISH AND INSTALL SINGLE BOWL, STAINLESS STEEL, ADA COMPLIANT SINK BY ELKAY, LRAD2219-SS (5-1/2"D). FAUCET BY ELKAY, LK4160 (SINGLE LEVER FAUCET). GARBAGE DISPOSAL, BY ISE, #555 SS, 3/4HP. PROVIDE 1 YEAR WARRANTY FOR OFFICE USE.
- PROVIDE WATER SUPPLY LINE FOR NEW (FOIO) PLUMBED HOT/COLD WATER DISPENSER, 1/4" COPPER TUBES BELOW COUNTER.
- PROVIDE WATER SUPPLY LINE TO (FOIO) REFRIGERATORS, 1/4" COPPER TUBES BELOW COUNTER.
- PROVIDE WATER SUPPLY LINE TO (FOIO) COFFEE MAKER, 1/4" COPPER TUBES BELOW COUNTER.
- NEW ACCESSIBLE (HI/LO) DRINKING FOUNTAIN AND CANE DETECTABLE APRON/GUARD, 4" X 4" OR FULL WIDTH PLASTIC LAMINATE SURROUND, TO MATCH ADJACENT TOILET ROOM WAINSCOT, OVER WATER RESISTANT GWB, CENTERED BEHIND FOUNTAIN.
- NEW FLOOR MOUNTED MOP BASIN WITH HOT/COLD WATER FAUCET AND FLOOR DRAIN. FRP OR PLASTIC LAMINATE SURROUND, TO MATCH ADJACENT TOILET ROOM WAINSCOT, OVER WATER RESISTANT GWB, 48" H, EXTENDING 12" MIN BEYOND FACE OF BASIN.
- NEW ELECTRIC WATER HEATER, FREESTANDING IN SHEET METAL DRIP PAN W/ R10 INSULATION UNDER UNIT. GC TO PROVIDE SEISMIC RESTRAINT STRAP(S), ATTACHED TO STRUCTURE.
- 277/480 VOLT 3 PHASE ELECTRICAL SERVICE. PROVIDE AND MAINTAIN 3'-0" MINIMUM CLEAR FLOOR SPACE IN FRONT OF PANEL(S). (2) NEW CONCRETE FILLED PIPE BOLLARDS (PER SPECIFICATIONS AND/OR 6/A8.1, TYP.). SET 42" CLEAR OF EQUIPMENT/PANEL(S).
- HSS COLUMNS PER STRUCTURAL
- 3'-0" HIGH STEEL PROTECTION RAIL PER EVATIONS SHEET A5.3



**MEZZANINE FLOOR PLAN**  
1/8"=1'-0"



**1ST FLOOR PLAN**  
1/8"=1'-0"

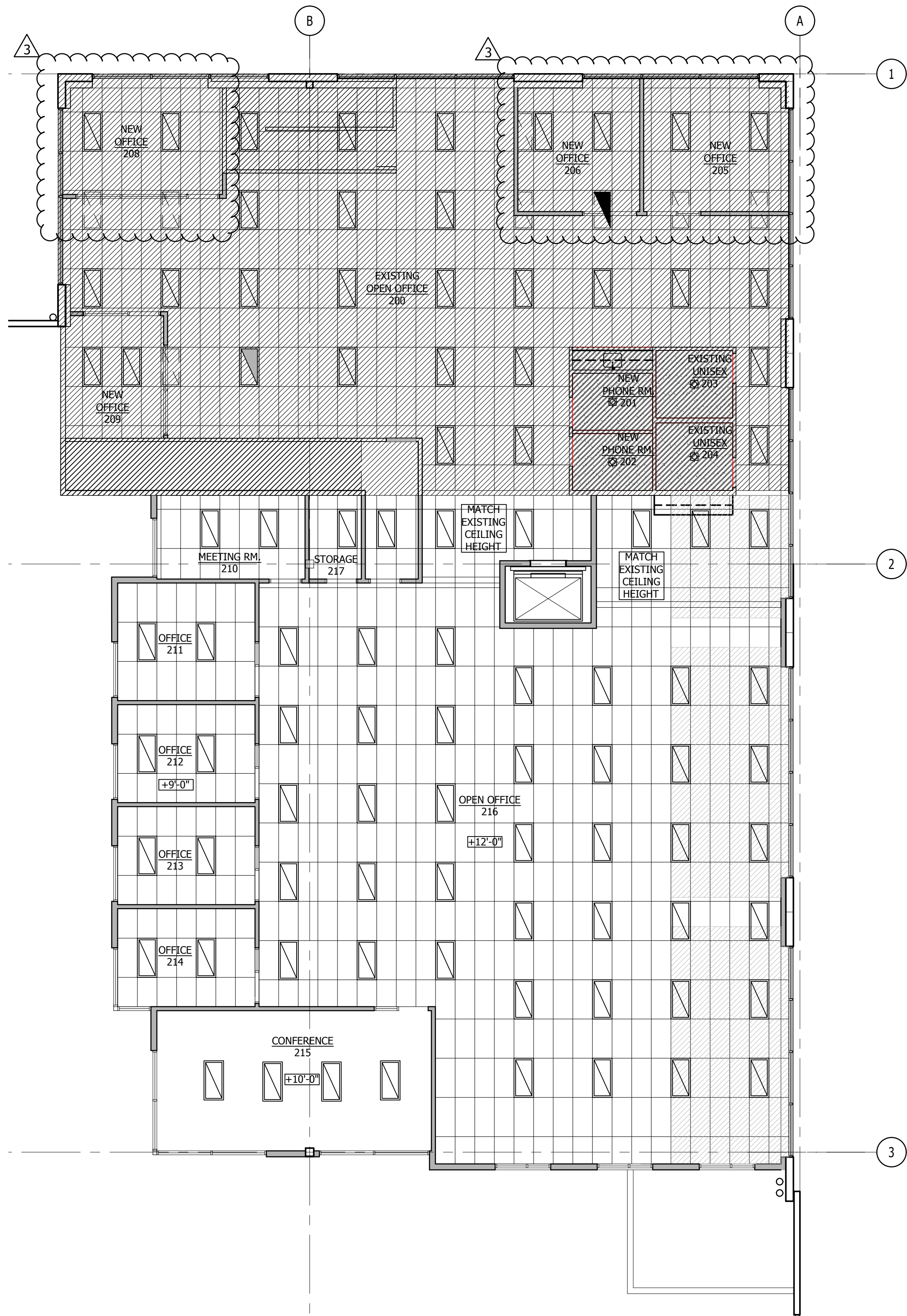


**FLOOR PLANS**

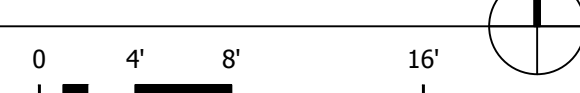
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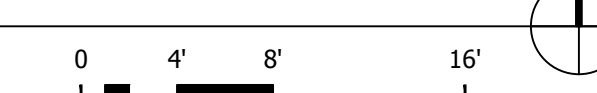
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**2** MEZZANINE REFLECTED CEILING PLAN  
A2.2 1/8"=1'-0"



**1** 1ST FLOOR REFLECTED CEILING PLAN  
A2.2 1/8"=1'-0"



**GENERAL NOTES**

- THE REFLECTED CEILING PLAN INDICATES THE LOCATION OF CEILING HEIGHTS, LIGHT FIXTURES, SWITCH LOCATIONS, AND ASSOCIATED ITEMS. REFER TO ENGINEERING DRAWINGS FOR CIRCUITING, WIRING LAYOUT, AND ADDITIONAL INFORMATION. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS, OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION. IN THE EVENT OF DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND THE ENGINEER'S PLANS, IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING BEFORE ORDERING MATERIALS OR PROCEEDING WITH THE WORK.
- FOLLOWING COMPLETION OF THE ACOUSTICAL CEILING INSTALLATION, ALL JOINTS AND GRID SHALL BE STRAIGHT, TRUE TO LINE, WITH EXPOSED SURFACES FLUSH AND LEVEL. DIRTY OR DISCOLORED SURFACES OF TILE ARE TO BE CLEANED OR REPLACED, AND LEFT FREE OF DEFECTS. AFTER 30 DAYS FROM SUBSTANTIAL COMPLETION, INSPECT THE WORK AND ADJUST TILE NOT IN ALIGNMENT WITH OTHER CEILING TILES AND REPLACE MISSING OR DAMAGED UNITS.
- WITHIN A ROOM OR AREA, THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED AS THE ORIGIN FOR ALL CEILING HEIGHTS ABOVE FINISHED FLOOR.
- VERIFY FIELD CONDITIONS AND LOCATIONS OF ALL MEP/FP AND STRUCTURAL ELEMENTS. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES NECESSARY TO MAINTAIN THE FINISHED CEILING HEIGHTS INDICATED. INSTALL DUCTWORK TIGHT TO UNDERSIDE OF BEAMS, WITH A SMALL SPACE TO AVOID VIBRATION. INSTALLATION AND/OR ALTERATION OF DUCTWORK, PIPING OR OTHER EQUIPMENT THAT WILL REQUIRE FASCIAS, SOFFITS AND OTHER TRANSITIONS IN CEILING HEIGHT SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR TO PROVIDE COMPLETE COORDINATION DRAWINGS FOR THE ARCHITECT AND ENGINEER'S REVIEW.
- REWORK EXISTING FIRE, LIFE, SAFETY SYSTEM AS REQUIRED PER NEW WALL LAYOUT AND CURRENT CODE. ENGINEERING AND INSTALLATION BY BUILDING RECOMMENDED SUB-CONTRACTOR.
- PROVIDE SMOKE DETECTORS THROUGHOUT TENANT AREAS IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS.
- ALL CEILING MOUNTED DEVICES SHALL BE WHITE.
- PROVIDE BLOCKING ABOVE CEILING REQUIRED FOR ALL CEILING MOUNTED EQUIPMENT. PROVIDE ADDITIONAL SUPPORT FOR LIGHT FIXTURES AS RECOMMENDED BY FIXTURE MANUFACTURER.
- LOCATE ANY CONTROLS THAT NEED ACCESSING OVER ACOUSTICAL CEILING TILE AREAS. DO NOT PLACE ANY ABOVE GYPSUM BOARD CEILINGS, UNLESS APPROVED BY ARCHITECT.
- PROVIDE CEILING ACCESS REQUIRED FOR EQUIPMENT AND SYSTEM MAINTENANCE. MATCH ADJACENT CEILING FINISH U.N.O. SYSTEMS AND EQUIPMENT REQUIRING ACCESS SHALL BE LOCATED AT ACCESSIBLE CEILINGS - ACCESS PANELS NOT SHOWN ON DRAWINGS SHALL NOT BE INSTALLED IN GYPSUM BOARD CEILINGS WITHOUT PRIOR APPROVAL.
- ALL ACCESS PANELS IN GYPSUM BOARD CEILINGS SHALL BE FRAMELESS; LOCATIONS SHALL BE COORDINATED WITH ARCHITECT. GROUP DEVICES TO MINIMIZE THE NUMBER AND SIZE OF ACCESS PANELS.
- ALL CONDUITS, BOXES, DUCTS, HVAC UNITS, PIPES, ETC., SHALL BE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 8" ABOVE LINE OF HIGHEST FINISHED CEILING.
- THERE SHALL BE NO COMBUSTIBLE MATERIALS IN THE PLENUM SPACE.
- WHEN MULTIPLE SWITCHES OCCUR IN CLOSE PROXIMITY GANG UNDER SINGLE SWITCH PLATE.
- FURNISH AND INSTALL NEW THERMOSTATS AS REQUIRED. INSTALL CLOSE TO DOOR OPENINGS, DO NOT INSTALL IN CENTER OF WALL. ARCHITECT AND CLIENT TO APPROVE ALL LOCATIONS.
- ALL LIGHTS TO BE CONTROLLED BY MOTION SENSOR. PROVIDE OVERRIDE SWITCH AT ALL CONFERENCE ROOMS.
- ALL LAMPS SHALL BE IDENTICAL FROM ONE MANUFACTURER IN SAME TEMPERATURE, UON.
- IN EXISTING ALTERED SPACE, REPAIR AND/OR REPLACE COMPONENTS NECESSARY TO INSURE ALL EXISTING AND OR RELOCATED LIGHT FIXTURES ARE FUNCTIONING, INCLUDING BUT NOT LIMITED TO LAMPS, BALLASTS, AND LENSES. RELAMP ALL EXISTING AND RELOCATED FIXTURES TO REMAIN.

**LEGEND**

- INTERNALLY ILLUMINATED EXIT SIGNAGE W/ BATTERY BACKUP PER IBC SECTION 1013. CONFIRM OPERATION FOR EXISTING. ADD WHERE NOT EXISTING. ARROW = DIRECTION INDICATOR, IF REQUIRED
- NEW 2'x4' LAY-IN LED LIGHT FIXTURE, 18 CELL PARABOLIC
- HATCH INDICATES "NIGHT LIGHT" FOR EGRESS ILLUMINATION NOT LESS THAN 1 FC PER IBC SECTION 1008.2.1 WITH EMERGENCY POWER PER 1008.3.3
- NEW 4"x4" RECESSED COMPACT LED DOWNLIGHT FIXTURE
- EXHAUST FAN (SONE RATING LESS THAN 1.0 SONE)
- SUSPENDED ACOUSTIC CEILING TILE AND GRID: ARMSTRONG, DUNE, 24" X 24" REGULAR TILE, WHITE WITH CLASS "A" 9/16" SILHOUETTE GRID SYSTEM WITH 1/4" REVEAL, WHITE
- GWB GYPSUM BOARD CEILING
- OPEN TO STRUCTURE
- DAYLIGHT ZONE (PRIMARY DEPTH = TO WINDOW HEAD HEIGHT, 24" BEYOND WIDTH OF WINDOW) (SECONDARY DEPTH = 2 TIMES WINDOW HEAD HEIGHT)
- ±10'-0" INDICATES CEILING HEIGHT ABOVE FINISHED FLOOR

**KEY NOTES**

- CEILING GRID START POINT (FULL TILE)
- LIGHT CENTERED IN ROOM, BOTH DIRECTIONS.
- NO CEILING SCOPE PROPOSED THIS ROOM

**CEILING NOTES**

- CENTER CEILING GRID IN ROOM OR AREA IN TWO DIRECTIONS, TYPICAL UON.
- CENTER LIGHT FIXTURES/SPRINKLER HEAD/CEILING ELEMENT IN 24" PORTION OF 48" CEILING TILE, TYPICAL UON.
- LOCATE ALL LIGHT FIXTURES, SPEAKERS, LIFE-SAFETY DEVICES AND SIMILAR CEILING ELEMENTS, ETC., IN THE CENTER OF CEILING TILE IN BOTH DIRECTIONS AND ALIGN WITH ADJACENT FIXTURES, DEVICES OR HEADS IN A RUN OR ROW, U.N.O.
- REFER TO ELEVATIONS AND SECTIONS FOR MOUNTING HEIGHTS OF WALL SURFACE MOUNTED LIGHT FIXTURES.
- PROVIDE SEISMIC BRACINGS AT ALL SUSPENDED CEILING SYSTEMS. SUSPENDED CEILING AND BRACING SHALL MEET THE MINIMUM REQUIREMENTS OF CISCA AND ASCE 7-10 SECTION 13.5.6. AS SUMMARIZED ON SHEET A8.2

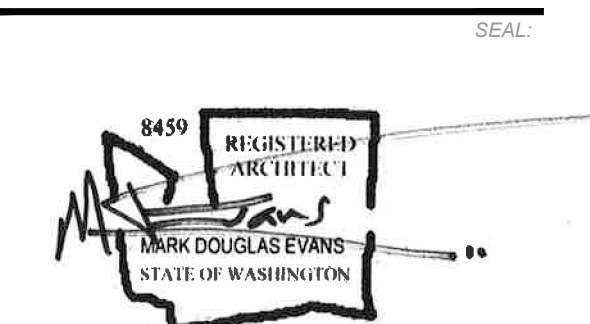


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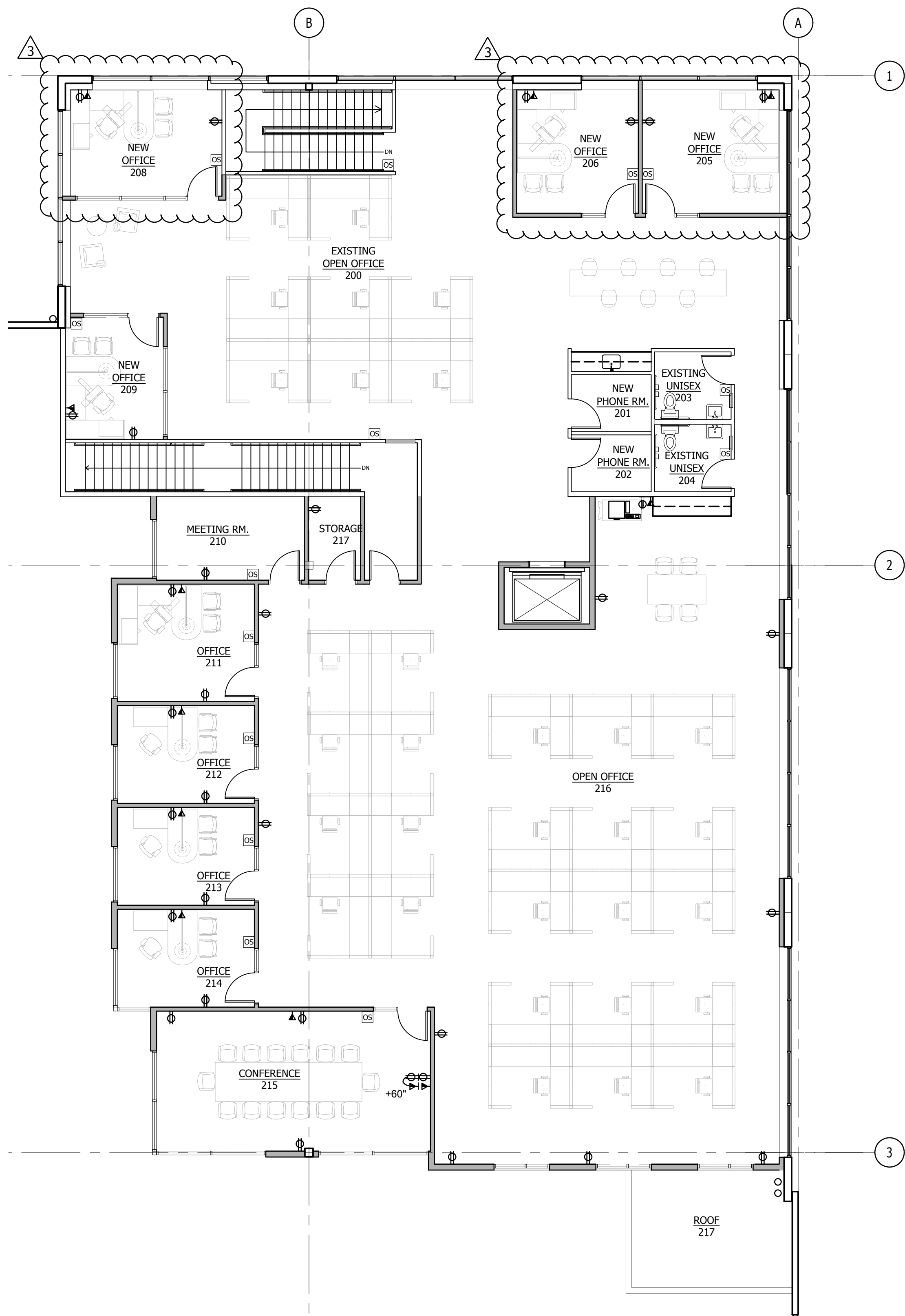
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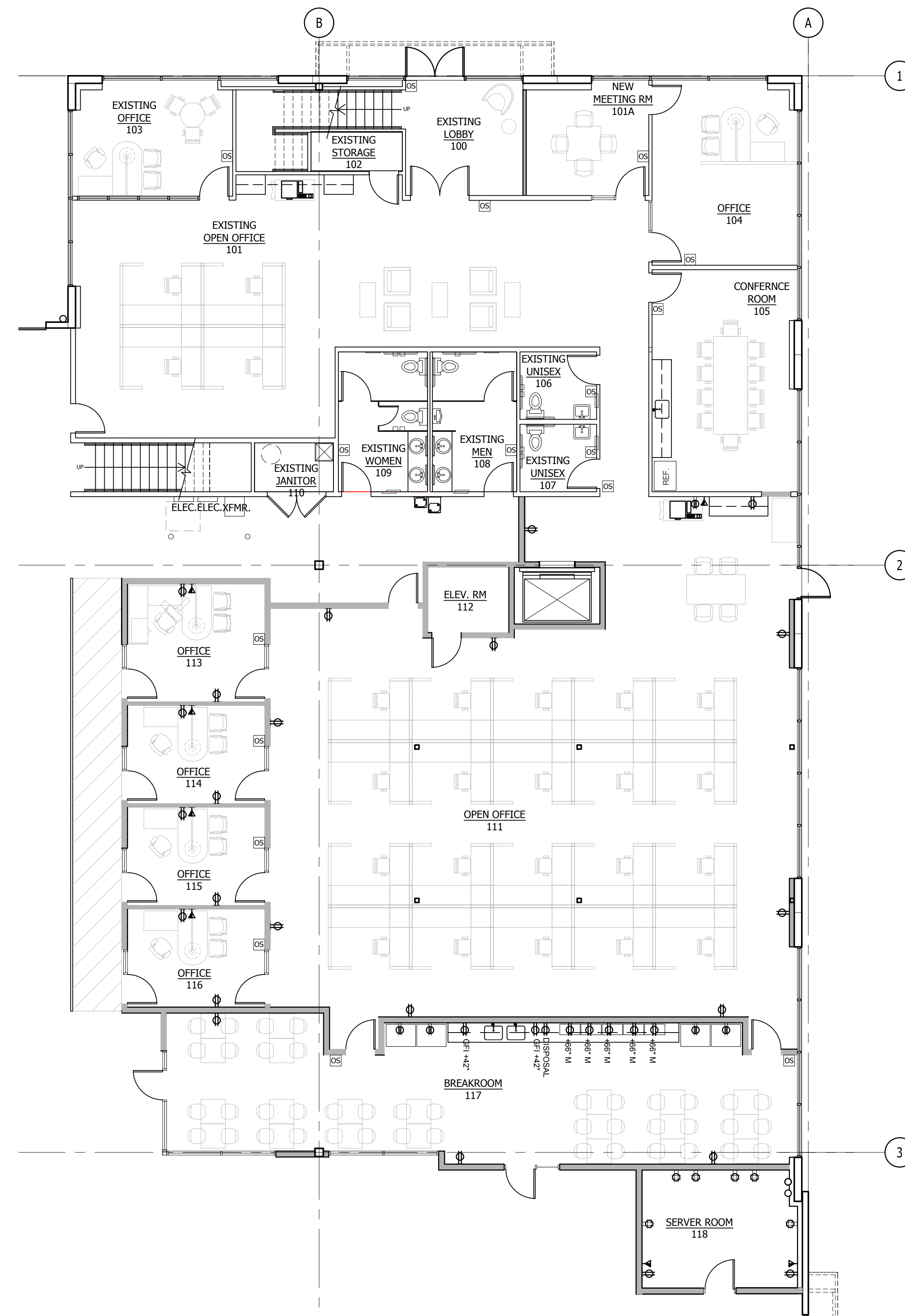
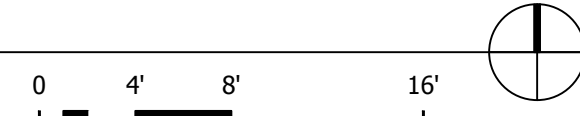


**REFLECTED  
CEILING PLANS**

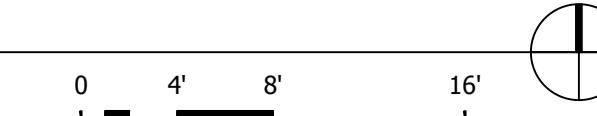
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**2** MEZZANINE- POWER/ COMM PLAN  
A2.3 1/8"=1'-0"



**1** 1ST FLOOR PLAN- POWER/ COMM  
A2.3 1/8"=1'-0"

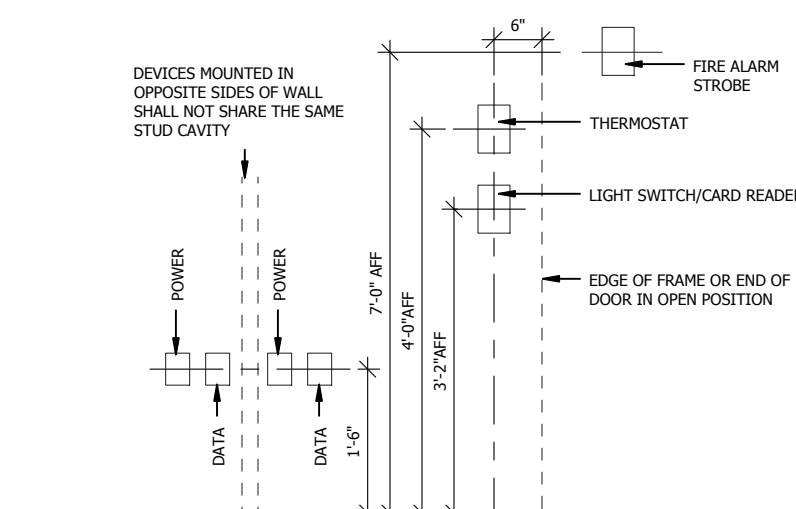


**GENERAL NOTES**

- SEE ALSO ENGINEERING DRAWINGS (IF PROVIDED) FOR ADDITIONAL INFORMATION. WHEN THERE ARE DISCREPANCIES BETWEEN ARCHITECTURAL, ELECTRICAL, MECHANICAL OR PLUMBING DRAWINGS OBTAIN CLARIFICATION FROM ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK IN QUESTION OR RELATED WORK. IF WORK IS PERFORMED PRIOR TO OBTAINING CLARIFICATION, CONTRACTOR SHALL CORRECT CONFLICTING WORK AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR THE ARCHITECT.
- EACH ROOM SHALL COMPLY WITH THE PROVISIONS OF C405.2.1.1 INTERIOR LIGHTING CONTROLS. SEE ALSO A0.1 FOR WAREHOUSE POWER/DATA.
- ALL SWITCHES, RECEPTACLES, COVER PLATES AND OTHER ELECTRICAL DEVICES SHALL BE WHITE IN COLOR. UON. DEVICES WHICH OCCUR IN STAINED MILLWORK OR ON BLACK COLORED SURFACES SHALL BE BLACK IN COLOR. ALL EXISTING BEIGE SWITCHES, RECEPTACLES, COVER PLATES AND OTHER ELECTRICAL DEVICES SHALL BE CHANGED TO WHITE.
- MULTIPLE SWITCH OR OUTLET DEVICES IN ONE LOCATION SHALL BE INSTALLED IN A COMMON MULTI-GANG BOX WITH A COMMON FACEPLATE, WHERE POSSIBLE. MOUNT MULTIPLE CONTROLS AS CLOSE TOGETHER AS POSSIBLE AND IN-LINE WITH EACH OTHER.
- WHERE SWITCHES FOR DEVICES OTHER THAN LIGHTS (I.E. EXHAUST FAN, PROJECTION SCREEN) ARE ADJACENT TO LIGHT SWITCHES, LOCATE LIGHT SWITCHES CLOSEST TO THE DOOR.
- RECEPTACLES WITHIN 6" OF A WATER SOURCE SHALL BE GFI TYPE.
- ALL WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS TO BE INSTALLED 15" ABOVE FLOOR UON. BALANCE OF DEVICE MOUNTING HEIGHTS ARE SHOWN ON DEVICE ELEVATION DETAIL THIS SHEET, U.N.O.
- MAINTAIN A FOUR INCH HORIZONTAL CLEARANCE IN ALL DIRECTIONS, MIN. FROM EDGE OF COVER PLATE, FOR WALL MOUNTED OUTLETS, OR FROM EDGE OF MONUMENT FOR FLOOR MOUNTED OUTLETS, WHEN ADJACENT TO A WALL, COLUMN, OR SIMILAR ELEMENTS, UON.
- INDICATED DIMENSIONS ARE TO THE CENTER OF THE COVER PLATE OR MONUMENT; CLUSTERS OF OUTLETS ARE DIMENSIONED TO THE CENTER OF THE CLUSTER, UON; GANG COVER PLATES SHALL BE ONE-PIECE TYPE UON.
- ALL CORE DRILL LOCATIONS SHALL BE VERIFIED WITH DESIGNER PRIOR TO DRILLING.
- CONTRACTOR TO UPDATE LABELS AT ELECTRICAL PANELS.
- ALL EXISTING ELECTRICAL/ TELEPHONE OUTLETS NOT SHOWN ARE EXISTING TO REMAIN. POWER & COMMUNICATION OUTLETS ARE SHOWN IN IDEAL LOCATIONS. REUSE EXISTING ELECTRICAL/ TELEPHONE OUTLETS WHEN LOCATED NEAR IDEAL LOCATIONS AND RELOCATE EXISTING ELECTRICAL/ TELEPHONE OUTLETS WHERE POSSIBLE.
- FURNITURE SHOWN IS FOR REFERENCE ONLY AND IS N/C. LOCATION OF OUTLETS IN PRIVATE OFFICES TO BE COORDINATED WITH FURNITURE VENDOR.
- ALL FURNITURE AND WORKSTATIONS PROVIDED AND INSTALLED BY OWNER. NEW FURNITURE PANELS WILL BE POWERED. ELECTRICAL CONTRACTOR TO PROVIDE PANEL TO PANEL ELECTRICAL CONNECTIONS, POWER CONNECTION TO WORKSTATIONS (WHIPS/BASE POWER INFEDS) AND DUPLEX RECEPTACLE INSTALLATION. COORDINATE POWER, VOICE/DATA AND SECURITY LOCATIONS AND INSTALLATION REQUIREMENTS W/ FURNITURE VENDOR, TYP.

**LEGEND**

- EXIST. WALLS / PARTITION TO REMAIN
- NEW PARTITION WALL
- WALL MOUNTED DUPLEX OUTLET: DED OR HATCH = DEDICATED  
20A = 20 AMP CIRCUIT  
T = 12 HOUR TIMER
- WALL MOUNTED FOURPLEX RECEPTACLE OUTLET
- WALL MOUNTED VOICE/DATA PORT - (2) VOICE/(2) DATA  
IN SINGLE GANG BOX, UON
- OCCUPANT SENSING AUTOMATIC CONTROL
- NEW CARDREADER, GC TO PROVIDE POWER PATH AND PULL STRING
- FLOOR MOUNTED OUTLET, UON: FLUSH DUPLEX RECEPTACLE OUTLET AND DATA OUTLET - (1) VOICE/(1) DATA IN SINGLE GANG BOX, UON
- FLEXIBLE CONDUIT WHIP/BASE POWER INFED TO ATTACH TO FURNITURE SYSTEM, THROUGH WALL - POWER, DATA & VOICE
- FLOOR MOUNTED OUTLET, UON: FLUSH DUPLEX RECEPTACLE OUTLET AND DATA OUTLET WITH FLEXIBLE CONDUIT WHIP/BASE POWER INFED TO ATTACH TO FURNITURE SYSTEM - POWER, DATA & VOICE
- THERMOSTAT



**3** DEVICE ELEVATION DIAGRAM  
A2.3 NOT TO SCALE

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8450 REGISTERED ARCHITECT  
MARK DOUGLAS EVANS  
STATE OF WASHINGTON

POWER/COMM PLANS

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ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR		BASE	WALLS								REMARKS
		SUBSTRATE MATERIAL	FINISH		NORTH		EAST		SOUTH		WEST		
				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH		
100A	NEW MEETING ROOM	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
111	OPEN OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
112	ELEV. RM	SOG	VCT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
113	OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
114	OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
115	OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
116	OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
117	BREAKROOM	SOG	SDT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
118	OPEN OFFICE	SOG	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
121	MEN	SOG	R-1	R-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	
122	WOMEN	SOG	R-1	R-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	GWB	PT-1/PL-1	
123	BREAKROOM	SOG	SDT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
200	EXISTING OPEN OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
205	NEW OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
206	NEW OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
207	NEW OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
208	NEW OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
209	NEW OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
210	MEETING ROOM	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
211	OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
212	OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
213	OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
214	OFFICE	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	
215	CONFERENCE ROOM	PLYWOOD	CPT-1	B-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	

3

FINISH SPECIFICATIONS:

FLOOR FINISHES:

FLOOR FINISH TO BE CPT-1, UON

**CPT**  
1 CARPET, BROADLOOM OR TILE  
SHAW CONTRACTOR GROUP  
TBD

**R**  
1 RESILIENT SHEET FLOORING  
ARMSTRONG, CONNECTION CORLON  
TBD

**VCT**  
1 VCT  
ARMSTRONG, STANDARD EXCELOX  
TBD

**SDT**  
1 SDT  
ARMSTRONG, STATIC DISSIPATIVE TILE  
TBD

**SLR**  
1 SEALED CONCRETE  
EXISTING, CLEAR

WALL FINISHES:

WALL FINISH TO BE PT-1, UON

**PT**  
1 PAINT (GENERAL)  
SHERWIN WILLIAMS, TBD

**PT**  
2 PAINT (ACCENT)  
SHERWIN WILLIAMS, TBD

**PT**  
3 PAINT (ACCENT)  
SHERWIN WILLIAMS, TBD

**FRP**  
1 FRP (WAINSCOT)  
WHITE

WALL BASE:

WALL BASE TO BE B-1, UON

**B**  
1 RESILIENT BASE  
ROPPE, TBD, 4"

MILLWORK FINISHES:

**PL**  
1 PLASTIC LAMINATE (BASE &/OR UPPER)  
TBD

**PL**  
2 PLASTIC LAMINATE (COUNTERTOP)  
TBD

**PL**  
3 PLASTIC LAMINATE (WAINSCOT)  
TBD

**PL**  
4 PLASTIC LAMINATE (TOILET  
PARTITIONS)  
TBD

**SS**  
1 SOLID SURFACE (COUTERTOP)  
TBD

ROOM FINISH GENERAL NOTES:

- ALL FINISH SELECTIONS IDENTIFIED IN LEGENDS, SCHEDULES, AND SPECIFICATIONS ARE NOT SUBJECT TO 'OR EQUAL' SUBSTITUTIONS U.N.O. THE CONTRACTOR AND SUBCONTRACTORS SHALL SUBMIT PRODUCTS AND FINISHES AS INDICATED IN THE DOCUMENTS.
- NOTIFY ARCHITECT OF SCHEDULED FINISHES THAT ARE UNAVAILABLE OR DISCONTINUED AT THE EARLIEST OPPORTUNITY SUCH THAT A SUBSTITUTION CAN BE SELECTED WITHOUT JEOPARDIZING THE CONSTRUCTION SCHEDULE.
- REFER TO THE MATERIAL SCHEDULE FOR MANUFACTURER, PRODUCT/STYLE NAME, COLOR SPECIFICATION.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS: INCLUDING WALLCOVERINGS, COATINGS, FLOORING MATERIALS, LAMINATES, ETC.
- PREPARE ALL SURFACES TO RECEIVE NEW FINISH SCHEDULED, TYPICAL THROUGHOUT. CONCRETE SLAB TO RECEIVE NEW SEAL WHERE SAW-CUT AND PATCHED.
- ALL WALLS (EXISTING AND NEW) TO BE PT-1, UON.
- RUBBER BASE, B-1 THROUGHOUT, UON. BASE SHALL RUN CONTINUOUSLY.
- CARPET, CPT-1 THROUGHOUT, UON.
- INTERIOR GWB CEILINGS AND SOFFITS TO BE PT-1, LATEX WITH FLAT FINISH, UON. TOILETROOM GWB CEILINGS AND SOFFITS TO BE PT-1, LATEX ENAMEL WITH SEMI-GLOSS FINISH, UON.
- SEE REFLECTED CEILING PLANS FOR CEILING FINISHES, CEILING TILE AND GRID SPECIFICATIONS.
- ALL GWB SURFACES TO BE SMOOTH FINISH AND RECIEVE TWO COATS OF LATEX PAINT WITH EGGSHELL FINISH.
- ALL GWB SURFACES IN RESTROOMS AND WET WALLS IN BREAK AREA AND COFFEE AREA SHALL RECEIVE ONE (1) COAT OF LATEX SEMI-GLOSS ENAMEL OVER ONE (1) COAT OF PVA SEALER.
- GW SURFACES TO RECEIVE LEVEL 4 FINISH PRIOR TO PAINTING, UON. REFER TO FINISH LEGEND FOR EXCEPTIONS.
- LEVEL 2/FIRETAPE FINISH ON WAREHOUSE SIDE OF OFFICE TL, UNLESS NOTED OTHERWISE.
- ALL PAINT MATERIALS, PREPARATION AND WORKMANSHIP SHALL CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE ARCHITECTURAL PAINTING SPECIFICATION MANUAL BY THE MASTER PAINTERS INSTITUTE. THE PAINTING SUBCONTRACTOR SHALL ENSURE THAT ALL PAINTS COMPLY WITH THE MUNICIPAL & STATE CODES AND BUILDING REGULATIONS FOR LOW VOC EMISSIONS.
- REFER TO DOOR SCHEDULE SHEET A6.1 FOR DOOR AND DOOR FRAME FINISHES.
- WHERE INTERIOR DOOR AND DOOR FRAMES ARE TO BE PAINTED, COLOR TO MATCH ADJACENT WALL SURFACE.
- PLASTIC LAMINATE, PL-1 AT ALL EXPOSED SURFACES OF BASE AND UPPER CABINETS, UON. PLASTIC LAMINATE PL-2 AT ALL COUNTERTOPS AND BACKSPASHES, UON.
- REFER TO THIS SHEET FOR FINISH LEGEND & SCHEDULE.
- FLOOR MATERIAL TRANSITIONS AT DOOR OPENINGS ARE TO BE CENTERED BELOW THE DOOR IN THE CLOSED POSITION, UNLESS NOTED OTHERWISE. SEE ALSO TRANSITION DETAILS THIS SHEET.
- PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES, UNLESS NOTED OTHERWISE PER 6/A6.1. RESILIENT TRANSITION STRIPS TO MATCH BASE COLOR U.N.O. WHEN PROVIDED, REFER TO PLAN FOR ADDITIONAL DETAIL LOCATIONS.
- WHERE FLOOR FINISH THICKNESS REQUIRES, FLOAT FLOOR SLAB AT FINISH TRANSITION AREAS A MINIMUM OF 2'-0" OR TO A ACHIEVE A MAXIMUM SLOPE OF 1:20 (WHICHEVER IS GREATER) TO ACHIEVE A UNIFORM AND FLUSH TRANSITION BETWEEN FINAL FINISHED SURFACES.
- ACCESS PANELS, VISIBLE COVES OR ENCASEMENTS, VISIBLE ELECTRICAL PANELS, ETC. TO SHALL BE PAINTED TO MATCH ADJACENT SURFACES.
- ALL INTERIOR WALL & CEILING FINISHES AND TRIM OF PUBLIC AREAS TO COMPLY WITH CLASS A MATERIAL CLASSIFICATION; FLAME SPREAD RATING 0 TO 25, SMOKE DEVELOPED 200. ALL INTERIOR WALL AND CEILING FINISHES AND TRIM IN NON PUBLIC AREAS TO COMPLY WITH CLASS B MATERIAL CLASSIFICATION; FLAME SPREAD RATING 26-75, SMOKE DEVELOPED 450, PER IBC CHAPTER 8.
- PROVIDE NEW WINDOW TREATMENT, WT-1 AT ALL EXTERIOR WINDOWS, TYPICAL THROUGHOUT, UON. ALTERNATE COST FOR WT-2, INSTEAD OF WT-1. ALTERNATE PRICE TO REPLACE WINDOW BLINDS (BL-1, 1", METAL MINI BLIND STANDARD COLOR) AT ALL EXTERIOR WINDOWS. ALTERNATE PRICE TO UPGRADE TO ROLLER SHADES (BL-2, INSIDE MOUNT, TEKSOLAR, MANUAL OPERATION, 5% OPEN TEK-FABRIC 95; MUSHROOM OR EQUIVALENT WITH ALUMINUM FASCIA)

NELSON

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City of Puyallup  
Development & Permitting Services  
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

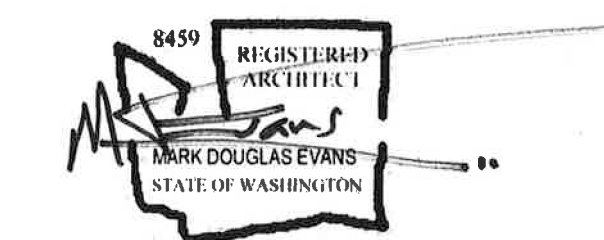
IDI Logistics

IDI LOGISTICS  
840 APOLLO STREET, SUITE 343  
EL SEGUNDO, CA 90245

RED DOT OFFICE TI

2504 EAST MAIN AVENUE  
PUYALLUP, WA 98372

Description:	No:	Date:
PERMIT SUBMITTAL		5/17/2022
PERMIT COMMENTS		08/01/2022
PERMIT COMMENTS 2		08/24/2022
TENANT REVISIONS	3	10/26/2022



FINISH SCHEDULE

Proj. No: 21.0000440.000 Reviewed By:

A6.2

City of Puyallup Development & Permitting Services ISSUED PERMIT	
Building	Planning
Engineering	Public Works
Fire	Traffic

Design No. U305

October 06, 2020

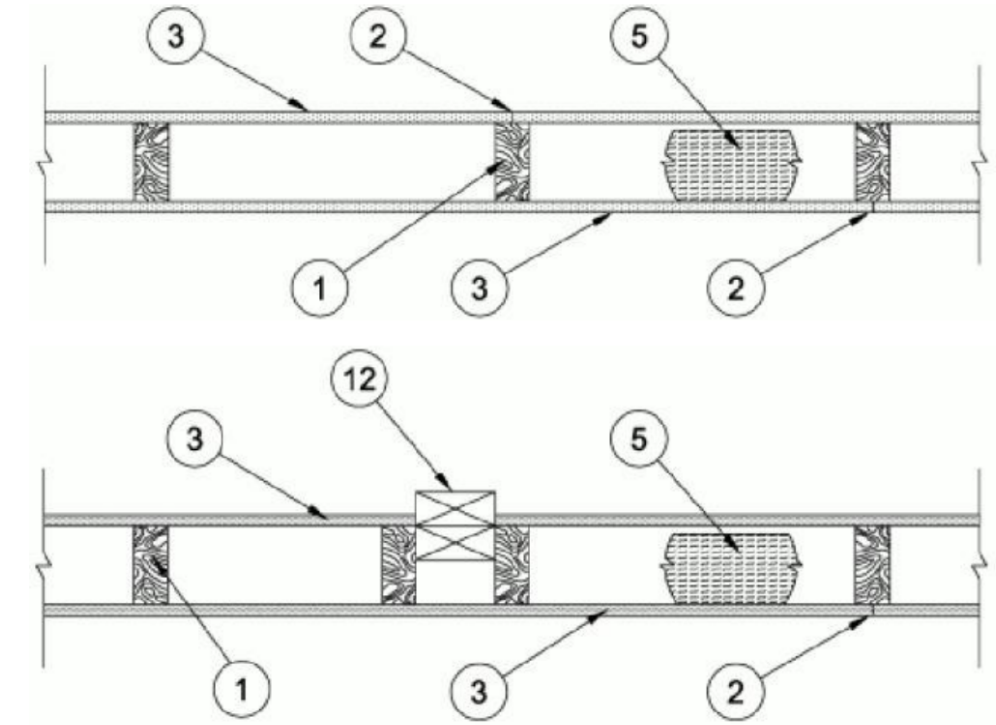
Bearing Wall Rating — 1 Hr

Finish Rating — See Items 3, 3A, 3D, 3E, 3F, 3G, 3H, 3J and 3L.

STC Rating - 56 (See Item 9)

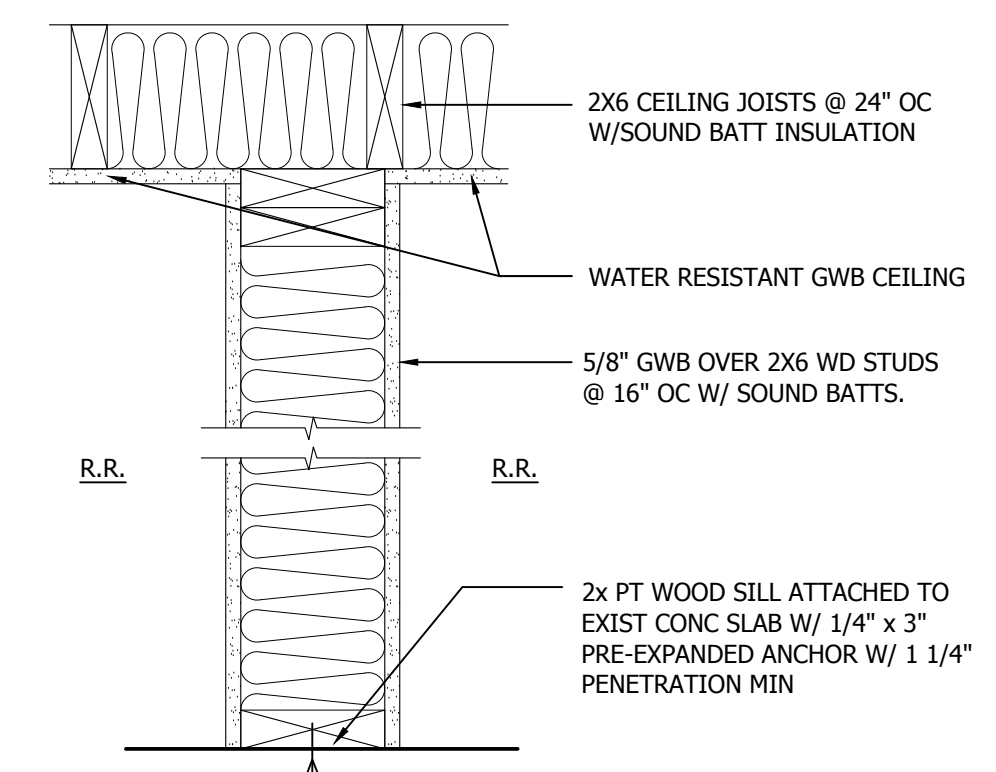
This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide [BXUV](#) or [BXUV7](#)

\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.



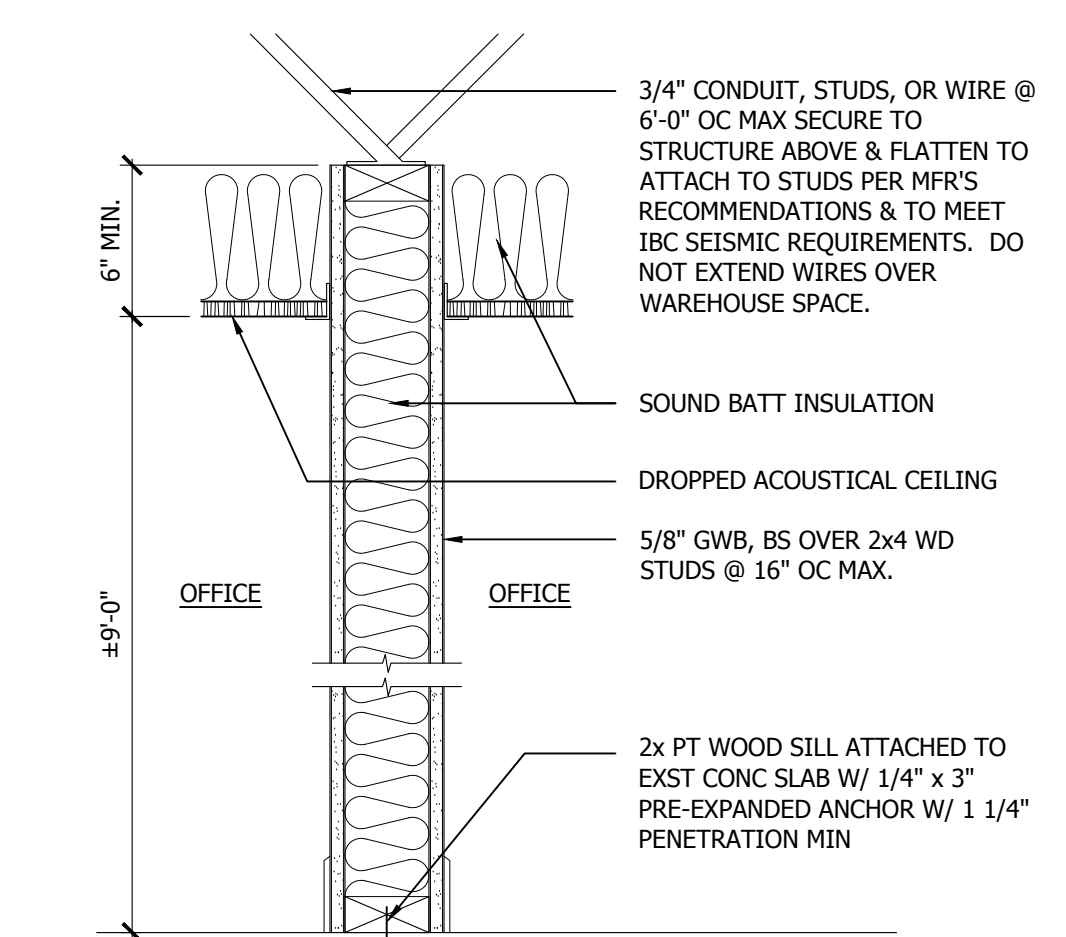
1. Wood Studs — Nom 2 by 4 in. spaced 16 in. OC max, effectively firestopped.
2. Joints and Nail-Heads — Joints covered with joint compound and paper tape. Joint compound and paper tape may be omitted when square edge boards are used. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard with the joints reinforced with paper tape. Nailheads exposed or covered with joint compound.
3. Gypsum Board — 5/8 in. thick paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Gypsum panels nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank

### UL DESIGN NO. U305 1-HR FIRE RATING ELEVATOR SHAFT WALL



### RR PLUMBING WALL

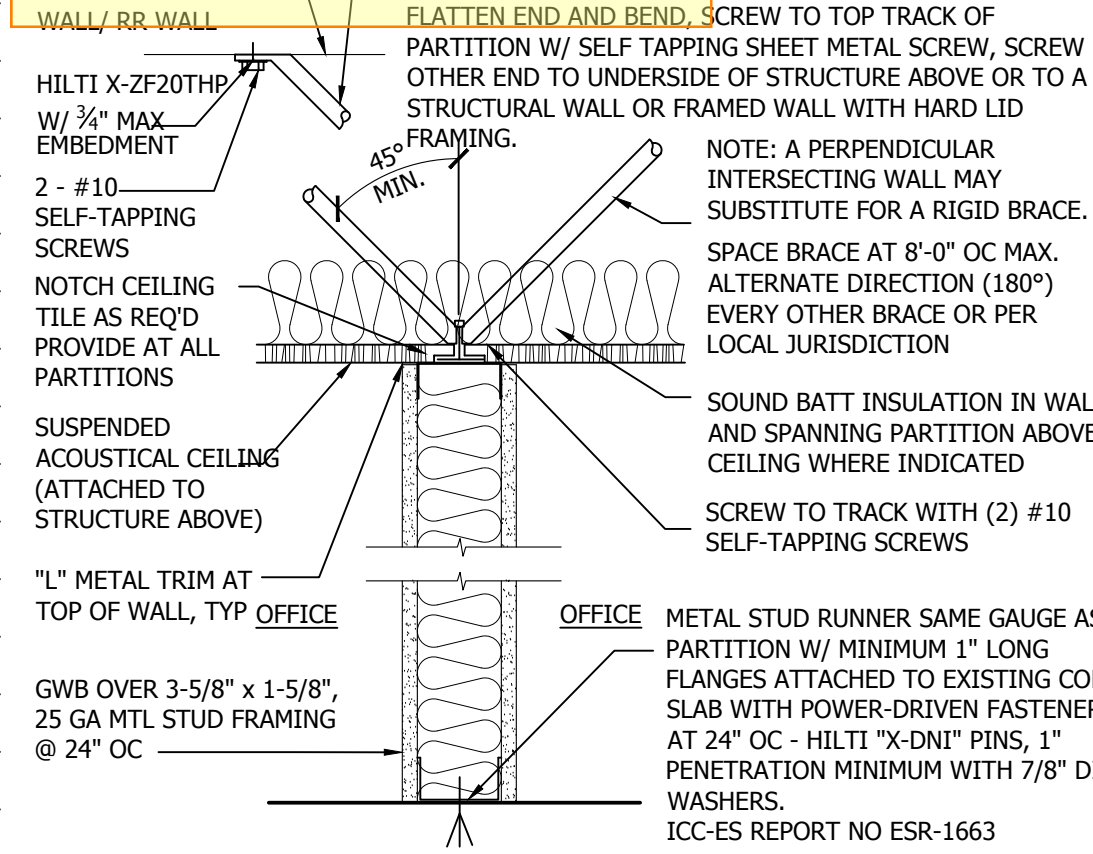
SIM: USE WALL TYPE 1 STUD SIZE & TYPE



### INTERIOR PARTITION

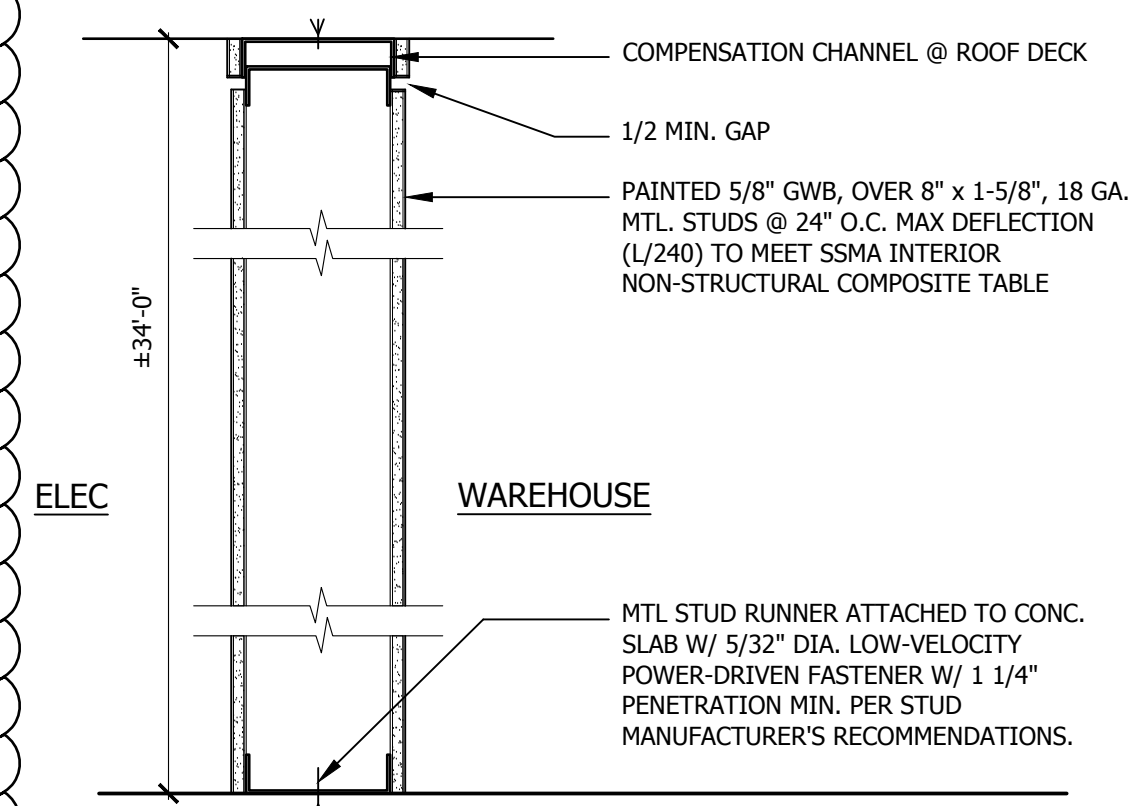
1A: PROVIDE SOUND BATT INSULATION IN WALL AND ABOVE CEILING  
1B: PROVIDE SOUND BATTS IN WALL ONLY

### PRRNSF20220043

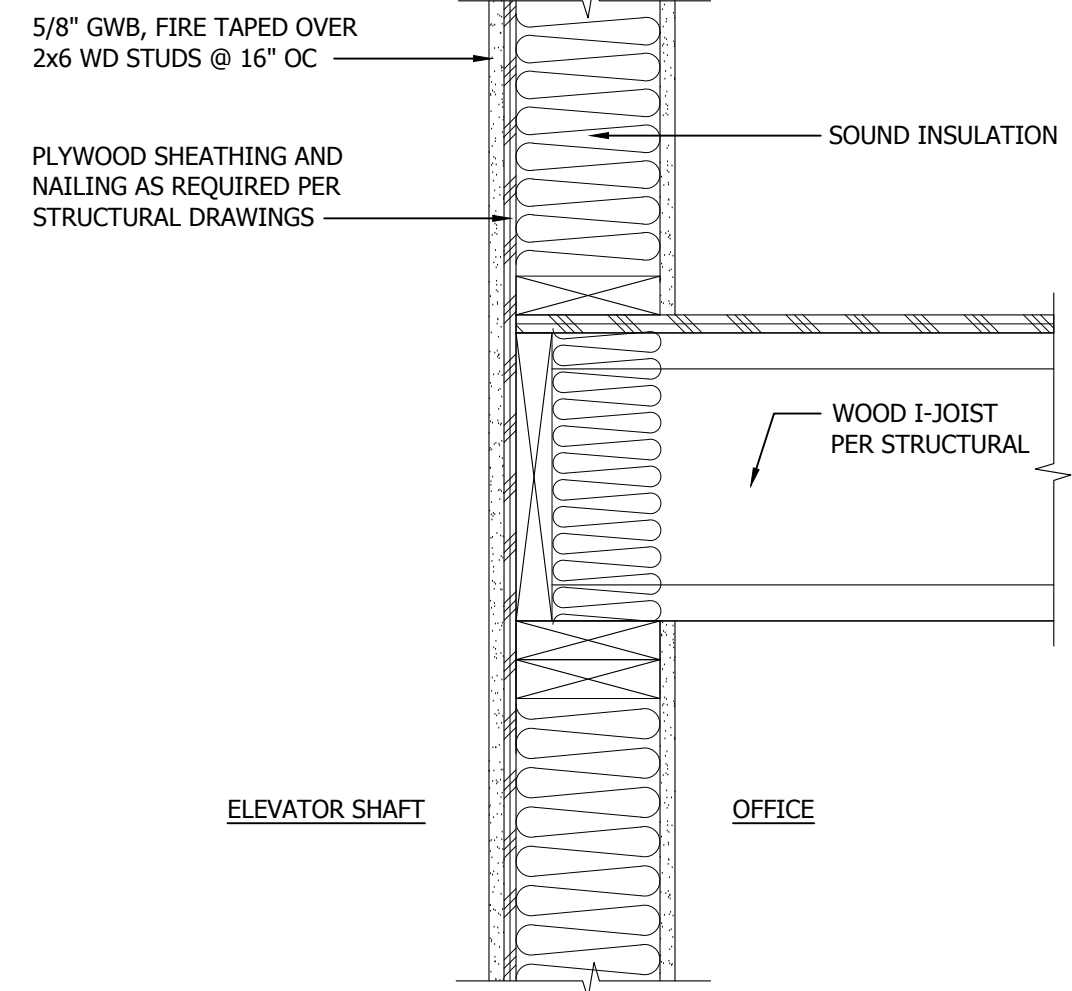


### INTERIOR PARTITION

NOTE: PROVIDE SOUND BATTS IN WALL AND ABOVE CEILING TO 2'-0" EACH SIDE OF PARTITION



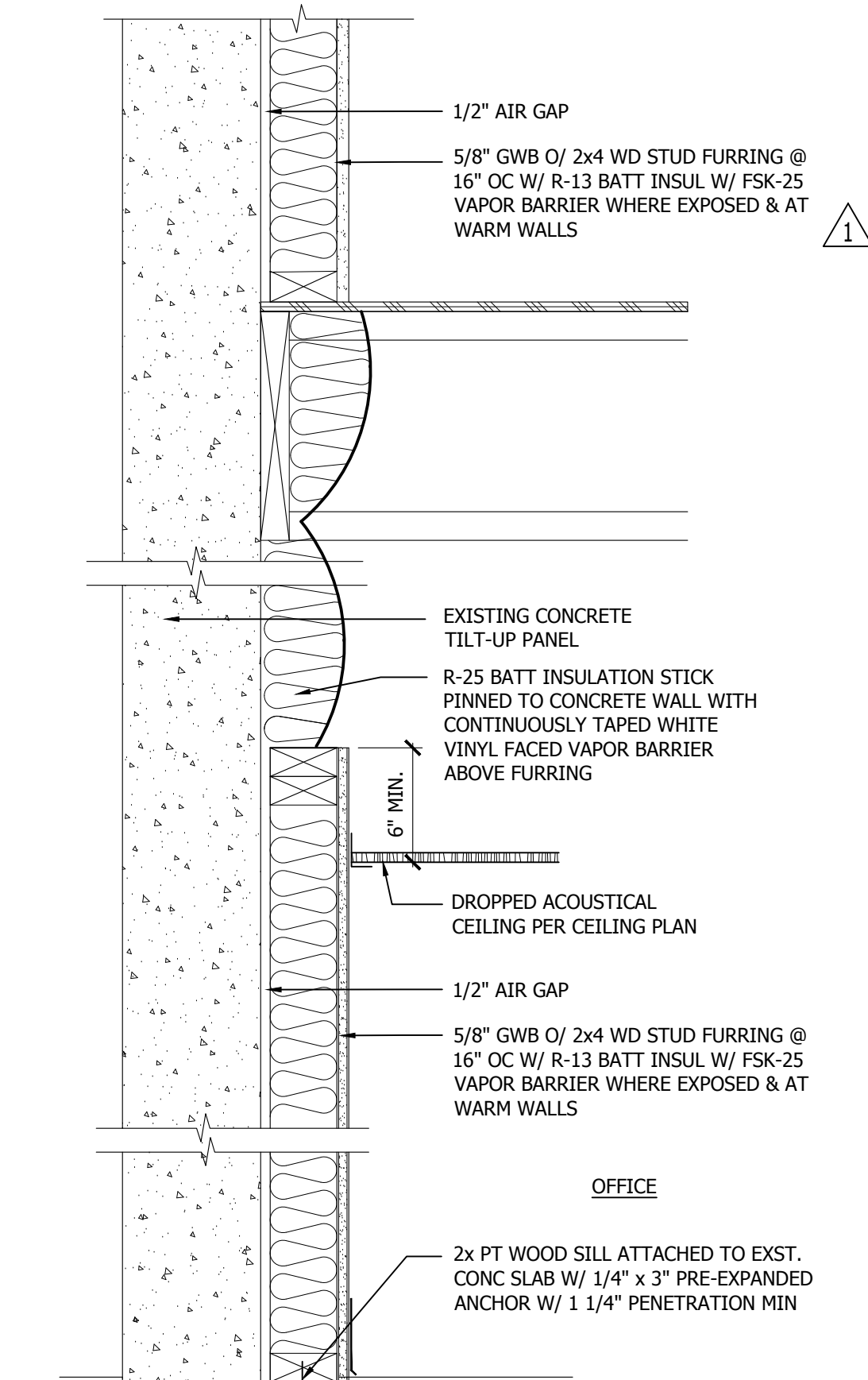
### FULL HEIGHT PARTITION



### ELEVATOR SHAFT WALL (1-HR)

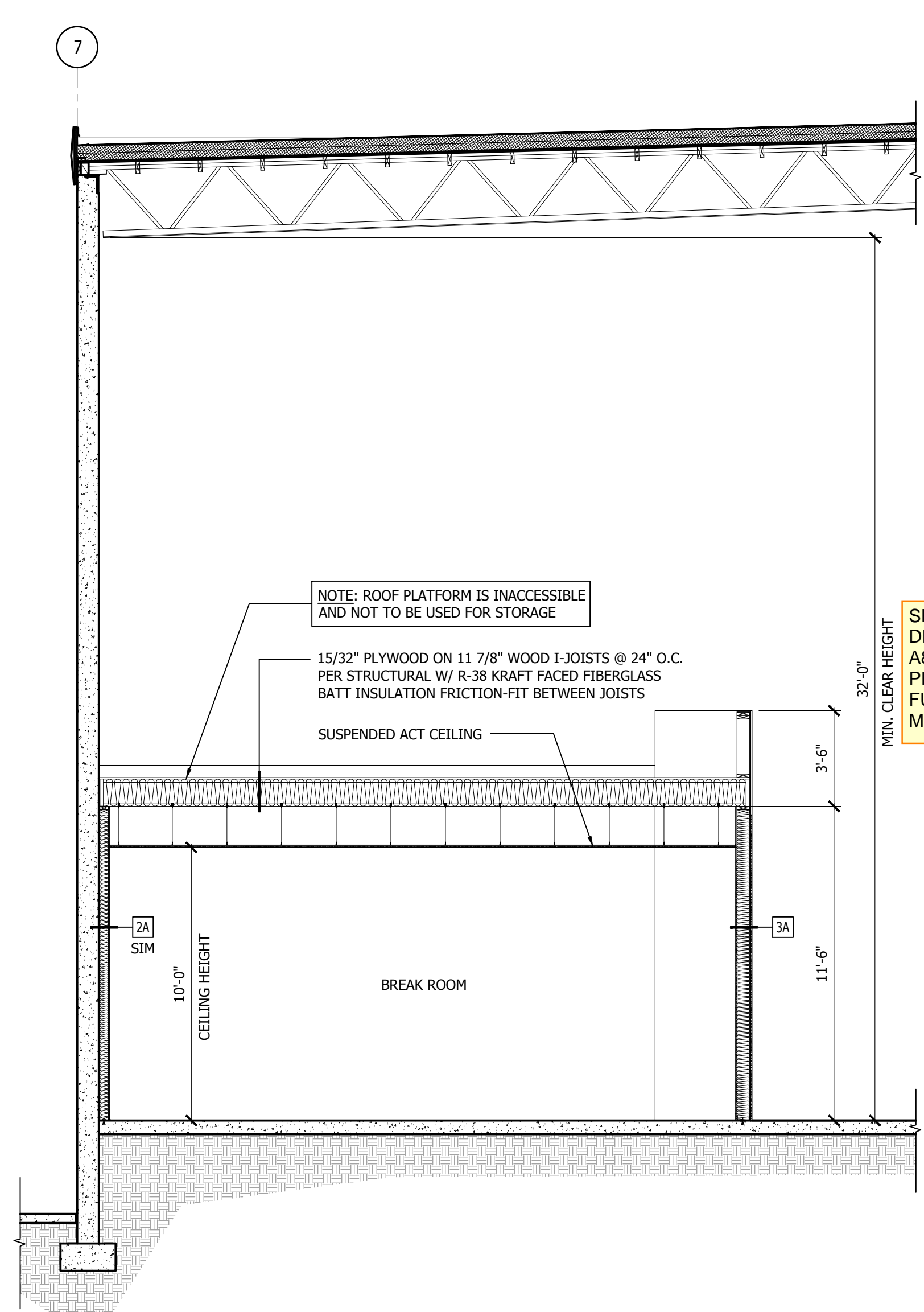
UL DESIGN NO. U305 1-HR FIRE RATING

### PERIMETER FURRING AT MEZZANINE

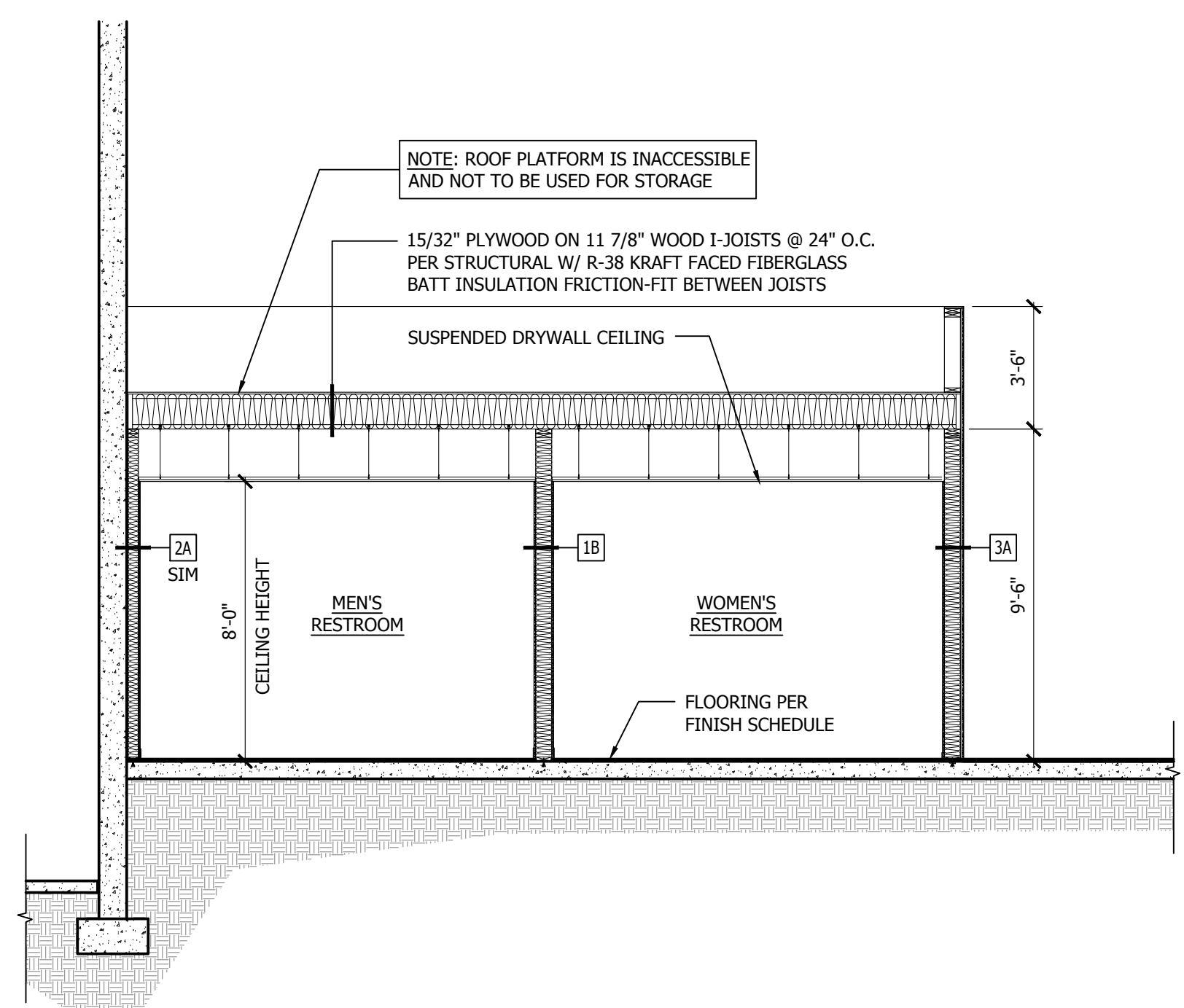


### OFFICE PERIMETER FURRING

### OFFICE DEMISING WALL



### MANUFACTURING AREA BREAKROOM SECTION



### MANUFACTURING AREA RESTROOMS SECTION

CLIENT

IDI Logistics

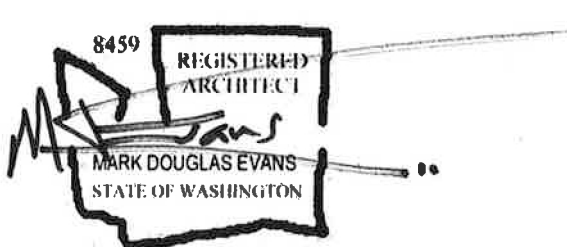
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Description:	No:	Date:
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SEAL



CITY STAMP

### WALL TYPES

Proj. No: 21.0000440.000 Reviewed By: